

GENERAL NOTES

- All construction shall be in accordance with the latest standards and specifications of Howard County plus MSHA standard and specifications if applicable.
- The contractor shall notify the Department of Public Works/Construction Inspection Division at (410) 313-1880 at least five (5) working days prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
- The contractor shall notify the Howard County Department of Public Works, Bureau of Utilities at (410) 313-4900 at least five working days prior to starting any excavation work.
- Site area: 0.3267 acres.
- All plan dimensions are to face of curb unless otherwise noted.
- Existing topography is field run as-built topo (June 1998).
- Coordinates and bearings are based upon the MD State plan system (NAD '83).
- Stormwater Management for quality and quantity is provided off-site under F-96-89.
- All existing water and sewer is per Contract Nos. 30-3436-D, 34-3523-D & 34-3528-D.
- All existing public storm drain is per F-96-89 (Plot Nos. 12420 thru 12422).
- Utility information taken from approved final construction plans for development.
- Sidewalks adjacent to perpendicular parking shall be 6' wide. All other sidewalks shall be 4' wide except where dimensioned otherwise. Provide 3' radius rounding at all angle breaks and intersections.
- Contractor shall utilize PVC pipe for all sewer house connections. Contractor shall utilize D.I.P. (CL 51) for 6" water house connection.
- For all storm drain connections at existing stubs, the contractor shall remove the existing blocking and maintain.
- Use trench bedding class "C" for storm drains.
- Paved areas indicated are private except as noted.
- Project background: See Dept. of Planning & Zoning File Numbers: S-93-121, P-95-10, WP-95-32, WP-95-78, WP-95-441, F-96-89, F-97-43, SDP-96-110 and FDP Phase 222.
- Recording reference: Plat No. 12544.
- All proposed ramps shall be in accordance with current A.D.A. standards. Maximum sidewalk cross slope shall be two percent. Provide a five-foot by five-foot level (2 percent max.) landing at the top and bottom of all ramps and building entrances and exits.
- All water meters shall be located inside buildings.
- The limits of public maintenance for water house connections shall be 7' from the back of curb.
- All proposed site utilities are to terminate 5' from the building. The building plumber shall connect to and extend these utilities to the inside of the building.
- For Gas, Telephone and Electric routing, see separate plan.
- Fire lanes to be provided in accordance with the direction of the Fire Marshal or local Fire Department.
- There is no floodplain on this site as determined by a study performed by Whitman, Regardt & Assoc. and approved under P-95-10 on January 20, 1995.
- There are no wetlands on this site as determined by Exploration Research, Inc. and approved under P-95-10 on January 20, 1995.
- The traffic study for this was approved under P-95-10 on January 20, 1995.

Building Coverage Analysis

Parcel	Parcel Area	Building Area
Lot 1 (Part of area on SDP 07-11)	59,705	0
Lot 2 (Road Right of Way)	31,542	0
Par. I-1 (Part of area on SDP 07-11b)	60,930	17,089
Par. I-2 (Part of area on SDP 07-11b)	27,073	0
Par. J (Undeveloped at this time)	24,441	0
Par. K (This site plan)	14,231	6,184
Totals	251,192	23,273

Building Coverage (%)
 $23,273 / 251,192 = 9.2\%$
 (10% Maximum)

- Notes:**
- Lot/Parcel designations above are per FDP 222 - Part II.
 - Lot 1 is now a part of the area included in SDP 07-11.
 - Parcels I-1 and I-2 were combined to create Parcel Z as shown on SDP 07-11b. (F 07-43)
 - Parcel K became Parcel Y on the rezoning plat under file number F 07-43.

PARKING REQUIRED JUSTIFICATION

PRIMARY CONSIDERATION WAS COLUMBIA ASSOCIATION'S EXPERIENCE WITH OTHER COMMUNITY CENTERS, SOME OF WHICH ARE SMALLER, AND SOME LARGER THAN THE RIVER HILL FACILITY. THIS EVALUATION YIELDED A NEED OF 40 SPACES.

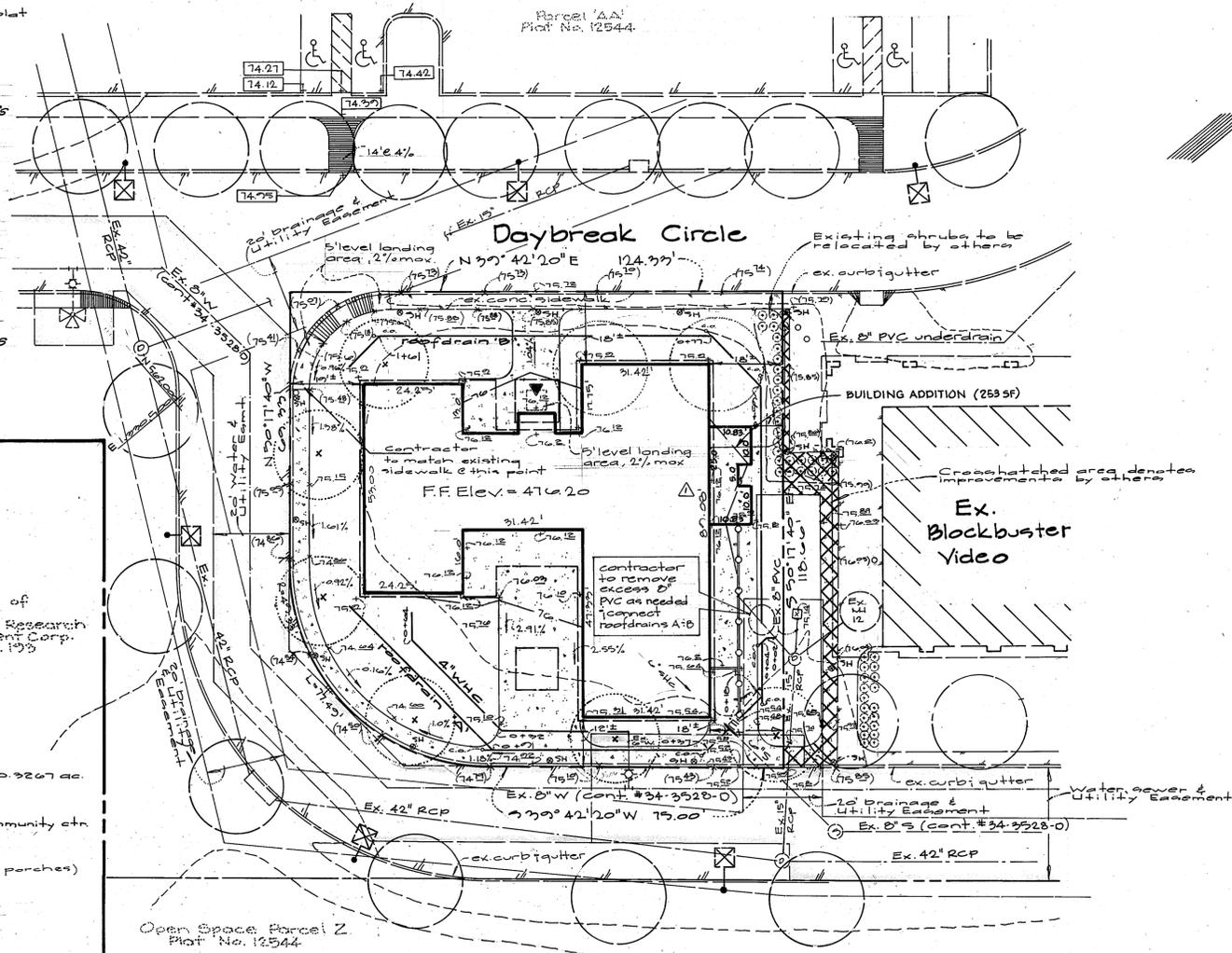
FOR CORRELATION PURPOSES, THE FOLLOWING TABULATION ALSO INDICATES A NEED OF APPROXIMATELY 40 PARKING SPACES FOR THE USABLE SPACE WITHIN THE FOOTPRINT (STORAGE, KITCHEN & EXTERIOR WALLS NOT INCLUDED).

OFFICE: 471 @ 3/1000 = 1.41 SPACES
 ASSEMBLY: 3748 @ 19/1000 = 37.48 SPACES
38.89 OR 39 SPACES

Site Analysis Chart

Total Project Area: 14,231 sq ft or 0.3267 ac.
 Zoning: NT
 Proposed Use: Multi-purpose community ctr.
 Floor Space: 4,980 SF
 Building Coverage: 6,184 SF (incl. porches)

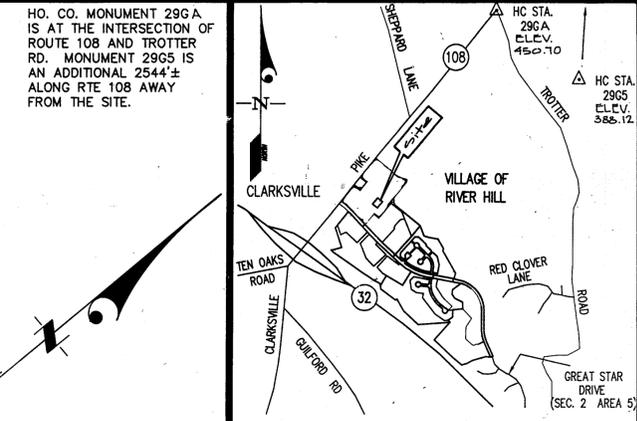
Parking provided by the Village of River Hill parking lot.



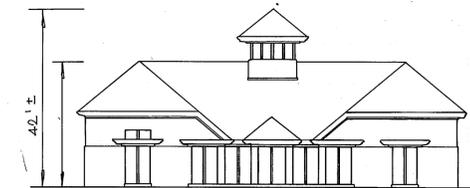
Plan
 scale: 1" = 20'

Day Long Drive

Note: All curb and gutter shown is existing.



VICINITY MAP
 SCALE: 1" = 2000'

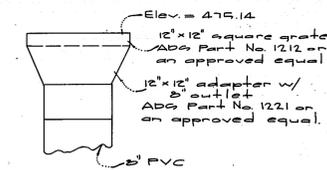


North west Elevation
 N.T.S.

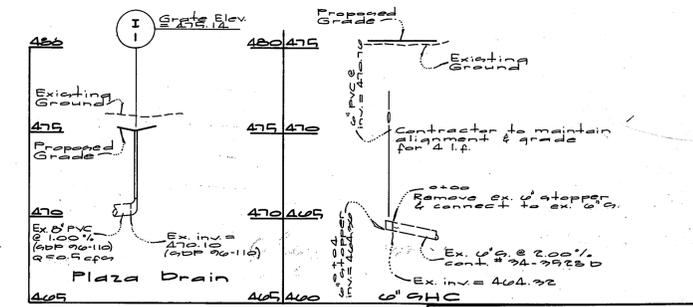
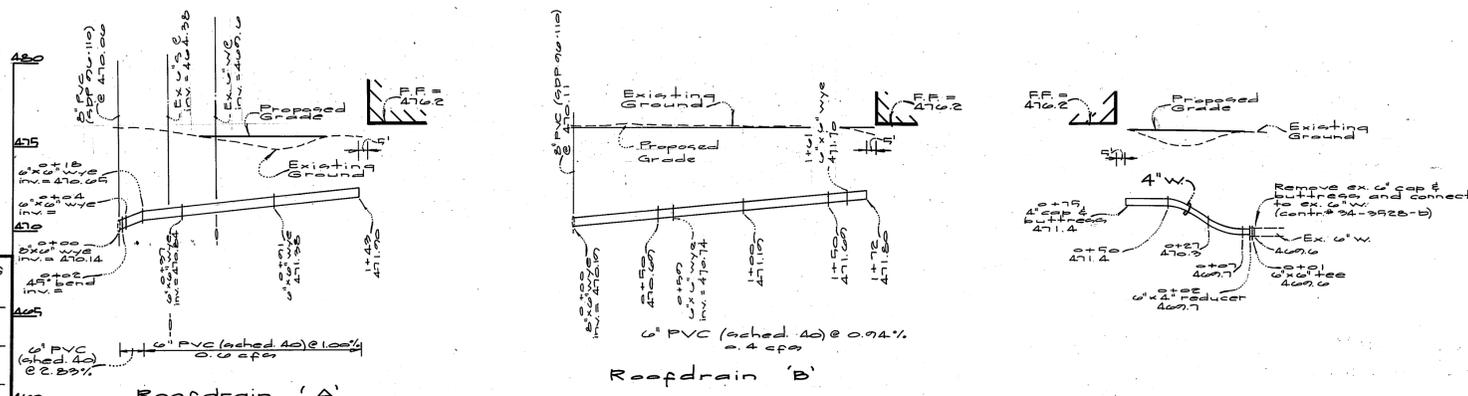
Legend

- Existing contour
- - - Proposed contour
- ⊙ 9" Existing Sprinkler head
- + 7.0 Existing Spot Elevation
- + 7.0 Proposed Spot Elevation
- ▾ Primary Entrance to be utilized by handicapped persons
- Existing Trees to be relocated
- ▭ Proposed Concrete Sidewalk (See Howard Co. detail R 306)

Financial surety for Landscaping in the amount of \$600 - will be required as part of the Grading Permit.



Detail for Plaza Drain
 Not to Scale



Profile I
 scale: 1" = 5' vert.
 1" = 50' horiz.

ADDRESS CHART

WATER CODE	SEWER CODE	PARCEL NUMBER	STREET ADDRESS
I-10	6653500	Y	6020 Daybreak Circle

SUBDIVISION NAME
 Village of River Hill

SECTION/AREA	PARCEL
4/2	Y

PLAT 12544
ZONE NT
TAX MAP 34, 35
BLOCK 5th
ELEC. DIST. 5th
CENSUS TRACT 6055

APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY

DATE 9/9/98

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Joseph Smith 11/9/98
 Director
Richard Blood 11/6/98
 Chief, Division of Land Development
William Damman 11/2/98
 Chief, Development Engineering Division

GLW GUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MD. 20866

TELEPHONE: (301)421-4024 NO. VA. (301)989-2524 BALTO. (301)880-1820 FAX (301)421-4186

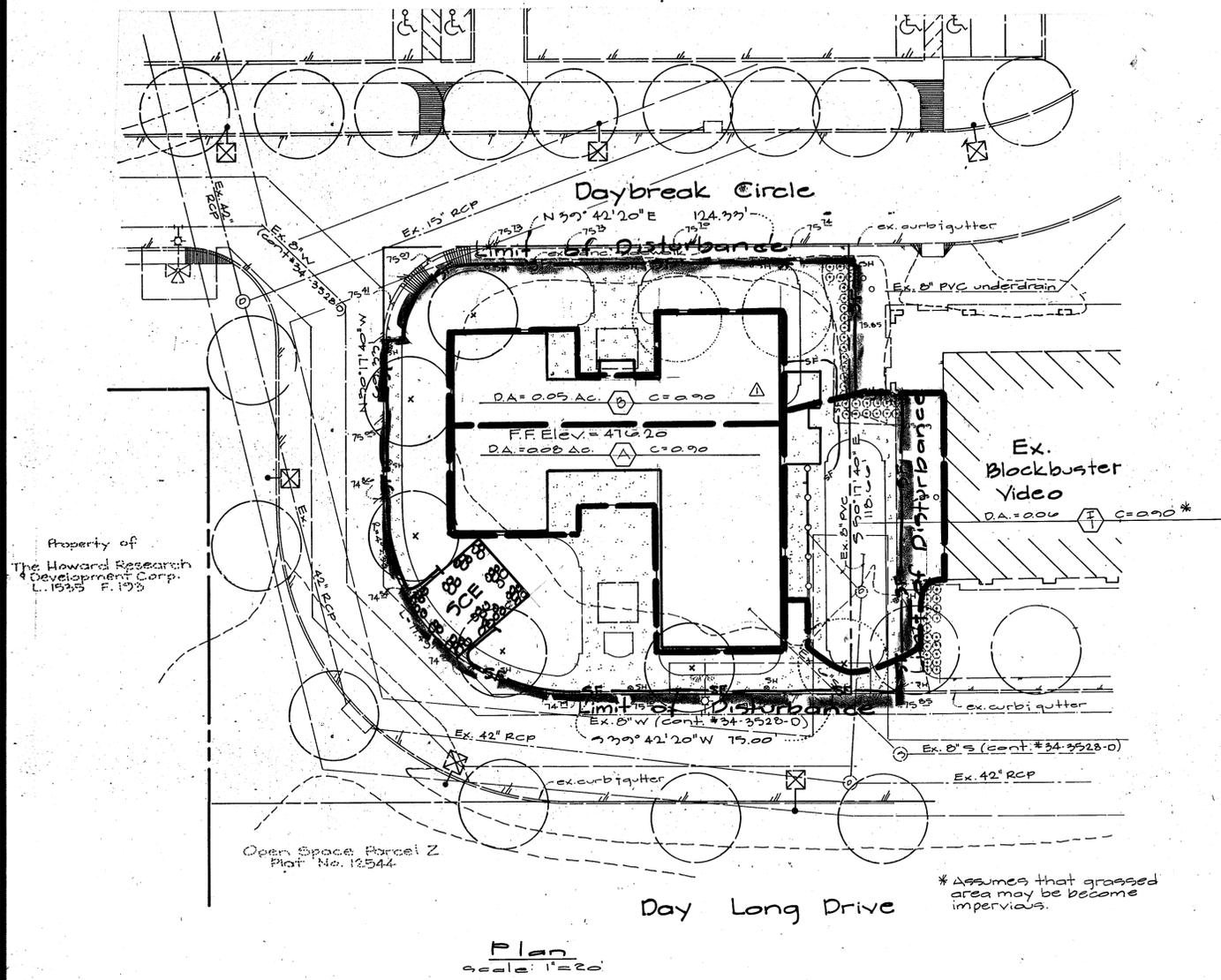
PREPARED FOR:
 THE COLUMBIA ASSOCIATION
 10221 WINCOPIN CIRCLE
 SUITE 100
 COLUMBIA, MD 21044
 (410) 715-3125
 ATTN: DENNIS MATTEY

Site Development Plan
VILLAGE OF RIVER HILL
 SECTION 4, AREA 2
 Parcel 'Y'

CLARKSVILLE ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

DES. DEY	SCALE	ZONING	G.L.W. FILE NO.
DRN. MCF	as shown	NT	98043
DATE	TAX MAP NO.	SHEET	
Oct. 1, 1998	34135	1 of 3	



II.A. STANDARD AND SPECIFICATIONS FOR TOPSOIL

DEFINITION
Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

PURPOSE
To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, mineral toxic to plants, and/or unacceptable soil gradation.

CONDITIONS WHERE THESE SPECIFICATIONS APPLY

- This practice is limited to areas having 2:1 or flatter slopes where:
 - The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
 - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish containing supplies of moisture and plant nutrients.
 - The original soil to be vegetated contains material toxic to plant growth.
 - The soil is so acidic that treatment with limestone is not feasible.
- For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

- Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experiment Station.
- Topsoil Specifications - Soil to be used as topsoil must meet the following:
 - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Topsoil shall not be a mixture of containing textured subsoils and shall contain less than 3% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 1/2" in diameter.
 - Topsoil must be free of plants or plant parts such as bermuda grass, quackgrass, Johnsongrass, nutcracker, poison ivy, blackberry, or others as specified.
 - When the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with other operations as described in the following procedures.
- For sites having disturbed areas under 5 acres:
 - Place topsoil of required and apply soil amendments as specified in 3.0. Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.

TOPSOIL APPLICATION

- When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fences and Sediment Traps and Basins.
- Grades on the areas to be topsoiled, which have been previously established, shall be maintained about 4" - 8" higher in elevation.
- Topsoil shall be uniformly distributed to a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
- Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and sodding preparation.

SEQUENCE OF CONSTRUCTION

- Arrange pre-construction meeting & obtain grading permit. (1 day)
- Install silt fence & stabilized construction entrance. (1 day)
- Construct building, and install site utilities, water house connection, S/C & P/V roof drains. (6 months)
- Final grade site. (1 week)
- Install sidewalk. (1 week)
- Remove sediment control devices, with sediment control inspections permission and stabilize site in accordance with permanent seeding notes. (1 week)

SEDIMENT CONTROL NOTES

- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (410) 313-1855.
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within:
 - 7 calendar days for all perimeter sediment control structures, dikes and perimeter slopes and all slopes greater than 3:1,
 - 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings, sod, temporary seeding and mulching (Sec. 6).
Temporary stabilization, with mulch alone, can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.

7. Site Analysis:

Total Area of Site	: 0.267 Acres
Area Disturbed	: 0.24 ± Acres
Area to be roofed or paved	: 0.22 ± Acres
Area to be vegetatively stabilized	: 0.12 ± Acres
Total Cut	: 0.52 Cu. Yds.
Total Fill	: 0.52 Cu. Yds.

Off-site waste/borrow area location:

- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the Howard County DPW Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- Trenches for the construction of utilities is limited to 3 pipe lengths or that which shall be backfilled and stabilized within one working day, whichever is shorter.

PERMANENT SEEDING NOTES

Apply to graded or cleared area not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding (unless previously loosened).

Soil Amendments: In lieu of soil test recommendations, use one of the following schedules

- Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 square feet) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq ft).
- Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 square feet) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.

Seeding: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs/1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, protect site by Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

Maintenance: Inspect all seeded areas and make needed repairs, replacements and reseeding.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding (unless previously loosened).

Soil Amendments: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft).

Seeding: For periods March 1 thru April 30 and from August 15 thru October 15, seed with 2-1/2 bushel per acre of annual ryegrass (3.2 lbs./1000 sq.ft.). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (.07 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted, weed-free, small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes, 8 ft or higher, use 348 gal per acre (8 gal/1000 sq ft) for anchoring.

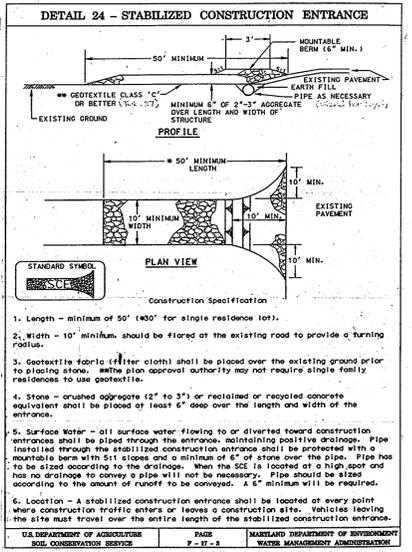
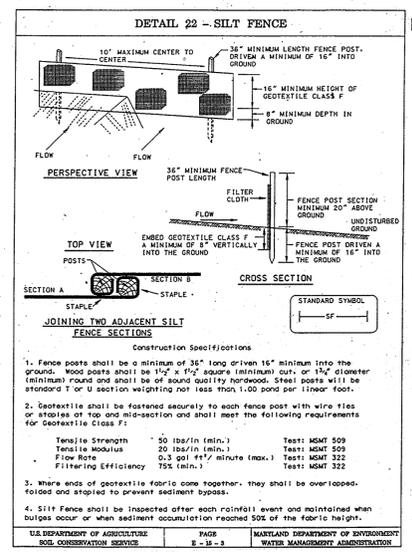
Refer to the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.

Richard Simmons 10/29/98
Natural Resources Conservation Service Date

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

John R. Robinson 10/29/98
Howard S.C.D. Date



DEVELOPER'S/BUILDER'S CERTIFICATE

I/We certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD.

D. Matley 7-28-98
Signature of Developer/Builder Date

ENGINEER'S CERTIFICATE

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

John R. Robinson 7-28-98
Date

APPROVED PLANNING BOARD OF HOWARD COUNTY

DATE 9/2/98

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Richard Blood 11/2/98
Chief, Division of Land Development Date

John R. Robinson 11/2/98
Date

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20866
TEL: (301) 421-4024 NO. VA.: (301) 988-2524 BALT: (410) 880-1820 FAX: (301) 421-4186 DES. DRN. CHK.

DATE	REVISION	BY	APP'R.
12-9-03	ADDED 253 SF STORAGE AREA TO EXISTING BLDG	R.J.W.	
			APP'R.

PREPARED FOR:
The Columbia Association
12221 Winecupin Circle
Suite 100
Columbia, Maryland 21044
410-715-2125
Attn: Dennis Matley

Sediment Control Notes & Details
Village of River Hill
Section 4 Area 2
Parcel 'Y'
Clarkeville Election District No. 5
Howard County, Maryland

SCALE	ZONING	G. L. W. FILE No.
	NT	98043
DATE	TAX MAP No.	SHEET
October 1998	34 & 35	2 of 3

PLANT MATERIALS AND PLANTING METHODS

A. Plant Materials

The landscape contractor shall furnish and install and/or dig, ball, burlap and transport all of the plant materials called for on drawings and/or listed in the Plant Schedule.

- Plant Names
Plant names used in the Plant Schedule shall conform with "Standardized Plant Names," latest edition.

- Plant Standards
All plant material shall be equal to or better than the requirements of the "USA Standard for Nursery Stock," latest edition, as published by the American Association of Nurserymen (hereafter referred to as A.A.N. Standards). All plants shall be typical of their species and variety, shall have a normal habit of growth and shall be first quality, sound, vigorous, well-branched and with healthy, well-furnished root systems. They shall be free of disease, insect pests and mechanical injuries.

- Plant Measurements
All plants shall conform to the measurements specified in the Plant Schedule as approved by the ARC.

- Plant Measurements
All plants shall conform to the measurements specified in the Plant Schedule as approved by the ARC.

- Caliper measurements shall be taken six inches (6") above grade for trees under four-inch (4") caliper and twelve (12") above grade for trees four inches (4") in caliper and over.
- Minimum branching height for all trees shall be six feet (6'), maximum eight feet (8').
- Minimum size for planting shade trees shall be 3-3 1/2" caliper, 14'-16" in height.

- Minimum size for planting minor or intermediate focus trees (pines, crabapples, etc.) shall be 3-3 1/2" caliper, 10'-12" in height.

- Minimum size for planting shrubs shall be 18" - 24" spread unless noted otherwise.
- Caliper, height, spread and size of ball shall be generally as follows:

CALIPER	HEIGHT	SPREAD	SIZE OF BALL
3" - 3 1/2"	14'-16'	6'-8'	32" diameter
3 1/2" - 4"	14'-16'	8'-10'	36" diameter
4" - 4 1/4"	16'-18'	8'-10'	40" diameter
4 1/4" - 5"	16'-17'	10'-12'	44" diameter
5" - 5 1/2"	16'-20'	10'-12'	48" diameter
5 1/2" - 6"	18'-20'	12'-14'	52" diameter

All plant material shall generally average the median for the size ranges indicated above as indicated in the "A.A.N. Standards".

- Plant Identification
Legible labels shall be attached to all shade trees, minor trees, specimen shrubs and bundles or boxes of other plant material giving the botanical and common names, size and quantity of each. Each shipment of plants shall bear certificates of inspection as required by Federal, State and County authorities.

- Plant Inspection
The ARC may, upon request by the builder or developer, at least ten (10) days prior to the installation of any proposed plant material, inspect all proposed plant material at the source of origin.

B. Planting Methods

All proposed plant materials that meet the specifications in Section A are to be planted in accordance with the following methods during the proper planting seasons as described in the following:

- Planting Seasons
The planting of deciduous trees, shrubs and vines shall be from March 1st to June 15th and from September 15th to December 15th. Planting of deciduous material may be continued during the winter months providing there is no frost in the ground and frost-free topsoil planting mixtures are used.

- The planting of evergreen material shall be from March 15th to June 15th and from August 15th to December 1st. No planting shall be done when ground is frozen or excessively moist. No frozen or wet topsoil shall be used at any time.

- Digging
All plant material shall be dug, balled and burlapped (B+B) in accordance with the "A.A.N. Standards".

- Excavation of Plant Pits
The landscaping contractor shall excavate all plant pits, vine pits, hedge trenches and shrub beds in accordance with the following schedule:

- Locations of all proposed plant material shall be staked and approved in the field by the landscape architect before any of the proposed plant material is installed by the landscape contractor.
- All pits shall be generally circular in outline, vertical sides; depth shall not be less than 6" deeper than the root ball, diameter shall not be less than two times the diameter of the root ball as set forth in the following schedule.
- If areas are designated as shrub beds or hedge trenches, they shall be excavated to at least 18" depth minimum. Areas designated for ground covers and vines shall be excavated to at least 12" in depth minimum.

- Diameter and depth of tree pits shall generally be as follows:

PLANT SIZE	ROOT BALL	PIT DIAMETER	PIT DEPTH
3" - 3 1/2" cal.	32"	64"	28"
3 1/2" - 4" cal.	36"	72"	32"
4" - 4 1/4" cal.	40"	80"	36"
4 1/4" - 5" cal.	44"	88"	40"
5" - 5 1/2" cal.	48"	96"	44"
5 1/2" - 6" cal.	52"	104"	48"

A 20% compaction figure of the soil to be removed is assumed and will be allowed in calculation of extra topsoil. The tabulated pit sizes are for purposes of uniform calculation and shall not override the specified depths below the bottoms of the root balls.

- Staking, Guying and Wrapping
All plant material shall be staked or guyed, and wrapped in accordance with the following specifications:

- Stakes: Shall be sound wood 2" x 2" rough saw oak or similar durable woods, or lengths, minimum 7'-0" for major trees and 5'-0" minimum for minor trees.
- Wire and Cable: Wire shall be #10 galvanized or bethanzined annealed steel wire. For trees over 3" caliper, provide 5/16" turn buckles, eye and eye with 4" take-up. For trees over 5" caliper, provide 3/16" 7 strand cable cotinum plated steel, with galvanized "eye" thimbles of wire and hose on trees up to 3" in caliper.
- Hose: Shall be new, 2 ply reinforced rubber hose, minimum 1/2" I.D. "Plastic Lock Ties" or "Paul's Trees Braces" may be used in place of wire and hose on trees up to 3" in caliper.
- All trees under 3" in caliper are to be planted and staked in accordance with the attached "Typical Tree Staking Detail". All trees over 3" in caliper are to be planted and guyed in accordance with the attached "Typical Tree Guying Detail".

5. Plant Pruning, Edging and Mulching

- Each tree, shrub or vine shall be pruned in an appropriate manner to its particular requirements, in accordance with accepted standard practice. Broken or bruised branches shall be removed with clean cuts flush with the adjacent trunk or branches. All cuts over 1" in diameter shall be painted with an approved antiseptic tree wound dressing.

- All trenches and shrub beds shall be edged and cultivated to the lines shown on the drawing. The areas around isolated plants shall be edged and cultivated to the full diameter of the pit. Sod which has been removed and stacked shall be used to trim the edges of all excavated areas to the neat lines of the plant pit saucers, the edges of shrub areas, hedge trenches and vine pockets.

- After cultivation, all plant materials shall be mulched with a 2" layer of fine, shredded pine bark, peat moss, or another approved material over the entire area of the bed or saucer.

6. Plant Inspection and Acceptance

The ARC shall be responsible for inspecting all planting projects on a periodic basis to assure that all work is proceeding in accordance with the approved plans and specifications.

7. Plant Guarantee

All plant material shall be guaranteed for the duration of one full growing season, after final inspection and acceptance of the work in the planting project. Plants shall be alive and in satisfactory growing condition at the end of the guarantee period.

- For this purpose, the "growing season" shall be that period between the end of the "Spring" planting season, and the commencement of the "Fall" planting season.
- Guarantee for planting performed after the specified end of the "Spring" planting season, shall be extended through the end of the next following "Spring" planting season.

Sodding

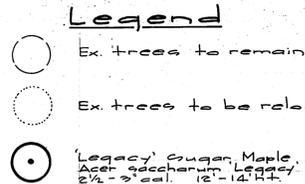
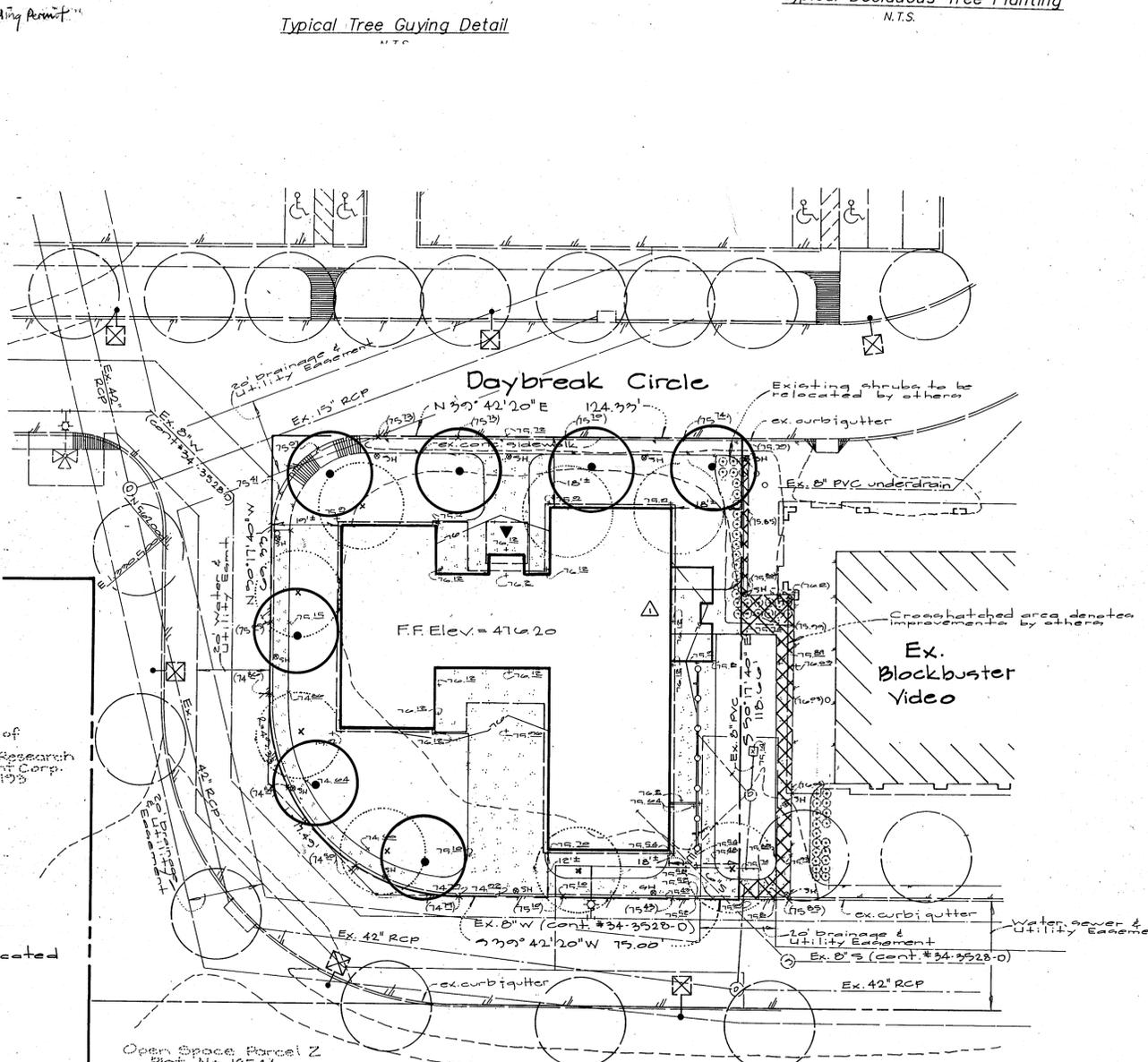
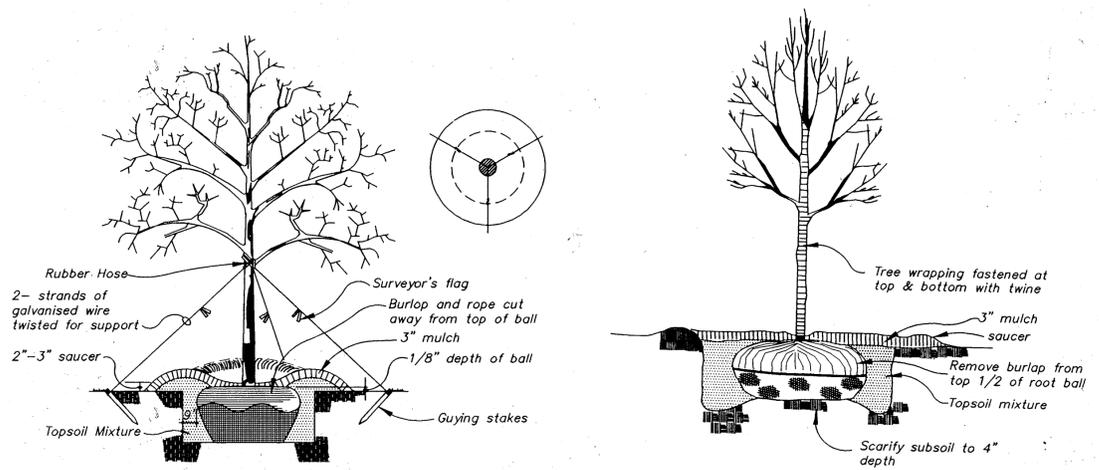
All sodding shall be in accordance to the "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Areas" latest edition, approved by the Landscape Contractors Association of Metropolitan Washington and the American Society of Landscape Architects.

All sod shall be strongly rooted sod, not less than two years old and free of weeds and undesirable native grasses. Provide only sod capable of growth development when planted and in strips not more than 18" wide x 4" long. Provide sod composed principally of improved strain Kentucky bluegrass, such as, Columbia, Vicia, or Escort.

The owner, tenant, and/or their agents shall be responsible for maintenance of the required landscaping, including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing condition, and where necessary, replaced with new material to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.

LANDSCAPING NOTES

- This plan has been prepared in accordance with Section 16.124 of the Howard County Code and Chapter 14 (Alternative Compliance) of the Howard County Landscape Manual.
- Contractor shall notify all utilities at least (5) five days before starting work. All General Notes, especially those regarding utilities, on Sheet 1 shall apply.
- Field verify underground utility locations and existing conditions before starting planting work. Contact owner or his representative if any relocations are required.
- Plant quantities shown on Plant List are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on the plan and those shown on the plant list, the quantities on the plant list take precedence.
- All plant material shall be full, heavy, well formed, and conform to the A.A.N. Specifications, and be installed in accordance with project specifications.
- No substitution shall be made without written consent of the owner or his representative.
- All areas disturbed by construction activities but not otherwise planted, paved, or mulched shall be seeded or sodded in accordance with project specifications.
- The contractor shall notify the owner in writing if he/she encounters soil drainage conditions which may be detrimental to the growth of the plants.
- All exposed earth within limits of planting beds shall be mulched with shredded hardwood mulch per Planting Details.
- "Schedule A - Perimeter Landscape Edge" and "Schedule B - Parking Lot Internal Landscaping" is provided for landscape surety calculation purposes only. The required surety is: Required shade tree (or equivalent) x 100 = \$ 6000
Financial surety for the required landscaping has been posted as part of the Grading Permit in the amount of \$ 6000
- Tabulation for landscape show:
Required planting by HRD for ac of R&D use at trees/ac = shade trees (or equivalent)
Planting provided:
shade trees = E.S.T.
ornamental trees: = E.S.T.
evergreen trees (existing and proposed): = E.S.T.
- E.S.T. - Equivalent Shade Trees



APPROVED PLANNING BOARD OF HOWARD COUNTY
DATE: 9/5/98

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Date: 11/6/98
Date: 11/2/98



GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DES.	DRN.	CHK.	DATE	REVISION	RJW	APP'R
			12-09	ADDED 250 SF STORAGE AREA TO EXISTING BLDG		

OWNER:
The Columbia Association
1622 L Winsopin Circle
Suite 100
Columbia, Maryland 21044
Attn: Dennis Matthey

LANDSCAPE NOTES, DETAILS & SCHEDULES
Village of River Hill
Section 4 Area 2
Parcel 'Y'
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
	NT	98049
DATE	TAX MAP No.	SHEET
Oct. 1, 1998	34 935	3 of 3

GDP 98-12