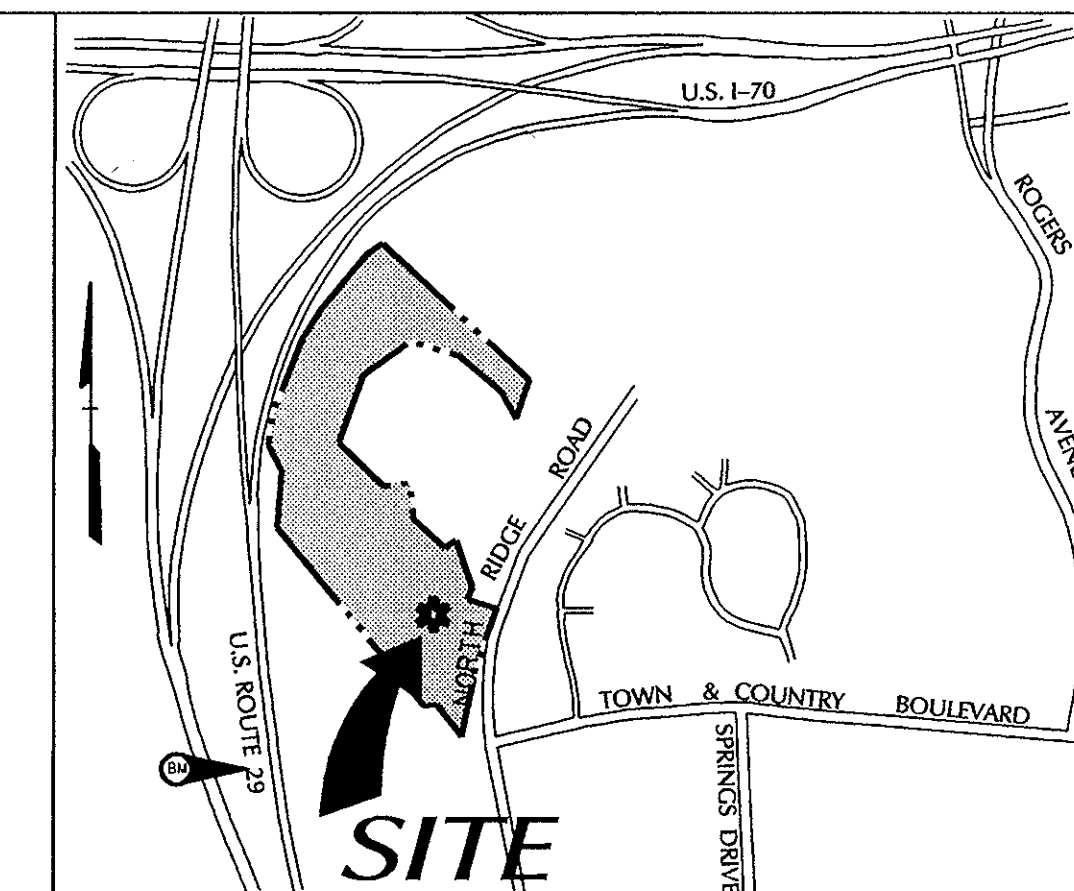


SHEET INDEX

SHEET	DESCRIPTION
1	COVER SHEET
2	SITE PLAN
3	UTILITY PLAN
4	LAYOUT AND PAVING PLAN
5	SITE DETAILS
6	SITE DETAILS
7	STORM DRAIN DRAINAGE AREA MAP
8	UTILITY PROFILES
9	UTILITY PROFILES
10	SEDIMENT AND EROSION CONTROL PLAN
11	SEDIMENT AND EROSION CONTROL DETAILS
12	SEDIMENT AND EROSION CONTROL DETAILS
13	LANDSCAPE PLAN

# SITE DEVELOPMENT PLAN FOR The Heartlands Retirement Community

## An Elderly Dementia Specific Facility



**LOCATION MAP**

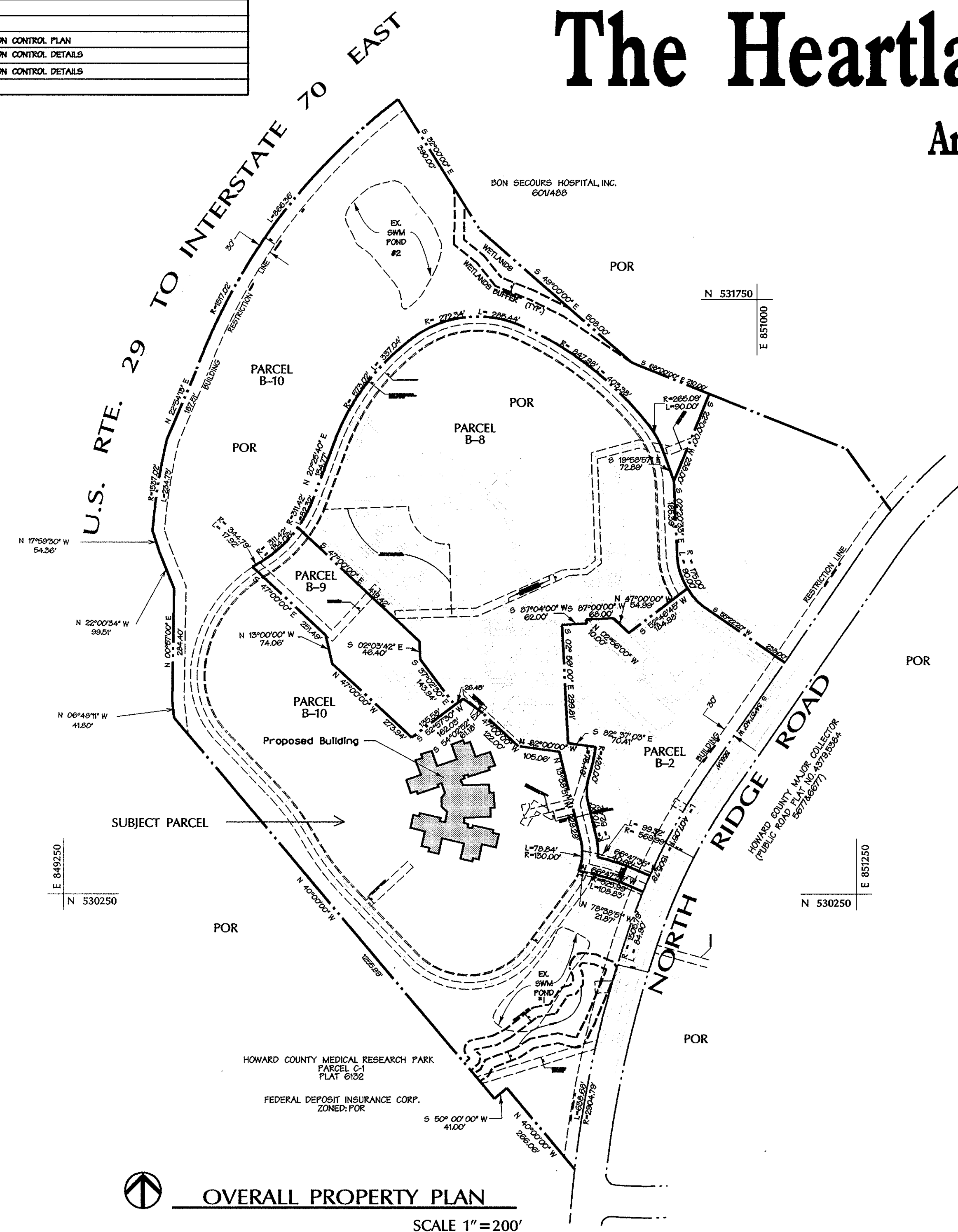
SCALE: 1" = 1000'

**BENCHMARK**

ELEVATION 489.067 CONTROL STATION 3342001  
BENCHMARK: HOWARD COUNTY, MARYLAND  
BEING A CONCRETE MONUMENT ON TOP OF HOGSBACK BETWEEN MD. RTE. 29 NORTH AND SOUTH, 4000'+ NORTH OF U.S. RTE. 40

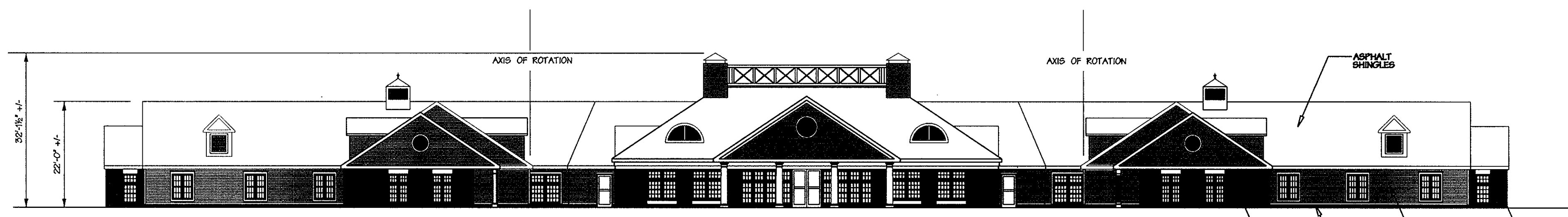
**ADDRESS CHART**

PARCEL NUMBER	STREET ADDRESS
PARCEL B-10	3010 NORTH RIDGE ROAD



**OVERALL PROPERTY PLAN**

SCALE 1" = 200'



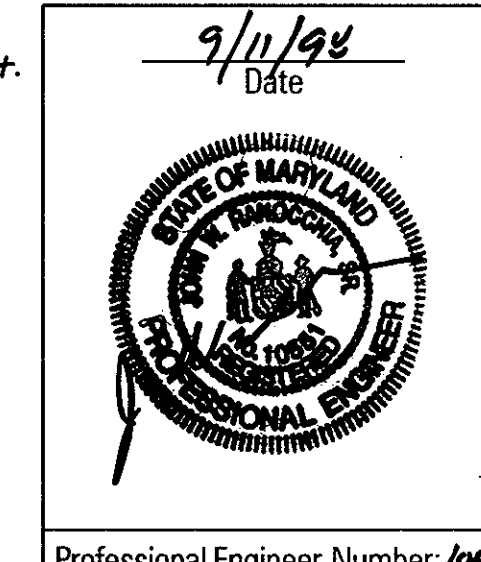
**NORTH ELEVATION  
NOT TO SCALE**

**General Notes**

- All construction shall be performed in accordance with the latest standards and specifications of Howard County, plus MSHA standards and specifications if applicable or as specified.
- Approximate location of existing utilities are shown from best available information. The contractor shall take all necessary precautions to protect the existing utilities and maintain uninterrupted service. Any damage incurred due to contractor's operation shall be repaired immediately at the contractor's expense.
- The contractor shall test pit existing utilities at least five (5) days before starting work shown on these drawings to verify their location and elevation. The contractor shall notify the engineer immediately if location of utilities is other than shown.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work being done, and shall notify the Department of Public Works/Bureau of Engineering/Construction Inspection Division at (410) 313-1880 at least five (5) working days prior to the start of work.
- Traffic control devices, markings, and signing shall be in accordance with the latest edition of the Manual of Uniform Traffic Control Devices (MUTCD). All street and regulatory signs shall be in place prior to the placement of any asphalt.
- All plan dimensions are to face of curb unless otherwise noted.
- There is no floodplain on this site.
- There are wetlands that exist in and around the SWM Pond #1. They have been field located and are shown on this site plan.
- Storm Water Quantity and Quality Management are provided on-site by an existing private Stormwater Management Pond (Pond #1 SDP 96-104).
- The Existing topography is taken from a field run survey with the two foot contour intervals prepared by Daft McCune Walker, Inc., dated March, 1998.
- All inlets shall be constructed in accordance with Howard County Standards or MSHA Standards as specified on structure schedule.
- Operating existing valves, switches, services or start up of new services shall be coordinated with the owner's representative.
- Required soil erosion and sedimentation control plans shall be provided, installed and maintained.
- Contractor shall carefully remove from the area to be disturbed all trees, shrubs and plant materials using procedures recommended by the American Nurseryman's Association so as to maximize the continual survival and health of the materials. These trees, shrubs and plant materials shall be transported to a designated location on the owner's property, and heeled into a mulch holding bed for future use by the owner in locations other than those involved in the contract work.
- Where demolition is indicated on the drawings, it means to completely demolish feature, clear area of all debris, and dispose of off-site at a legal dumpsite. Abandon means to leave in place and cut where required, and bulkhead all cut ends with a plug or cap, or construct a 9" thick brick and mortar bulkhead conforming to existing utility materials.
- Public water per Contract No.44-3537-D. Public sewer per Contract No. 44-1013-D.
- There are no known grave sites or cemeteries on this site.
- The coordinates shown hereon are based upon the Howard County geodetic control which is based upon the Maryland State plane coordination system. Howard County monument numbers 3443003 and 3342001 were used for this project.
- No traffic study is required for this project.
- See Architectural Plans for all building dimensions and building details.
- A waiver from the Howard County Design Manual, Vol.III, Roads and Bridges, to reduce the required 35 foot curb radii for a 90-degree intersection of a commercial driveway by Fig. 2.18 to a 25-foot curb radii was approved by Charles F. Dammers by a letter dated July 31, 1998.

SITE ANALYSIS DATA CHART	
<b>1. General Site Data</b>	
a. Present Zoning:	POR
b. Applicable DPZ File References:	F-79-03, S-81-24, SDP-96-104, SDP-97-51, F-82-09, F-82-76, F-86-77, F-97-85 PLAT NO. 6691-6693, WP 90-130, WP 98-83, WP 99-53
c. Proposed Use of Site or Structure(s):	ELDERLY DEMENTIA SPECIFIC FACILITY
d. Proposed Water and Sewer Systems:	Public: YES      Private: YES (WATER)
e. Any Other Information Which May be Relevant:	N/A
<b>2. Area Tabulation</b>	
a. Total Project Area:	30.88 Acres (PARCEL B-10)
(Indicate by Section and Area As Shown on Final Plat or As Shown on Deed)	
b. Net Area of Site:	30.88 Acres
(Indicate by Section and Area As Shown on Final Plat)	
c. Area of This Plan Submission:	14.0 Acres
d. Limit of Disturbed Area:	14.0 Acres
e. Building Coverage of Site:	0.72 Acres and 2.53 % of Gross Area (Proposed)
f. Maximum number of beds:	60
<b>4. Open Space Data</b>	
a. Open Space Required on Site:	N/A Acres      % of Gross Area of POR Area
b. Open Space Proposed:	N/A Acres      % of POR Area
<b>5. Parking Space Data</b>	
a. Floor Space on Each Level per Building(s) per Use:	34000 s.f. First Floor
b. Total number of proposed beds:	60
c. Number of Parking Spaces Required by Zoning Regulations:	1.0 space per 2 beds or 30 spaces
d. Total Number of Parking Spaces Provided On-Site:	41
e. Number of Handicapped Parking Spaces Provided:	2

22. Shared access is provided via 34' esmt. for loop road. Refer to plats # 9899 and # 12637.



Professional Engineer Number: 10557

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING	
<i>[Signature]</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	5/18/99 DATE
<i>[Signature]</i> CHIEF, DIVISION OF LAND DEVELOPMENT	5/11/99 DATE
<i>[Signature]</i> DIRECTOR	5/13/99 DATE

Date	No.

**The Heartlands Retirement Community**  
An Elderly Dementia Specific Facility  
Howard County, Maryland

OWNER /DEVELOPER  
THE HEARTLANDS RETIREMENT COMMUNITY - ELLICOTT CITY II, INC.  
c/o CONSTELLATION SENIOR SERVICES, INC.  
10400 LITTLE PATUXENT PARKWAY  
COLUMBIA, MARYLAND 21044

<b>DMW</b> Daft McCune Walker, Inc. 200 East Pennsylvania Avenue Towson, Maryland 21286 410) 296-5333 Fax 296-4705		A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals	
SUBDIVISION NAME Bon Secours Ho.Co. Health Park	SICRAPHIC # 21	LOT/FACILE # Parcel B-10	
PLAT # OR 17 12638-12638	BLOCK # 23	TOWNSHIP MAP 23	SECTION DISTRICT 2
WATER CODE F03	SEWER CODE 1454400	GENRES TRACT 6026	
<b>TITLE</b>			
<b>COVER SHEET</b>			
Des By ADL	Scale AS SHOWN	Proj. No. 81015P	
Drn By ADL	Date 5-6-98		1 of 13
Chk By JLS	Approved		


NOTE: SEE SHEET 10 OF 13 FOR THE PROPOSED GRADING OF THE ENTIRE SITE.

- LEGEND:**
- 500 --- EXISTING CONTOURS
  - 500 PROPOSED CONTOURS
  - EXISTING CURB AND GUTTER
  - PROPOSED STANDARD CURB AND GUTTER
  - PROPOSED BUILDING
  - PROPOSED RETAINING WALL
  - EX. 12" D. EXISTING STORM DRAIN
  - EX. 8" S. EXISTING SANITARY SEWER
  - EX. 8" W. EXISTING WATER
  - + 492.27 EXISTING SPOT ELEVATIONS
  - + 495.20 PROPOSED SPOT ELEVATIONS
  - + 495.20 BW BOTTOM OF WALL ELEVATION
  - + 495.20 TW TOP OF WALL ELEVATION
  - + 495.20 TC TOP OF CURB ELEVATION
  - FLOW ARROW
  - 6/4 DETAIL NO. SHEET NO.
  - UGE EXISTING UNDERGROUND ELECTRIC
  - CONCRETE SIDEWALK W/SCORING PATTERN
  - SIDEWALK EXPANSION JOINT
  - HANDICAP RAMP
  - PROPOSED TRAFFIC FLOW ARROW
  - PROPOSED CLEANOUT

NOTE:  
ALL PROPOSED SPOT ELEVATIONS ARE PAVEMENT OR GROUND ELEVATIONS UNLESS OTHERWISE NOTED (I.E. TC=TOP OF CURB, TW=TOP OF WALL AND BW=BOTTOM OF WALL)

REFERENCE DRAWINGS:  
SEE UTILITY PLAN SHEET 3 OF 13  
SEE LAYOUT AND PAVING PLAN SHEET 4 OF 13  
SEE LANDSCAPE PLAN SHEET 12 OF 13

9/1/98  
Date



Professional Engr. No. 10551

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

<i>Howard County</i>	5/4/99
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
<i>Cynthia Hamblet</i>	5/1/99
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
<i>James J. Scott</i>	5/13/98
DIRECTOR	DATE

Date	No.

**The Heartlands Retirement Community**  
An Elderly Dementia Specific Facility

HOWARD COUNTY, MARYLAND

OWNER / DEVELOPER:  
THE HEARTLANDS RETIREMENT COMMUNITY - ELLICOTT CITY II, INC.  
c/o CONSTELLATION SENIOR SERVICES, INC.  
10400 LITTLE PATUXENT PARKWAY  
COLUMBIA, MARYLAND 21044

**DMW**  
Duff McCreary-Walkers, Inc.  
200 East Pennsylvania Avenue  
Towson, Maryland 21286  
(410) 296-3333  
Fax 296-4705

A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

SUBDIVISION NAME Bon Secours Ho. Co. Health Park	SECTION/PARCEL 21	LOT/PARCEL # Parcel B-10
PLAT # OR L.P. 12338-12338	BLOCK # TOWNE 17	SECTION/DISTRICT 2
WATER CODE FD3	SEWER CODE 145440	GRID REFERENCE 6028

TITLE: **SITE PLAN**

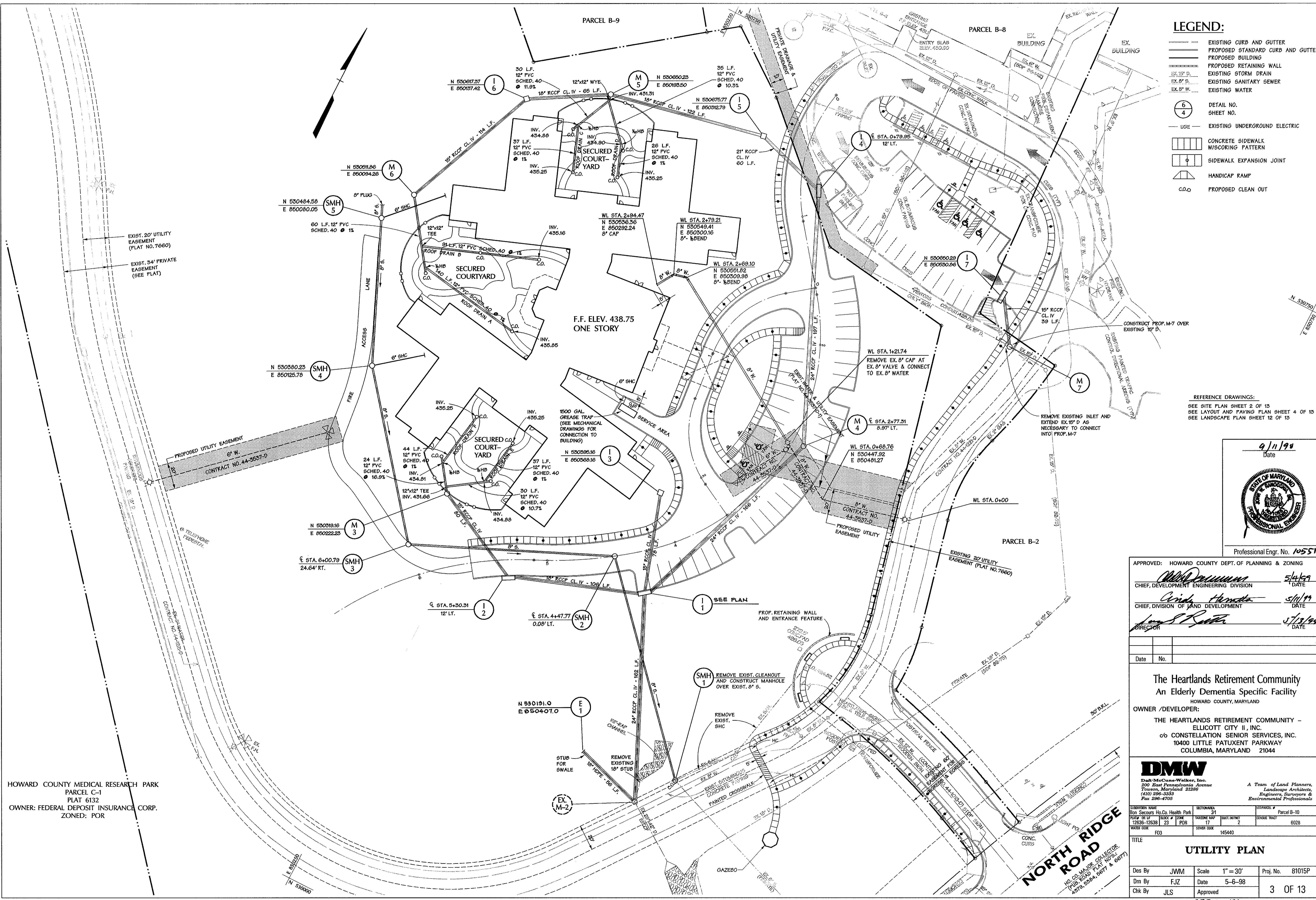
Des By DLW	Scale 1" = 30'	Proj. No. 81015P
Dm By FJZ	Date 5-6-98	2 OF 13
Chk By JLS	Approved	

SDP-98-131  
Thu Sep 10 13:38:15 1998 ds:81015P/81015P.spl

HOWARD COUNTY MEDICAL RESEARCH PARK  
PARCEL C-1  
PLAT 6132  
OWNER: FEDERAL DEPOSIT INSURANCE CORP.  
ZONED: POR



**NORTH RIDGE**  
HO CO W/WM COLLECTORY PIPE TO TPO PLAT NO. 2: 479, 594, 667, & 6677



- LEGEND:**
- EXISTING CURB AND GUTTER
  - PROPOSED STANDARD CURB AND GUTTER
  - PROPOSED BUILDING
  - PROPOSED RETAINING WALL
  - EX. 15" D. EXISTING STORM DRAIN
  - EX. 8" S. EXISTING SANITARY SEWER
  - EX. 8" W. EXISTING WATER
  - ⑥ ④ DETAIL NO. SHEET NO.
  - UGE --- EXISTING UNDERGROUND ELECTRIC
  - ▨ CONCRETE SIDEWALK W/SCORING PATTERN
  - ▨ SIDEWALK EXPANSION JOINT
  - ▨ HANDICAP RAMP
  - C.O. PROPOSED CLEAN OUT

**REFERENCE DRAWINGS:**  
 SEE SITE PLAN SHEET 2 OF 13  
 SEE LAYOUT AND PAVING PLAN SHEET 4 OF 13  
 SEE LANDSCAPE PLAN SHEET 12 OF 13

9/11/98  
Date

Professional Engr. No. 10551

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

<i>Howard County</i>	5/4/99
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
<i>Chris Thomas</i>	5/11/99
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
<i>James P. Rutter</i>	5/12/98
DIRECTOR	DATE

**The Heartlands Retirement Community**  
 An Elderly Dementia Specific Facility  
 HOWARD COUNTY, MARYLAND  
 OWNER /DEVELOPER:  
 THE HEARTLANDS RETIREMENT COMMUNITY - ELLICOTT CITY II, INC.  
 c/o CONSTELLATION SENIOR SERVICES, INC.  
 10400 LITTLE PATUXENT PARKWAY  
 COLUMBIA, MARYLAND 21044

**DMW**  
 Draft/McCann/Walker, Inc.  
 200 East Pennsylvania Avenue  
 Towson, Maryland 21286  
 (410) 286-3333  
 Fax 296-4705

A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

SUBDIVISION NAME	Bon Secours Ho Co. Health Park	SECTION/PARA	21	LOT/PARCEL #	Parcel B-10
PLAT OR REF. TO	BOOK # 17	TAXMAP NO.	17	SHEET/TRACT	2
WATER CODE	F03	SEWER CODE	145440	GENRES TRACT	6028

**UTILITY PLAN**

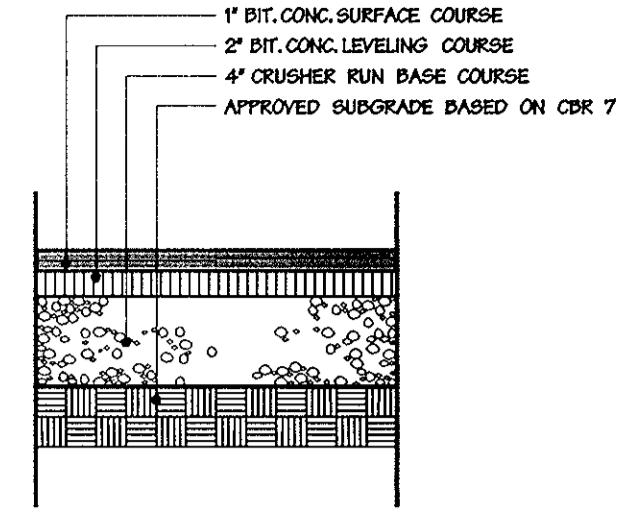
Des By	JWM	Scale	1" = 30'	Proj. No.	81015P
Drn By	FJZ	Date	5-6-98		
Chk By	JLS	Approved			3 OF 13

SDP-88-131  
 Thu Sep 10 13:39:18 1998 d:\81015p\81015p.sp2

HOWARD COUNTY MEDICAL RESEARCH PARK  
 PARCEL C-1  
 PLAT 6132  
 OWNER: FEDERAL DEPOSIT INSURANCE CORP.  
 ZONED: POR

**NORTH RIDGE**  
 HO. CO. MAJOR COLLECTOR  
 (TUB. ROAD PLAT 1105, 459, 538, 7, 9677 & 6877)

For Use In Parking and Specified Travel Lanes (Non-Loading Areas)

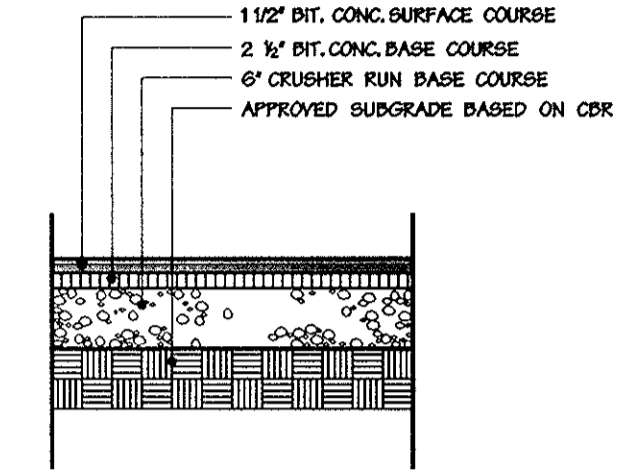


NOT TO SCALE

LIGHT DUTY PAVING P-2

(1)

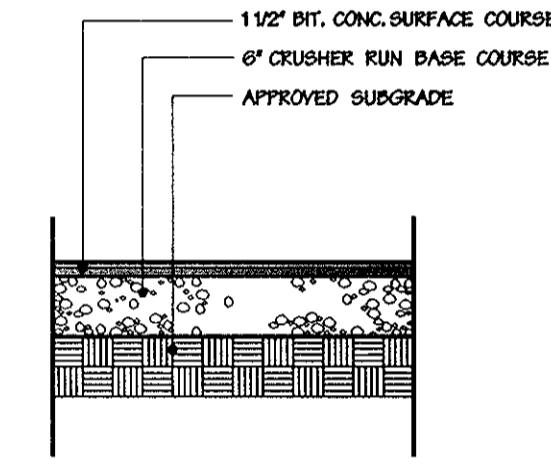
For Use In Loading Areas and Specified Travel Lanes



NOT TO SCALE

HEAVY DUTY PAVING P-3

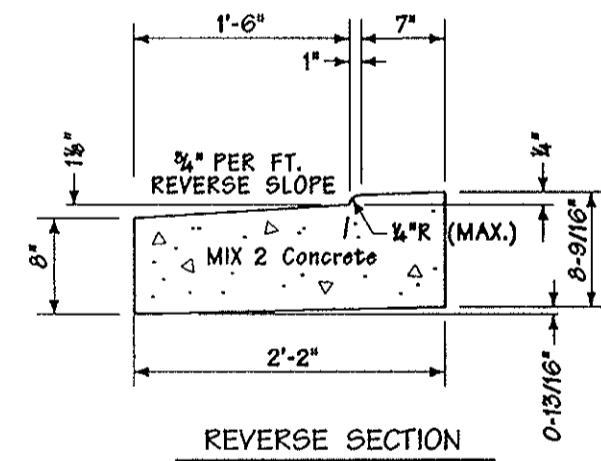
(2)



NOT TO SCALE

FIRE ACCESS LANE PAVING

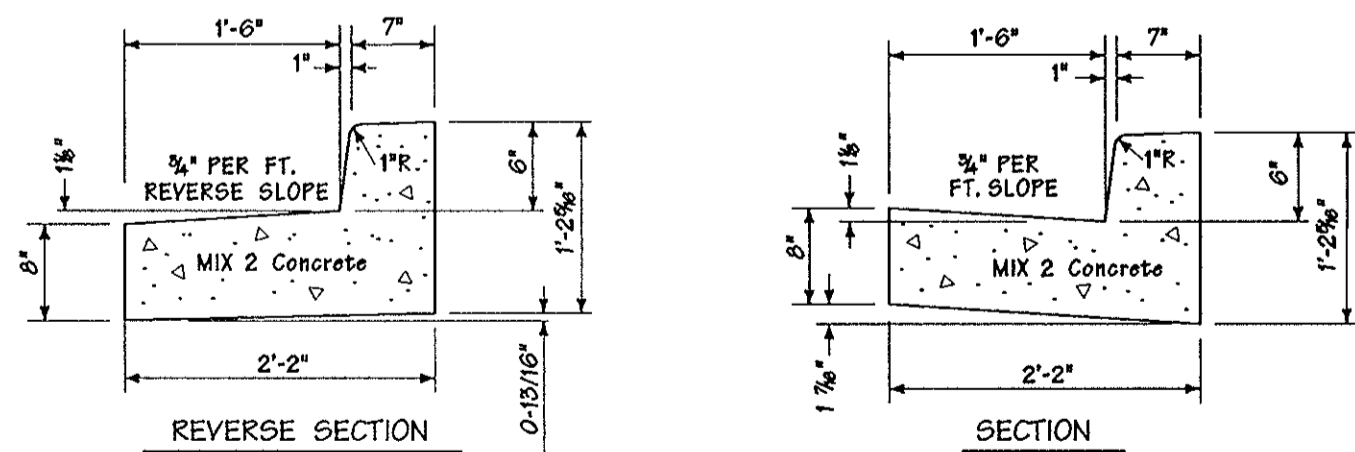
(3)



NOT TO SCALE

DEPRESSED CURB

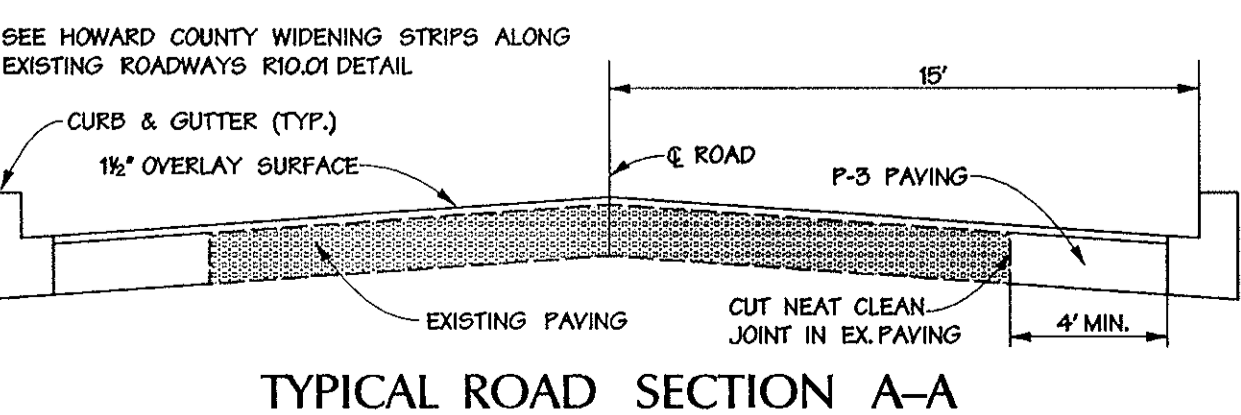
(4)



NOT TO SCALE

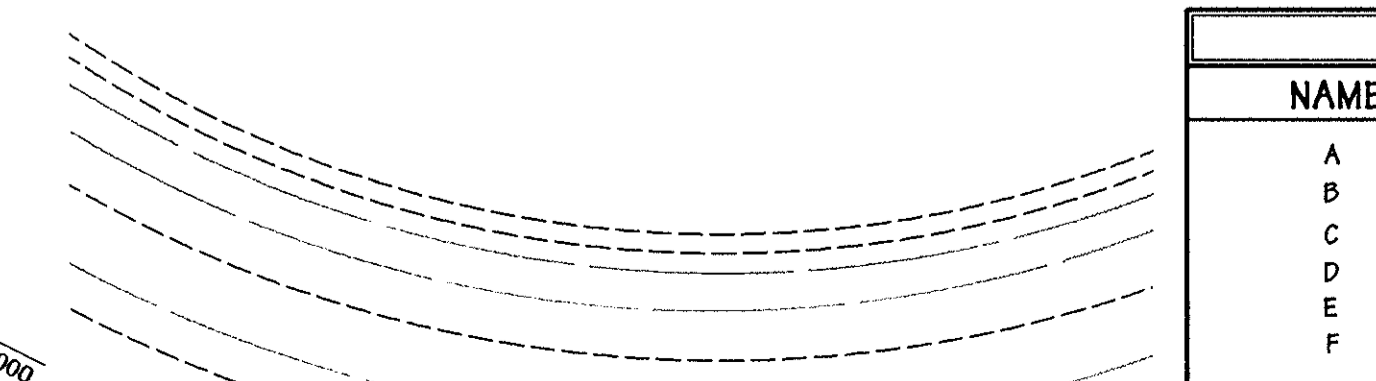
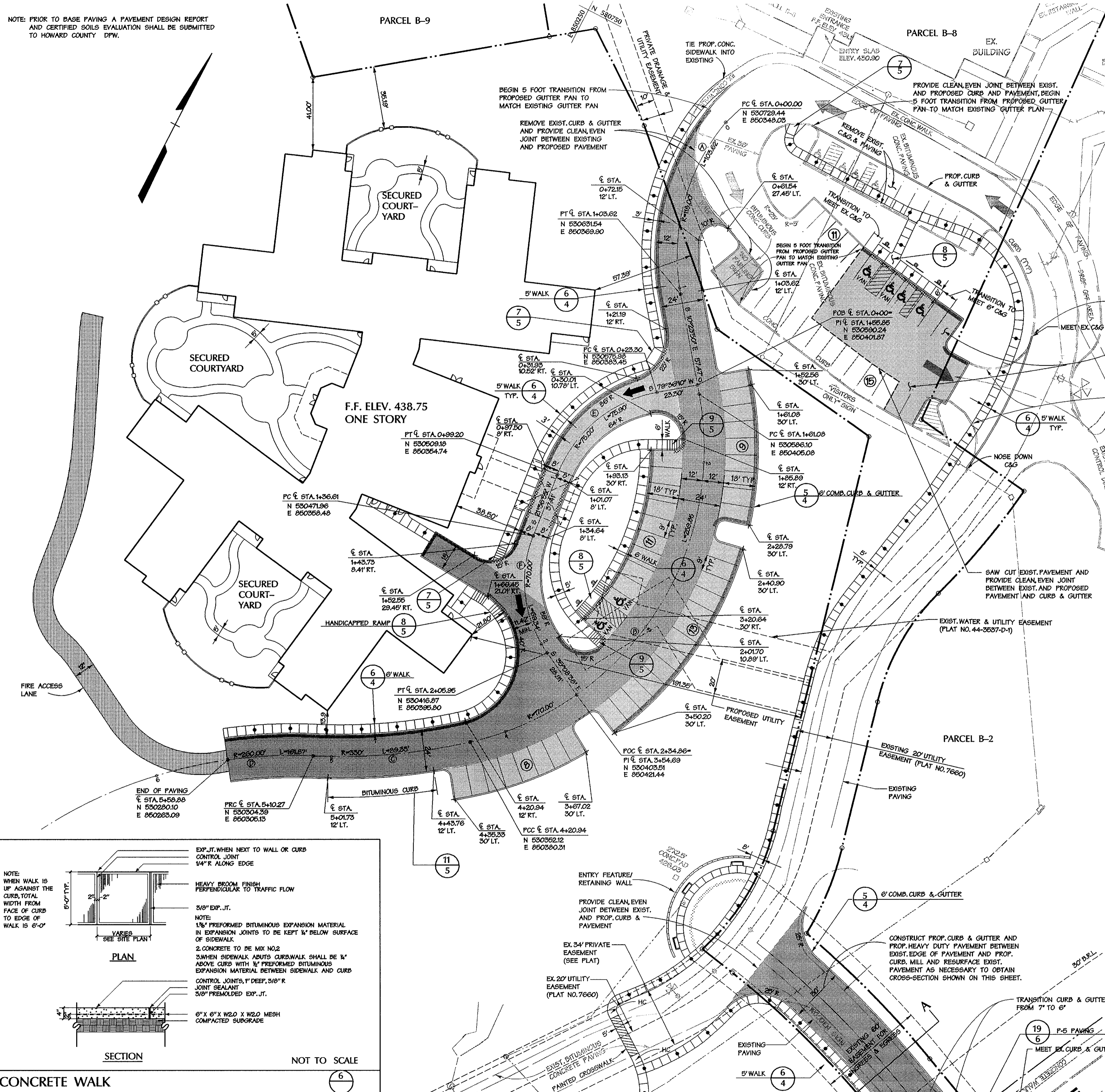
6" REVERSE CURB AND GUTTER

(5)



TYPICAL ROAD SECTION A-A

NOTE: PRIOR TO BASE PAVING A PAVEMENT DESIGN REPORT AND CERTIFIED SOILS EVALUATION SHALL BE SUBMITTED TO HOWARD COUNTY DPW.



NOT TO SCALE

CONCRETE WALK

(6)

CURVE DATA					
NAME	DELTA	RADIUS	LENGTH	TANGENT	CHORD
A	50°18'41"	118.00'	103.62'	55.42'	S 12°35'28" E 100.32'
B	87°34'47"	170.00'	258.85'	162.37'	S 06°02'35" W 235.29'
C	15°30'34"	330.00'	89.33'	44.94'	S 57°35'15" W 89.06'
D	35°40'18"	260.00'	161.87'	83.66'	S 47°30'23" W 159.27'
E	57°59'07"	75.00'	75.90'	41.56'	S 23°15'37" W 72.70'
F	56°45'39"	70.00'	69.35'	37.82'	S 34°06'46" E 66.55'

LEGEND

- PROPOSED CURB & GUTTER
- PROPOSED REVERSE CURB & GUTTER
- PROPOSED DEPRESSED CURB & GUTTER
- LIGHT DUTY PAVING
- HEAVY DUTY PAVING
- FIRE ACCESS LANE
- P-5 PAVING
- CONCRETE SIDEWALK W/SCORING PATTERN
- SIDEWALK EXPANSION JOINT
- DETAIL NO.
- SHEET NO.
- SAW CUT LINE AND/OR LIMIT OF PAVEMENT REMOVAL
- PROPOSED TRAFFIC FLOW ARROW

NOTE: ALL CURB FILLET RADII SHALL BE 6' UNLESS OTHERWISE NOTED.

9/11/98 Date



Professional Engr. No. 10551

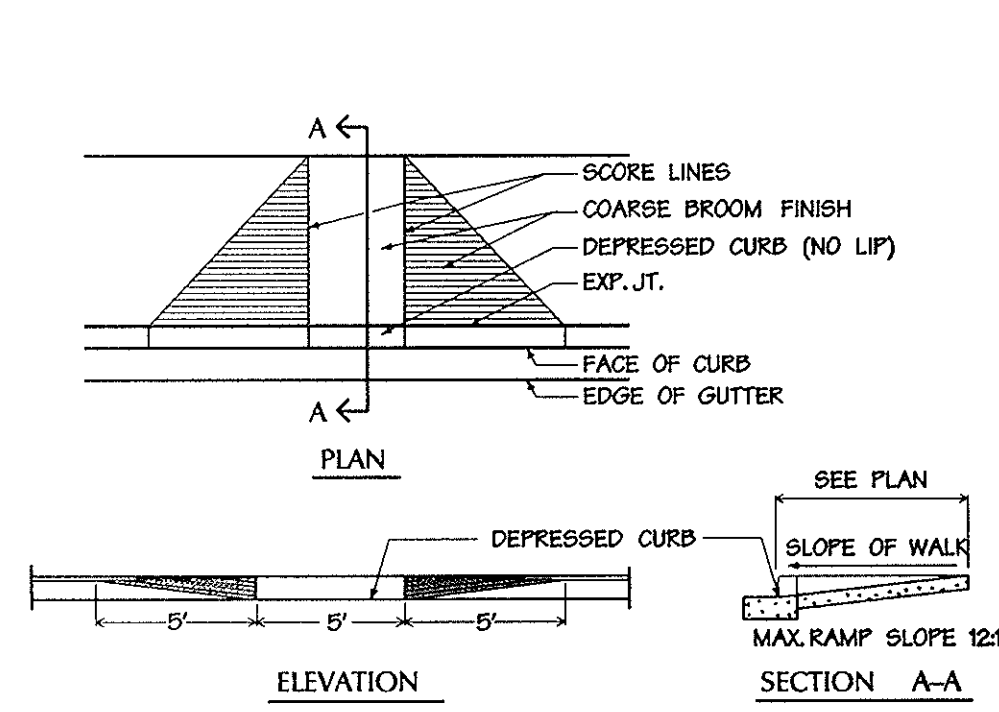
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 Chief, Engineering Division  
 Chief, Division of Land Development  
 Director

The Heartlands Retirement Community  
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 10400 LITTLE PATUXENT PARKWAY  
 COLUMBIA, MARYLAND 21044

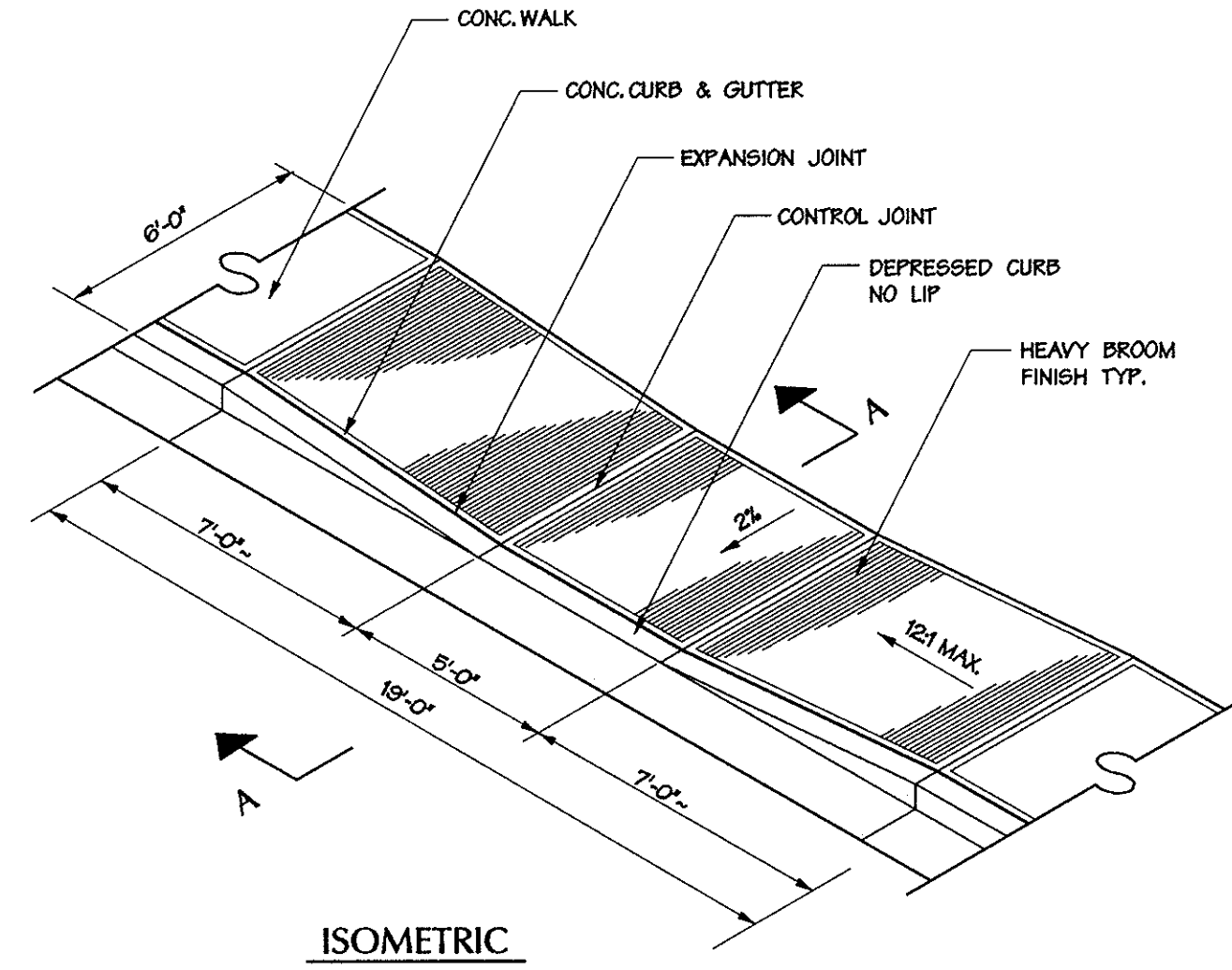
**DMW**  
 A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

**LAYOUT & PAVING PLAN**

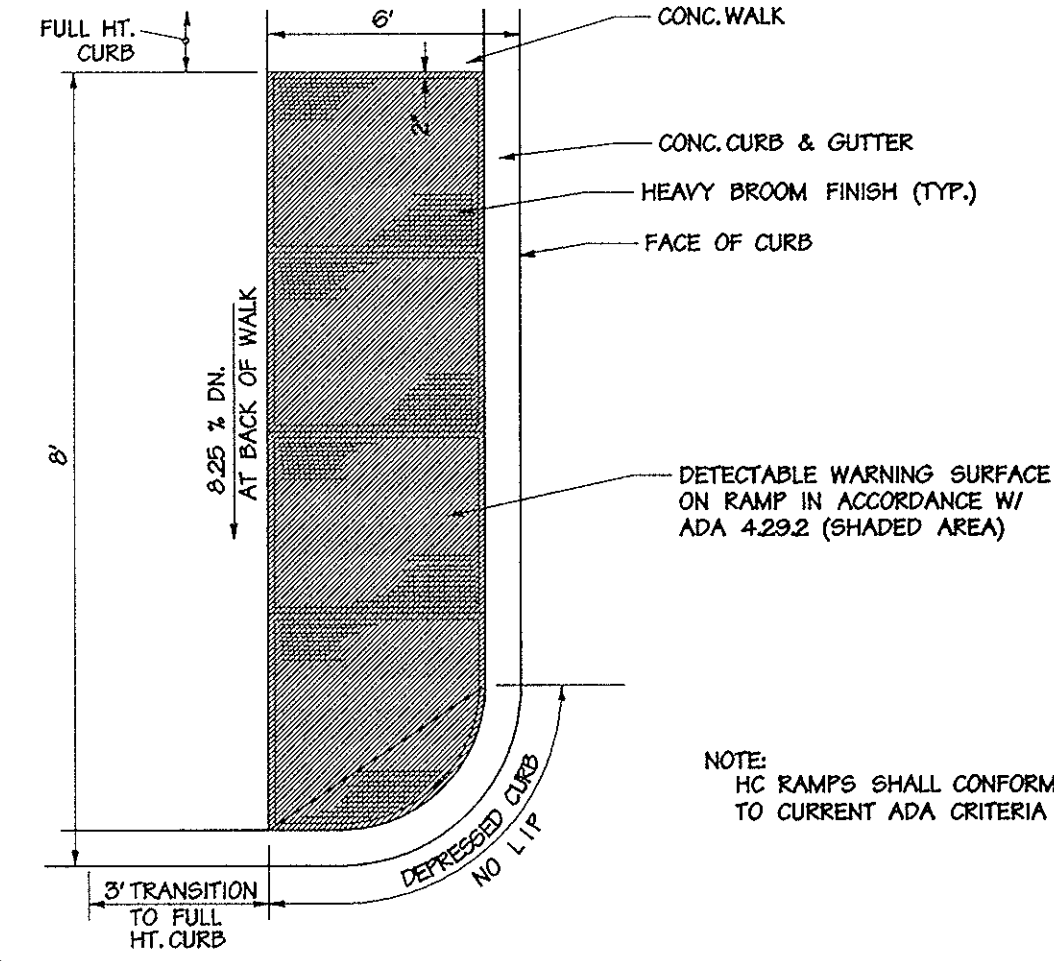
Des By DLW Scale 1" = 30' Proj. No. 81015P  
 Dm By FJZ Date 5-6-98  
 Chk By JLS Approved 4 OF 13



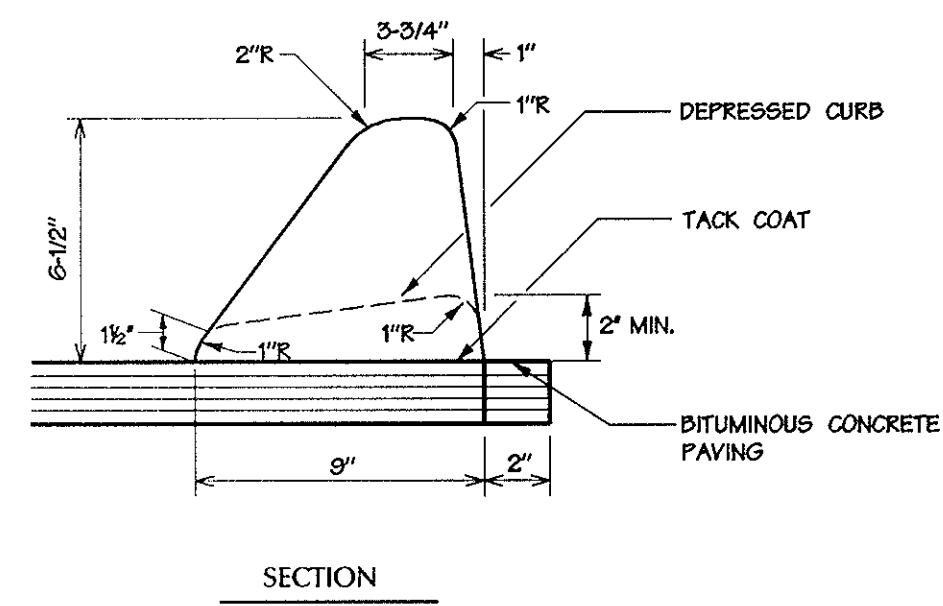
7 HANDICAPPED RAMP  
NOT TO SCALE



8 HANDICAPPED RAMP  
NOT TO SCALE



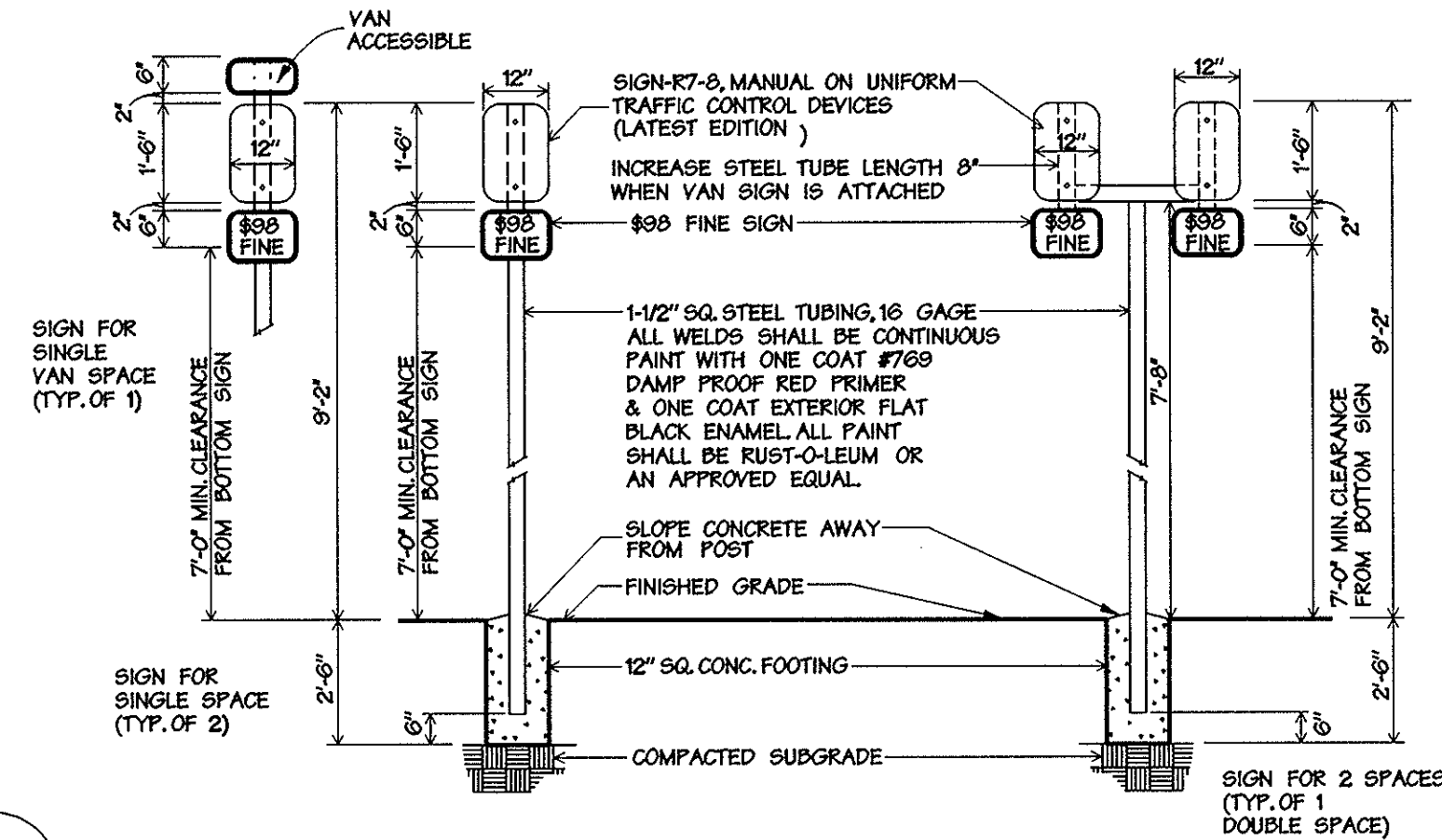
9 HANDICAPPED RAMP TYPE D  
NOT TO SCALE



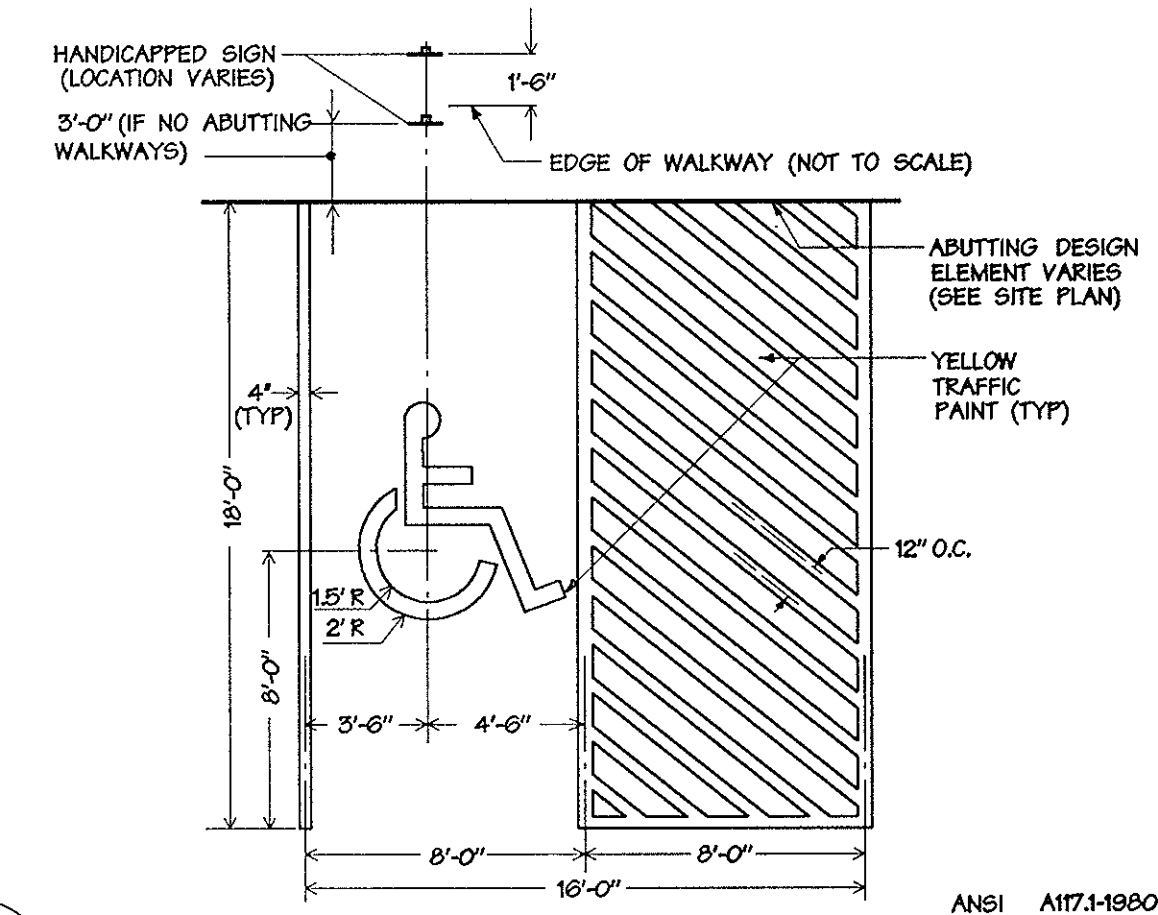
11 STANDARD BITUMINOUS CURB  
NOT TO SCALE

NOTES  
1. DISTANCE FROM GROUND TO BOTTOM OF SIGN SHALL BE 7 FEET.  
2. SEE HANDICAPPED PARKING SPACE DETAILS SHEET FOR LOCATION OF HANDICAPPED SIGN.  
3. SPACE MARKED "V" SHALL INCLUDE "VAN SIGN" AS REQUIRED.

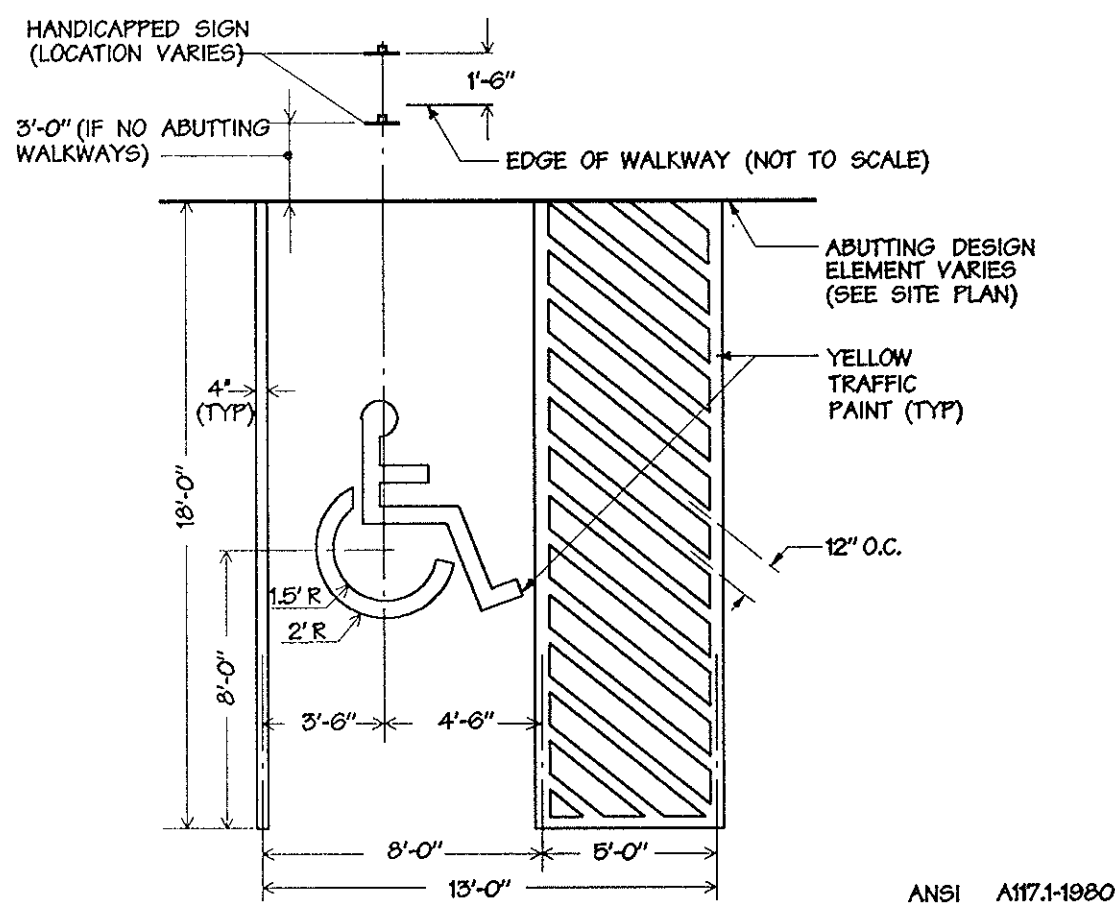
SIGN COLORS  
LETTERS AND BORDER - GREEN  
WHITE H.C. SYMBOLS ON BLUE BACKGROUND  
BACKGROUND - WHITE



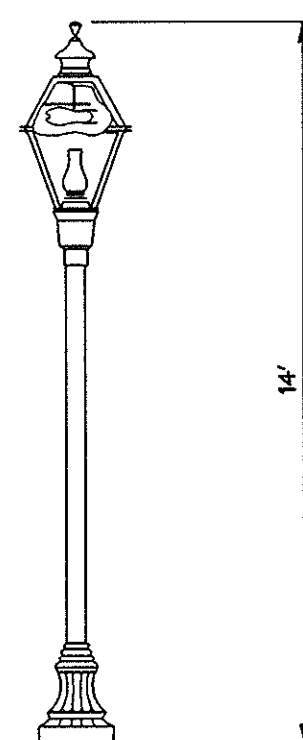
12 HANDICAPPED SIGN  
NOT TO SCALE



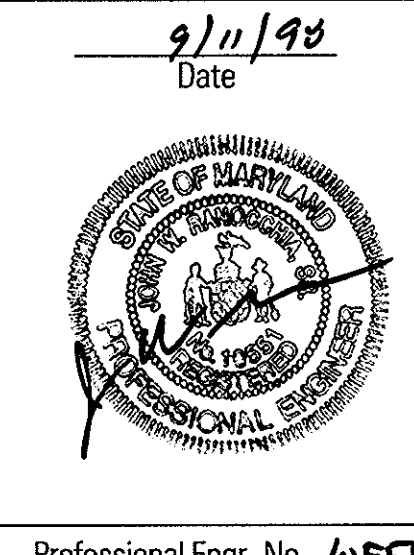
13 HANDICAPPED PARKING SPACE (VAN)  
NOT TO SCALE



14 HANDICAPPED PARKING SPACE  
NOT TO SCALE



15 LIGHT POLE AND FIXTURE  
NOT TO SCALE



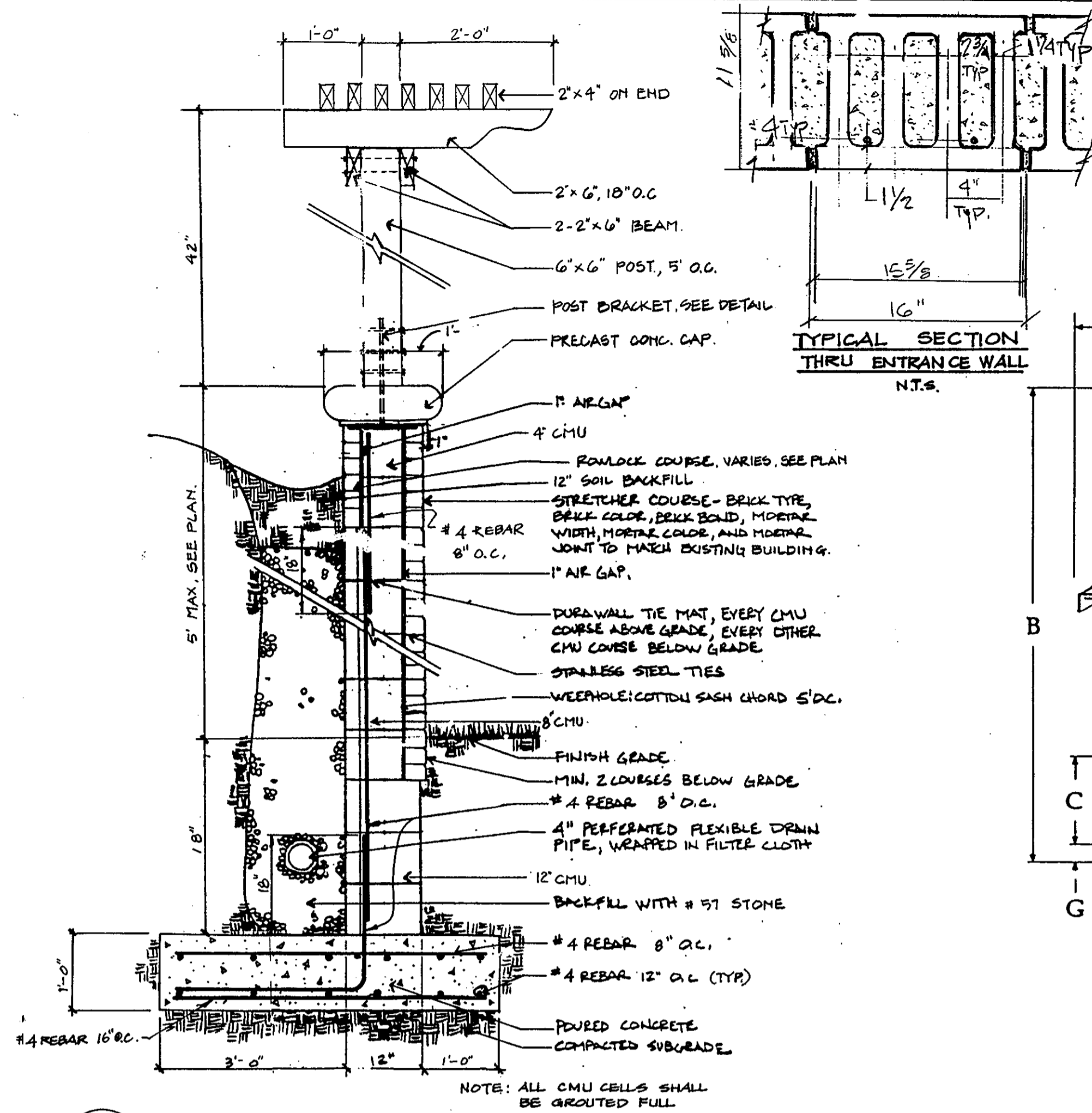
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 DIRECTOR

DATE: 5/14/99  
 DATE: 5/11/99  
 DATE: 5/13/99

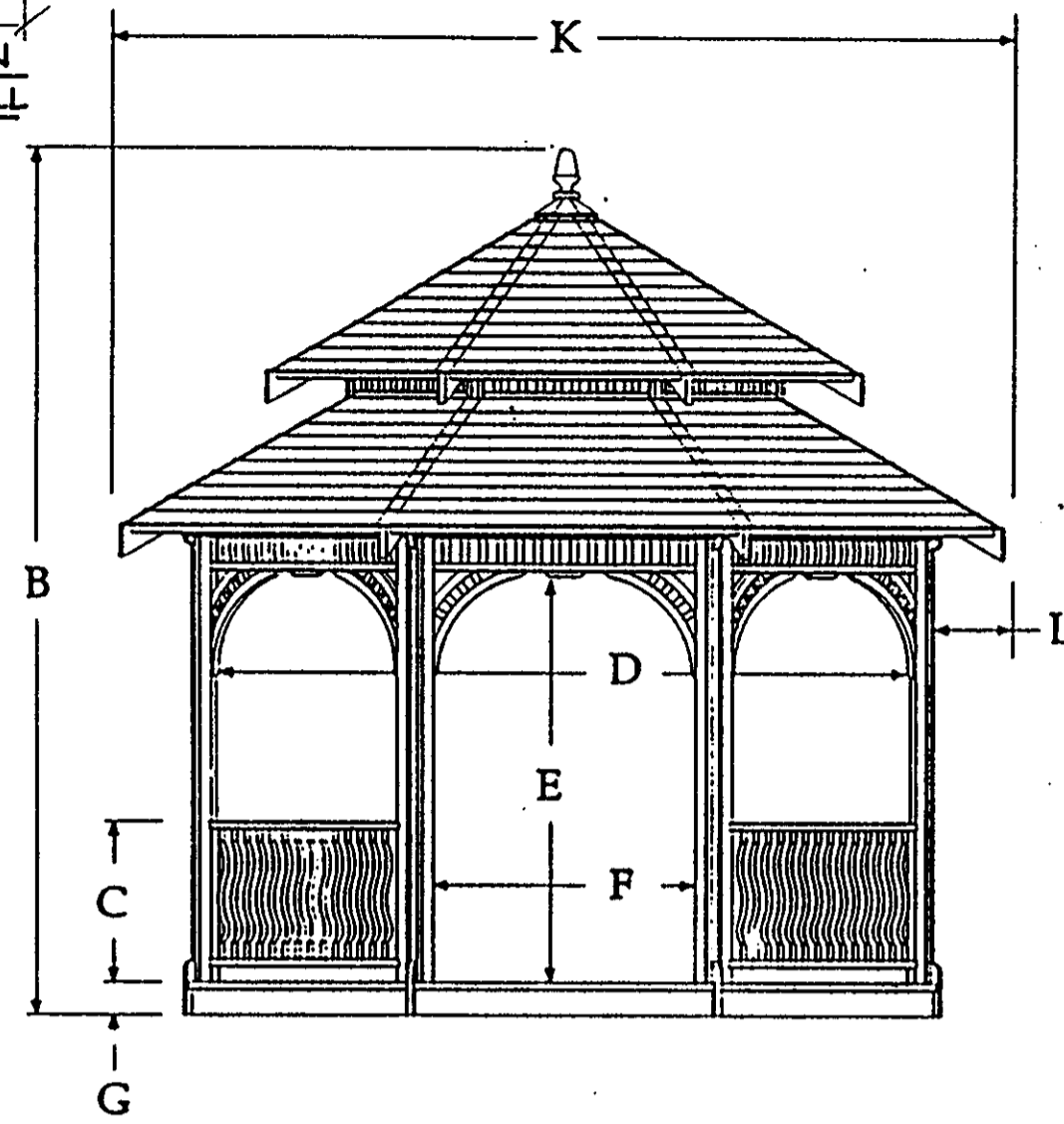
The Heartlands Retirement Community  
 An Elderly Dementia Specific Facility  
 HOWARD COUNTY, MARYLAND  
 OWNER /DEVELOPER:  
 THE HEARTLANDS RETIREMENT COMMUNITY -  
 ELLICOTT CITY II, INC.  
 c/o CONSTELLATION SENIOR SERVICES, INC.  
 10400 LITTLE PATUXENT PARKWAY  
 COLUMBIA, MARYLAND 21044

SUBDIVISION NAME Bon Secours Ho.Co. Health Park		SECTION/AREA 2/1	DISPATCH #
PLAT OR LOT 12636-12638	BLOCK # 23	TAXING MAP 17	PARCEL # Parcel B-10
WATER CODE F03	SEWER CODE 145440	BLK SURVEY 2	SUBS TRACT 6028

SITE DETAILS			
Des By	DLW	Scale	1" = 30'
Drn By	ADL	Date	5-6-98
Chk By	JLS	Approved	5 OF 13

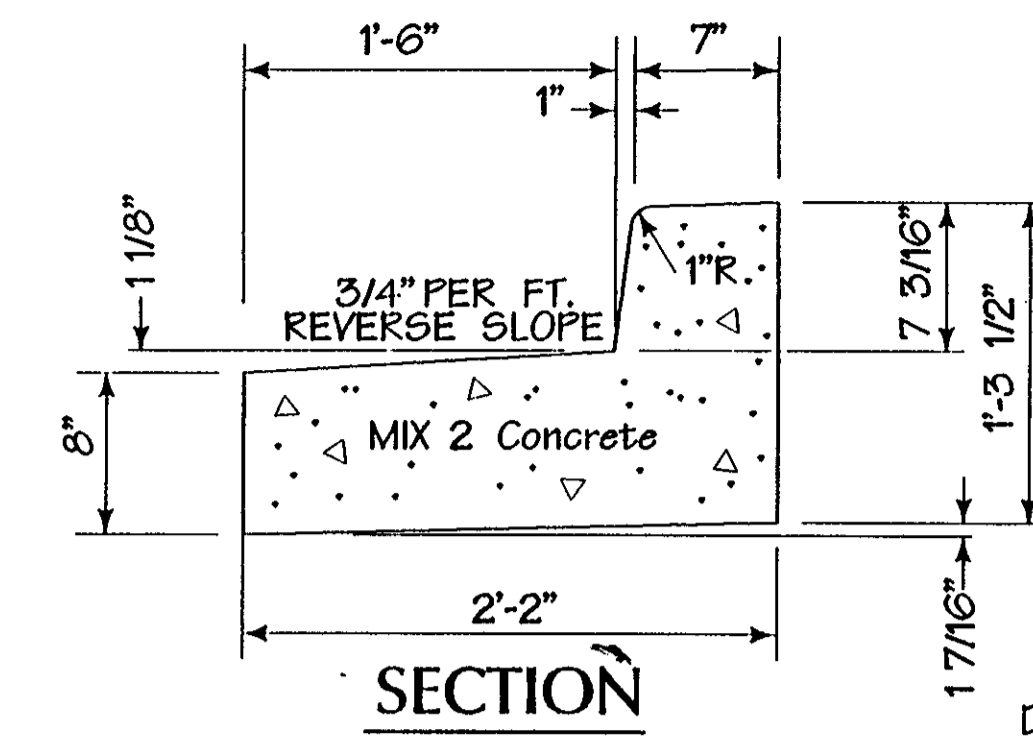


TYPICAL SECTION THRU ENTRANCE WALL N.T.S.

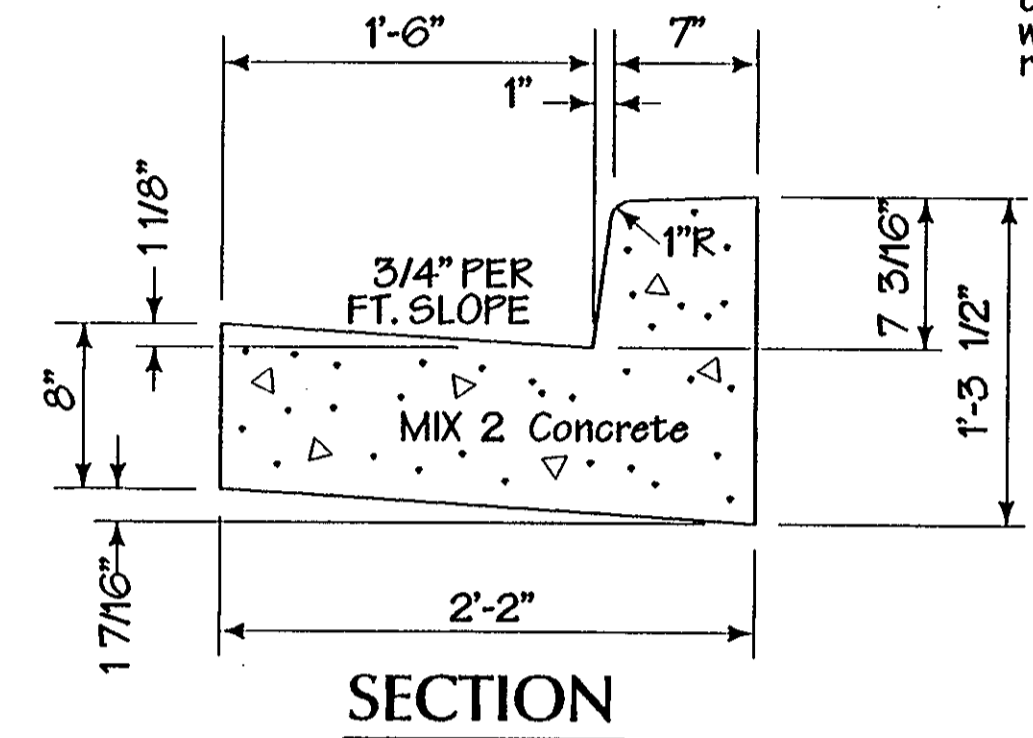


	11"
A	155"
B	174"
C	36"
D	114"
E	79"
F	42"
G	6.5"
H	123"
I	50"
J	133"
K	147"
L	12"

17 GAZEBO NOT TO SCALE



SECTION

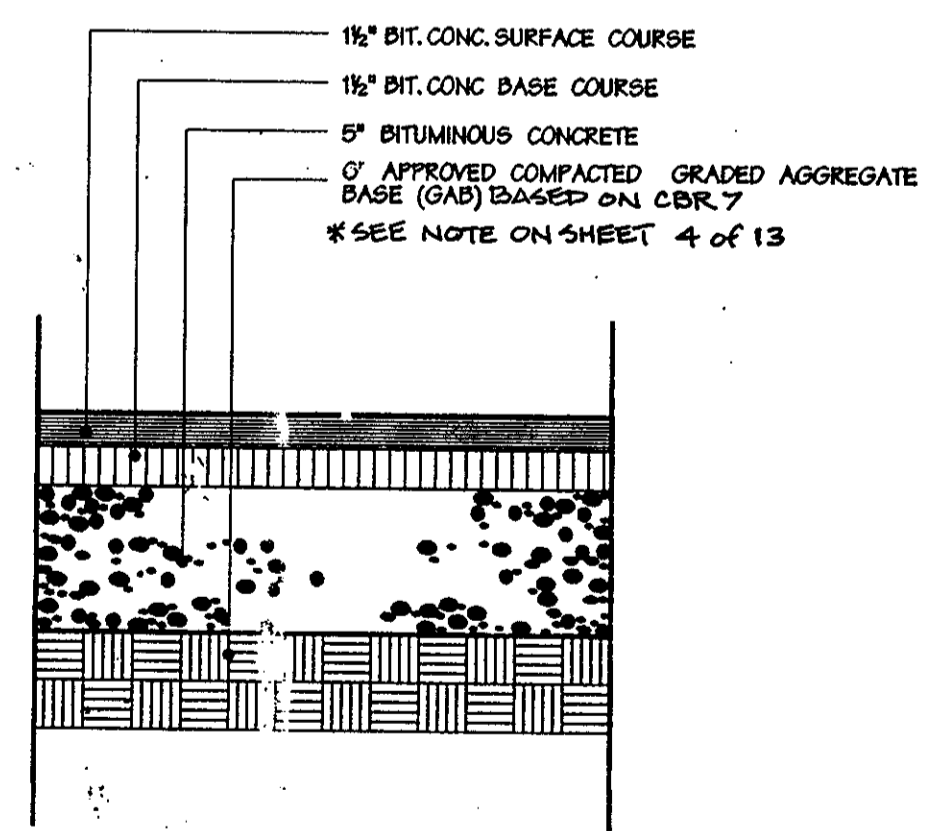


SECTION

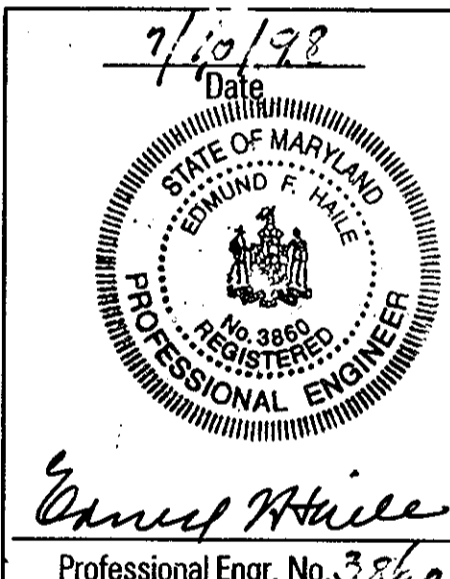
DESIGN NOTES:  
Alternate mountable cement concrete curb sections may be used where sidewalks are not currently required or reasonably anticipated.

18 7" COMBINATION CURB AND GUTTER NOT TO SCALE

16 ENTRANCE WALL NOT TO SCALE



19 P-5 PAVING NOT TO SCALE



APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
*[Signature]* 5/4/99  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE  
*[Signature]* 5/1/99  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE  
*[Signature]* 5/1/99  
 DIRECTOR DATE

Date No.  
 The Heartlands Retirement Community  
 An Elderly Dementia Specific Facility  
 HOWARD COUNTY, MARYLAND  
 OWNER /DEVELOPER:  
 THE HEARTLANDS RETIREMENT COMMUNITY -  
 ELLICOTT CITY II, INC.  
 c/o CONSTELLATION SENIOR SERVICES, INC.  
 10400 LITTLE PATUXENT PARKWAY  
 COLUMBIA, MARYLAND 21044

**DMW**  
 DeRocco-Caine-Walker, Inc.  
 200 East Pennsylvania Avenue  
 Towson, Maryland 21286  
 (410) 296-5535  
 Fax 296-4705  
 A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

SUBDIVISION NAME		SECTION/AREA		OFFICIAL #	
Ron Secours Ho Co. Health Park		21		Parcel B-10	
TRACT OR LOT	BLK. & TRCE	PLAT/REF MAP	TRCE/BLK	BLK. ACRES	BLK. TRACT
12636-12638	23	POR	17	2	6028
WATER CODE	F03	SEWER CODE	M5440		

TITLE  
**SITE DETAILS**

Des By	DLW	Scale	1" = 30'	Proj. No.	81015P
Dm By	ADL	Date	5-6-98		
Chk By	JLS	Approved			



**LEGEND**

- 210 --- EXISTING CONTOUR
- 210 — PROPOSED CONTOUR
- ULTIMATE DRAINAGE AREA LINE
- AC- C D.A. ZONE
- % IMPERVIOUS

NOTE: ALL SOILS IN DRAINAGE AREAS TO PROPOSED STORM DRAINS ARE HYDROLOGIC GROUP B.

9/11/99  
Date

Professional Engr. No. 10551

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING	
<i>William</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	5/14/99 DATE
<i>Cinda Hanetta</i> CHIEF, DIVISION OF LAND DEVELOPMENT	5/11/99 DATE
<i>James</i> DIRECTOR	5/12/99 DATE

Date	No.

**The Heartlands Retirement Community**  
An Elderly Dementia Specific Facility  
HOWARD COUNTY, MARYLAND

OWNER / DEVELOPER:  
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ELLCOTT CITY II, INC.  
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10400 LITTLE PATUXENT PARKWAY  
COLUMBIA, MARYLAND 21044


**DMW**  
Dart-McCune-Walker, Inc.  
200 East Pennsylvania Avenue  
Towson, Maryland 21286  
(410) 296-5353  
Fax: 296-4705

A Team of Land Planners,  
Landscape Architects,  
Engineers, Surveyors &  
Environmental Professionals

SUBDIVISION NAME Bon Secours Ho. Co. Health Park	SECTION/AREA 21	OFFICIAL # Parcel B-10
PLAT # OF 12338-12338	BLOCK # 23	TAX MAP 17
WATER CODE F03	SEWER CODE 145440	LOT # 2
		DEVELOPER TRACT 6028

<b>TITLE</b>			
<b>STORM DRAIN DRAINAGE AREA MAP</b>			
Des By	JWM	Scale	1" = 50'
Proj. No.	81015P	Date	5-6-98
Drn By	ADL	Approved	
Chk By	JLS	7	OF 13

**PART I - GENERAL NOTES**

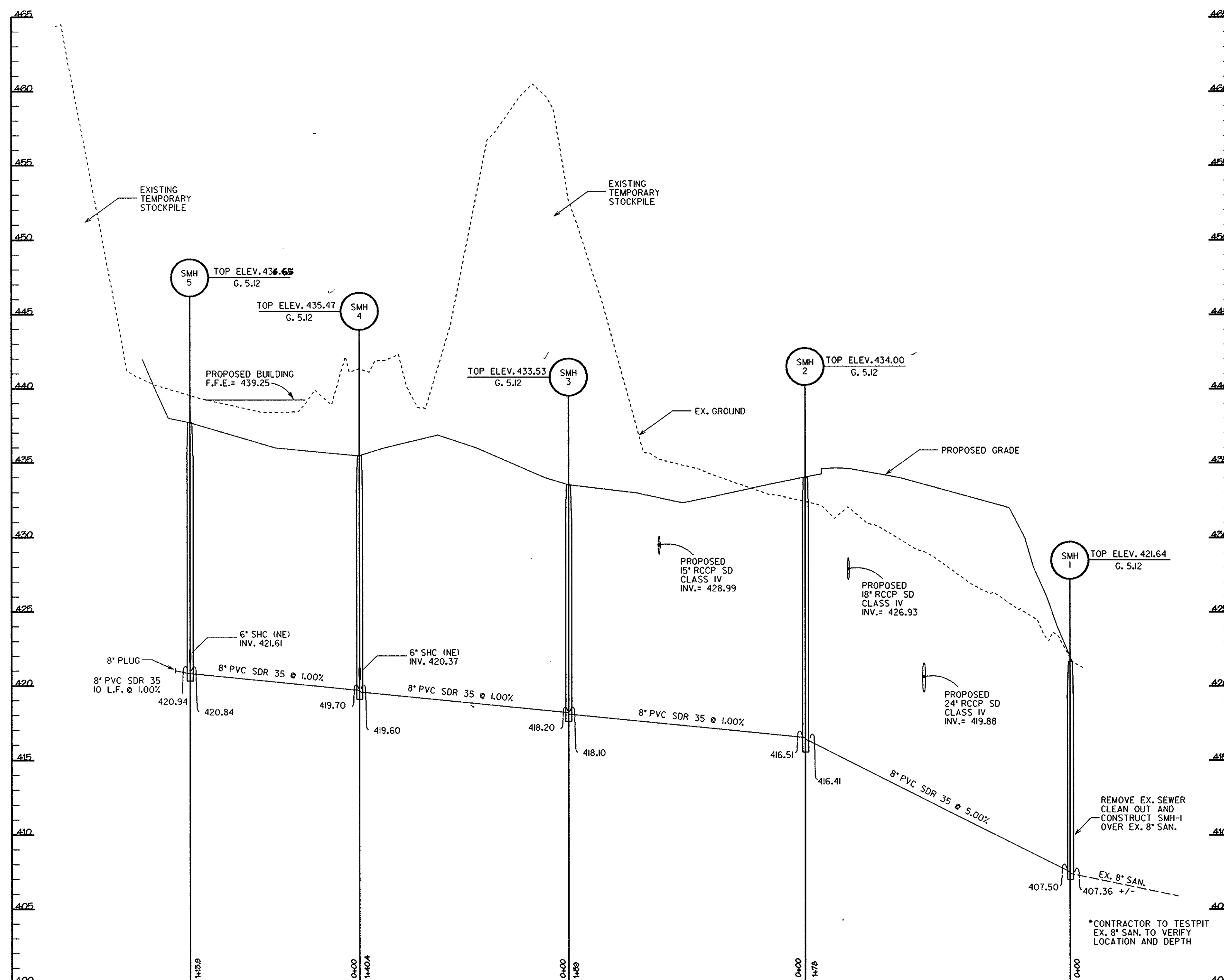
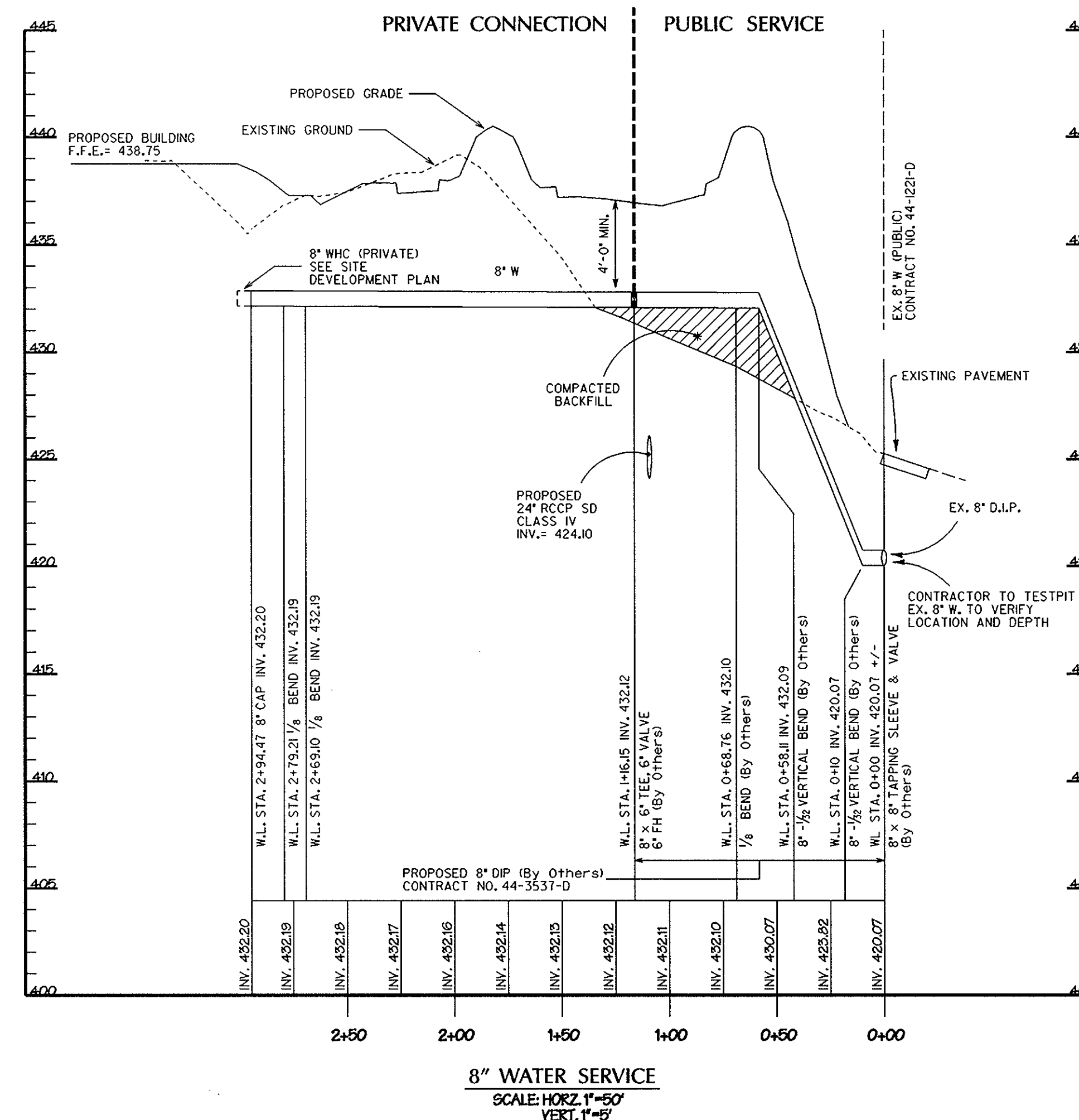
- APPROXIMATE LOCATION OF EXISTING MAINS ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING MAINS AND SERVICES AND MAINTAIN UNINTERRUPTED SUPPLY. ANY DAMAGE INCURRED SHALL BE REPAIRED IMMEDIATELY TO THE SATISFACTION OF THE ENGINEER AT THE CONTRACTOR'S EXPENSE.
- ALL HORIZONTAL CONTROLS ARE BASED ON MARYLAND STATE COORDINATES.
- ALL VERTICAL CONTROLS ARE BASED ON U.S.G.S. DATA.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- CLEAR ALL UTILITIES BY A MINIMUM OF 12 INCHES.
- FOR DETAILS NOT SHOWN ON THE DRAWINGS, AND FOR MATERIALS AND CONSTRUCTION METHODS, USE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION. THE CONTRACTOR SHALL HAVE A COPY OF VOLUME IV ON THE JOB.
- WHERE TEST PITS HAVE BEEN MADE ON EXISTING UTILITIES, THEY ARE NOTED BY THE SYMBOL  AT THE LOCATION OF THE TEST PIT. A NOTE OR NOTES CONTAINING THE RESULTS OF THE TEST PIT OR PITS IS INCLUDED ON THE DRAWINGS. EXISTING UTILITIES IN THE VICINITY OF THE PROPOSED WORK FOR WHICH TEST PITS HAVE NOT BEEN DUG SHALL BE VERIFIED BY THE CONTRACTOR TO HIS OWN SATISFACTION. ANY DAMAGE TO EXISTING FACILITIES DUE TO THE CONTRACTOR'S NEGLIGENCE SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE PLANS:  
STATE HIGHWAY ADMINISTRATION - 410-531-5533  
BALTIMORE GAS & ELECTRIC CO. - CONTRACTOR SERVICES 410-561-2585  
BALTIMORE GAS & ELECTRIC CO. UNDERGROUND DAMAGE CONTROL - 410-234-5621  
BALTIMORE GAS & ELECTRIC CO. TROUBLE SHOOTING - 410-298-9013  
MISS UTILITY - 1-800-257-7777  
COLONIAL PIPELINE CO. - 410-795-1390  
BUREAU OF UTILITIES, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS - 410-313-4900
- TREES AND SHRUBS ARE TO BE PROTECTED FROM DAMAGE TO MAXIMUM EXTENT. TREES AND SHRUBS LOCATED WITHIN THE CONSTRUCTION STRIP ARE NOT TO BE REMOVED OR DAMAGED BY THE CONTRACTOR.
- CONTRACTOR SHALL REMOVE TREES, STUMPS AND ROOTS ALONG LINE OF EXCAVATION. PAYMENT FOR SUCH REMOVAL SHALL BE INCLUDED IN THE UNIT PRICE BID FOR CONSTRUCTION OF THE MAIN.
- THE CONTRACTOR SHALL NOTIFY THE BUREAU OF HIGHWAYS, HOWARD COUNTY, AT 410-313-2450 AT LEAST FIVE (5) WORKING DAYS BEFORE ANY OPEN CUT OF ANY COUNTY ROAD OR BORING/JACKING OPERATION IN COUNTY ROADS FOR LAYING WATER/SEWER MAINS OR HOUSE CONNECTIONS. THE APPROVAL OF THESE DRAWINGS WILL CONSTITUTE COMPLIANCE WITH DPW REQUIREMENTS PER SECTION 18.141(a) OF THE HOWARD COUNTY CODE.

**PART II - WATER**


- ALL WATER MAINS TO BE D.J.P. CLASS 52 UNLESS OTHERWISE NOTED.
- TOPS OF ALL WATER MAINS TO HAVE A MINIMUM OF 3'-1/2" COVER UNLESS OTHERWISE NOTED.
- VALVES ADJACENT TO TEES SHALL BE STRAPPED TO TEES.
- ALL FITTINGS SHALL BE BUTTRESSED OR ANCHORED WITH CONCRETE IN ACCORDANCE WITH THE STANDARD DETAILS UNLESS OTHERWISE PROVIDED FOR ON THE DRAWINGS.
- FIRE HYDRANTS SHALL BE SET TO THE BURY LINE ELEVATIONS SHOWN ON THE DRAWINGS. ALL FIRE HYDRANTS SHALL BE STRAPPED AND BUTTRESSED WITH CONCRETE IN ACCORDANCE WITH STANDARD DETAILS. SOIL AROUND THE FIRE HYDRANT SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 1003 OF THE STANDARD SPECIFICATIONS.
- THE CONTRACTOR SHALL NOT OPERATE ANY WATER MAIN VALVES ON THE EXISTING WATER SYSTEM.
- ALL WATER HOUSE CONNECTIONS SHALL BE FOR INSIDE METER SETTING, UNLESS OTHERWISE NOTED ON THE PLANS OR IN THE SPECIFICATIONS.
- ALL D.J.P. FITTINGS SHALL BE IN ACCORDANCE WITH A.W.W.A. SPECIFICATION C-153 DUCTILE IRON COMPACT FITTINGS, 3 INCH THROUGH 12 INCH FOR WATER AND OTHER LIQUIDS.
- ALL EXISTING VALVES TO BE CLOSED WHEN CONNECTION TO THE SYSTEM IS MADE.

**PART III - SEWER**

- ALL SEWER MAINS SHALL BE C.S.P.X., R.C.S.P., V.C.P.X., A.C.P. CLASS 2400 OR P.V.C. UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL PROVIDE A JOINT IN ALL SEWER MAINS WITHIN 2'-0" OF EXTERIOR MANHOLE WALL.
- ALL MANHOLES SHALL BE 4'-0" INSIDE DIAMETER UNLESS OTHERWISE NOTED.
- FORCE MAINS SHALL BE D.J.P. ONLY.
- MANHOLES SHOWN WITH 12" AND 16" WALLS ARE FOR BRICK MANHOLES ONLY. MANHOLES DESIGNATED W.T. IN PLAN AND PROFILE SHALL HAVE WATERTIGHT FRAME AND COVERS, STANDARD DETAIL G5.52. WHERE WATERTIGHT MANHOLE FRAME AND COVER IS USED, SET TOP OF FRAME 1'-6" ABOVE FINISHED GRADE UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- HOUSE(S) WITH THE SYMBOL \*C.N.S.\* INDICATES THAT CELLAR CANNOT BE SERVED.



9/11/99  
Date



Professional Engr. No. 10551

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*[Signature]* 5/14/99  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 5/11/99  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 5/15/99  
DIRECTOR DATE

**The Heartlands Retirement Community**  
An Elderly Dementia Specific Facility  
HOWARD COUNTY, MARYLAND

OWNER /DEVELOPER:  
THE HEARTLANDS RETIREMENT COMMUNITY -  
ELLCOTT CITY II, INC.  
c/o CONSTELLATION SENIOR SERVICES, INC.  
10400 LITTLE PATUXENT PARKWAY  
COLUMBIA, MARYLAND 21044

**DMW**  
Duff McCreary-Walker, Inc.  
300 East Pennsylvania Avenue  
Towson, Maryland 21286  
(410) 296-3555  
Fax 296-4705

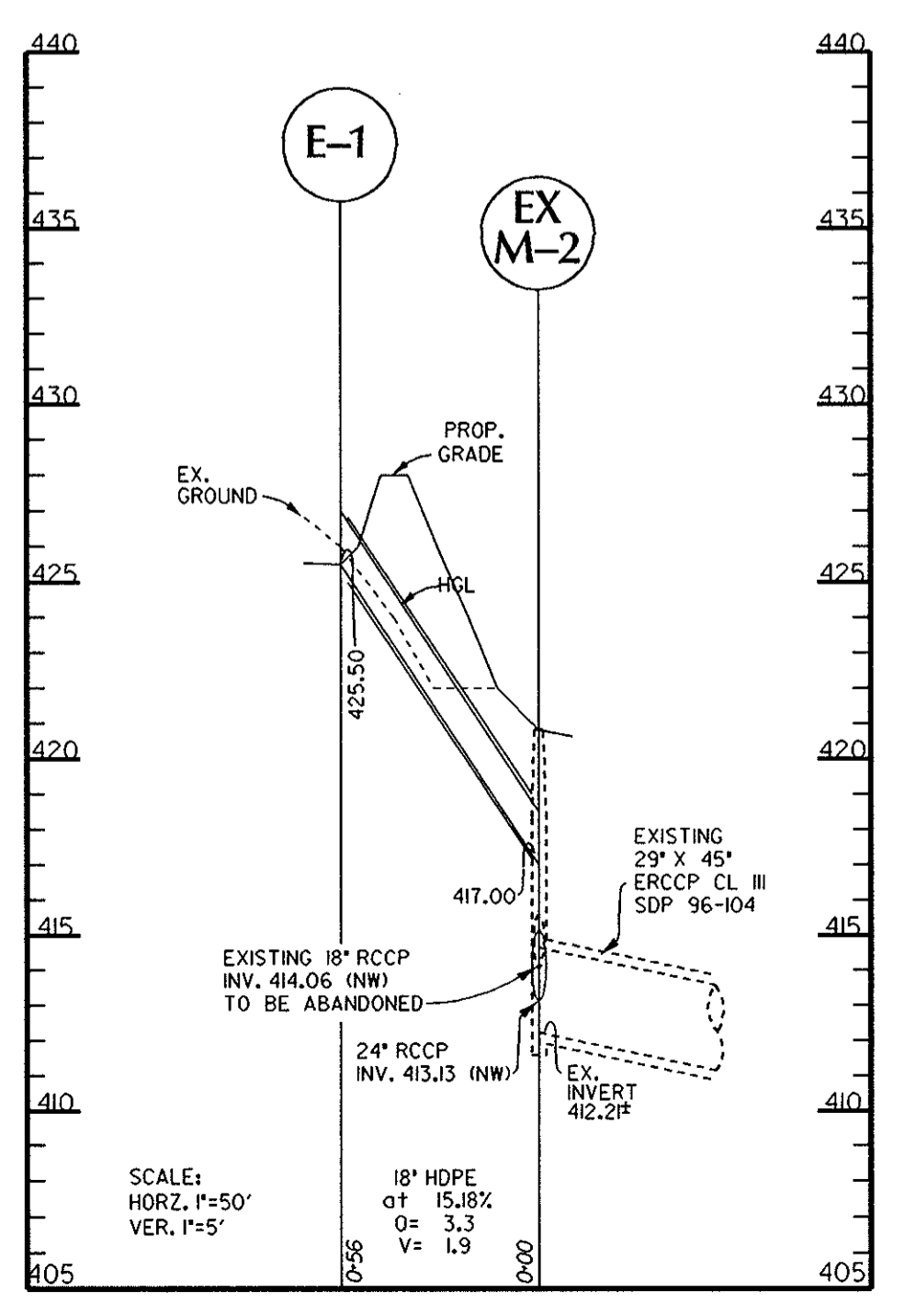
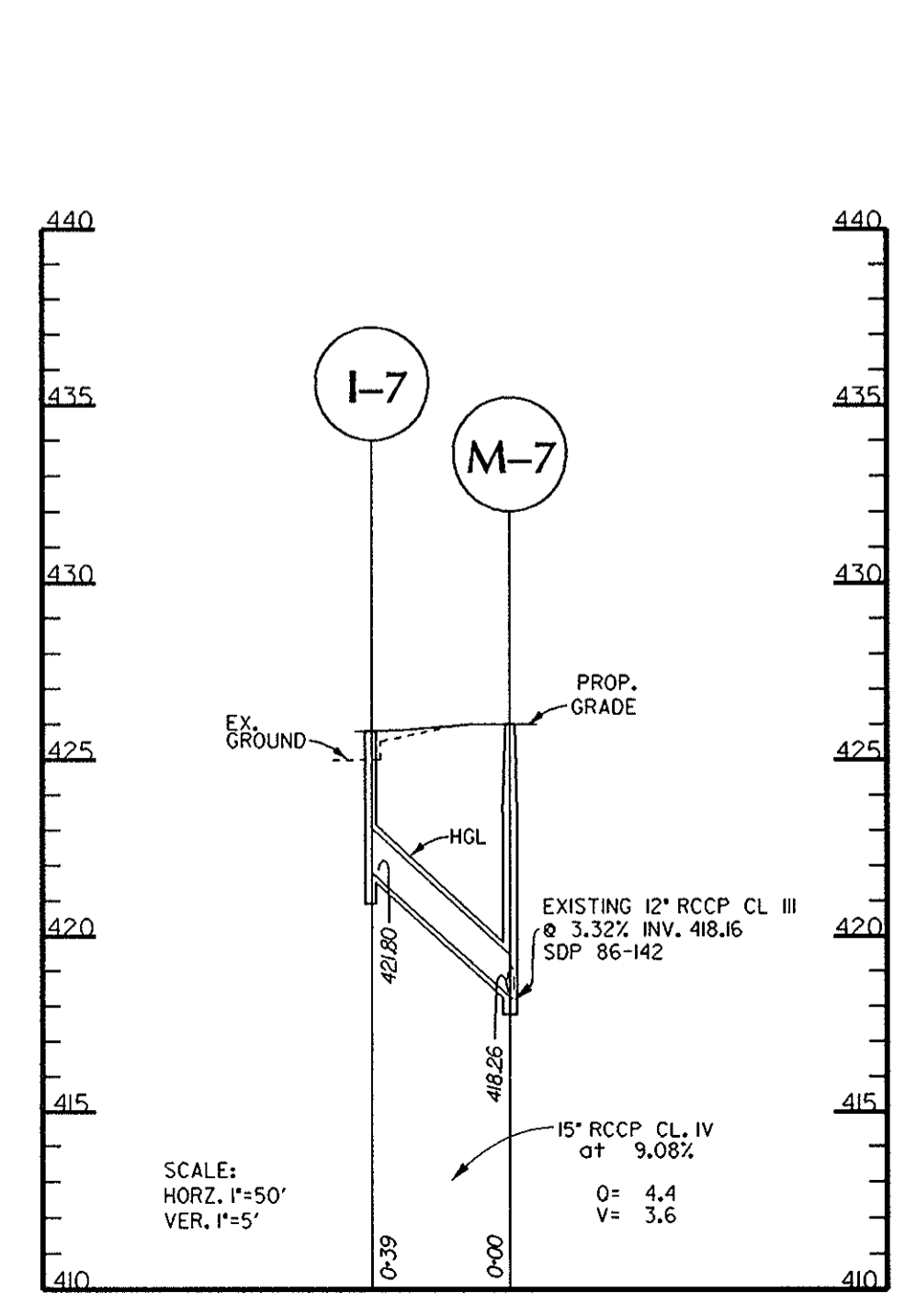
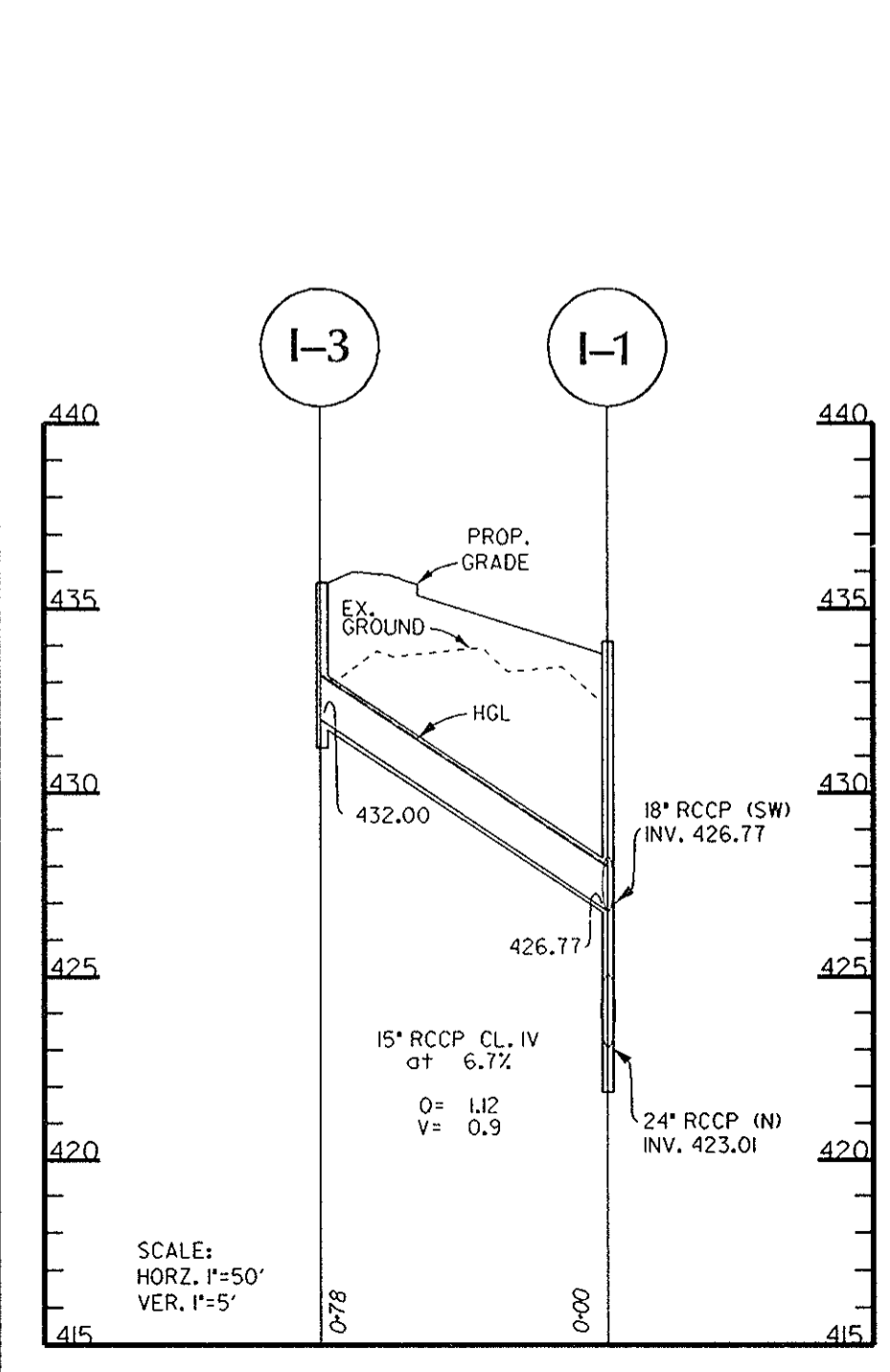
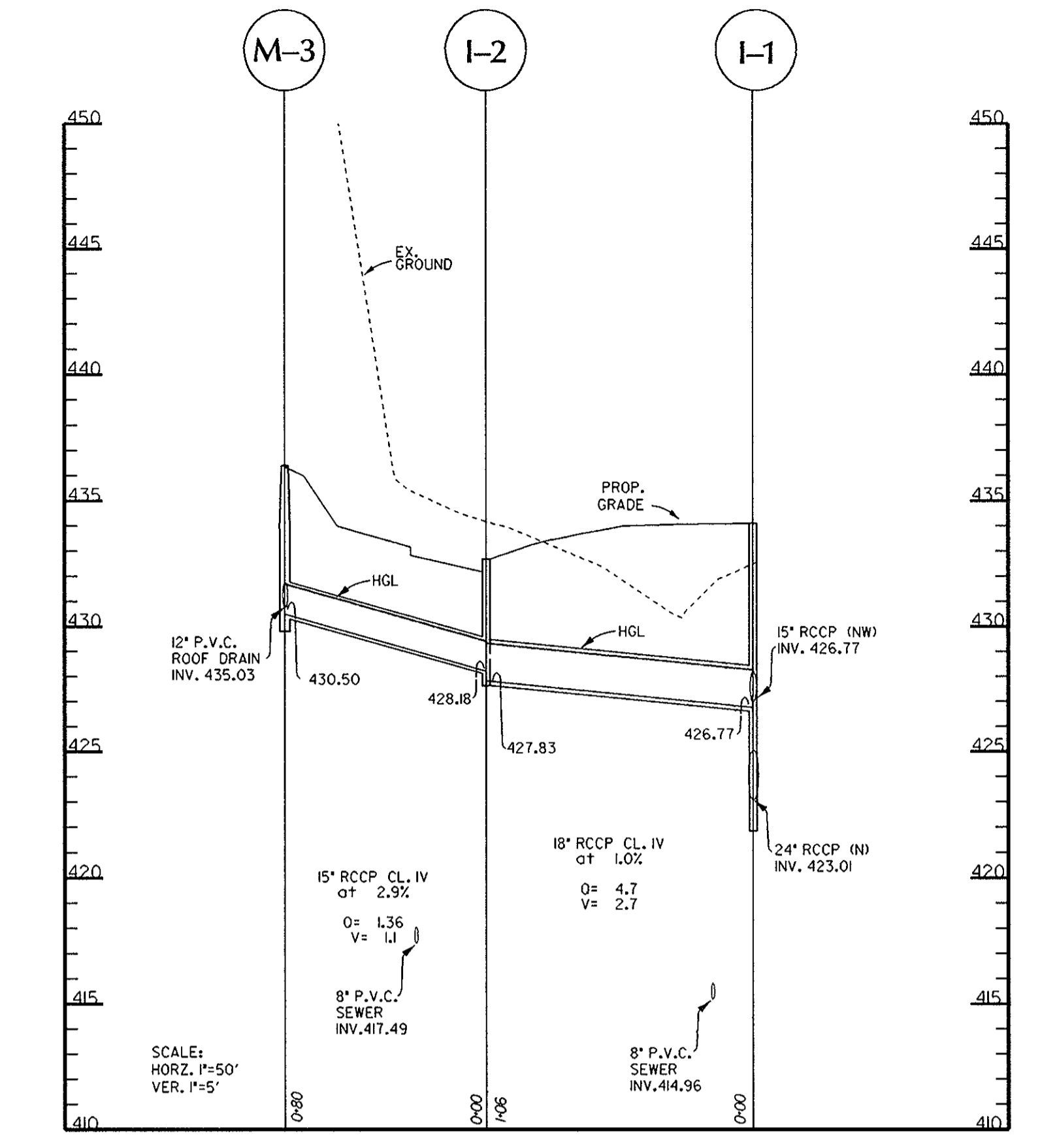
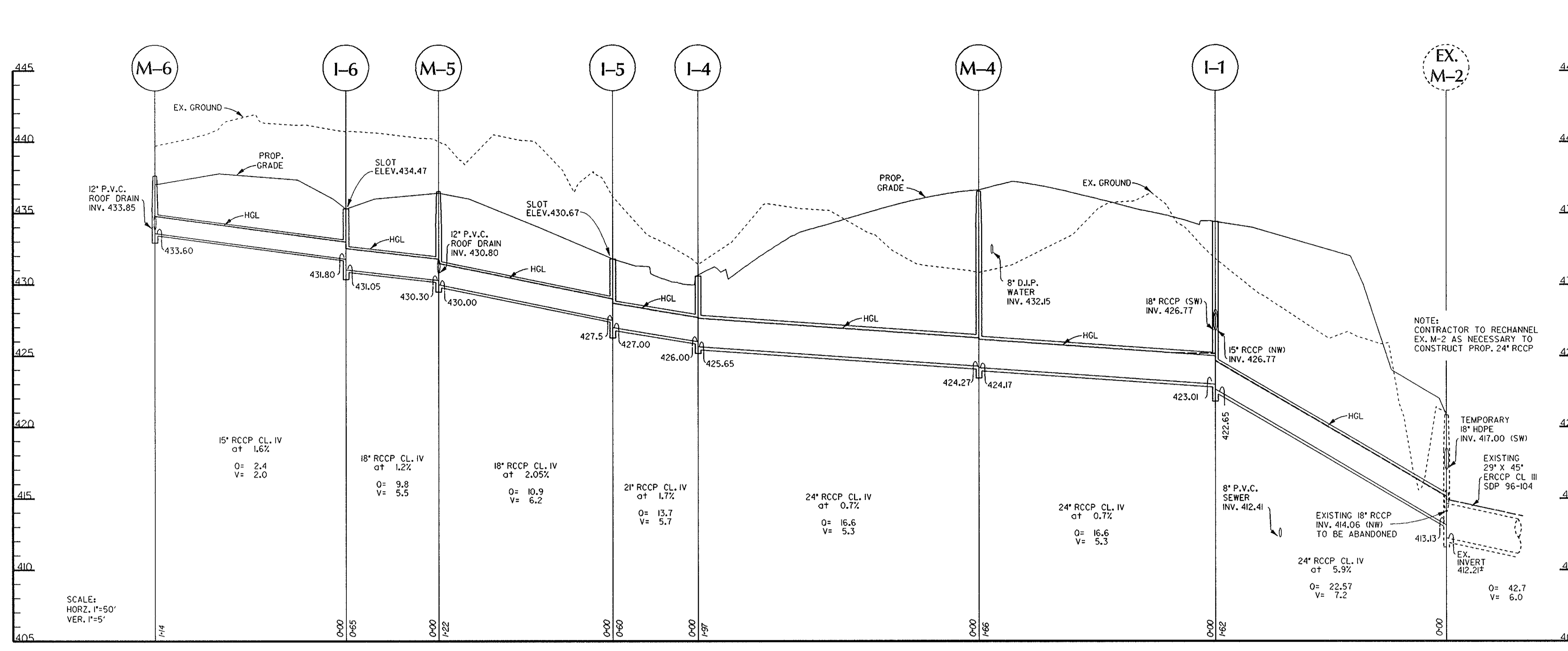
A Team of Land Planners,  
Landscape Architects,  
Engineers, Surveyors &  
Environmental Professionals

PROJECT NAME Bon Secours Ho.Co. Health Park	SECTION 21	SHEET # 21
DATE 12/28-12/30/93	DATE 17	DATE 2
DATE F03	DATE 145440	DATE 6028

TITLE  
**UTILITY PROFILES**

Des By JWM Scale 1" = 50' Proj. No. 81015P  
Dm By ADL Date 5-6-98  
Chk By JLS Approved 8 OF 13





**STRUCTURE SCHEDULE**

NO.	TYPE	SIZE	INV. IN	INV. OUT	TOP ELEV.	Ho. Co. Detail No.
M-3	STANDARD PRECAST	48" ROUND	433.03	430.30	436.40	G-1.12
M-4	STANDARD PRECAST	48" ROUND	424.27	424.17	426.31	G-1.12
M-5	STANDARD PRECAST	48" ROUND	430.30	430.00	436.50	G-1.12
M-6	SHALLOW PRECAST	48" SQUARE	433.83	433.60	437.60	G-1.12
M-7	STANDARD PRECAST	48" ROUND	418.26	418.16	426.00	G-1.12
I-1	A-10	W-2	426.77	426.77	434.10	SD-4.02
I-2	A-10	W-2	427.83	427.83	433.60	SD-4.02
I-3	YARD INLET	W-2	426.00	426.00	431.70	SD-4.14
I-4	A-10	W-2	426.00	425.65	430.60	SD-4.02
I-5	D	2 SLOTS (N.W.)	427.00	427.00	431.30	SD-4.11
I-6	D	2 SLOTS (E.S.W.)	431.80	431.05	435.30	SD-4.11
I-7	A-10	W-2	421.80	421.80	425.80	SD-4.02

NOTE: USE FULLY DEVELOPED INVERTS FOR ALL STRUCTURES  
 NOTE: THE CONTRACTOR TO MODIFY I-5 FROM 2'-6" WIDE TO 4" WIDE INSIDE DIMENSIONS

9/11/99  
Date

Professional Engr. No. 10551

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*[Signature]* 5/4/99  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 5/11/99  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 5/13/99  
 DIRECTOR DATE

**The Heartlands Retirement Community**  
 An Elderly Dementia Specific Facility

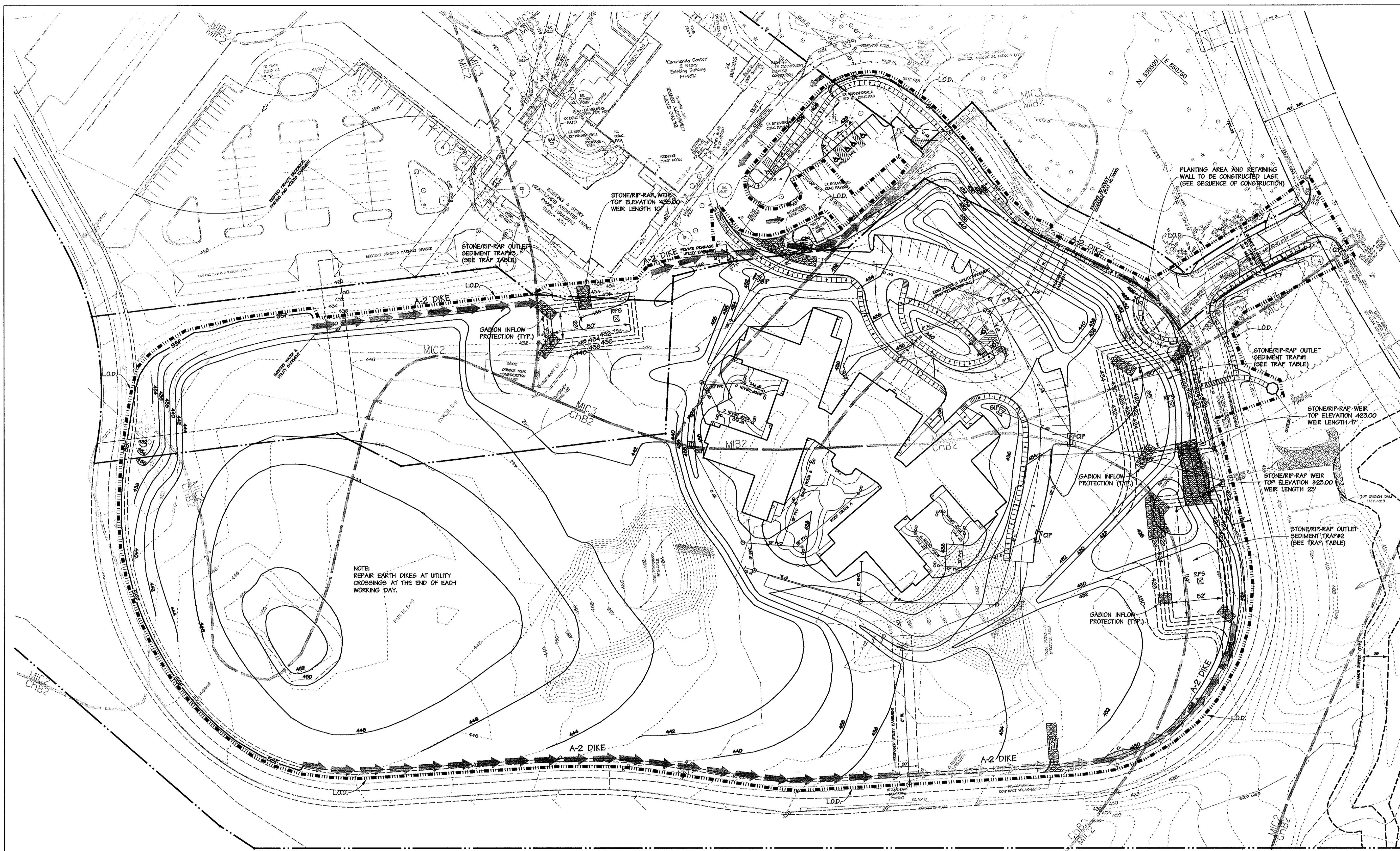
OWNER /DEVELOPER:  
 THE HEARTLANDS RETIREMENT COMMUNITY -  
 ELLICOTT CITY II, INC.  
 c/o CONSTELLATION SENIOR SERVICES, INC.  
 10400 LITTLE PATUXENT PARKWAY  
 COLUMBIA, MARYLAND 21044

**DMW**  
 Draft-McCune-Walker, Inc.  
 200 East Pennsylvania Avenue  
 Towson, Maryland 21286  
 (410) 296-3339  
 Fax 296-4706

A Team of Land Planners,  
 Landscape Architects,  
 Engineers, Surveyors &  
 Environmental Professionals

PROJECT: Bon Secours Ho Co. Health Park  
 SHEET: 21 OF 21  
 DATE: 5/11/99  
 DRAWN BY: JLS  
 CHECKED BY: ADL  
 TITLE: **UTILITY PROFILES**

Scale: 1" = 50'  
 Date: 5-6-98  
 Project No.: 81015P  
 9 OF 13



- LEGEND**
- 210 --- EXISTING CONTOUR
  - 210 --- PROPOSED CONTOUR
  - ==== LIMIT OF DISTURBANCE
  - SF --- PROPOSED SUPER SILT FENCE
  - SF --- PROPOSED SILT FENCE
  - 10.0 SPOT ELEVATION
  - PROPOSED EARTH DIKE
  - [Hatched Box] PROPOSED HEAVY DUTY STABILIZED CONSTRUCTION ENTRANCE
  - [Box with X] RPS PROPOSED REMOVABLE PUMP STATION
  - [Box with I] SIP PROPOSED STANDARD INLET PROTECTION
  - [Box with C] CIP PROPOSED CURB INLET PROTECTION

NOTE:  
DURING CONSTRUCTION OF THE ROAD THE CONTRACTOR IS NOT TO DISTURB MORE THAN WHAT CAN BE STABILIZED AT THE END OF EACH WORKING DAY.

NOTE:  
REPAIR EARTH DIKES AT UTILITY CROSSINGS AT THE END OF EACH WORKING DAY.

9/11/98  
Date

Professional Engr. No. 10551

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*Howard County* 5/4/99  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Carole Hamstra* 5/11/99  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*John R. Robertson* 5/13/99  
DIRECTOR DATE

Date No.

The Heartlands Retirement Community  
An Elderly Dementia Specific Facility  
HOWARD COUNTY, MARYLAND

OWNER /DEVELOPER:  
THE HEARTLANDS RETIREMENT COMMUNITY - ELLICOTT CITY II, INC.  
c/o CONSTELLATION SENIOR SERVICES, INC.  
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COLUMBIA, MARYLAND 21044

**DMW**  
Darr, McCaskey-Walkers, Inc.  
200 East Pennsylvania Avenue  
Towson, Maryland 21286  
(410) 296-4388  
Fax 296-4705

A Team of Land Planners,  
Landscape Architects,  
Engineers, Surveyors &  
Environmental Professionals

PROJECT NAME: Bon Secours Ho.Co. Health Park  
PROJECT NO.: 12839-12838  
BLOCK #/ZONE: 23 / PDJ  
TAXING MAP: 17  
EJECT DEDUCT: 2  
CONVEX TRACT: 6028

WATER CODE: F03  
SEWER CODE: 145440

TITLE  
**SEDIMENT & EROSION CONTROL PLAN**

Des By: JWM Scale: 1" = 50' Proj. No.: 81015P  
Dwn By: ADL Date: 5-6-98  
Chk By: JLS Approved: 10 OF 13

ESC TRAP TABLE

TRAP NUMBER	1	2	3
TRAP TYPE	S.R.O.S.T.	S.R.O.S.T.	S.R.O.S.T.
EXISTING DRAINAGE AREA AC.	4.2	3.76	2.4
PROPOSED DRAINAGE AREA AC.	3.1	5.67	2.1
STORAGE REQUIRED C.F.	WET 7,560 DRY 7,560	10,206 10,206	4,320 4,320
TOTAL	15,120	20,412	8,640
STORAGE PROVIDED C.F.	WET 7,560 DRY 7,788	10,206 10,734	4,320 4,512
TOTAL	15,348	20,940	8,832
EXISTING GROUND ELEV.	422.00	422.00	438.00
TOP EMBANKMENT ELEV.	424.00	424.00	436.00
WEIR CREST ELEV.	423.00	423.00	435.00
CLEANOUT ELEV.	420.78	420.77	432.20
BOTTOM ELEV.	420.00	420.00	432.00
DEPTH OF CHANNEL (a)	1.0'	1.0'	1.0'
OUTLET LENGTH	17.0'	23.0'	10.0'
BOTTOM DIMENSION	50' X 25'	52' X 114'	28' X 20'
TRAP SIDESLOPES	2 : 1	2 : 1	2 : 1
TRAP DEPTH	WET 1.57 DRY 1.43	1.54 1.46	1.60 1.40
TOTAL	3.0	3.0	3.0
WET STORAGE ZONE ELEV.	420.00-421.57	420.00-421.54	432.00-433.60
DRY STORAGE ZONE ELEV.	421.57-423.00	421.54-423.00	433.60-435.00
WET STORAGE OUTLET	421.57	421.54	433.60

NOTE:  
TEMPORARY STORMWATER MANAGEMENT IS NOT PROVIDED BECAUSE PERMANENT STORMWATER MANAGEMENT EXISTS.

DEVELOPER'S CERTIFICATION:  
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

*John L. Tansey* 10/1/98  
SIGNATURE OF DEVELOPER DATE  
PRINT NAME BELOW SIGNATURE

ENGINEER'S CERTIFICATION:  
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

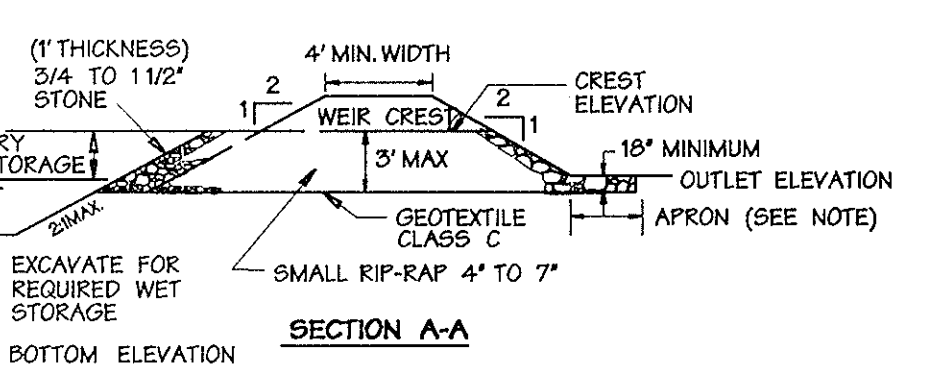
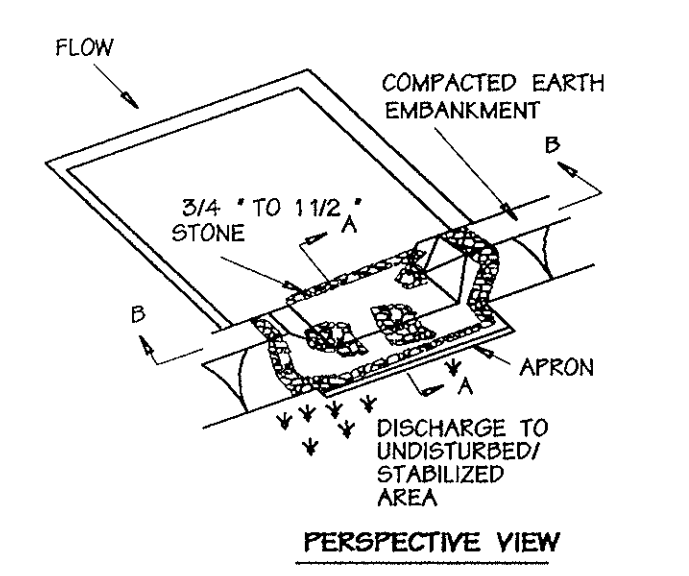
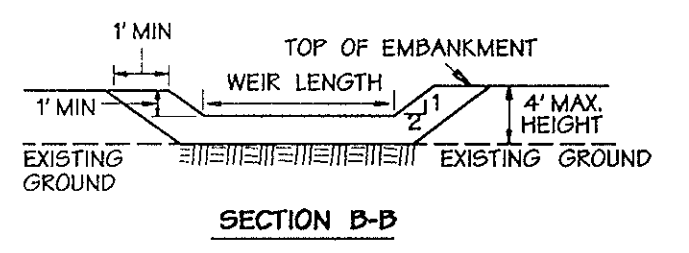
*John W. Ranocchia, Sr.* 9/11/98  
SIGNATURE OF ENGINEER DATE  
PRINT NAME BELOW SIGNATURE

REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS

*Carol Simmons* 5/3/99  
U.S. NATURAL RESOURCE CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John R. Robertson* 5/3/99  
HOWARD S.C.D. DATE



NOTE: 5' min. length up to 5 acres. Over 5 acres, use 10' min.

- Construction Specifications**
- The area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat. The pool area shall be cleared.
  - The fill material for the embankment shall be free of roots or other woody vegetation as well as over-sized stones, rocks, organic material or other objectionable material. The embankment shall be compacted by traveling with equipment while it is being constructed. Maximum height of embankment shall be 4', measured at centerline of embankment.
  - All cut and fill slopes shall be 2:1 or flatter.
  - Elevation of the top of any dike directing water into trap must equal or exceed the height of trap embankment.
  - Storage area provided shall be figured by computing the volume measured from top of excavation. (For storage requirements see Table 9).
  - Geotextile Class C shall be placed over the bottom and sides of the outlet channel prior to placement of stone. Section of fabric must overlap at least 1' with section nearest the entrance placed on top. Fabric shall be embedded at least 6" into existing ground at entrance of outlet channel.
  - 4" - 7" stone shall be used to construct the weir and 4" - 12" or Class 1 rip-rap shall be used to construct the outlet channel.
  - Outlet - An outlet shall include a means of conveying the discharge in an erosion free manner to an existing stable channel. Protection against scour at the discharge point shall be provided as necessary.
  - Outlet channel must have positive drainage from the trap.
  - Sediment shall be removed and trap restored to its original dimensions when the sediment has accumulated to 1/2 of the wet storage depth of the trap (900 cft/ac). Removed sediment shall be deposited in a suitable area and in such a manner that it will not erode.
  - The structure shall be inspected periodically after each rain and repaired as needed.
  - Construction of traps shall be carried out in such a manner that sediment pollution is abated. Once constructed, the top and outside face of the embankment shall be stabilized with seed and mulch. Points of concentrated inflow shall be protected in accordance with Grade Stabilization Structure criteria. The remainder of the interior slopes should be stabilized (one time) with seed and mulch upon trap completion and monitored and maintained erosion free during the life of the trap.
  - The structure shall be dewatered by approved methods, removed and the area stabilized when the drainage area has been properly stabilized.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE C-9-16 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

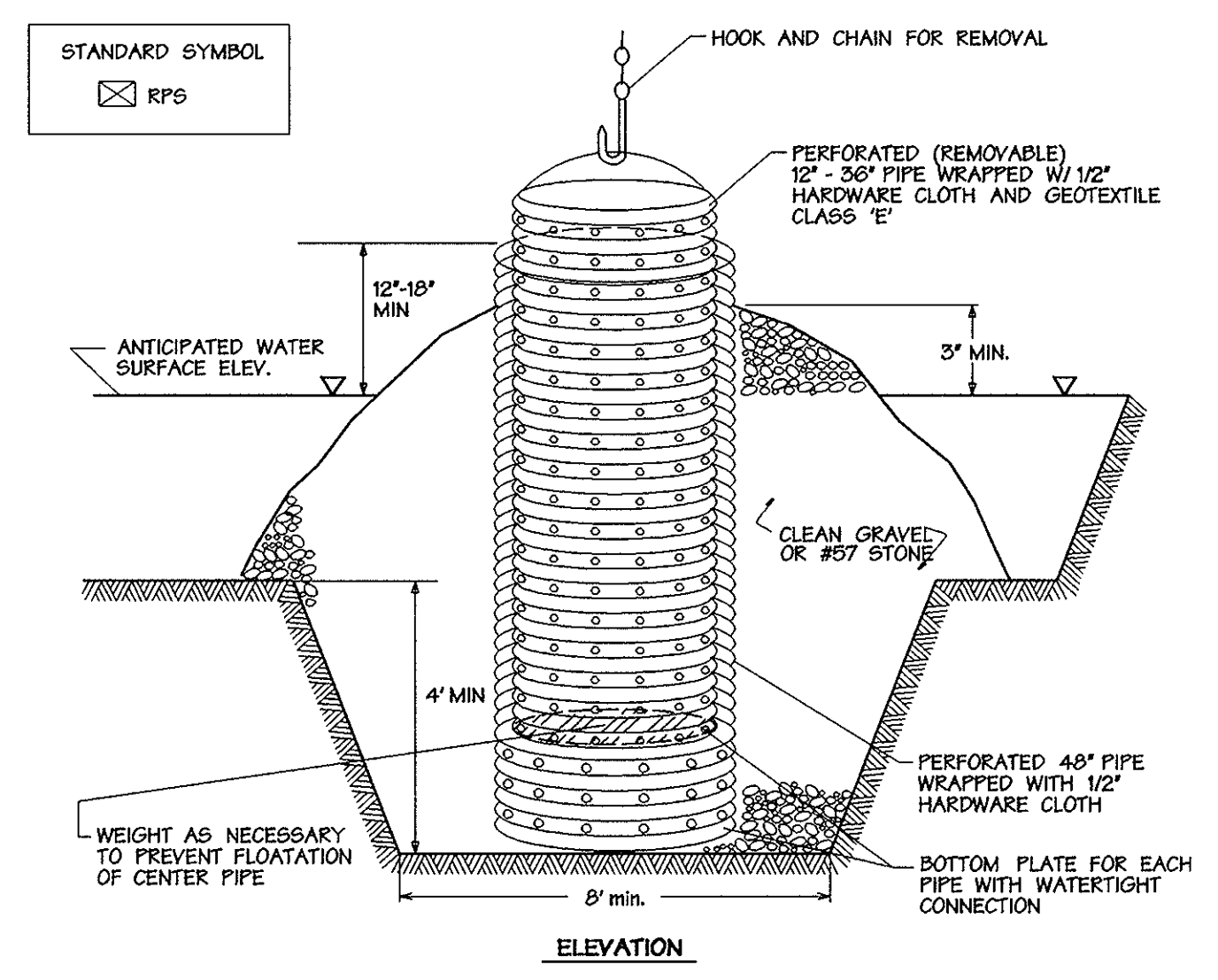
STONE / RIP-RAP OUTLET SEDIMENT TRAP - ST IV

**Construction Specifications**

- Gabion inflow protection shall be constructed of 9' x 3' x 3' gabion baskets forming a trapezoidal cross section 1' deep, with 2:1 side slopes, and a 3' bottom width.
- Geotextile Class C shall be installed under all gabion baskets.
- The stone used to fill the gabion baskets shall be 4" - 7".
- Gabions shall be installed in accordance with manufacturers recommendations.
- Gabion inflow protection shall be used where concentrated flow is present on slopes steeper than 4:1.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE D-7-2 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

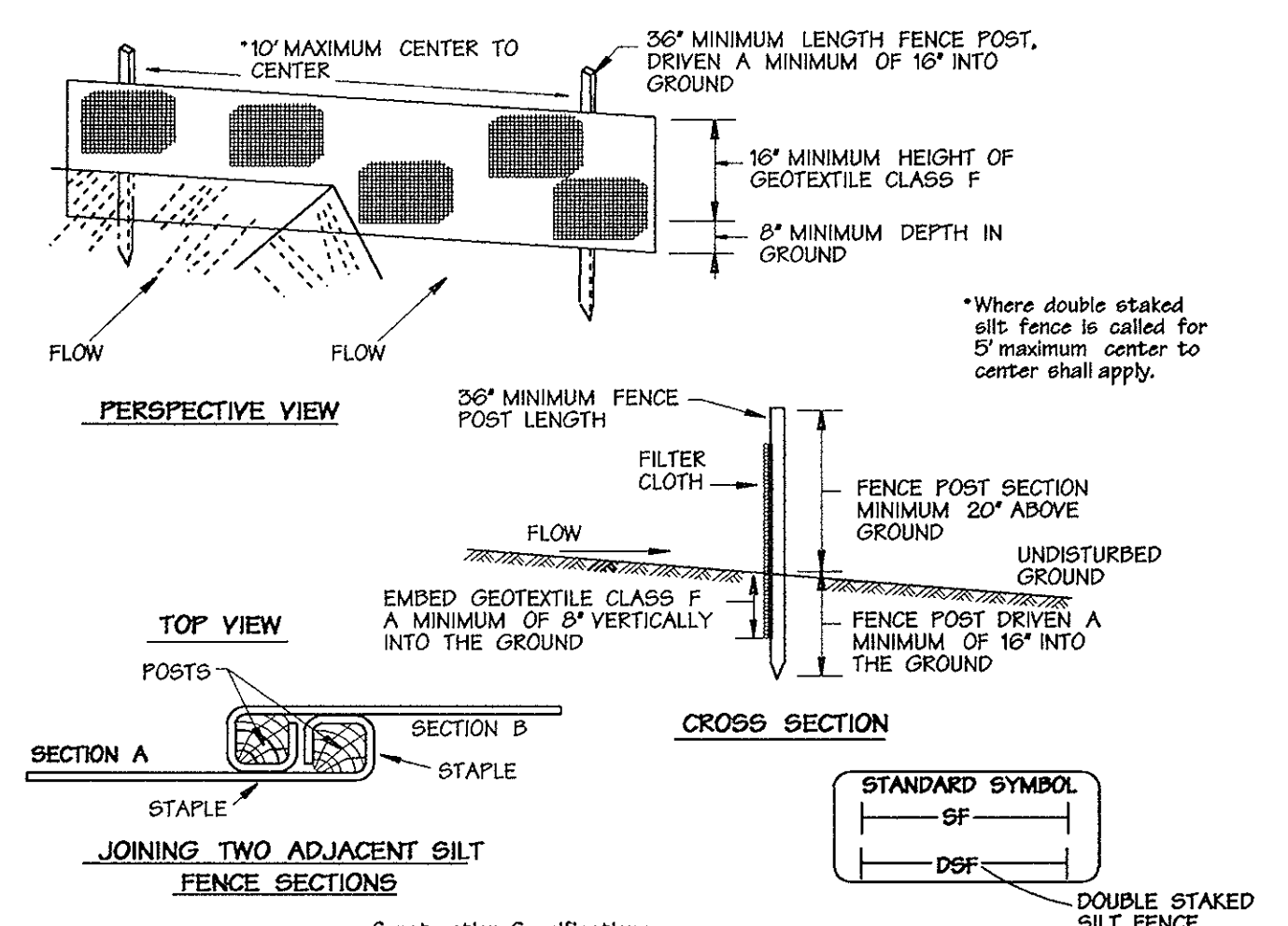
GABION INFLOW PROTECTION NOT TO SCALE



- Construction Specifications**
- The outer pipe should be 48" dia. or shall, in any case, be at least 4" greater in diameter than the center pipe. The outer pipe shall be wrapped with 1/2" hardware cloth to prevent backfill material from entering the perforations.
  - After installing the outer pipe, backfill around outer pipe with 2" aggregate or clean gravel.
  - The inside stand pipe (center pipe) should be constructed by perforating a corrugated or PVC pipe between 12" and 36" in diameter. The perforations shall be 1/2" x 6" slots or 1" diameter holes 6" on center. The center pipe shall be wrapped with 1/2" hardware cloth first, then wrapped again with Geotextile Class E.
  - The center pipe should extend 12" to 18" above the anticipated water surface elevation or floor crest elevation when dewatering a basin.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE D-12-5 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

REMOVABLE PUMPING STATION NOT TO SCALE



- Construction Specifications**
- Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) cut, or 1 3/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighting not less than 100 pound per linear foot.
  - Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:
 

Tensile Strength	50 lbs/in (min.)	Test: MSMT 509
Tensile Modulus	20 lbs/in (min.)	Test: MSMT 509
Flow Rate	0.3 gal/ft/minute (max.)	Test: MSMT 322
Filtering Efficiency	75% (min.)	Test: MSMT 322
  - Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
  - Silt Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reached 50% of the fabric height.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE E-15-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

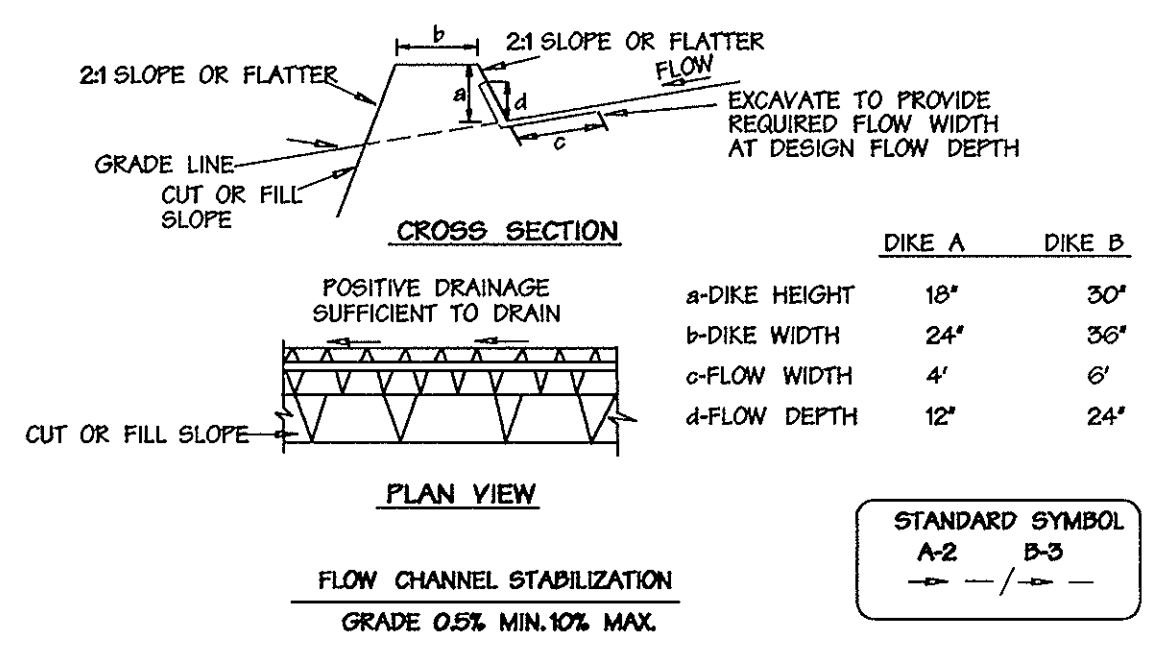
SILT FENCE NOT TO SCALE

**Construction Specification**

- Length - minimum of 50' (30' for single residence lot).
- Width - 10' minimum, should be flared at the existing road to provide a turning radius.
- Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. The plan approval authority may not require single family residences to use geotextile.
- Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 10" deep over the length and width of the entrance.
- Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 10" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
- Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE F-17-4 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

HEAVY DUTY STABILIZED CONSTRUCTION ENTRANCE NOT TO SCALE



- Construction Specifications**
- Seed and cover with straw mulch.
  - Seed and cover with Erosion Control Matting or lime with sod.
  - 4" - 7" stone or recycled concrete equivalent proceed into the soil 7" minimum.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE A-1-6 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

EARTH DIKE NOT TO SCALE

9/11/98 Date

Professional Engr. No. 10551

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION 5/4/99 DATE

CHIEF, DIVISION OF LAND DEVELOPMENT 5/11/99 DATE

DIRECTOR 5/13/99 DATE

The Heartlands Retirement Community  
An Elderly Dementia Specific Facility  
HOWARD COUNTY, MARYLAND

OWNER / DEVELOPER:  
THE HEARTLANDS RETIREMENT COMMUNITY - ELLICOTT CITY II, INC.  
c/o CONSTELLATION SENIOR SERVICES, INC.  
10400 LITTLE PATUXENT PARKWAY  
COLUMBIA, MARYLAND 21044

**DMW**  
Dunn McCune-Walsh, Inc.  
200 East Pennsylvania Avenue  
Towson, Maryland 21286  
(410) 296-3333  
Fax 296-4705

A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

SEWER MAP 17  
BLOCK # 23  
PARCEL 17  
WATER CODE FC3  
SEWER CODE 145440

**SEDIMENT & EROSION CONTROL DETAILS**

Des By JWM Scale 1" = 30' Proj. No. 81015P  
Dwn By ADL Date 5-6-98  
Chk By JLS Approved 11 OF 13

**DEVELOPER'S CERTIFICATION:**

"WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

*[Signature]*  
SIGNATURE OF DEVELOPER  
PRINT NAME BELOW SIGNATURE  
John C. Tansky  
9/1/98 DATE

**ENGINEER'S CERTIFICATION:**

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*[Signature]*  
SIGNATURE OF ENGINEER  
PRINT NAME BELOW SIGNATURE  
John W. Ranocchia, Sr.  
9/11/98 DATE

REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS

*[Signature]* 5/3/99 DATE  
U.S. NATURAL RESOURCE CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*[Signature]* 5/3/99 DATE  
HOWARD S.C.D.

21.0 STANDARD AND SPECIFICATIONS  
FOR  
TOPSOIL

DEFINITION

Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

PURPOSE

To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

CONDITIONS WHERE PRACTICE APPLIES

- I. This practice is limited to areas having 2:1 or flatter slopes where:
  - a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
  - b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
  - c. The original soil to be vegetated contains material toxic to plant growth.
  - d. The soil is so acidic that treatment with limestone is not feasible.
- II. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

- I. Topsoil salvages from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-GCS in cooperation with Maryland Agricultural Experimental Station.
- II. Topsoil Specifications - Soil to be used as topsoil must meet the following:
  - I. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate regulatory authority. Regulated topsoils shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1-1/2" in diameter.
  - II. Topsoil must be free of plants or plant parts such as bermuda grass, quackgrass, Johnsongrass, nutcase, poison ivy, thistle, or others as specified.
  - III. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
- III. For sites having disturbed areas under 5 acres:
  - I. On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
    - a. pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
    - b. Organic content of topsoil shall be not less than 1.5 percent by weight.
    - c. Topsoil having soluble salt content greater than 500 parts per million shall not be used.
    - d. No seed or weed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phyto-toxic materials.
  - Note: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate regulatory authority, may be used in lieu of natural topsoil.
  - II. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.
- V. Topsoil Application
  - I. When topsoiling, maintain natural erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.
  - II. Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4% - 8% higher in elevation.
  - III. Topsoil shall be uniformly distributed in a 4% - 8% layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that seeding or sodding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
  - IV. Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.
- VI. Alternative for Permanent Seeding - Instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:
  - I. Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for sites having disturbed areas under 5 acres shall conform to the following requirements:
    - a. Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.06.
    - b. Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a Ph of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.
    - c. Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.
  - II. Composted sludge shall be amended with a potassium fertilizer applied at a rate of 4 lb/1,000 square feet, and 1/3 the normal line application rate.

References: Guidelines Specifications, Soil Preparation and Sodding, MD-VA, Pub. #1, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institute, Revised 1972.

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seedbed preparation: Loosen upper three inches of soil by raking, diking or other acceptable means before seeding, if not previously loosened.

Soil amendments: In lieu of soil test recommendations, use one of the following Schedules:

1. Preferred - Apply 2 tons per acre Dolomitic Limestone (92 lbs/1000 sq. ft.) and 1000 lbs. per acre 10-10-10 fertilizer (14 lbs/1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil. At time of seeding, apply 400 lbs. per acre 30-0-0 Ureiform Fertilizer (9 lbs/1000 sq. ft.)
2. Acceptable - Apply 2 tons per acre Dolomitic Limestone (92 lbs/1000 sq. ft.) and 1000 lbs. per acre 10-10-10 fertilizer (23 lbs/1000sq.ft.) before seeding. Harrow or disk into upper three inches of soil.

Seeding - For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs. per acre (14 lbs/1000sq.ft.) of Kentucky 31 tall fescue. For the period May 1 thru July 31 seed with 60 lbs. Kentucky 31 tall fescue per acre and 2 lbs. per acre (0.5 lbs/1000sq.ft.) of weeping lovegrass. During the period of October 16 thru February 28, protect site by Option (1) - 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) - Use sod. Option (3) - seed with 60 lbs/acre Kentucky 31 tall fescue and mulch with 2 tons/acre well anchored straw.

Mulching - Apply 1-1/2 to 2 tons per acre (70 - 90 lbs/1000sq.ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 215 gallons per acre (5 gal/1000sq.ft.) of emulsified asphalt on flat areas. On slopes 3 feet or higher, use 345 gallons per acre (9 gal/1000sq.ft.) for anchoring.

Maintenance - Inspect all seeding areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

Seedbed preparation - Loosen upper three inches of soil by raking, diking or other acceptable means before seeding, if not previously loosened.

Soil amendments - Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs/1000sq.ft.)

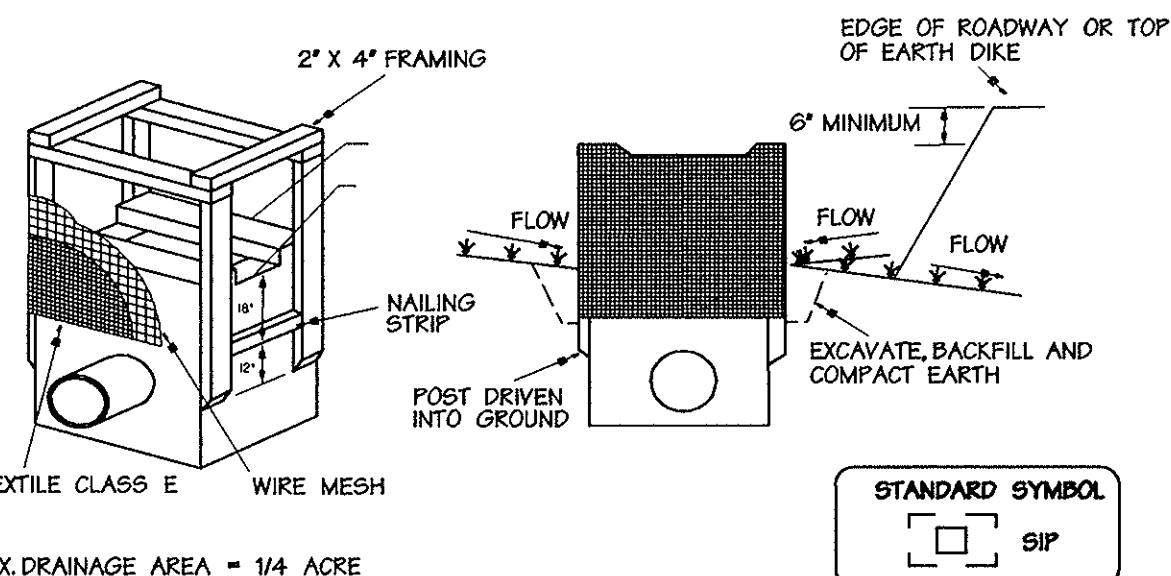
Seeding - For the periods March 1 thru April 30, and August 15 thru October 15, seed with 2-1/2 bushel per acre of annual ryegrass (32 lbs/1000sq.ft.). For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (07 lbs/1000sq.ft.). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching - Apply 1-1/2 to 2 tons per acre (70 - 90 lbs/1000sq.ft.) of unrotted weed free small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 215 gal. per acre (5 gal/1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 3 ft. or higher, use 345 gal. per acre (9 gal/1000 sq.ft.) for anchoring.

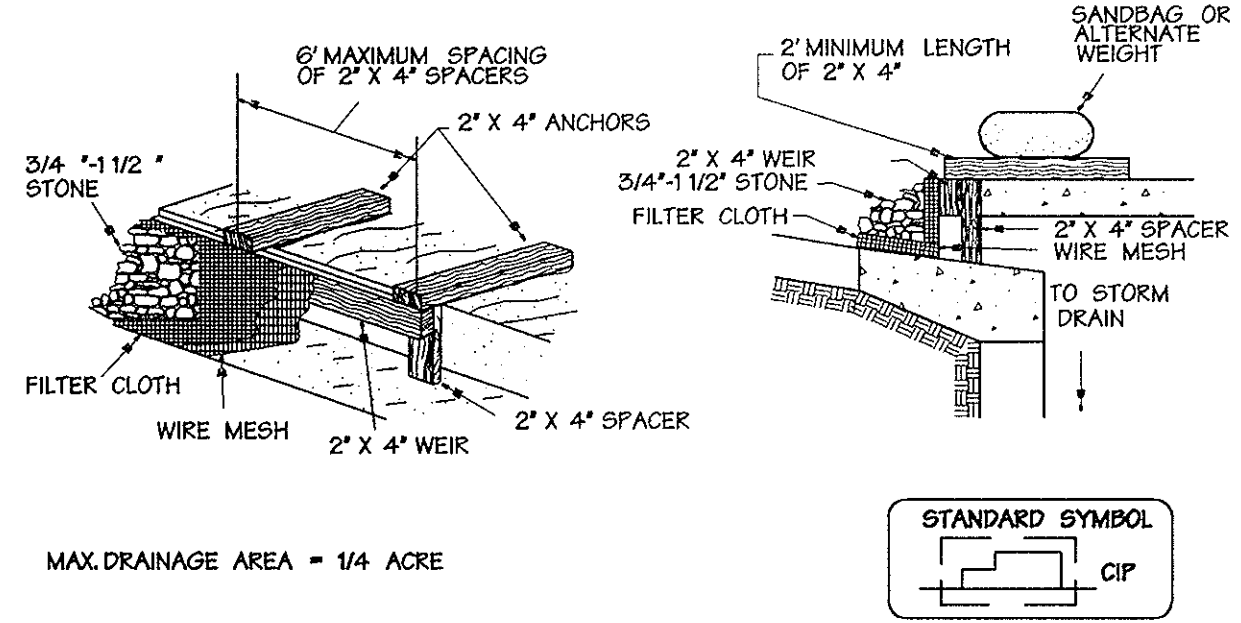
Refer to the 1994 Maryland Standards and Specifications for Soil Erosion and Sediment Control for additional rates and methods not covered.

SEDIMENT CONTROL GENERAL NOTES

PERMANENT SEEDING NOTES



- MAX. DRAINAGE AREA = 1/4 ACRE
- Construction Specifications
1. Excavate completely around the inlet to a depth of 18" below the notch elevation.
  2. Drive the 2" x 4" construction grade lumber posts 1' into the ground at each corner of the inlet. Place nail strips between the posts on the ends of the inlet. Assemble the top portion of the 2" x 4" frame using the overlap joint shown on Detail. The top of the frame (weir) must be 6" below adjacent roadway where flooding and safety issues may arise.
  3. Stretch the 1/2" x 1/2" wire mesh tightly around the frame and fasten securely. The ends must meet and overlap at a post.
  4. Stretch the Geotextile Class E tightly over the wire mesh with the geotextile extending from the top of the frame to 18" below the inlet notch elevation. Fasten the geotextile firmly to the frame. The ends of the geotextile must meet at a post, be overlapped and folded, then fastened down.
  5. Backfill around the inlet in compacted 6" layers until the layer of earth is level with the notch elevation on the ends and top elevation on the sides.
  6. If the inlet is not in a sump, construct a compacted earth dike across the ditch line directly below it. The top of the earth dike should be at least 6" higher than the top of the frame.
  7. The structure must be inspected periodically and after each rain and the geotextile replaced when it becomes clogged.



- MAX. DRAINAGE AREA = 1/4 ACRE
- Construction Specifications
1. Attach a continuous piece of 1/2" x 1/2" wire mesh (30" minimum width by throat length plus 4") to the 2" x 4" weir (measuring throat length plus 2") as shown on the standard drawing.
  2. Place a continuous piece of Geotextile Class E the same dimensions as the wire mesh over the wire mesh and securely attach it to the 2" x 4" weir.
  3. Securely nail the 2" x 4" weir to a 6" long vertical spacer to be located between the weir and the inlet face (max. 4" apart).
  4. Place the assembly against the inlet throat and nail (minimum 2" lengths of 2" x 4" to the top of the weir at spacer locations). These 2" x 4" anchors shall extend across the inlet top and be held in place by sandbags or alternate weight.
  5. The assembly shall be placed so that the end spacers are a minimum 1" beyond both ends of the throat opening.
  6. Form the 1/2" x 1/2" wire mesh and the geotextile fabric to the concrete gutter and against the face of the curb on both sides of the inlet. Place clean 3/4" x 1 1/2" stone over the wire mesh and geotextile in such a manner to prevent water from entering the inlet under or around the geotextile.
  7. This type of protection must be inspected frequently and the filter cloth and stone replaced when clogged with sediment.
  8. Assure that storm flow does not bypass the inlet by installing a temporary earth or asphalt dike to direct the flow to the inlet.

SEQUENCE OF CONSTRUCTION PHASE I

SEQUENCE OF CONSTRUCTION PHASE I	DAYS
1. OBTAIN GRADING PERMIT.	5
2. CONSTRUCT STORM DRAINAGE FROM EX. M-2 TO PROPOSED I-1 AND CONSTRUCT SEWER FROM SMH-1 TO SMH-2.	5
3. CLEAR AND GRUB AS NECESSARY FOR SEDIMENT AND EROSION CONTROL MEASURES.	5
4. INSTALL THE PROPOSED SEDIMENT AND EROSION CONTROL MEASURES.	7
5. ROUGH GRADE SITE AND EXCAVATE FOR FOUNDATIONS.	14
6. CONSTRUCT STORM DRAINS, WATER LINE AND SEWER LINE AND INSTALL INLET PROTECTION.	21
7. INSTALL THE REMAINING UTILITIES.	14
8. FINE GRADE AND CONSTRUCT BASE PAVING EXCEPT PLANTING AREA AND RETAINING WALL.	10
9. CONSTRUCT BUILDING, SIDEWALKS AND INSTALL SURFACE PAVING.	90
10. FINE GRADE AND STABILIZE DISTURBED AREAS ON SITE IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS.	5
11. UPON APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROL MEASURES AND STABILIZE, CONSTRUCT PLANTING AREA AND RETAINING WALL AND STABILIZE.	10

Total area of site	30,883 acres
Area disturbed	143 acres
Area to be roofed or paved	148 acres
Area to be vegetatively stabilized	12,82 acres
Total cut	37,000 cubic yards
Total fill	37,000 cubic yards
Off-site waste/borrow area location waste = N/A	

STANDARD INLET PROTECTION NOT TO SCALE

CURB INLET PROTECTION (COG OR COS INLETS) NOT TO SCALE

DEVELOPER'S CERTIFICATION:  
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I/ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

Signature: John C. Tanker  
Date: 6/1/98

ENGINEER'S CERTIFICATION:  
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

Signature: John H. Ranoachia, Sr.  
Date: 7/11/98

REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS

Signature: Cheryl Simmons  
Date: 5/3/99

Signature: John R. Roberts  
Date: 5/3/99

9/1/99  
Date

Professional Engr. No. 10551

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING	
Signature: [Name]	5/4/99 DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION	
Signature: [Name]	5/1/99 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT	
Signature: [Name]	5/13/99 DATE
DIRECTOR	
Date	No.

The Heartlands Retirement Community  
An Elderly Dementia Specific Facility  
HOWARD COUNTY, MARYLAND  
OWNER /DEVELOPER:  
THE HEARTLANDS RETIREMENT COMMUNITY -  
ELLCOTT CITY II, INC.  
c/o CONSTELLATION SENIOR SERVICES, INC.  
10400 LITTLE PATUXENT PARKWAY  
COLUMBIA, MARYLAND 21044

**DMW**  
Darr McCune-Walkers, Inc.  
200 East Pennsylvania Avenue  
Towson, Maryland 21286  
C110 296-3355  
Fax 296-4705

A Team of Land Planners,  
Landscape Architects,  
Engineers, Surveyors &  
Environmental Professionals

SHOWROOM NAME	SECTION/AREA	DISFRANCH
Bon Secours Ho. Co. Health Park	21	Parcel B-10
FORM # 10-10	TABULARY MAP	
12/29/88-12/29/88	23	PGR
WATER CODE	SEWER CODE	
F03	145440	

TITLE			
SEDIMENT & EROSION CONTROL DETAILS			
Des By	JWM	Scale	1" = 30'
Drn By	ADL	Date	5-6-98
Chk By	JLS	Approved	
Proj. No.	81015P		
	12 OF 13		

NOTE: SPOT ELEVATIONS ARE GROUND OR BOTTOM OF CURB UNLESS OTHERWISE NOTED (I.E. TC)

- Planting:
- Plant material substitutions will not be accepted without approval of the landscape architect.
  - Plant material shall be tagged at the source by the landscape architect or pictures provided with scale reference unless this requirement is specifically waived.
  - The landscape contractor shall stake all material located on the site for review and/or adjustments by the landscape architect prior to planting.
  - All shrubs and groundcover areas shall be planted in continuous prepared planting beds.
  - All shrub beds shall be mulched with hardwood mulch as detailed and specified except where noted on plans.
  - Maintain positive drainage out of planting beds at a minimum 2 percent slope.
  - Plant quantities are provided for the convenience of the contractor. If discrepancies exist between quantities shown on plan and those shown on the plant list, the quantities on the plan shall take precedence.
  - All areas within contract limits disturbed during or prior to construction not designated to receive plantings and mulch shall be fine graded and seeded in accordance with planting plan and specifications.
  - The contractor shall notify Miss Utility (800-257-7777) a minimum of three working days prior to planting and construction.
  - All plant material shall be nursery grown and shall conform to American Nurserymen Association standards.
  - All planting procedures shall conform to Landscape Contractors Association specification guidelines for Baltimore/Washington metropolitan area (latest edition) and Darr-McCune-Walker, Inc., specifications.

DEVELOPER'S / BUILDER'S CERTIFICATE

I/We certify that the landscaping shown on this plan will be done according to the plan, SECTION 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certification of Landscape Installation, accompanied by an expected one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

NAME: [Signature] DATE: 10/1/98

**SCHEDULE B  
PARKING LOT INTERNAL LANDSCAPING**

Number of Parking Spaces	40	Number of Trees Required (1 ST / 20 P.S.)	2 Shade Trees Required
Number of Trees Provided		Number of Trees Provided	
Shade Trees	22	Other Trees (2:1 substitution)	10
Number of Parking Island Required	2	Number of Parking Island Provided	4
Number of Parking Island Provided	4		

**PLANT LIST**

Key Qty.	Botanical Name	Common Name	Size	Condition	Remarks
AZ 28	Azalea 'Delaware Valley White'	Delaware Valley White Azalea	24" H	Cont.	4' O.C.
PS 10	Prunus sargentii 'Columnaris'	Columnar Sargent Cherry	12" - 14"	B&B	
SJ 72	Spiraea japonica 'Little Princess'	Little Princess Spiraea	18" Sp.	Cont.	
ZS 22	Zelkova serrata 'Green Vase'	Green Vase Zelkova	2 1/2" - 3" Cal.	B&B	Full

HOWARD COUNTY MEDICAL RESEARCH PARK  
PARCEL C-1  
PLAT 613  
INSURANCE CORP.  
OWNER: FEDERAL ZONED FOR

NOTE: THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.

FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$ 600.00

4.20.99  
Date

Professional Seal: STATE OF MARYLAND, LANDSCAPE ARCHITECT, No. 551

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

Chief, Development Engineering Division: [Signature] 5/4/99 DATE

Chief, Division of Land Development: [Signature] 5/11/99 DATE

Director: [Signature] 5/13/99 DATE

Date No.

**The Heartlands Retirement Community**  
An Elderly Dementia Specific Facility  
HOWARD COUNTY, MARYLAND

OWNER / DEVELOPER:  
THE HEARTLANDS RETIREMENT COMMUNITY-  
ELLICOTT CITY II, INC.  
c/o CONSTELLATION SENIOR SERVICES, INC.  
10400 LITTLE PATUXENT PARKWAY  
COLUMBIA, MARYLAND 21044

**DMW**  
Darr-McCune-Walker, Inc.  
200 East Pennsylvania Avenue  
Towson, Maryland 21286  
(410) 296-3333  
Fax: 296-4705

A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

SECTION NAME: Ben Siscores No. Co. Health Park  
PLAT: 12636-12638  
BLOCK: 23  
PDR: 17  
TAXMAP: 17  
SUBJECT: 2  
OFFICE: Parcel B-10  
SHEET: 21  
SHEET TOTAL: 2  
CROSS SHEET: 8028

WATER CODE: F03 SEWER CODE: 145440

TITLE: **LANDSCAPE PLAN & LIGHTING FIXTURE**

Des By: DLW Scale: 1" = 30' Proj. No.: 81015P  
Dm By: FJZ Date: 5-6-98  
Chk By: M/M Approved

13 OF 13