

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MARYLAND STATE DESIGN SPECIFICATIONS FOR HIGHWAY BRIDGES AND STRUCTURES, IF HOWARD COUNTY PLUS MSHA IS APPLICABLE.
2. THE CONTRACTOR SHALL VERIFY THE FOLLOWING UTILITIES OR RECORDS PRIOR TO STARTING WORK SHOWN ON THIS PLAN:
 - a. 1-800-257-7777
 - b. 725-8976
 - c. 331-4900
 - d. 393-3553
 - e. 685-0123
 - f. 531-5533
3. THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS AT (410) 313-6900 AT LEAST 48 HOURS PRIOR TO STARTING ANY EXCAVATION WORK.
4. WHERE SHOWN, THE CONTRACTOR SHALL MAINTAIN A DESIGNATED FIRE LANE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAINTING THE CURB AND SIDEWALKS. THE PAINTED SURFACE SHALL EXTEND TO THE FULL LENGTH OF THE EXCAVATION. THE TYPE OF PAINT IS READILY OBTAINABLE FROM THE HOWARD COUNTY PUBLIC WORKS DEPARTMENT. THE CONTRACTOR SHALL USE SPECIAL-USE PAINTS. PAINT MAY BE APPLIED BY BRUSH OR SPRAY.
5. ALL CURB FINISHES ARE TO FACE OF CURB UNLESS OTHERWISE NOTED. ALL ELEVATIONS BY CURB LINE ARE TO FLOW LINE UNLESS OTHERWISE NOTED.
6. EXISTING GRADE AND FINISH GRADING AS SHOWN ON F-97-19, F-97-19-1, AND F-97-19-2 TO BE MAINTAINED THROUGHOUT.
7. ELEVATIONS AND BENCHMARKS ARE BASED UPON THE MD STATE PLAN (MAD 27) AS PROVIDED BY "WHITMAN, REQUARDT & ASSOCIATES" (PLAT # 12669 & #10102).
8. ALL EXISTING WATER AND SEWER IS PER CONTRACTS 24-3554-D.
9. ALL EXISTING PUBLIC STORM DRAIN IS PER F-97-19.
10. ALL EXISTING UTILITIES ARE NOTED OTHERWISE.
11. USE 15" DIA. DRAINAGE PIPES FOR STORM DRAINS.
12. ALL WATER METERS SHALL BE LOCATED INSIDE BUILDINGS. ALL WATER METERS SHALL BE BUILT WITH 48" OF COVER UNLESS OTHERWISE NOTED. METERS SHALL HAVE AN AUTOMATIC FIRE FIGHTER TURN-OFF DEVICE.
13. EXISTING UTILITIES SHOWN WERE OBTAINED BY FIELD SURVEY AND ARE NOT GUARANTEED. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL MAINS BY DIGGING TEST PITS BY HAND AT ALL EXISTING LOCATIONS WELL IN ADVANCE OF CONSTRUCTION. ANY DISCREPANCIES SHOULD BE IMMEDIATELY COMMUNICATED TO THE ENGINEER FOR CORRECTION. ALL UTILITIES MARKED BY MISS UTILITY SHALL BE MARKED BY HAND, AND ANY IMPACTS TO BE IMMEDIATELY REPORTED TO THE ENGINEER.
14. ALL UTILITIES SHALL BE PROTECTED AND KEPT OPEN AND AWAY FROM RIGHT-OF-WAY.
15. ALL EXISTING WATER MAINS ARE INVERT ELEVATIONS.
16. ALL EXISTING PUBLIC PARKS TO BE PRIVATELY OWNED AND MAINTAINED.
17. ALL EXISTING PUBLIC UTILITIES TO BE HANDLED BY ONE OF THESE:
 - a. 1-800-257-7777
 - b. 725-8976
 - c. 331-4900
 - d. 393-3553
 - e. 685-0123
 - f. 531-5533
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 - a. 1-800-257-7777
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25. ALL EXISTING PUBLIC UTILITIES TO BE HANDLED BY ONE OF THESE:
 - a. 1-800-257-7777
 - b. 725-8976
 - c. 331-4900
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 - e. 685-0123
 - f. 531-5533
26. ALL SIDEWALKS PARALLEL TO CURBS SHALL BE 5' WIDE MEASURED FROM BACK OF CURB TO BACK OF SIDEWALK. ALL LEADWALKS AND OTHER WALKWAYS SHALL BE 4' WIDE, EXCEPT PEDESTRIAN CONNECTOR PATH PARALLEL TO PARCEL 'A' PROPERTY LINE SHALL BE 5' WIDE.
27. THE CONTRACTOR OR DEVELOPER SHALL CONTACT THE CONSTRUCTION INSPECTION DIVISION 24 HOURS IN ADVANCE OF COMMENCEMENT OF WORK AT 410-313-1000.

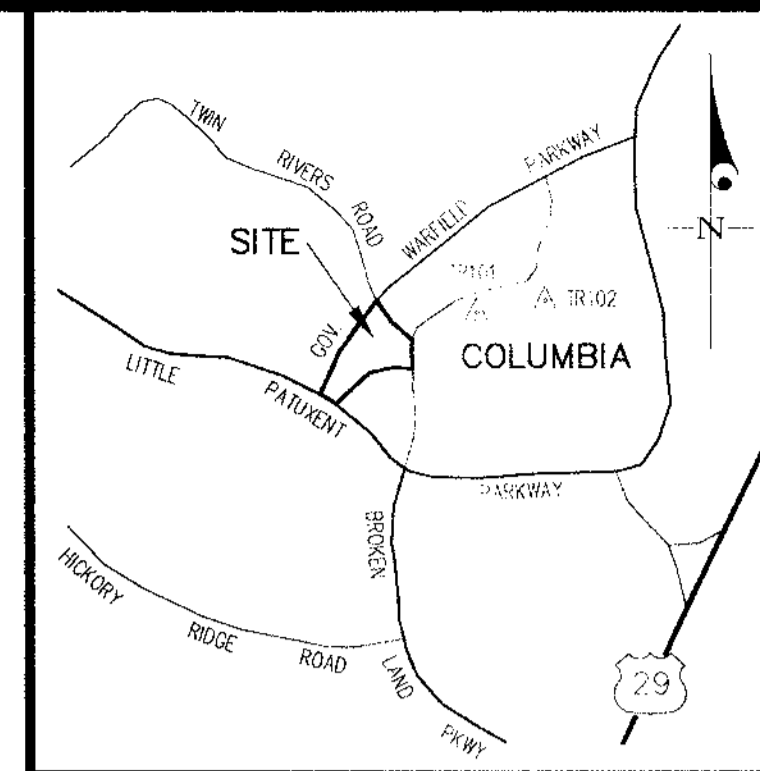
SITE DEVELOPMENT PLAN

COLUMBIA TOWN CENTER - SECTION 2, AREA 9

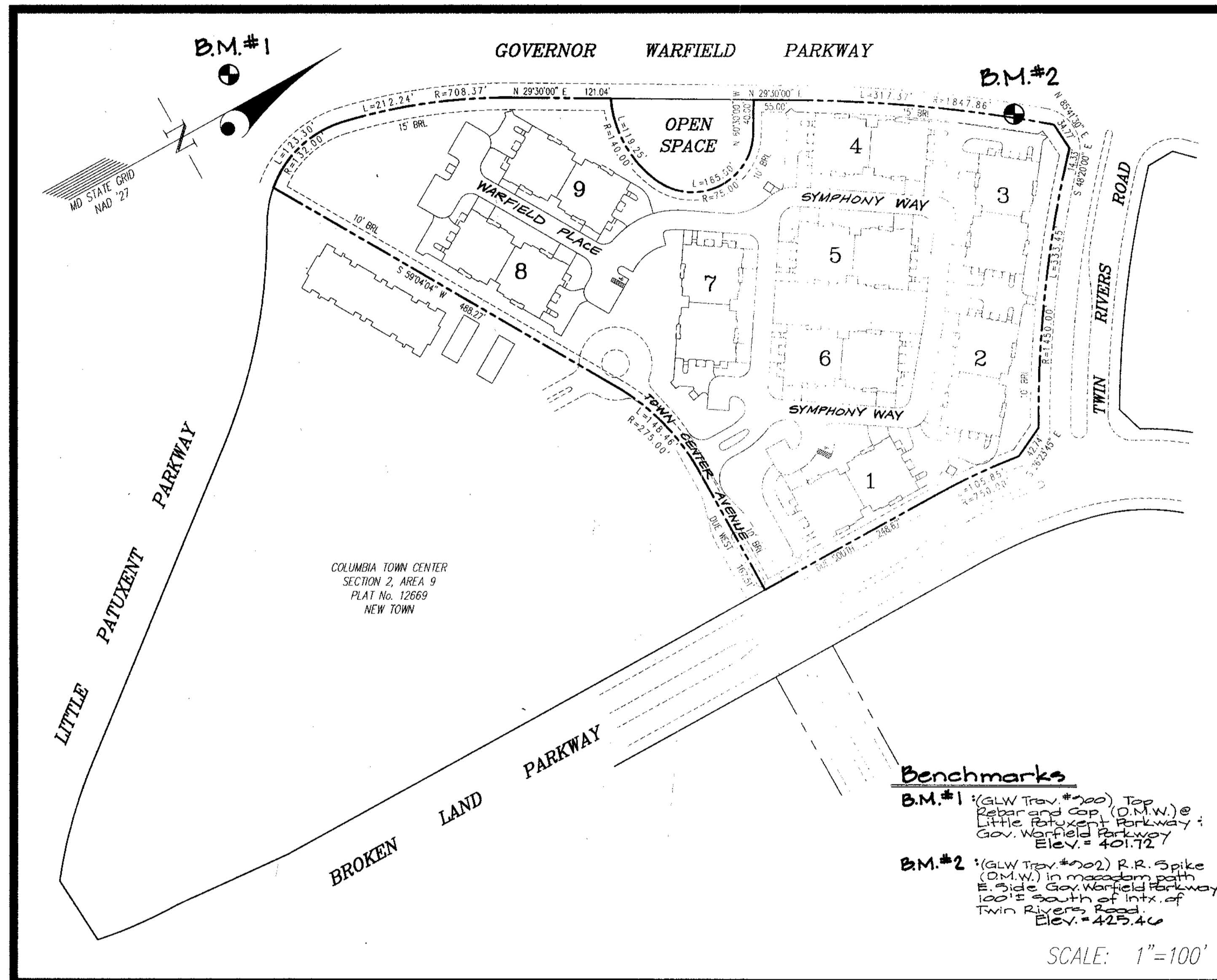
PARCEL "B"

FIFTH ELECTION DISTRICT

HOWARD COUNTY, MARYLAND



VICINITY MAP
SCALE: 1"=2000'

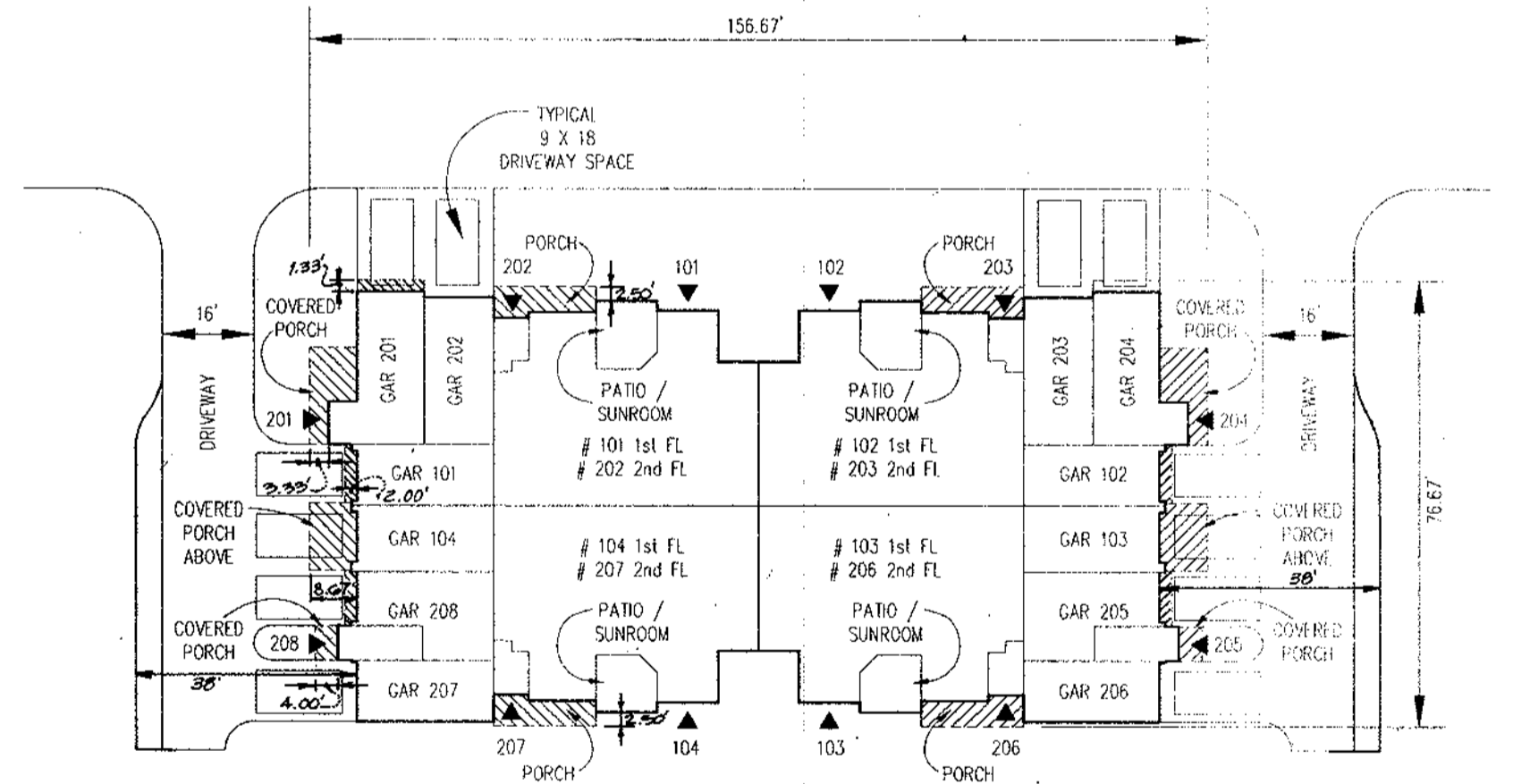


SHEET INDEX

No.	TITLE
1	COVER SHEET
2	SITE DEVELOPMENT PLAN
3	DRAINAGE AREA MAP
4	SEDIMENT CONTROL PLAN
5	SEWER PROFILES
6	STORM DRAIN PROFILES
7	SEDIMENT CONTROL NOTES & DETAILS
8	SITE PLAN DETAILS
9	LANDSCAPE PLAN
10	LANDSCAPE & SITE DETAILS

SITE ANALYSIS DATA CHART

1. General Site Data
 - a. Present Zoning: NEW TOWN, APARTMENT LAND USE, FDP 224A.
 - b. Proposed Use of Site or Structures: Condominium Apartments
 - c. Proposed Density: 108 Units, ALL UNITS ARE 2 BEDROOM
2. Area Tabulations
 - a. Total Project Area: 7.681 Ac. (334,584 sq ft)
 - b. Building Coverage Allowed: 30% x 334,584 sq ft = 100,375 sq ft
 - c. Building Coverage Proposed: 3 Buildings @ 10,638 sq ft = 31,914 sq ft (28.5%)
3. Parking Calculations
 - Required: 2 spaces/unit (2 x 108) = 216 spaces
 - Provided: = 240 spaces
 - Garage Spaces: 108 spaces
 - Driveway Spaces: 104 spaces
 - Surface Parking: 28 spaces (2 HC)



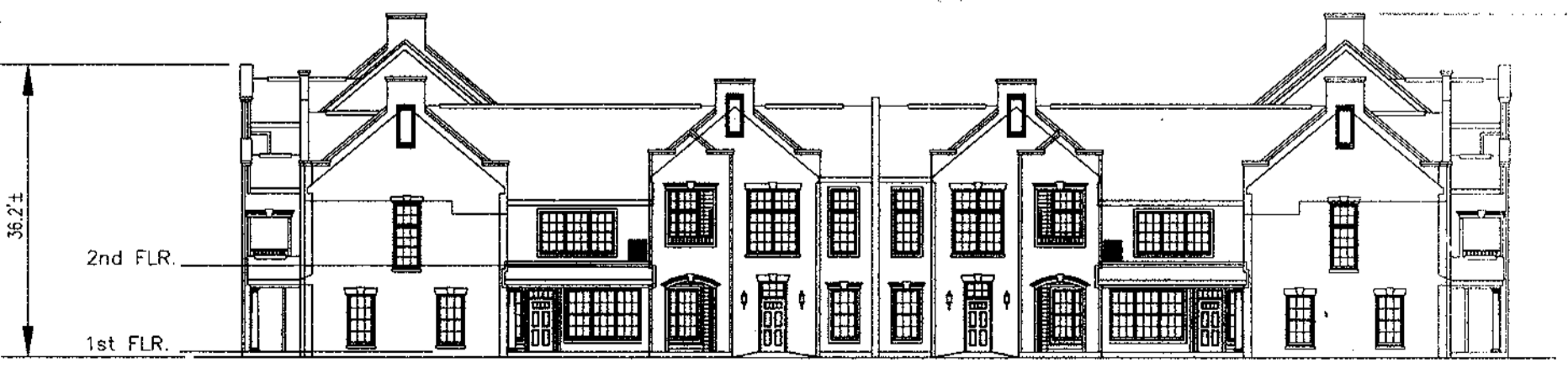
TYPICAL BUILDING
SCALE: 1"=30'

Note:
Building Addresses Assigned using the following unit sequence: 101, 202, 201, 206, 207, 104, 103, 205, 204, 209, 102.

BUILDING NUMBER	STREET ADDRESS
1	10100 - 10102 Symphony Way
2	10100 - 10102 Symphony Way
3	10100 - 10102 Symphony Way
4	10100 - 10102 Symphony Way
5	10101 - 10103 Symphony Way
6	10101 - 10103 Symphony Way
7	10201 - 10202 Warfield Place
8	10201 - 10202 Warfield Place
9	10200 - 10202 Warfield Place



SIDE



REAR



FRONT

BUILDING ELEVATIONS
SCALE: 1"=30'

APPROVED
DATE: 1/28/98

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Date: 3/24/98
 Date: 3/20/98
 Date: 3/16/98

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20866
 TEL: (301) 421-4024 NO. VA.: (301) 989-2524 BALT.: (410) 880-1820 FAX: (301) 421-4186

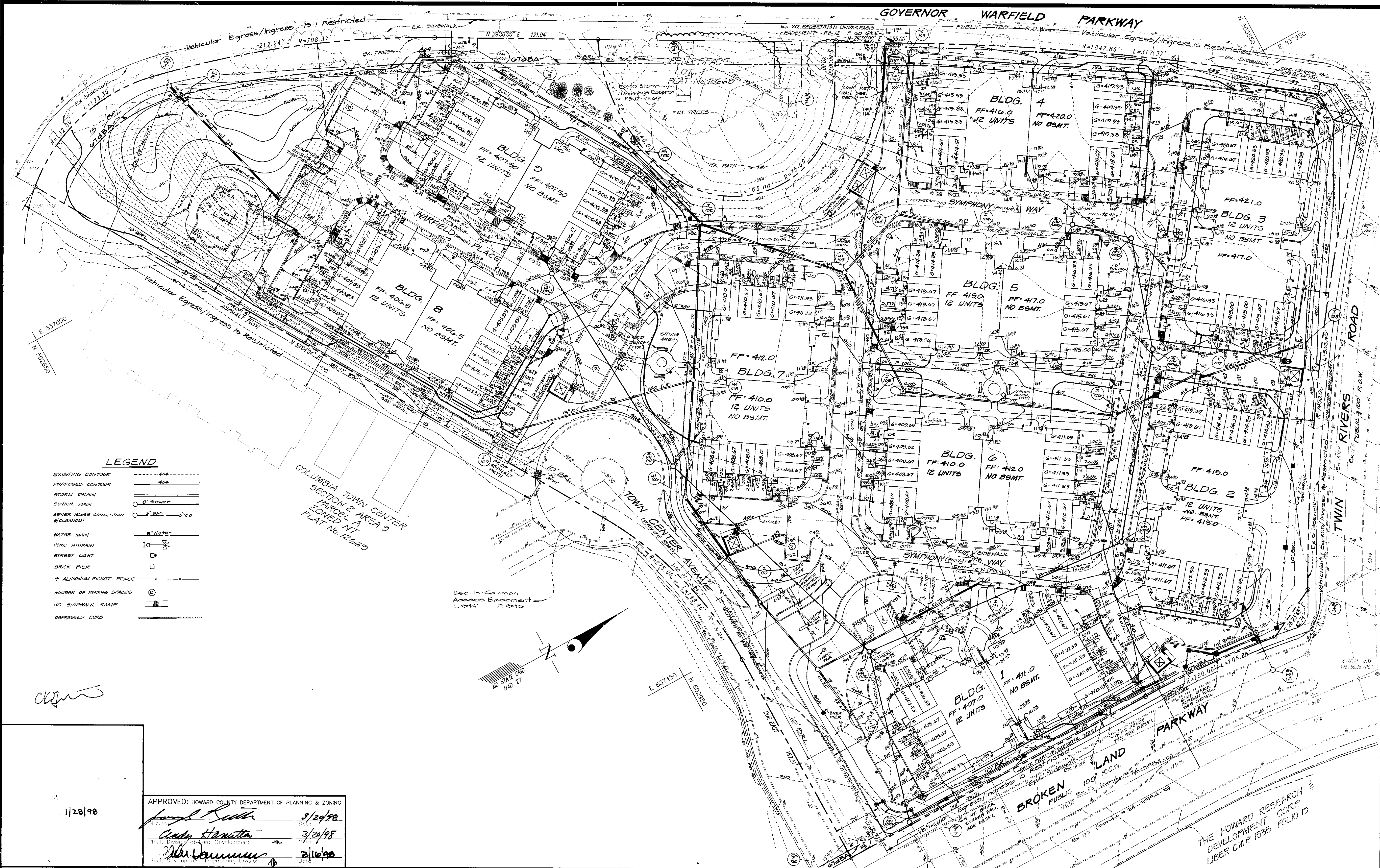
DATE	REVISION	BY	APPR.
1-10-98	Rev. per County Comments	enb	
12-30-97	REV. PER SRC COMMENTS	HKJ	
11-5-97	BIDWALK NOTE	HKJ	

OWNER:
THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MD 21044
ATTN: MR. AL EDWARDS
PH: (410) 992-6027

OWNER:
TRAFALGAR HOUSE RESIDENTIAL MARYLAND
8965 CULFORD ROAD, SUITE 200
COLUMBIA, MD 21046
ATTN: MR. MICHAEL LANCY
PH: (301) 621-8151

COVER SHEET
COLUMBIA TOWN CENTER
 SECTION 2, AREA 9
 PARCEL "B"
 PLAT No. 12669
 CLARKSVILLE ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NEW TOWN	97066
DATE	TAX MAP No.	SHEET
FEB. 23, 1998	36	1 OF 10



LEGEND

EXISTING CONTOUR	--- 404 ---
PROPOSED CONTOUR	— 404 —
STORM DRAIN	— S —
SEWER MAIN	— S —
SEWER HOUSE CONNECTION	— S —
WATER MAIN	— W —
FIRE HYDRANT	— F —
STREET LIGHT	— L —
BRICK PIER	— P —
ALUMINUM PICKET FENCE	— F —
NUMBER OF PARKING SPACES	— N —
HC SIDEWALK RAMP	— R —
DEPRESSED CURB	— C —

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] 3/29/98
[Signature] 3/20/98
[Signature] 3/16/98

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20866

DATE	REVISION	BY	APPR.
10-12-01	REV. BRICK PIER & FENCE LOC.; REV. HC RAMP (BLDG. 2) REMOVE CONC. RET. WALL & CULDESAC	HKJ	
09-25-00	REV. PER TOT LOT RELOCATION & D/W PLANS OUT	SKB	
1-16-98	REV. PER COUNTY COMMENTS	HKJ	
12-30-97	REV. PER SRC COMMENTS	HKJ	

OWNER
 HRD
 10275 LITTLE BRUNNEN PKWY
 COLUMBIA, MD 21044
 (410) 522-0900

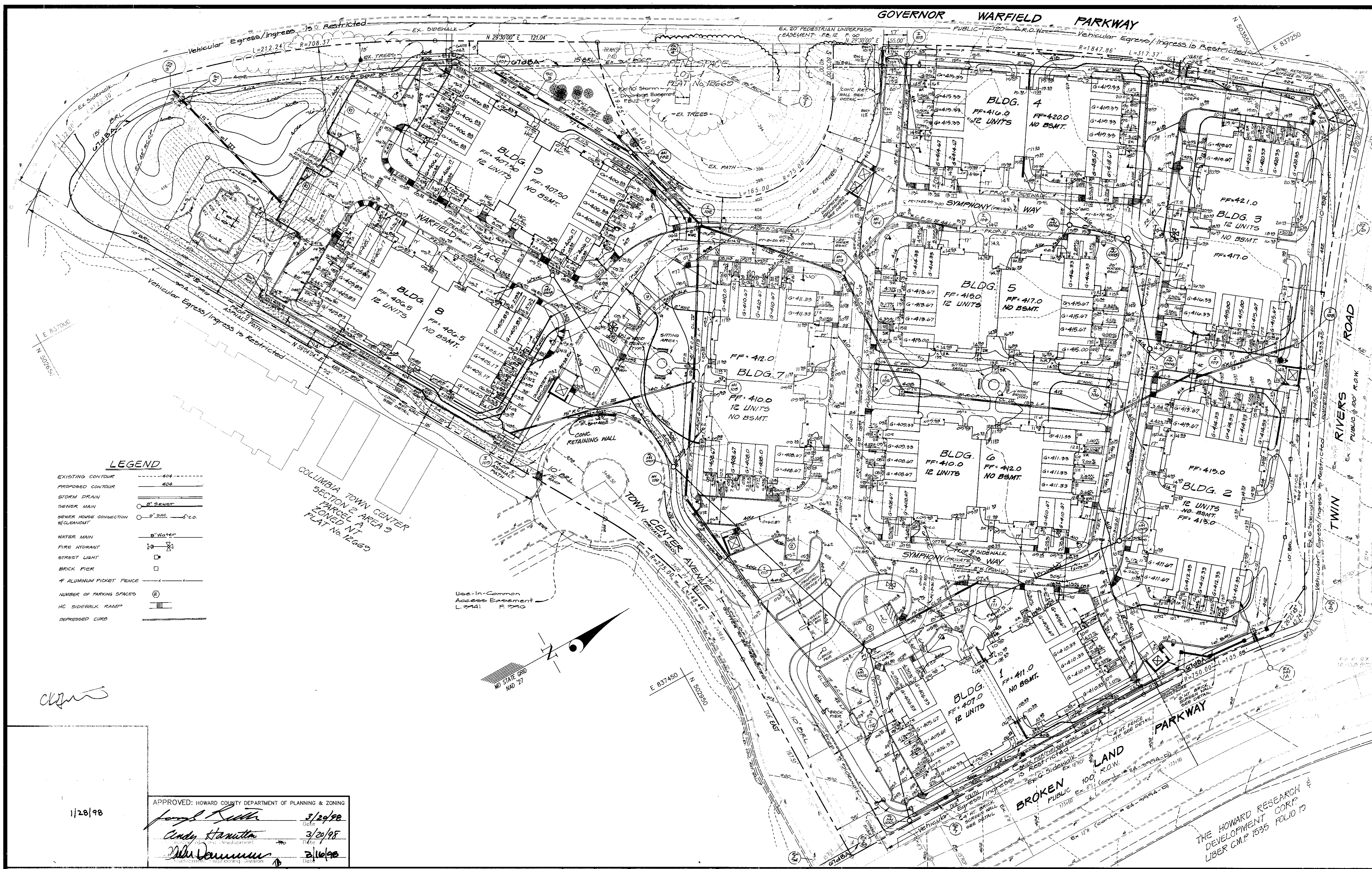
OWNER
 TRAPLASKAR HOUSE
 RESIDENTIAL DEVELOPMENT
 8505 GULFORD RD. SUITE 200
 COLUMBIA, MD 21046
 (301) 621-8151

SITE DEVELOPMENT PLAN
COLUMBIA TOWN CENTER
 SECTION 2 AREA 9
 PARCEL "B"
 PLAT No. 12669

CLARKSVILLE ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

SCALE	1" = 30'	ZONING	NEW TOWN	G. L. W. FILE No.	97066
DATE	FEB. 23, 1998	TAX MAP No.	36	SHEET	2 of 10

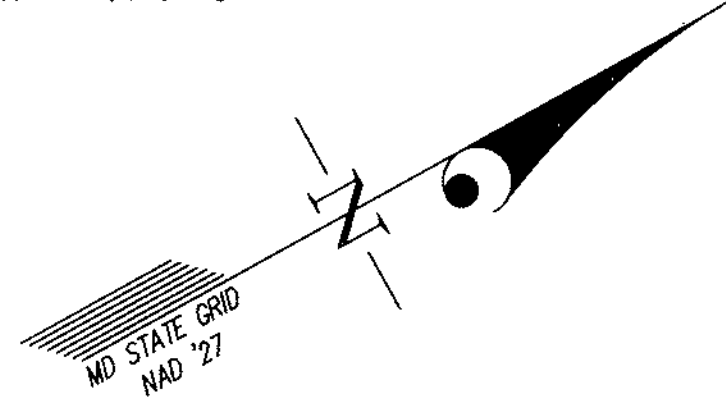


LEGEND

- EXISTING CONTOUR --- 404
- PROPOSED CONTOUR --- 402
- STORM DRAIN ---
- SEWER MAIN ○ 8" Sewer
- SEWER HOUSE CONNECTION ○ 8" SMC
- WATER MAIN --- 8" Water
- FIRE HYDRANT ⊕
- STREET LIGHT ⊕
- BRICK PIER □
- 4" ALUMINUM PICKET FENCE ---
- NUMBER OF PARKING SPACES ⊕
- HC SIDEWALK RAMP ---
- DEPRESSED CURB ---

COLUMBIA TOWN CENTER
SECTION 2 AREA 9
PARCEL B
ZONED NT
PLAT No. 12669

Use-In-Common
Access Easement
L 2141 F 210



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Joseph K... 3/20/98
Date

Cindy Hamilton 3/20/98
Date

Bill Dammann 3/16/98
Date

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20866

DATE	REV. PER SRC COMMENTS	REVISION	BY	APPR.
2-25-98	Rev per tot let relocation & D/W plans out		enb	
1-19-98	Rev per County Comments		AKJ	
12-30-97	REV. PER SRC COMMENTS			

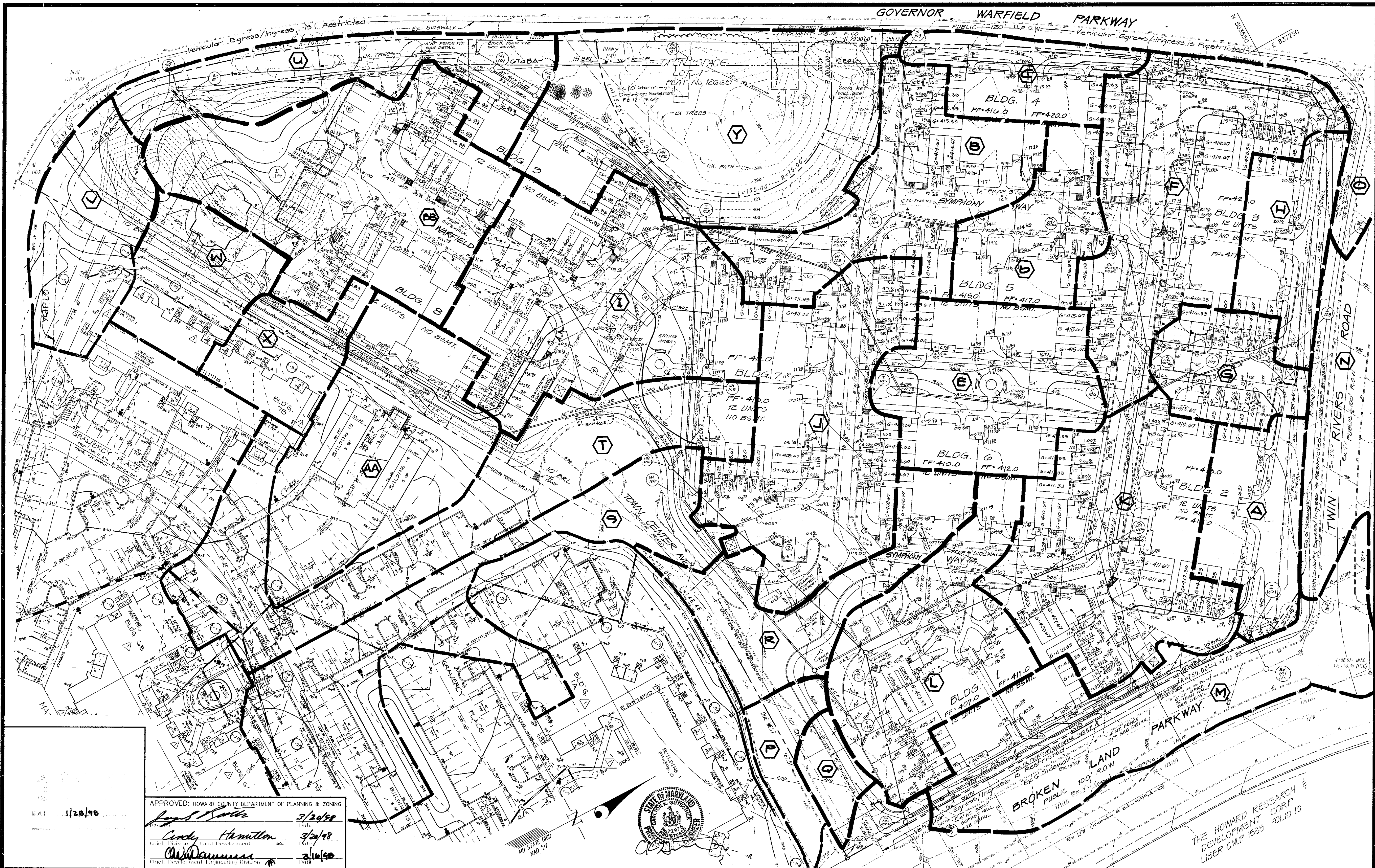
OWNER
NRD
10275 LITTLE PATRIOT PKWY
COLUMBIA, MD 21044
(410) 552-0000

OWNER
TRAPALGAR HOUSE
RESIDENTIAL MARYLAND
8065 GUILFORD RD. SUITE 200
COLUMBIA, MD 21046
(301) 621-8151

SITE DEVELOPMENT PLAN
COLUMBIA TOWN CENTER
SECTION 2 AREA 9
PARCEL "B"
PLAT No. 12669

SCALE	ZONING	G. L. W. FILE No.
1"=30'	NEW TOWN	97066
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FEB. 23, 1998	36	2 of 10

THE HOWARD RESEARCH
DEVELOPMENT CORP.
LIBER C.M.P. 1535 FOLIO 19



DATE 1/28/98

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Ray S. Smith 3/20/98
Cathy Hamilton 3/20/98
Al Damassa 3/16/98
 Chief, Development Engineering Division



THE HOWARD RESEARCH DEVELOPMENT CORP.
 LIBER C.M.P. 1535 FOLIO 19

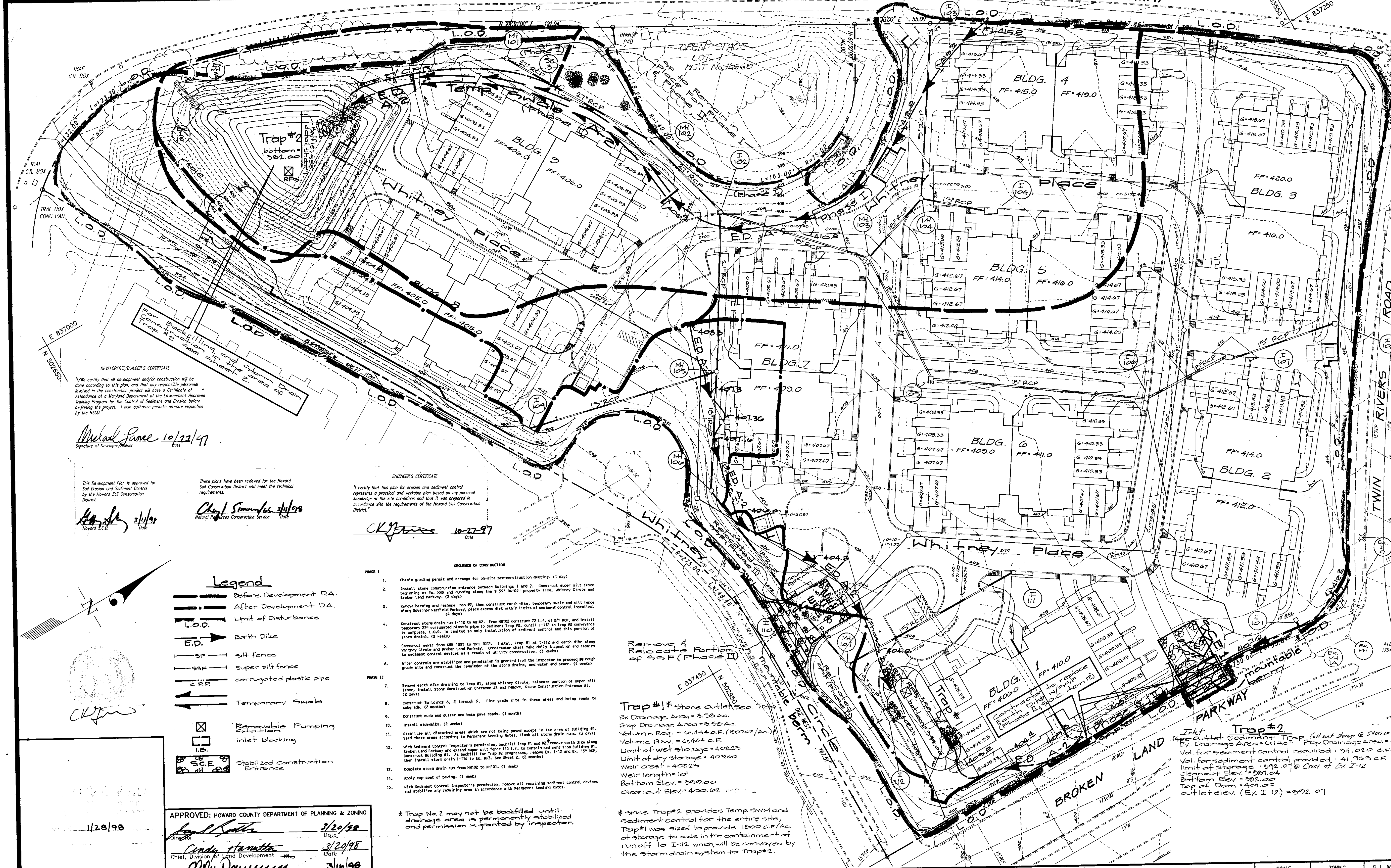
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 TEL: (301) 421-4024 NO. VA.: (301) 989-2524 BALI: (410) 880-1820 FAX: (301) 421-4186 DES. DRN. CHK.

NO.	DATE	REV. PER. SRC. COMMENTS	BY	APP'R.
1	12-30-97	Rev. grading in area of toilet & drainage divide	fkj	
2	1-20-98	REV. PER. SRC. COMMENTS		

OWNER
 TRAFALGAR HOUSE
 8545 GULFORD RD. SUITE 200
 COLUMBIA, MD 21044
 (410) 552-8000

Drainage Area Map
COLUMBIA TOWN CENTER
 SECTION 2 AREA 9
 PARCEL "B"
 PLAT No. 12669
 CLARKSVILLE ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=30'	NEW TOWN	97066
DATE	TAX MAP No.	SHEET
FEB. 23, 1998	36	3 of 10



DEVELOPER'S/BUILDER'S CERTIFICATE
 I/We certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD.

Michael Lane 10/22/97
 Signature of Developer/Builder Date

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

ENGINEER'S CERTIFICATE
 These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

- Legend**
- Before Development D.A.
 - After Development D.A.
 - L.O.D. Limit of Disturbance
 - E.D. Earth Dike
 - SF silt fence
 - SSF Super silt fence
 - C.P.P. corrugated plastic pipe
 - ← Temporary Swale
 - ☒ Removable Pumping
 - ☐ inlet blocking
 - ☒ SCE Stabilized Construction Entrance

- SEQUENCE OF CONSTRUCTION**
1. Obtain grading permit and arrange for on-site pre-construction meeting. (1 day)
 2. Install stone construction entrance between Buildings 1 and 2. Construct super silt fence beginning at Ex. #15 and running along the 5' 59" 04' 04" property line, Whitney Circle and Broken Land Parkway. (2 days)
 3. Remove bearing and reshape Trap #2, then construct earth dike, temporary male and silt fence along Governor Warfield Parkway, place access dirt within limits of sediment control. (4 days)
 4. Construct storm drain run 1-112 to MH102. From MH102 construct 72' L.F. of 27" RCP, and install temporary 27" corrugated plastic pipe to sediment Trap #2. (until 1-112 to Trap #2 conveyance is complete, L.O.D. is limited to only installation of sediment control and this portion of storm drain). (2 weeks)
 5. Construct sewer from SH# 1001 to SH# 1002. Install Trap #1 at 1-112 and earth dike along Whitney Circle and Broken Land Parkway. (contractor shall make daily inspection and repairs to sediment control devices as a result of utility construction). (3 weeks)
 6. After controls are stabilized and permission is granted from the Inspector to proceed, rough grade site and construct the remainder of the storm drains, and water and sewer. (4 weeks)
 7. Remove earth dike draining to Trap #1, along Whitney Circle, relocate portion of super silt fence, install Stone Construction Entrance #2 and remove Stone Construction Entrance #1. (2 days)
 8. Construct Buildings 6, 2 through 9. Fine grade site in these areas and bring roads to subgrade. (2 months)
 9. Construct curb and gutter and base pave roads. (1 month)
 10. Install sidewalks. (2 weeks)
 11. Stabilize all disturbed areas which are not being paved except in the area of Building #1. Seed these areas according to Permanent Seeding Notes. Flush all storm drain runs. (3 days)
 12. With Sediment Control Inspector's permission, backfill Trap #1 and #2, remove earth dike along Broken Land Parkway and extend super silt fence 120' L.F. to contain sediment from Building #1. Construct Building #1. As backfill for Trap #2 progresses, remove Ex. 1-12 and Ex. 15" RCP, then install storm drain 1-114 to Ex. #15. See Sheet 2. (2 months)
 13. Complete storm drain run from MH102 to MH101. (1 week)
 14. Apply top coat of paving. (1 week)
 15. With Sediment Control Inspector's permission, remove all remaining sediment control devices and stabilize any remaining area in accordance with Permanent Seeding Notes.

Remove & Relocate Portion of S.S.F. (Phase II)

Trap #1 Stone Outlet Sed. Trap
 Ex. Drainage Area = 3.58 Ac.
 Prop. Drainage Area = 3.58 Ac.
 Volume Req. = 6,444 C.F. (18000 C.F./Ac.)
 Volume Prov. = 6,444 C.F.
 Limit of dry storage = 40223
 Weir crest = 40223
 Weir length = 10'
 Bottom Elev. = 399.00
 Cleanout Elev. = 400.02

Trap #2
 Inlet Sediment Trap (all out storage @ 5000 C.F.)
 Ex. Drainage Area = 6.1 Ac. Prop. Drainage Area = 6.2 Ac.
 Vol. for sediment control required: 24,020 C.F. (54000 C.F./Ac.)
 Vol. for sediment control provided: 41,905 C.F.
 limit of storage = 392.07 @ Crest of Ex. I-12
 Cleanout Elev. = 392.07
 Bottom Elev. = 382.00
 Top of Dam = 401.02
 outlet elev. (Ex. I-12) = 392.07

* Trap No. 2 may not be backfilled until drainage area is permanently stabilized and permission is granted by Inspector.

* since Trap #2 provides Temp SWM and Sediment control for the entire site, Trap #1 was sized to provide 1800 C.F./Ac. of storage to aid in the containment of runoff to I-12 which will be conveyed by the storm drain system to Trap #2.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

David Satter 3/20/98
 Director Date

Cindy Hammett 3/20/98
 Chief, Division of Land Development Date

Chris Domusius 3/16/98
 Chief, Development Engineering Division Date

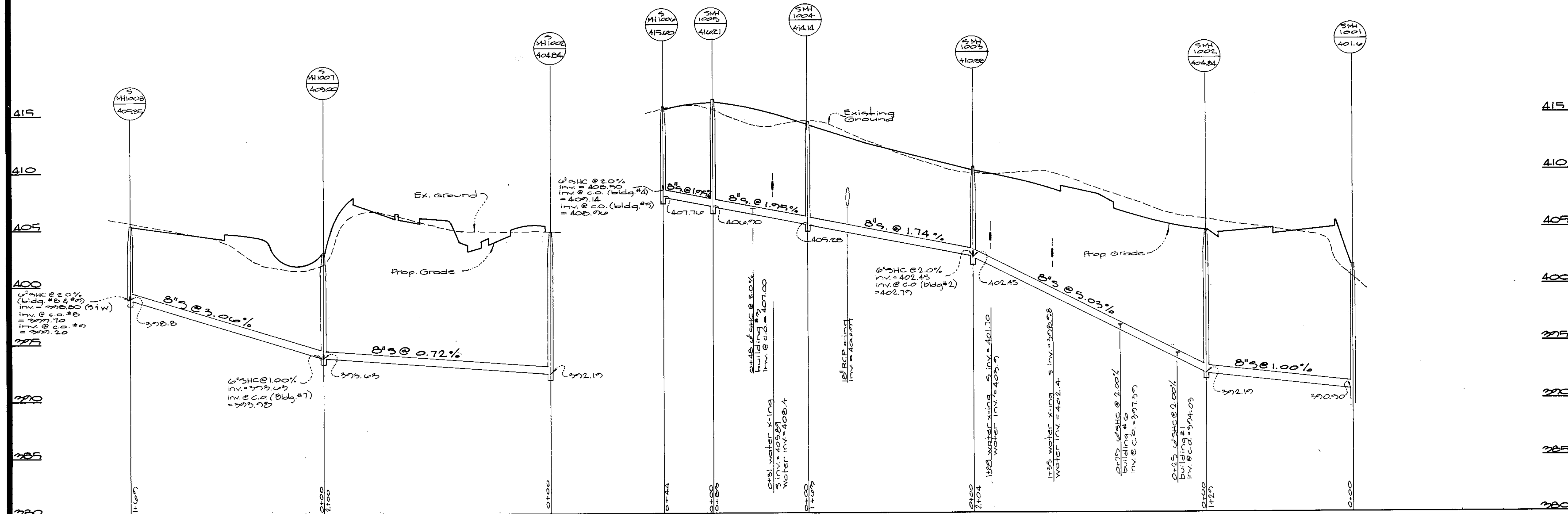
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 TEL: (301) 421-4024 MO. VA.: (301) 989-2524 BALT.: (410) 880-1820 FAX: (301) 421-4186 DES. DRN. CHK.

DATE	REVISION	BY	APPR.
3/20/98	Rev. Res. at Lot Relocation	WJL	

OWNER:
 Trafalgar House Residential Maryland
 8009 Guilford Road, Suite 200
 Columbia, Maryland 21046
 (301) 421-8151

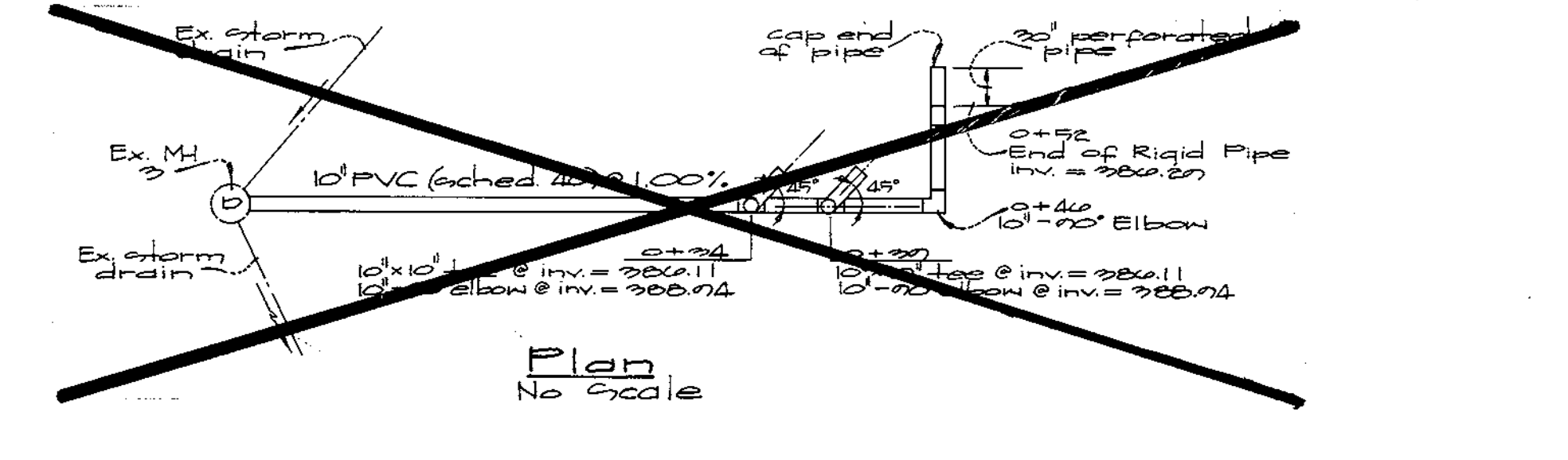
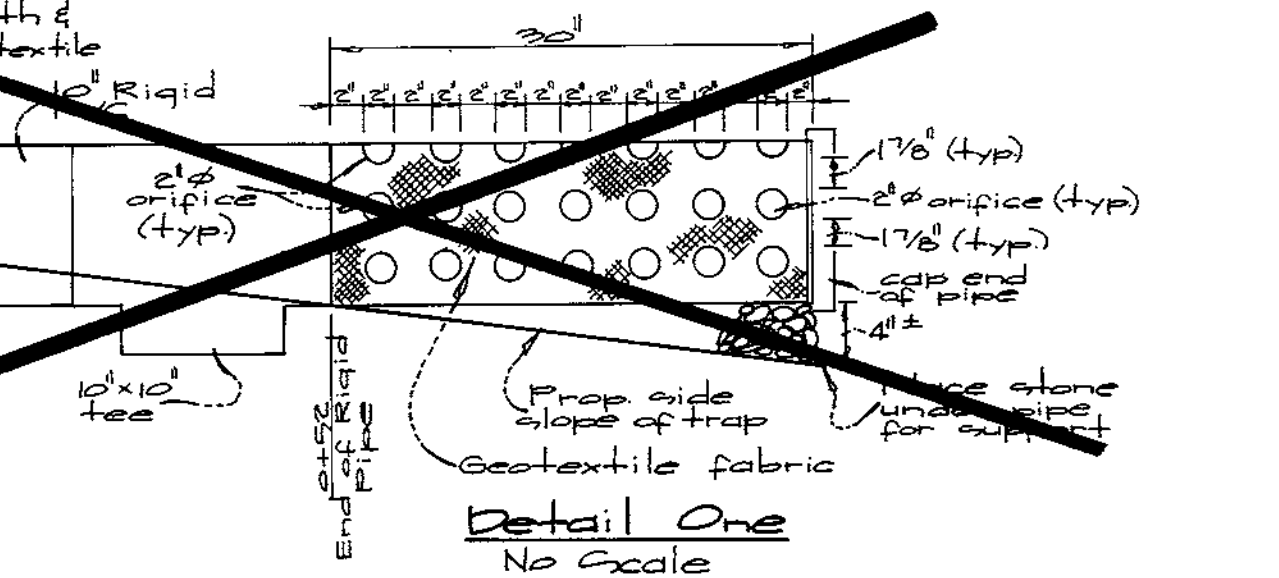
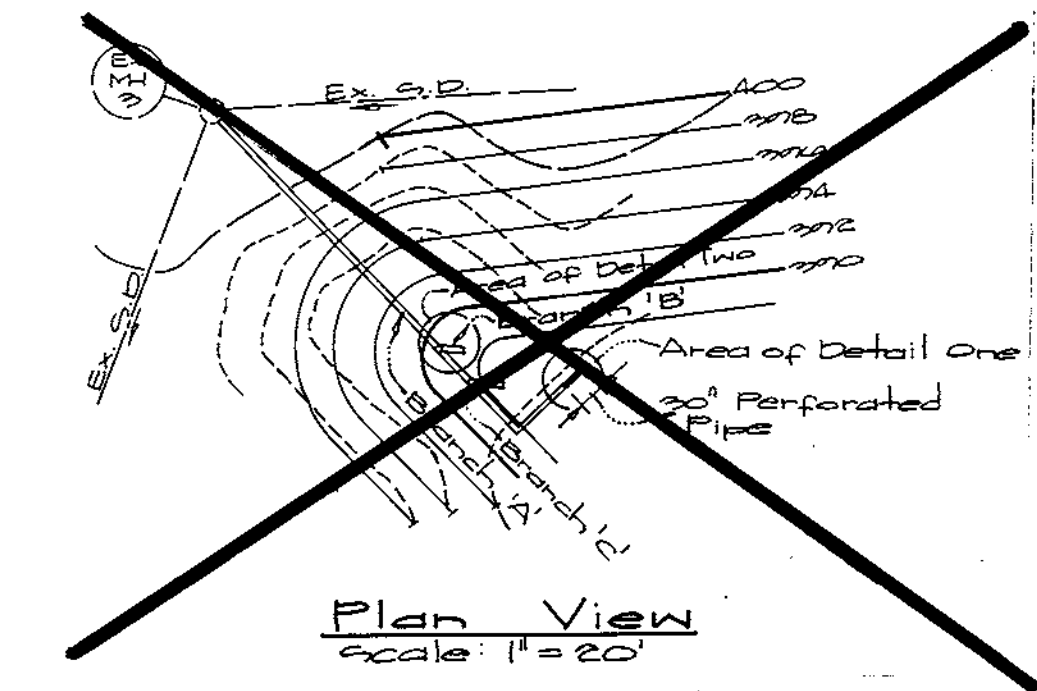
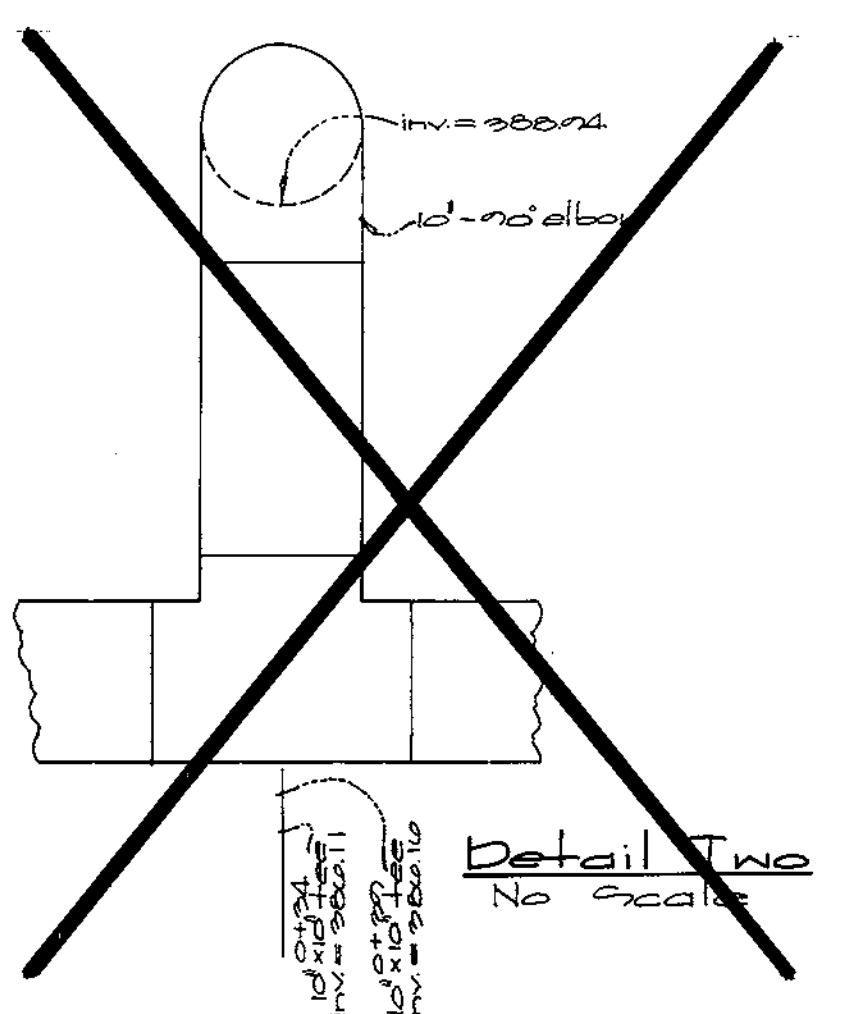
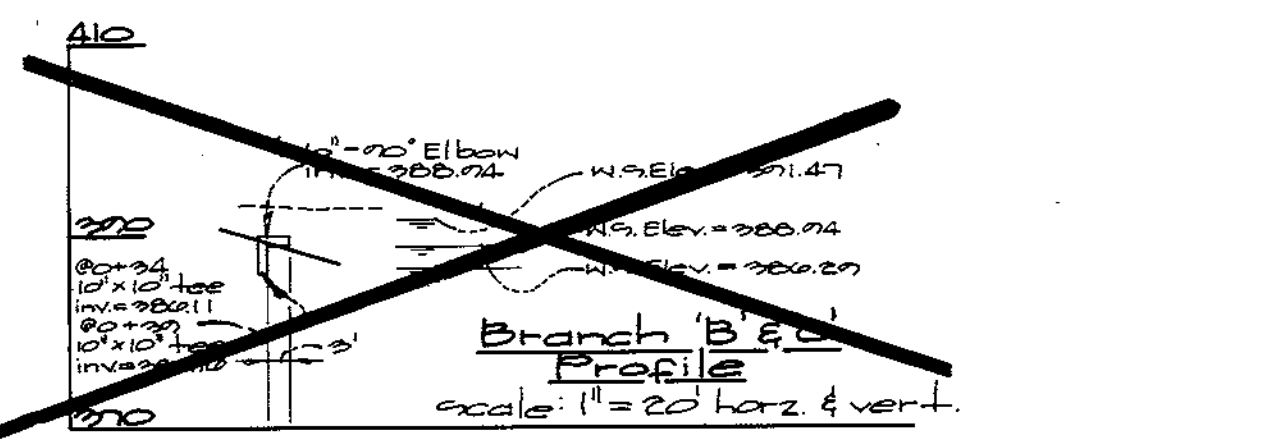
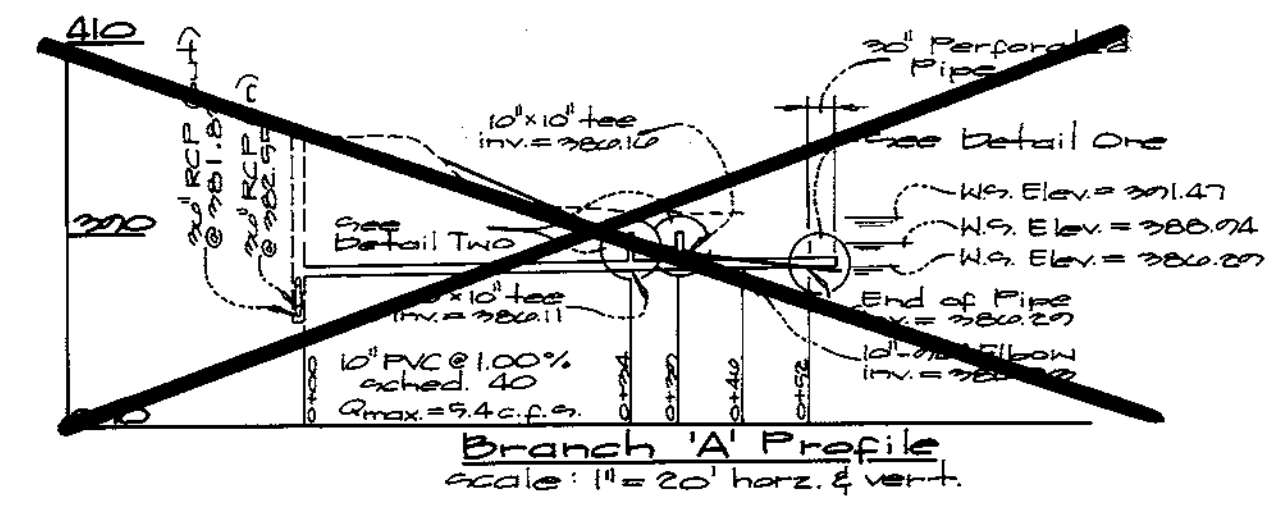
Sediment Control Plan
COLUMBIA TOWN CENTER
 SECTION 2 AREA 9
 PARCEL "B"
 PLAT No. 12669

SCALE 1"=30'	ZONING NEW TOWN	G. L. W. FILE No. 97066
DATE FEB. 23, 1998	TAX MAP No. 36	SHEET 4 of 10



Profile
 scale: 1" = 50' horiz.
 1" = 5' vert.

Drainage Area Calculations					
Inlet	Drainage Area	Area (ac.±)	I ^c	Percent Impervious	Remarks
101	A	0.22	0.73	80%	under this plan
102	B	0.42	1	1	1
103	C	0.21	1	1	1
104	D	0.25	1	1	1
105	E	0.41	1	1	1
106	F	0.62	1	1	1
107	G	0.19	1	1	1
108	H	0.23	1	1	1
109	I	0.57	1	1	1
110	J	0.60	1	1	1
111	K	0.60	1	1	1
112	L	0.47	1	1	1
Ex. I-7	M	0.63	0.68	73%	under F
Ex. I-9	N	0.25	0.67	72%	under F 07-10
Ex. I-10	O	0.78	0.64	68%	1
Ex. I-24	P	0.07	0.87	100%	under SPP 07-07
Ex. I-25	Q	0.07	0.87	100%	1
Ex. I-29	R	0.29	0.68	72%	1
Ex. I-28	S	0.62	0.60	57%	1
Ex. I-17	T	0.79	0.60	57%	1
I-113	U	0.52	0.24	8%	under this plan
Ex. I-30	V	0.27	0.24	7%	under SPP 07-02
Ex. I-31	W	0.32	0.42	34%	1
Ex. I-32	X	0.21	0.57	57%	1
Ex. I-1	Y	0.21	0.37	28%	under SPP 20-01G
Ex. I-10	AA	0.31	0.66	67%	under SPP 07-07
I-114	BB	0.50	0.73	80%	under this plan



Approved: *[Signature]* 3/20/98
 Director
[Signature] 3/20/98
 Chief, Division of Land Development
[Signature] 3/16/98
 Chief, Development Engineering Div.

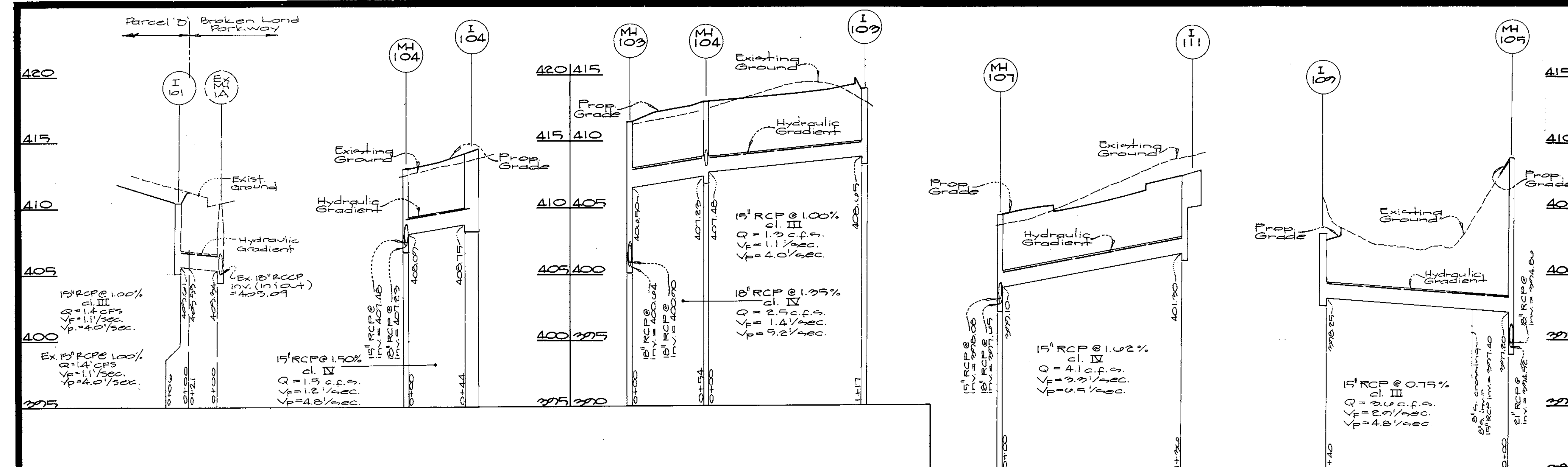
GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE · SUITE 250 · BURTONSVILLE OFFICE PARK · BURTONSVILLE, MD. 20866
 TELEPHONE: (301)421-4024 NO. VA. (301)989-2524 BALTO. (301)880-1820 FAX (301)421-4186

DATE	REVISION	BY	APPR.

OWNER
 Trapalgar House Residential Maryland
 2805 Guilford Road Suite 200
 Columbia, Maryland 21046
 Attn: Michael Lance
 (301) 421-8151

Sewer Profiles
Columbia Town Center
 Section 2 Area 9
 Parcel "B"
 plat no. 12069
 Clarkville Election District No. 5
 Howard County, Maryland

DES.:	SCALE	ZONING	G.L.W. FILE No.
KLP	As shown	NT	97060
DRN.:	DATE	TAX MAP No.	SHEET
KLP	FEB. 23, 1998	20	5 of 10



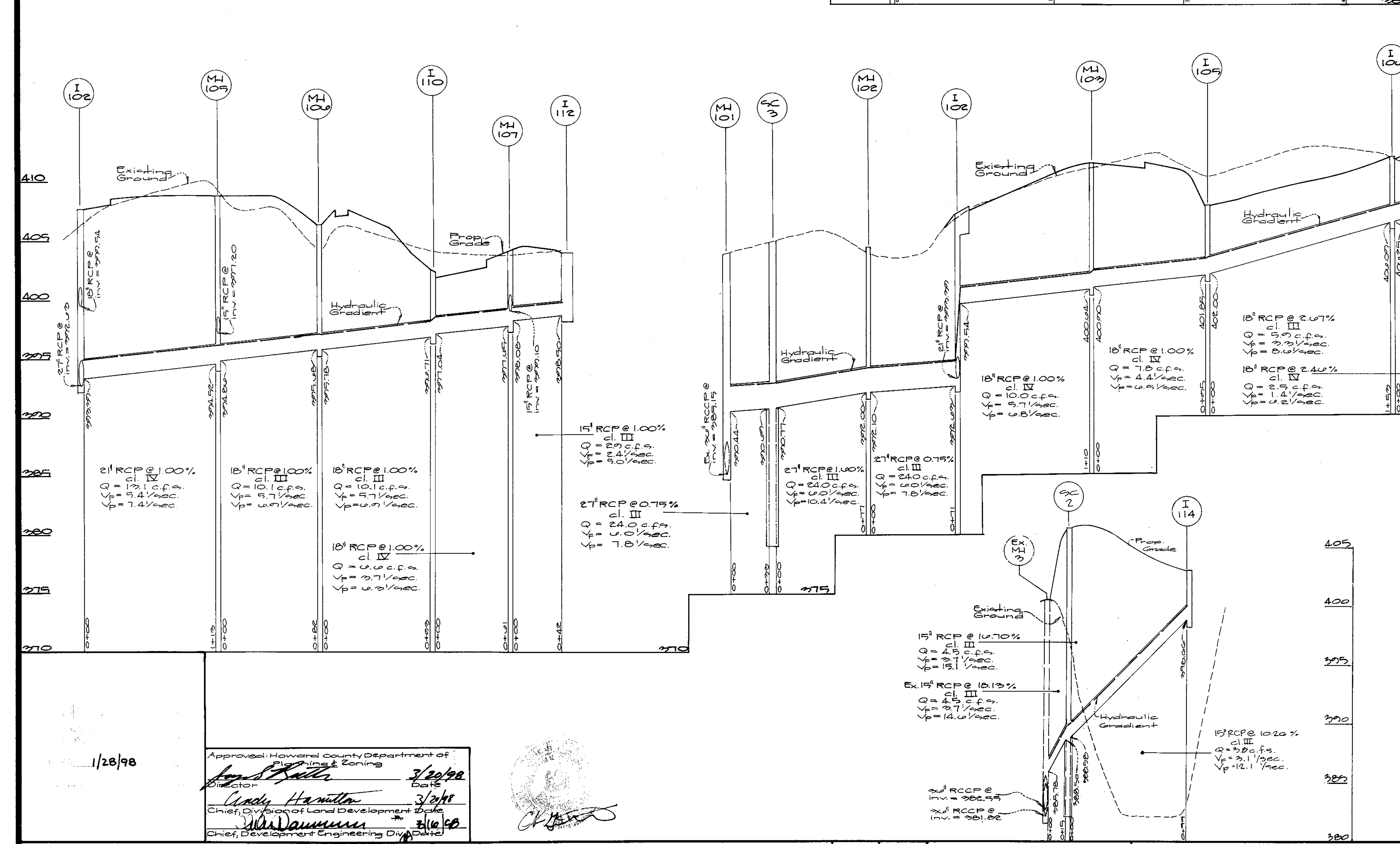
Structure Schedule

No	Type	Width (inside)	Top Elevation	Invert Elevation	Std. Detail	Locations	Remark
			Upper	Lower			
I-101	1/2' inlet	—	410.90	—	409.01	S.D. 4.22	
I-102	COG 15	—	407.78	406.04	406.04	MSHA MD-27402	
I-103	1/2' inlet	—	413.02	—	408.49	S.D. 4.22	
I-104	A-10	2'-0"	414.40	414.00	408.75	S.D. 4.02	
I-105	1/2' inlet	—	407.07	—	402.00	S.D. 4.22	
I-106	COG 15	—	412.40	411.80	406.00	MSHA MD-27402	
I-107	A-5	2'-0"	413.10	412.10	407.75	S.D. 4.01	
I-108	1/2' inlet	—	413.17	—	408.77	S.D. 4.22	
I-109	A-10	2'-0"	409.00	409.00	408.25	S.D. 4.02	
I-110	COG 20	—	409.00	408.23	397.04	MSHA MD-27402	
I-111	COG 15	2'-0"	408.07	407.74	401.70	"	
I-112	A-10	2'-0"	402.00	402.00	398.90	S.D. 4.02	
I-114	A-5	—	402.90	—	398.00	S.D. 4.01	
MH 101	Std Manhole	4'-0"	404.00	390.44	388.15	G 9.01	
MH 102	"	"	404.90	392.10	392.00	"	
MH 103	"	"	411.40	400.00	400.44	"	
MH 104	"	"	412.87	408.00	407.23	"	
MH 105	"	"	408.00	397.20	396.92	"	
MH 106	"	"	402.27	395.76	395.06	"	
MH 107	"	"	402.29	397.10	397.05	"	
SC2*	Series 1200	—	402.70	—	388.90	"	
SC3*	Series 4800	—	409.00	—	390.77	"	

* Stormceptor, see sheet 7 for order forms and structure detail.

Pipe Schedule

Size	Type	Length (LF)
15"	RCP, class III	490
15"	RCP, class IV	100
18"	RCP, class III	328
18"	RCP, class IV	261
21"	RCP, class IV	113
27"	RCP, class III	101



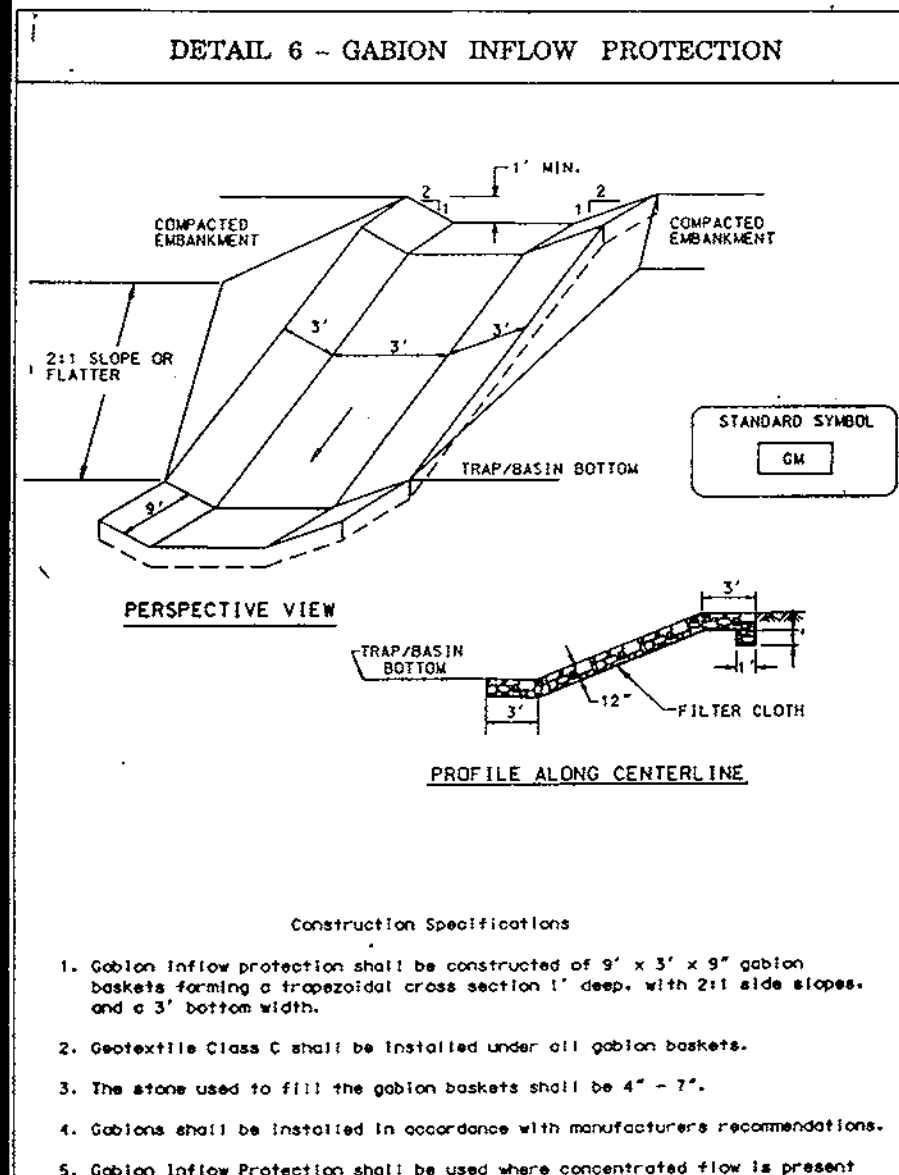
Profiles
 scales: 1" = 5' vert
 1" = 50' horz

- ### Operation & Maintenance Schedule
- #### Stormceptor Water Quality Device
- Water quality structures will require periodic cleaning & inspection. The structures will be inspected yearly or as dictated by Howard County. Depending upon the results of the inspection, the structures will be cleaned. The inspection & cleaning will be the responsibility of the owner.
 - The water quality structures must be inspected & cleaned immediately after a petroleum spill. The proper regulatory agencies must be contacted.
 - The disposal of the liquid & solid matter shall be as follows:
 - All liquid material in the water quality structure shall be pumped into a suitable tank truck & disposed of at an approved sanitary district discharge.
 - The solid matter shall be landfilled in an approved sanitary landfill.
 - The inlet & outlet assembly shall be inspected periodically. Any blockages shall be removed & disposed of as required in 3B above.
 - The owner shall retain the completed stormceptor inspection/monitoring forms & provide them to Howard County Officials upon their request.

1/28/98

Approved: Howard County Department of Planning & Zoning
 Director
 Deputy Director
 Chief, Division of Land Development Dept.
 Chief, Development Engineering Div. Dept.

GLW GUTSCHICK LITTLE & WEBER, P.A. CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MD 20866 TELEPHONE: (301)421-4024 NO. VA. (301)989-2524 BALTO. (301)880-1820 FAX (301)421-4186	DATE: 12-30-97 REV PER SRC COMMENTS: Rev Storm drain from I-101 to I-114 removed I-113	REVISION: MCF	BY:	APPR:	OWNER: Tropical Home Residential Maryland 8000 Guilford Road Suite 200 Columbia, Maryland 21046 (301) 621-8151	Storm Drain Profiles Columbia Town Center section 2 Area 9 Parcel "B" plat no. 12009 Clarksville Election District No. 5 Howard County, Maryland	DES.: DEV SCALE: As shown ZONING: NT G.L.W. FILE NO.: 97006	DRN.: KLP DATE: FEB. 23, 1998 TAX MAP No.: 20 SHEET: 6 of 10
	DATE:	REVISION:	BY:	APPR:	OWNER:	DES.:	SCALE:	ZONING:



Precast Concrete Stormceptor Order Request Form

CONTRACTOR INFORMATION

Name: _____
Address: _____
City: _____
State: _____
Zip Code: _____
Contact: _____
Phone: _____
Fax: _____

OWNER INFORMATION

Name: _____
Address: _____
City: _____
State: _____
Zip Code: _____
Contact: _____
Phone: _____
Fax: _____

Project Name: **Town Center Sect. 2 Area 9 Parcel B**

Approximate Site Name of Delivery Point: _____

Delivery Address: **State Intersection of Broken Land Hwy & Greenway**
or Columbia State Intersection of Broken Land Hwy & Greenway
or Columbia State Intersection of Broken Land Hwy & Greenway
or Columbia State Intersection of Broken Land Hwy & Greenway
or Columbia State Intersection of Broken Land Hwy & Greenway

Design Company: **Gutschick Little & Weber, P.A.**
 Designer: **David Vande Ryt** Phone: **(301) 421-4100**
 Designer: **David Vande Ryt** Phone: **(301) 421-4100**

PLEASE FILL OUT COMPLETELY AND FAX TO: **CSR Hydro Conduit**
 ATTN: ED O'MALLEY FAX: (703)922-3659, PHONE: (703)971-1900
 FOR TECHNICAL ASSISTANCE PLEASE CALL MIKE BARG, PHONE (703)971-1900

Precast Concrete Stormceptor Order Request Form

CONTRACTOR INFORMATION

Name: _____
Address: _____
City: _____
State: _____
Zip Code: _____
Contact: _____
Phone: _____
Fax: _____

OWNER INFORMATION

Name: _____
Address: _____
City: _____
State: _____
Zip Code: _____
Contact: _____
Phone: _____
Fax: _____

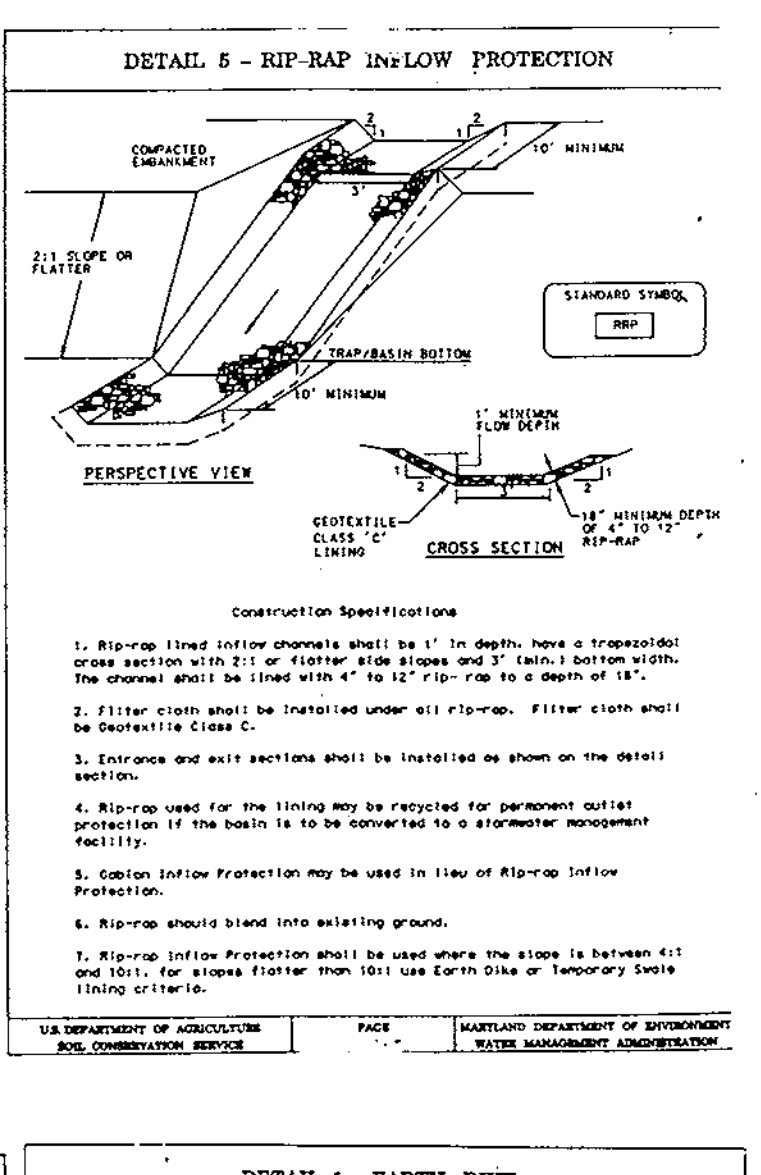
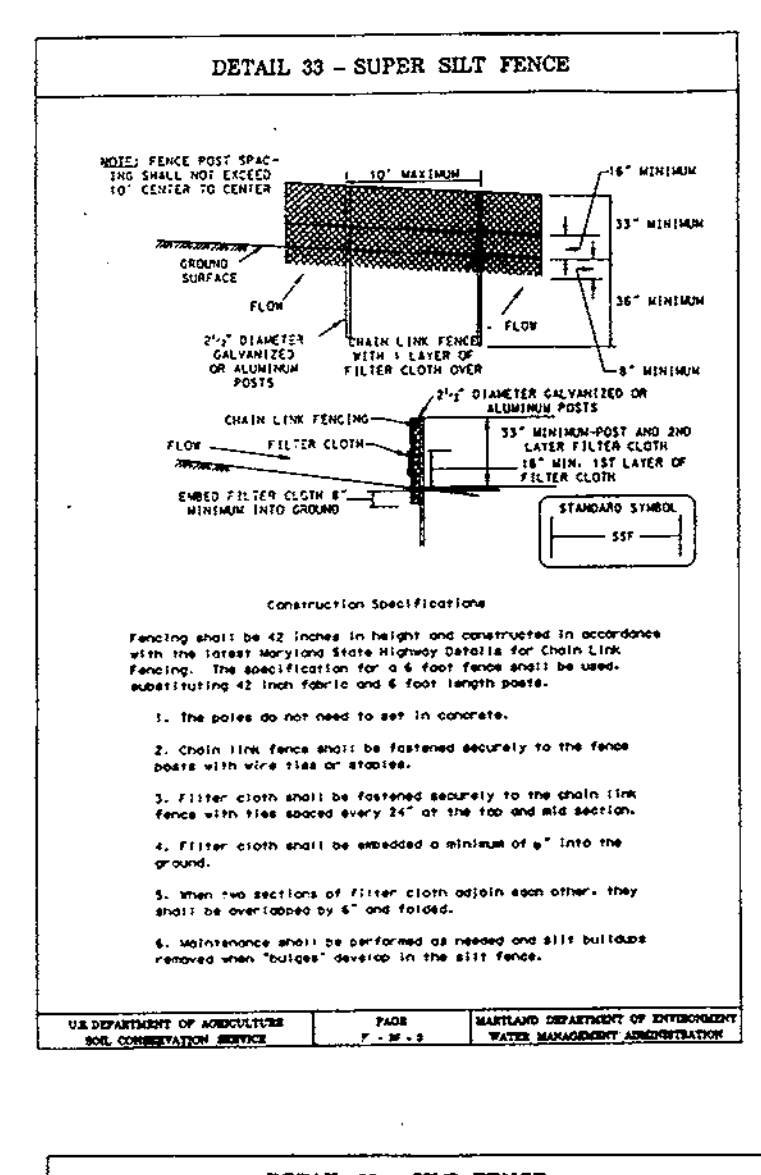
Project Name: **Town Center Sect. 2 Area 9 Parcel B**

Approximate Site Name of Delivery Point: _____

Delivery Address: **State Intersection of Broken Land Hwy & Greenway**
or Columbia State Intersection of Broken Land Hwy & Greenway
or Columbia State Intersection of Broken Land Hwy & Greenway
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SEDIMENT CONTROL NOTES

- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (410) 313-1855.
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within:
 - a) 7 calendar days for all perimeter sediment control structures, dikes and perimeter slopes and all slopes greater than 3:1,
 - b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1993 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings, sod, temporary seeding and mulching (Sec. G). Temporary stabilization, with mulch alone, can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:

Total Area of Site	7,080	Acres
Area Disturbed	7,320	Acres
Area to be roofed or paved	4,97	Acres
Area to be vegetatively stabilized	2.70	Acres
Total Fill	14,700	Cu. Yds.
Off-site waste/borrow area location:	14,700	Cu. Yds.

PERMANENT SEEDING NOTES

Apply to graded or cleared area not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seeded Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding (unless previously loosened).

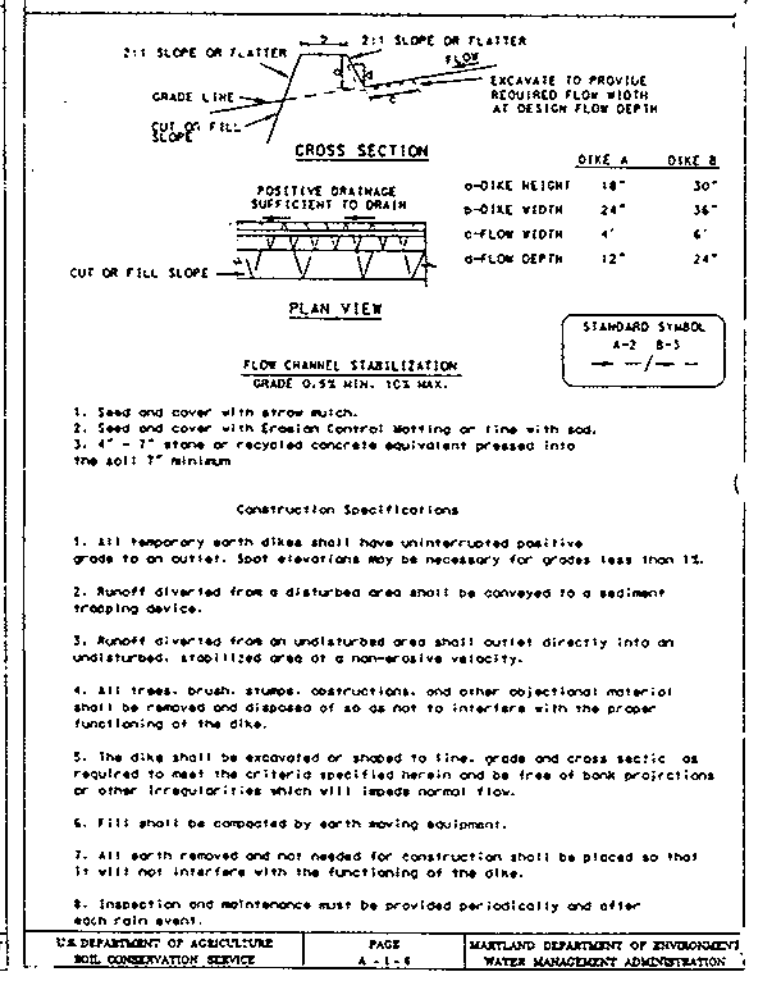
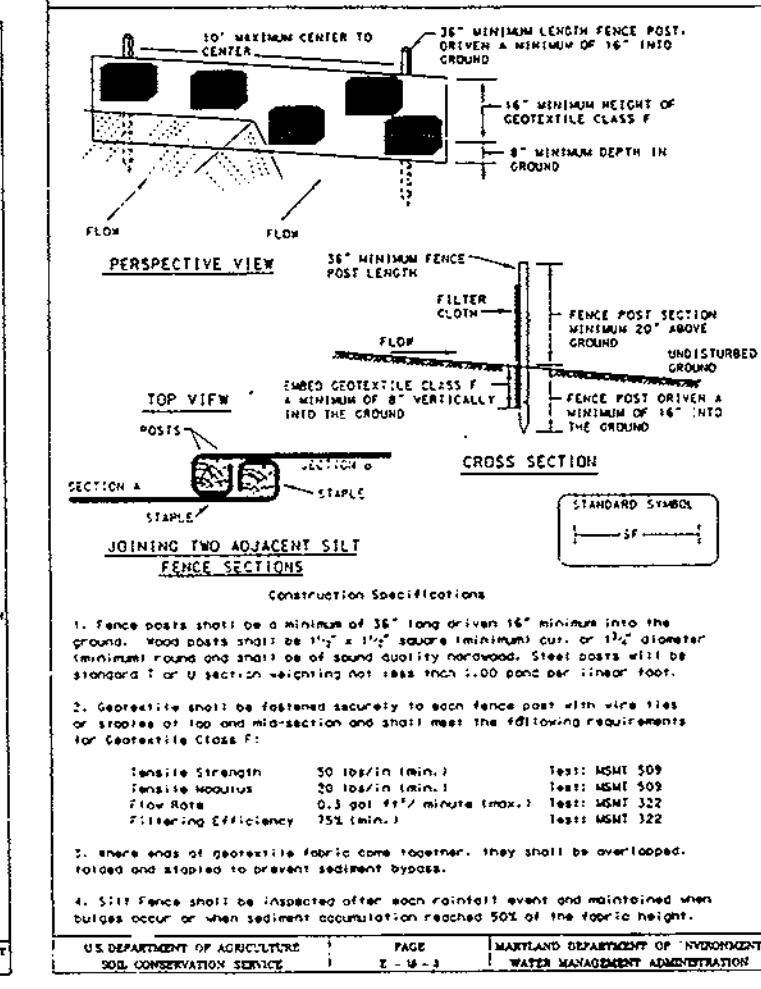
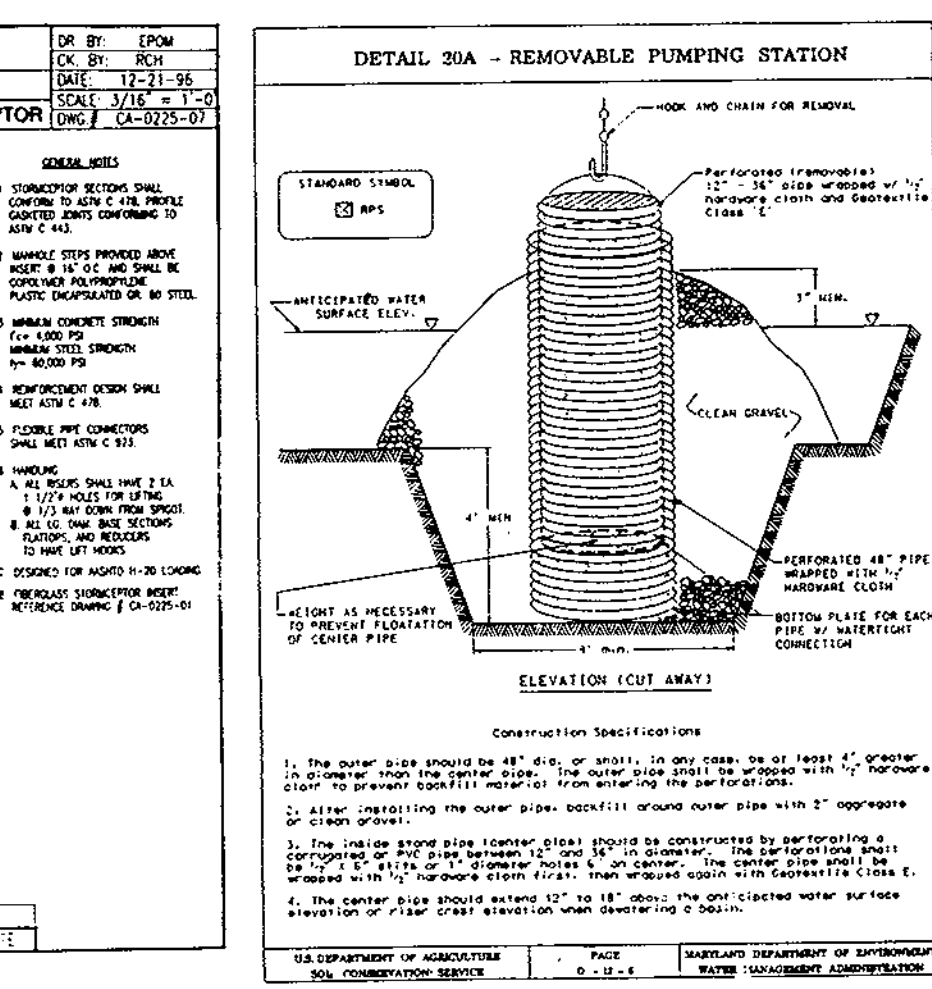
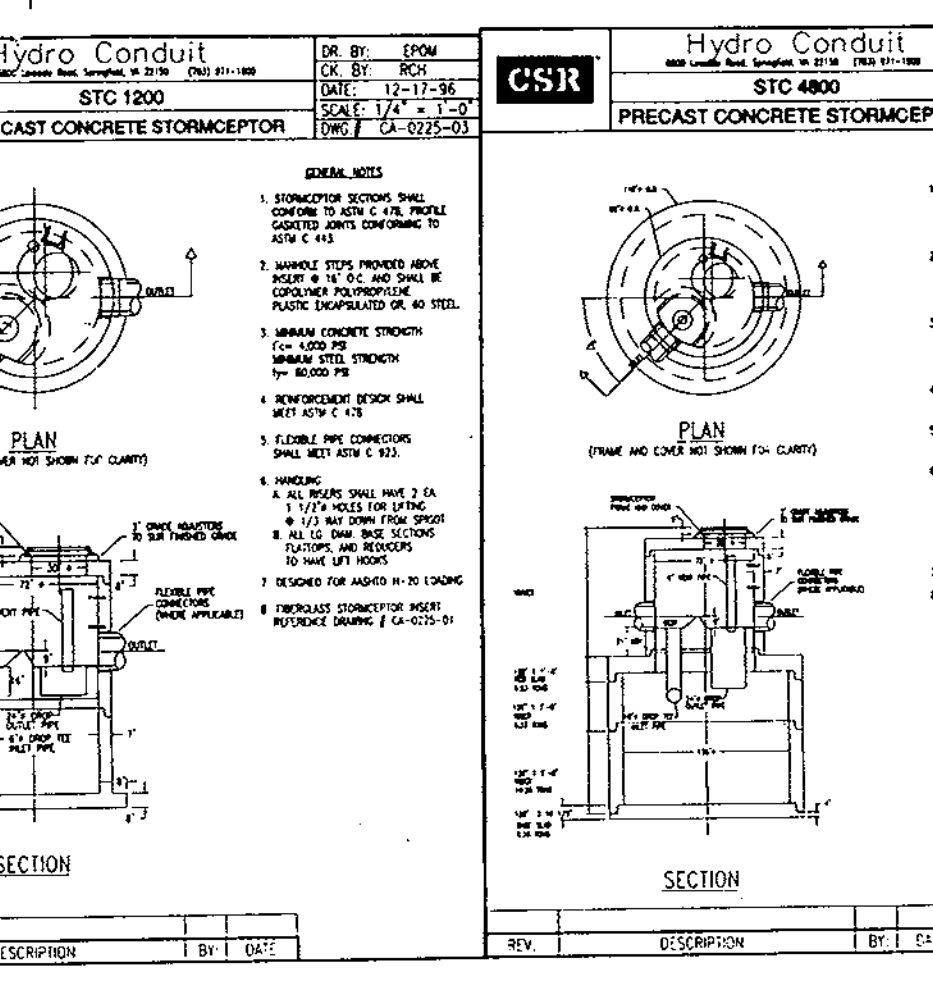
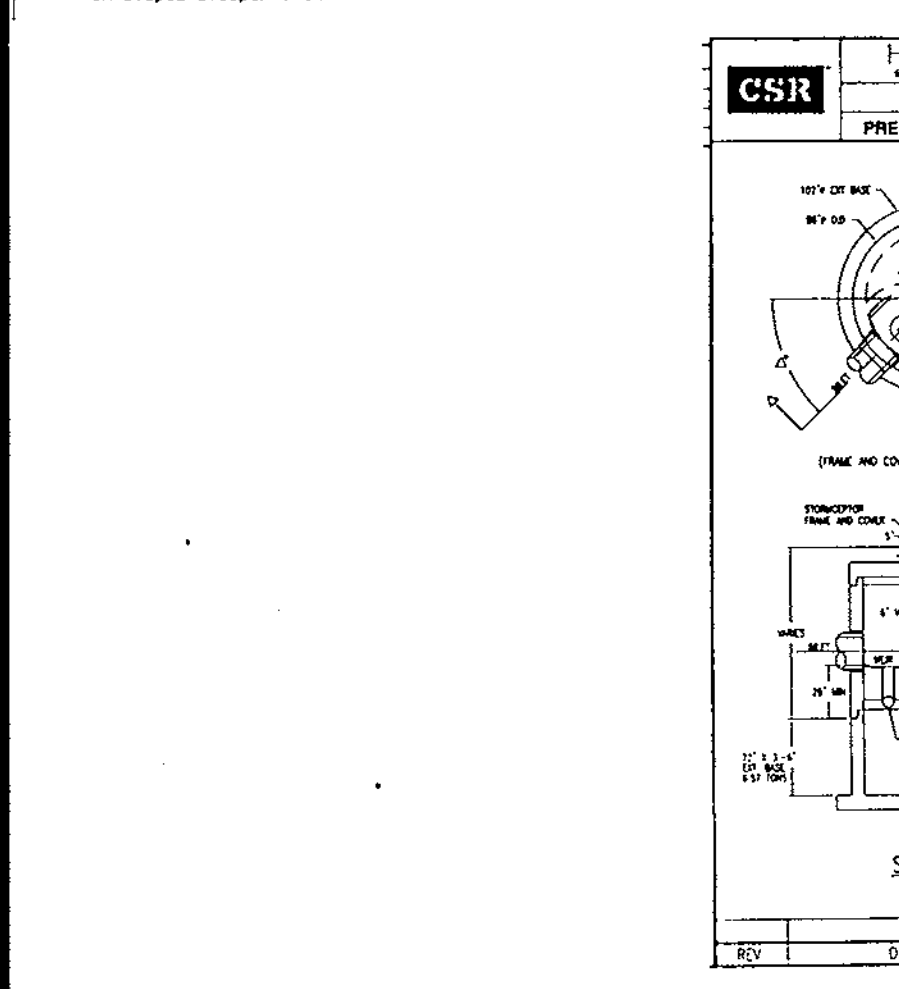
Soil Amendments: In lieu of soil test recommendations, use one of the following schedules

- Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 square feet) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq ft).
- Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.

Seeding: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs/1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

Maintenance: Inspect all seeded areas and make needed repairs, replacements and reseedings.



TEMPORARY SEEDING NOTES

- For sites having disturbed areas over 5 acres:
 - On soil meeting Topsoil specifications, obtain test results indicating fertilizer and lime amendments required to bring the soil into compliance with the following:
 - pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be provided to raise the pH to 6.2 or higher.
 - Organic content of topsoil shall be not less than 1.5 percent by weight.
 - Topsoil having available soil content greater than 500 parts per million shall not be used.
 - No soil or soil that has been placed on soil which has been treated with soil conditioners or chemical soil for weed control shall be used (except 14 day sites) to permit disintegration of phytotoxic materials.
 - Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed so as to ensure that bedding or seeding is performed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from spreading or other operations shall be corrected in order to prevent the formation of depressions or water ponds.
 - Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.
- Alternative for Permanent Seeding - Instead of applying the full amount of lime and commercial fertilizer, a topsoil test shall be performed and the results used to determine the appropriate fertilizer application. Topsoil shall be applied as specified below.
 - Compound Stage Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be used to provide amendments and for sites having disturbed areas under 5 acres shall conform to the following requirements:
 - Compound stage shall be applied by, or originate from, a process or process that has been approved by the Howard County Department of Planning & Zoning under COMAR 26.06.06.
 - Compound stage shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a pH of 7.0 to 8.0. If topsoil does not meet these requirements, the appropriate amendments must be added to meet the requirements prior to use.
 - Compound stage shall be applied at a rate of 1 ton/1,000 square feet.
 - Compound stage shall be amended with a positive fertilizer applied at the rate of 4 ton/1,000 square feet, and 1/3 the normal lime application rate.

Reference: Guidelines Specifications, Soil Preparation and Seeding, MD-VIA, PA, FL, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institute, Revised 1975.

TEMPORARY SEEDING NOTES

- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- Trenches for the construction of utilities is limited to 3 pipe lengths or that which shall be backfilled and stabilized within one working day, whichever is shorter.

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

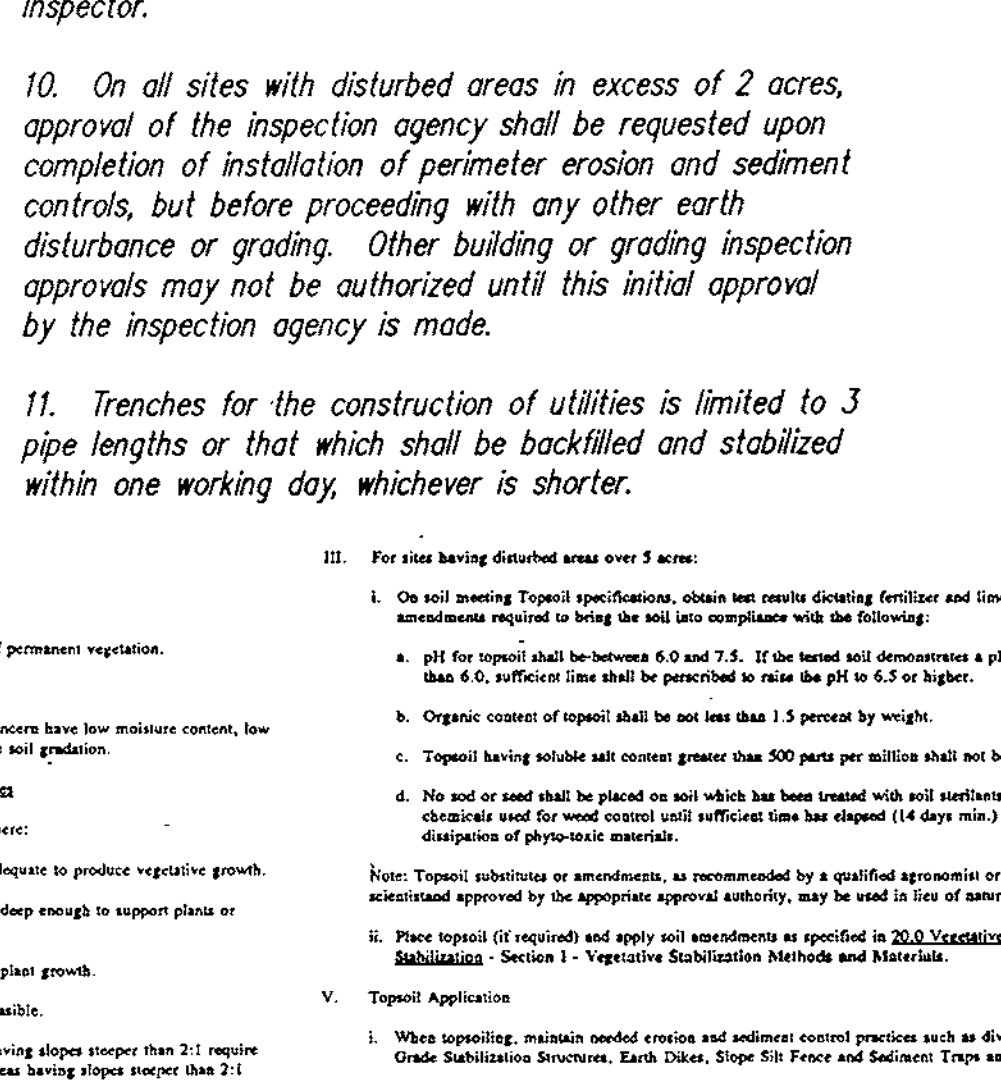
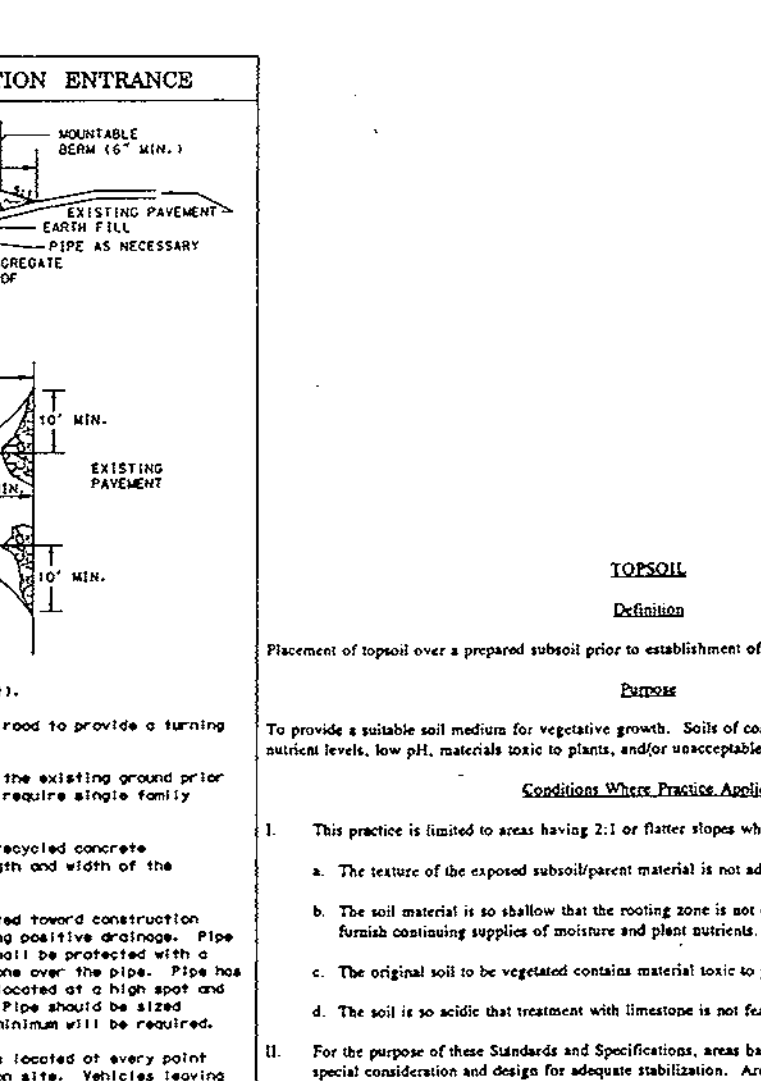
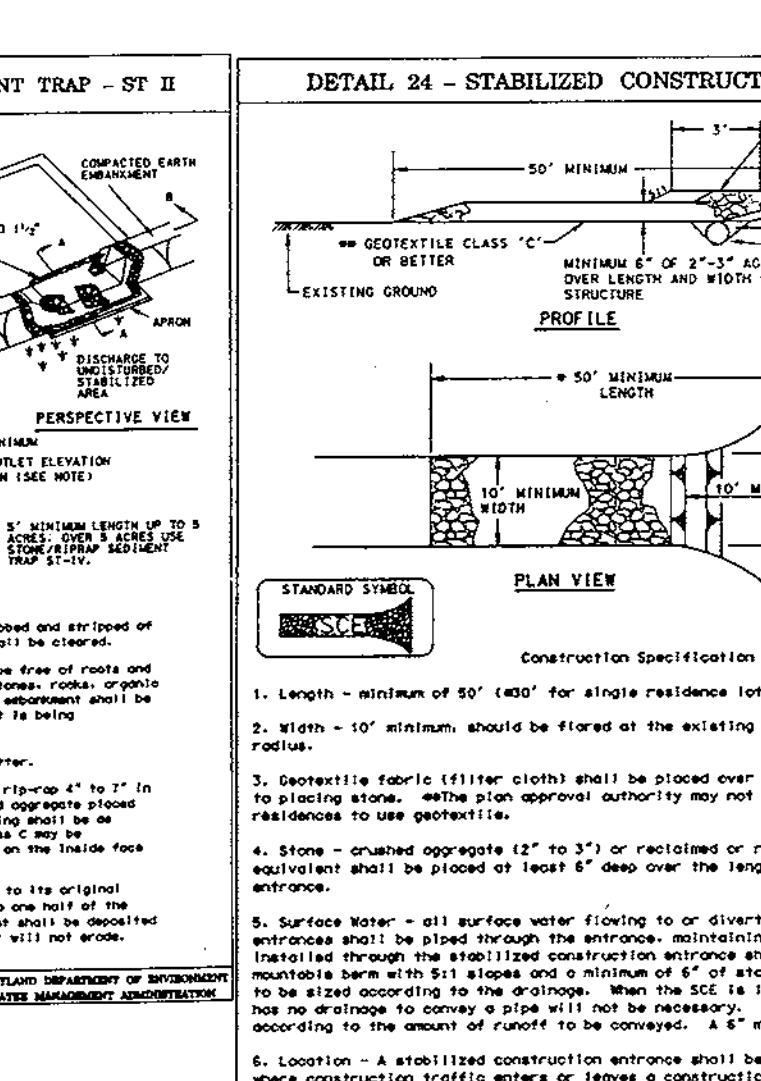
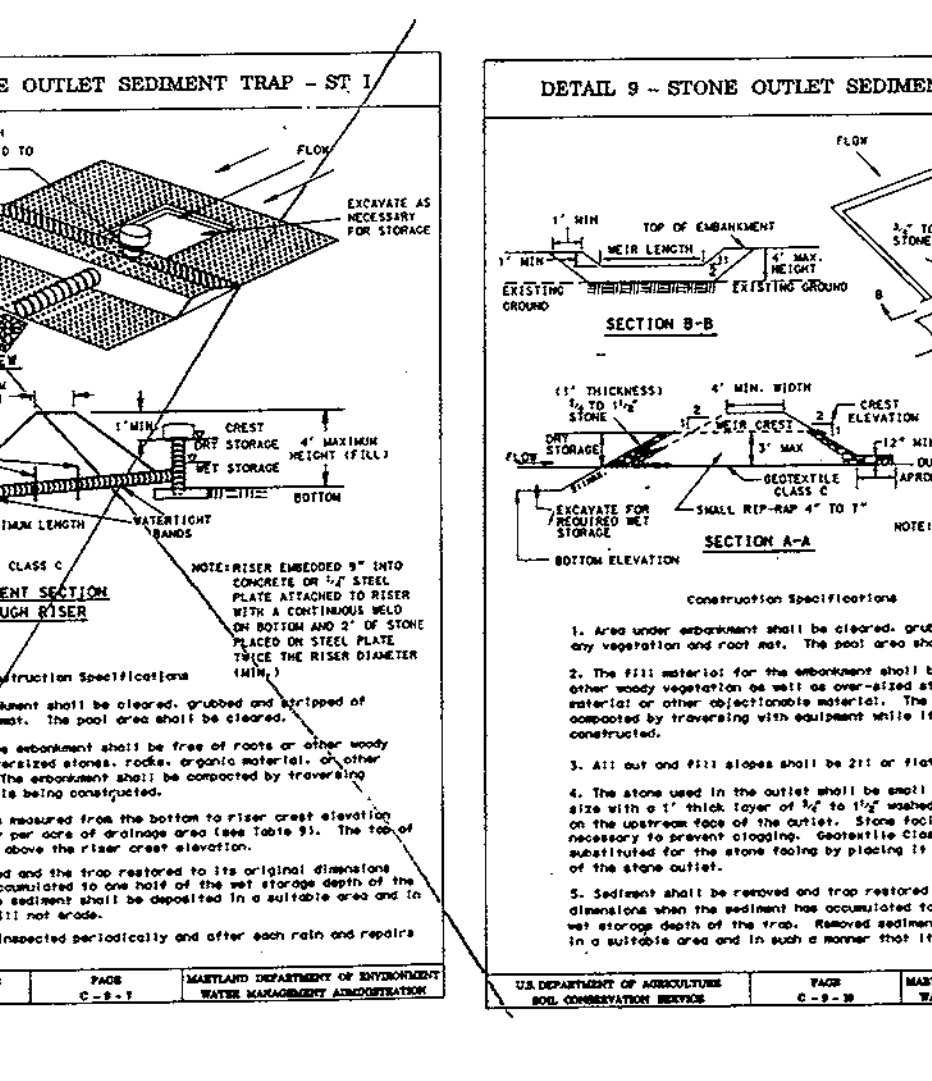
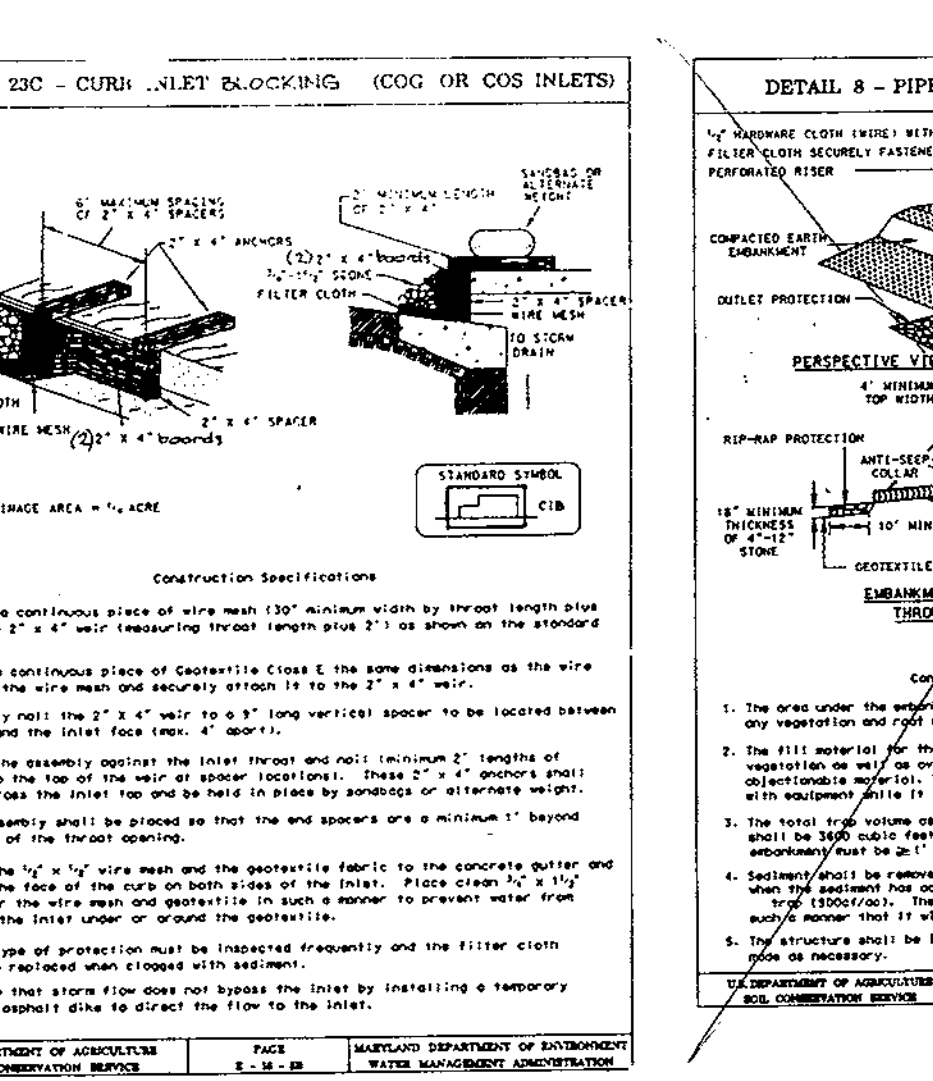
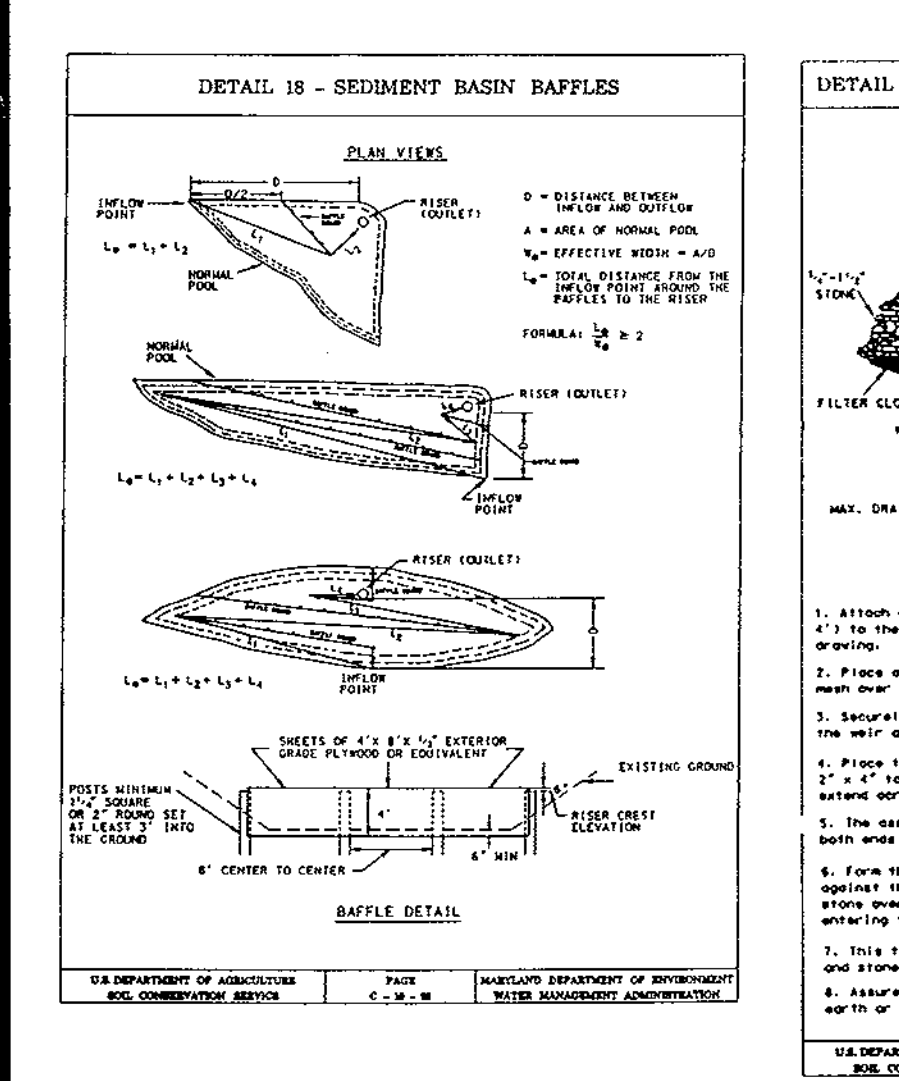
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Soil Amendments: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft).

Seeding: For periods March 1 thru April 30 and from August 15 thru October 15, seed with 2-1/2 bushels per acre of annual rye (3.2 lbs/1000 sq ft). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (.07 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted, weed-free, small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 ft or higher, use 348 gal per acre (8 gal/1000 sq ft) for anchoring.

Refer to the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.



TEMPORARY SEEDING NOTES

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Reference: Guidelines Specifications, Soil Preparation and Seeding, MD-VIA, PA, FL, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institute, Revised 1975.

1/28/98

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* Date: 3/24/98

Chief, Division of Land Development: *[Signature]* Date: 3/24/98

Chief, Development Engineering Division: *[Signature]* Date: 3/16/98

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

DEVELOPER/BUILDER'S CERTIFICATE

I/We certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD.

[Signature] Date: 10/27/97

Signature of Developer/Builder

ENGINEER'S CERTIFICATE

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

[Signature] Date: 10-27-97

Signature of Engineer

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.

[Signature] Date: 3/16/98

Signature of Natural Resources Conservation Service

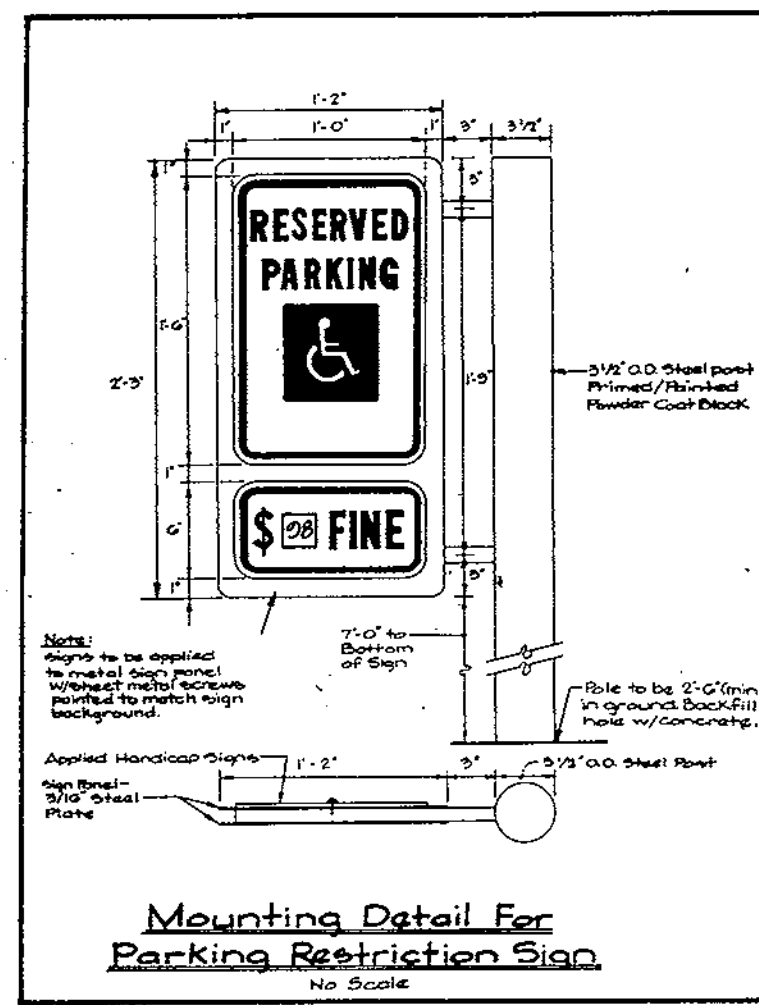
OWNER

TRAFALGAR HOUSE RESIDENTIAL MARYLAND
 8263 GUILFORD ROAD SUITE 200
 COLUMBIA, MARYLAND 21046
 (301) 621-8151

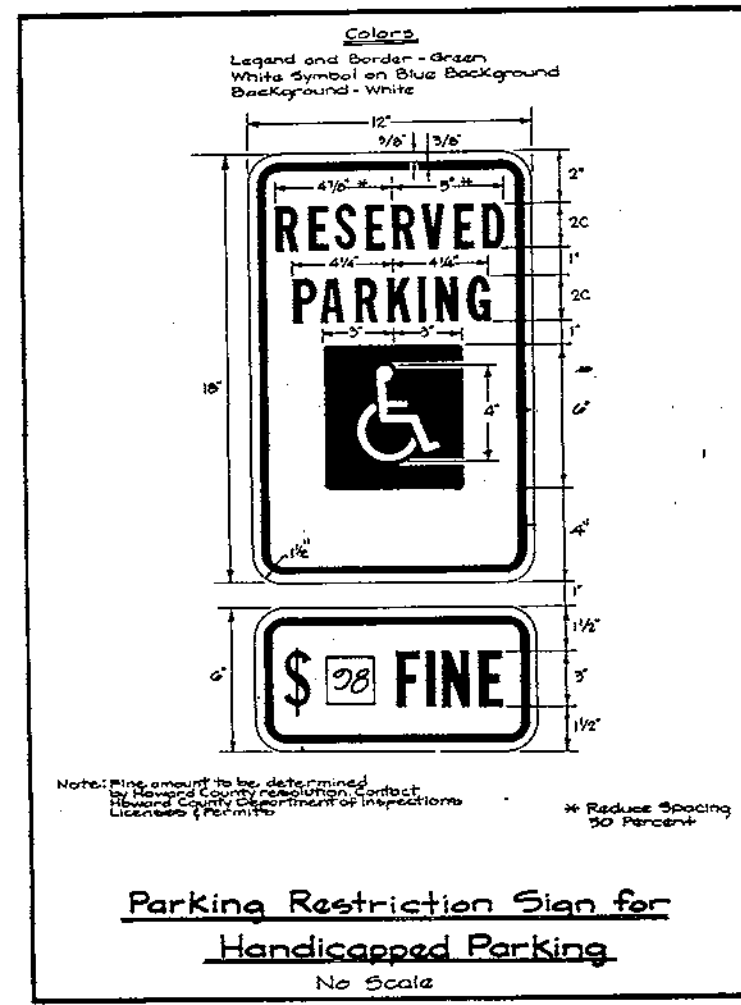
Stormceptor, Sediment Control Notes & Details

COLUMBIA TOWN CENTER
 SECTION 2 AREA 9
 PARCEL "B"
 PLAT No. 12669

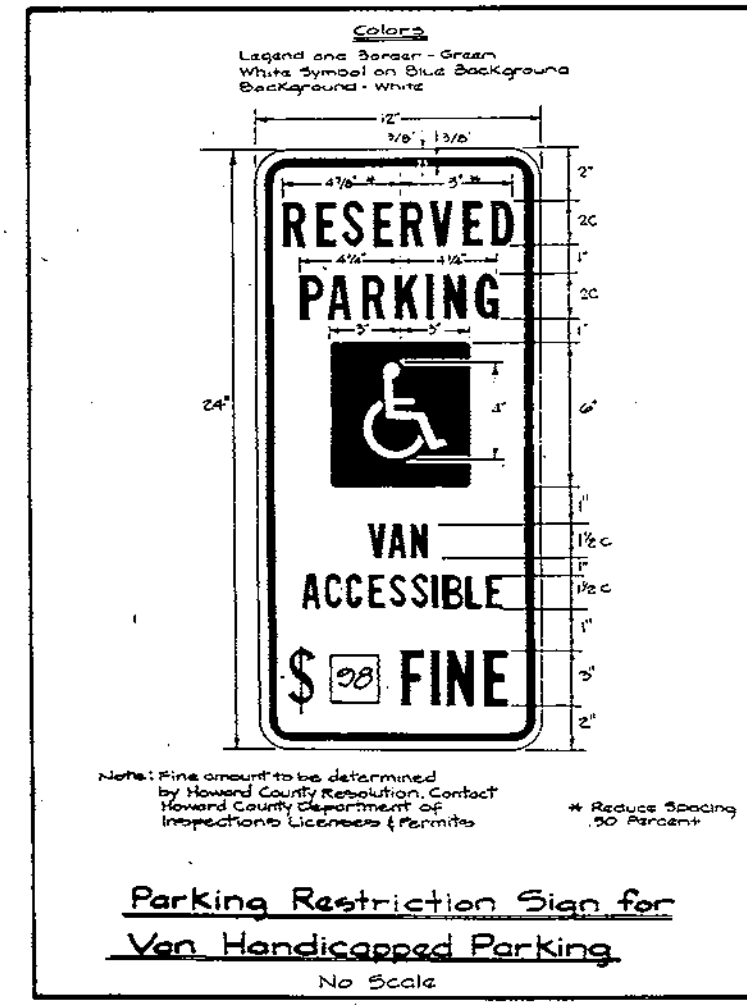
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	NT	97066
DATE	TAX MAP No.	SHEET
FEB. 23, 1998	26	7 of 10



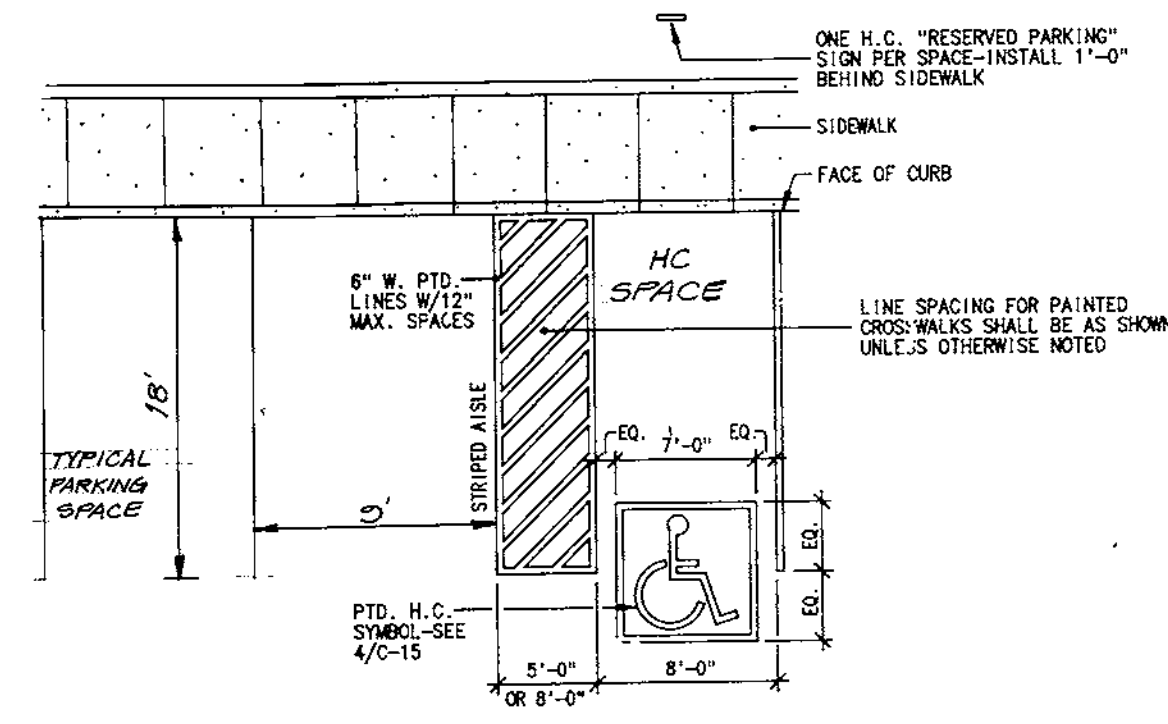
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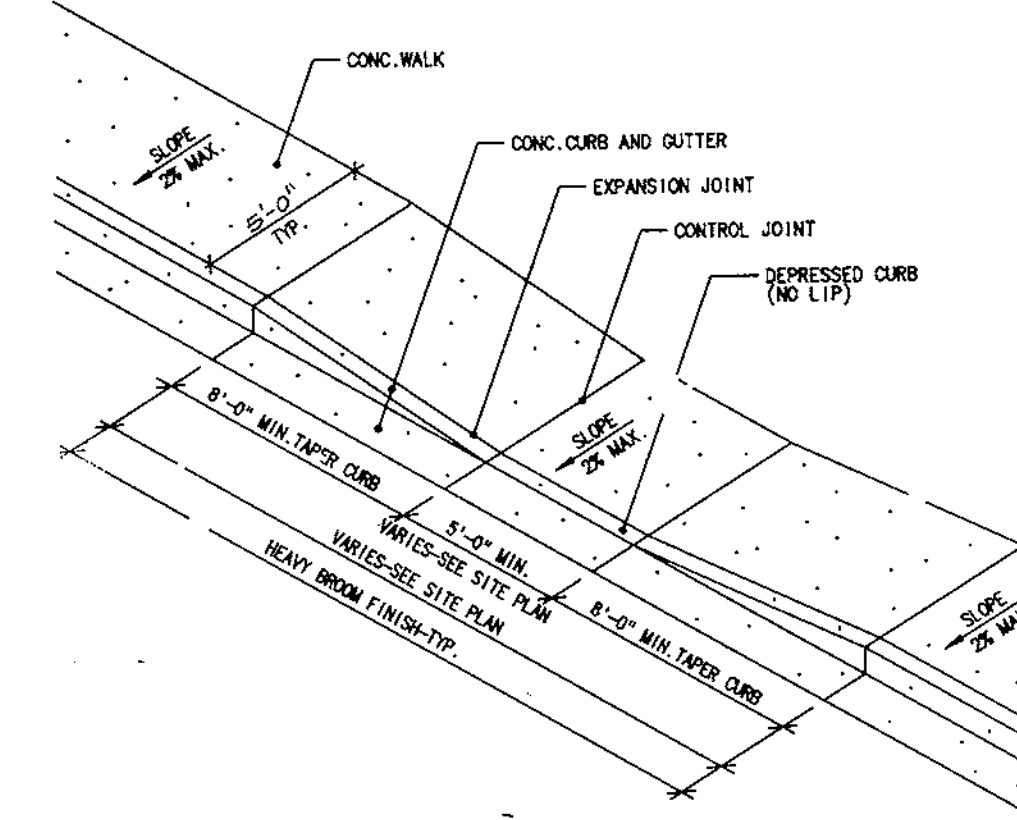
Parking Restriction Sign For Handicapped Parking
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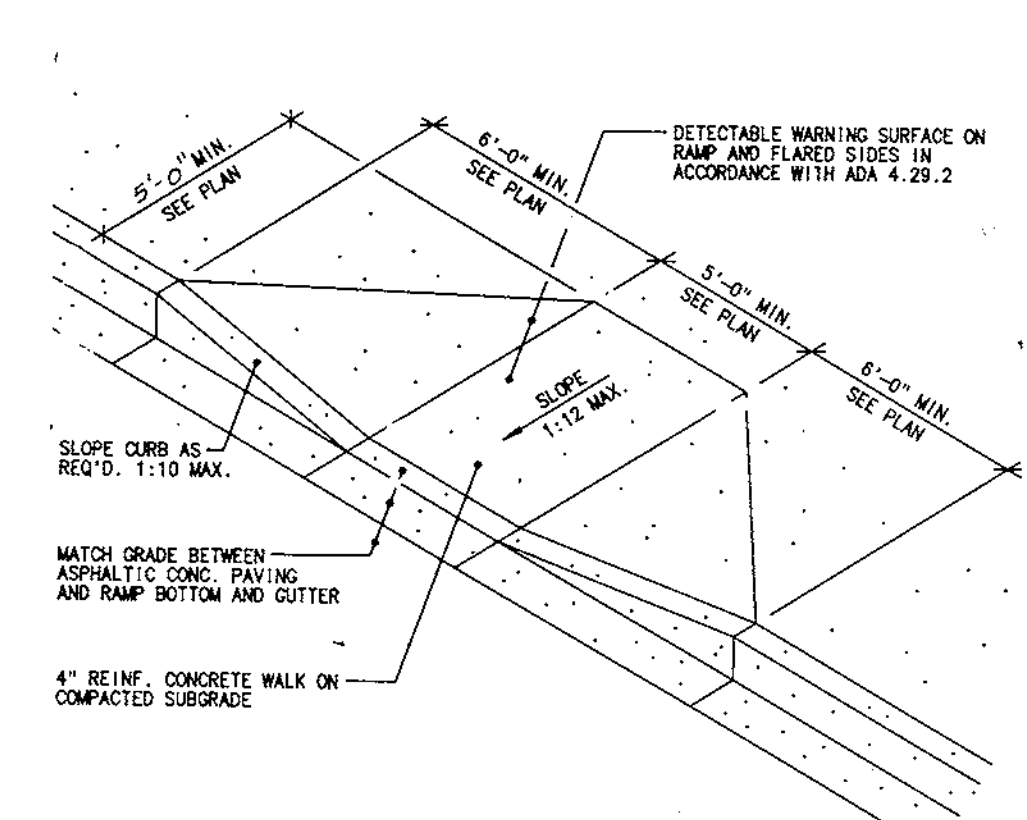
Parking Restriction Sign For Van Handicapped Parking
No Scale



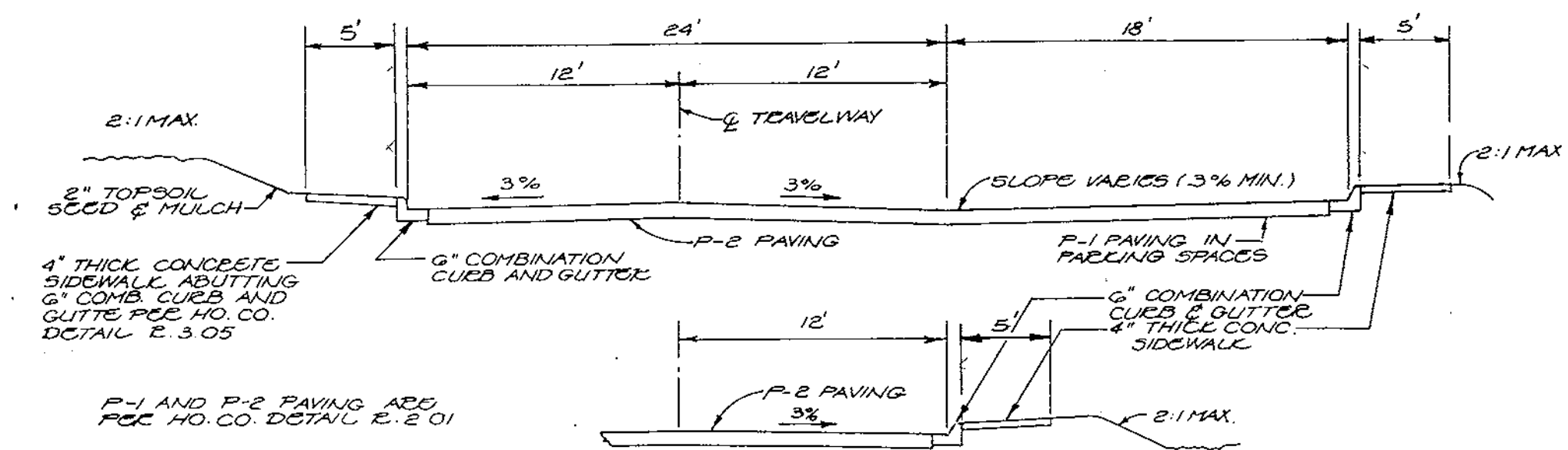
Detail - Parking Layout
NO SCALE



Detail - Handicap Ramp (Type A)
NO SCALE

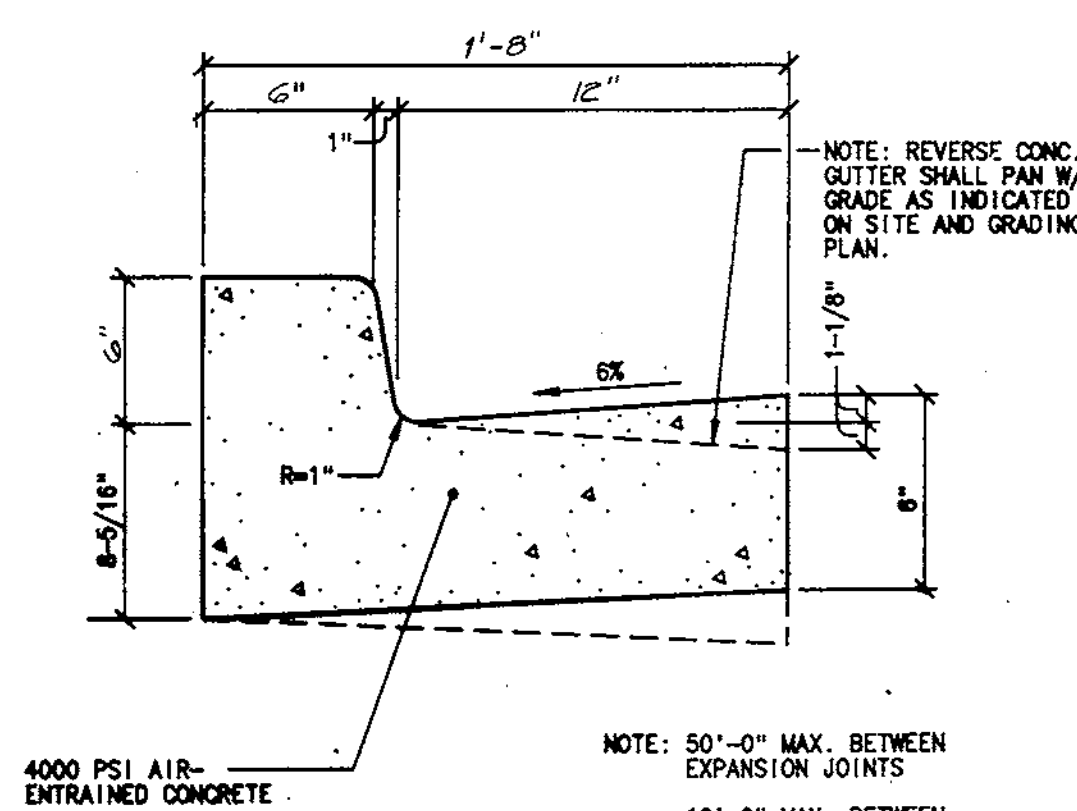


Detail - Handicap Ramp (Type B)
NO SCALE



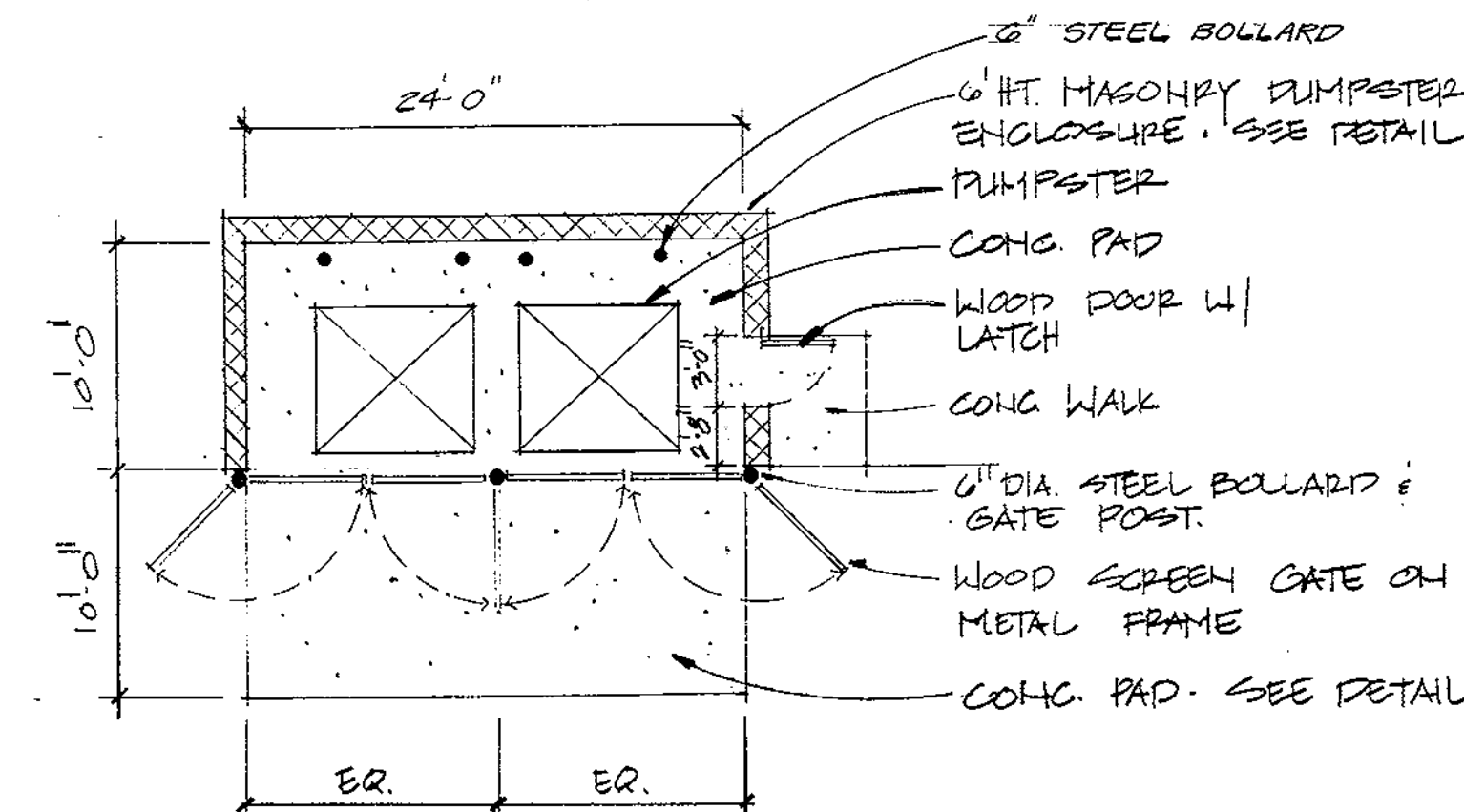
Section - Typical Paving

NOTE: P-1 & P-2 PAVING SECTIONS INDICATED ARE HOWARD COUNTY STD. SECTIONS AND ARE NOMINAL. ACTUAL PAVING SECTIONS MAY VARY DUE TO SUBGRADE CONDITIONS. OTHER PAVING SECTIONS MAY BE USED WHERE APPROVED BY A PROFESSIONAL SOILS ENGINEER.



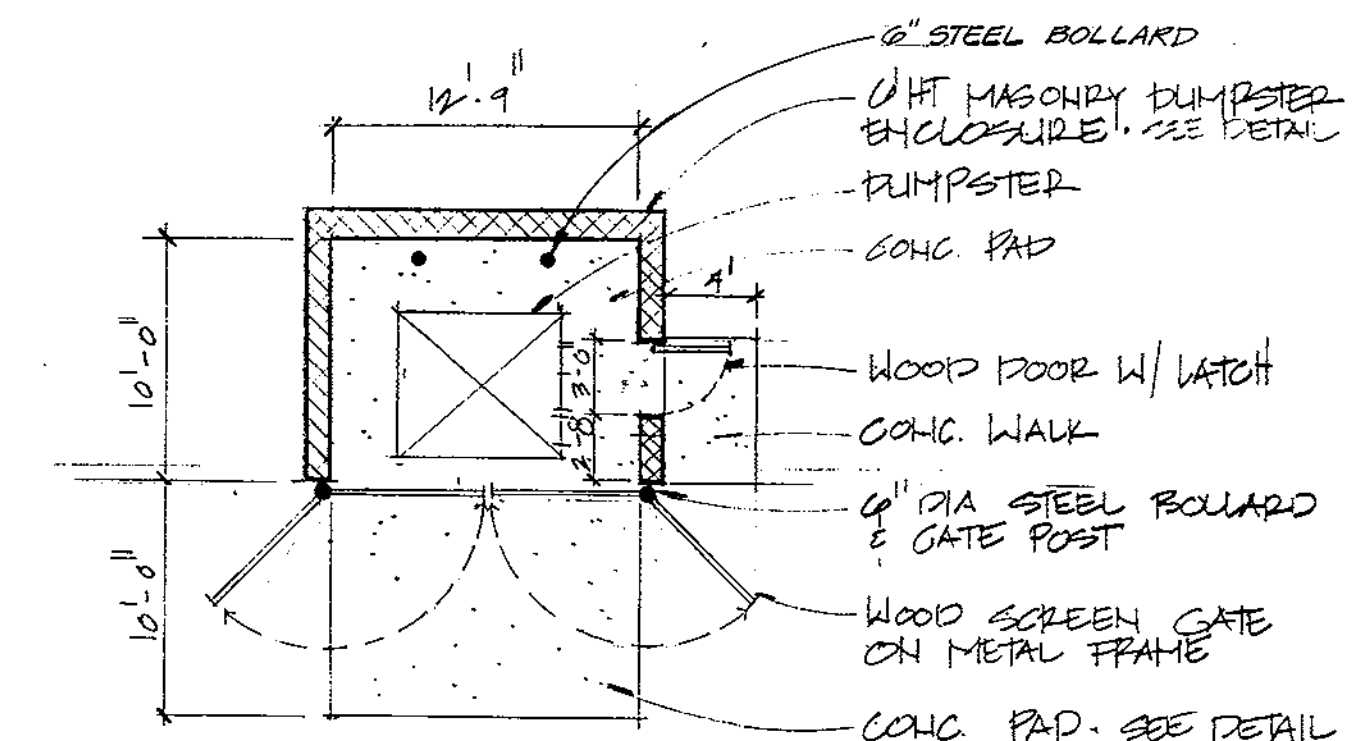
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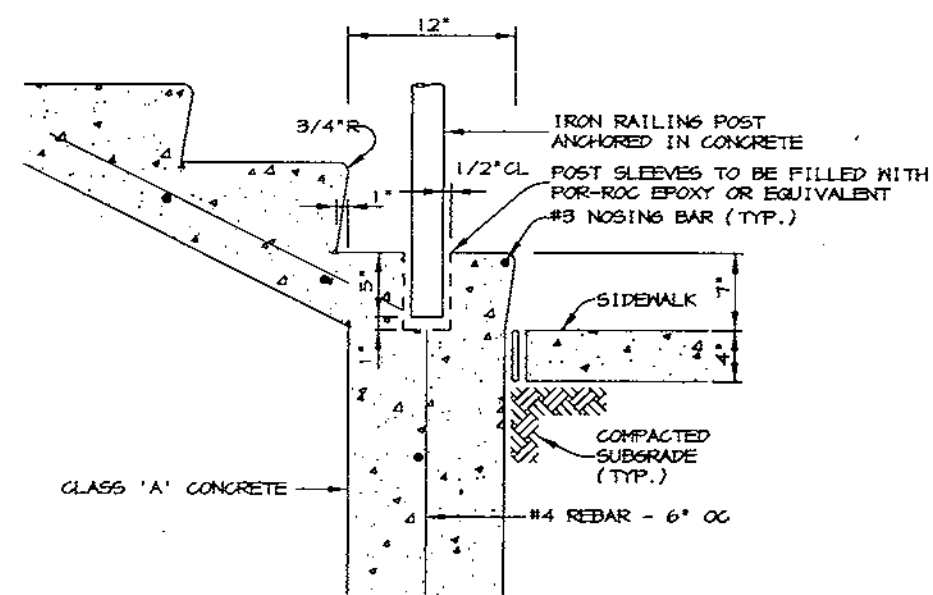
Detail - Double Dumpster Enclosure

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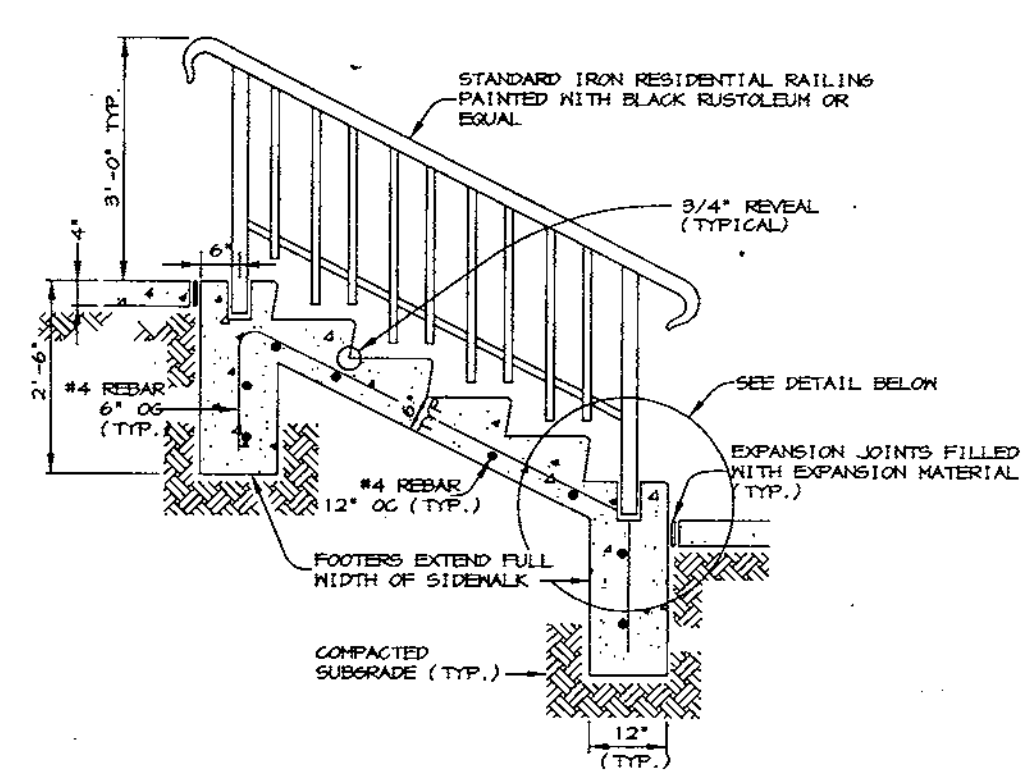
Detail - Single Dumpster Enclosure

No Scale



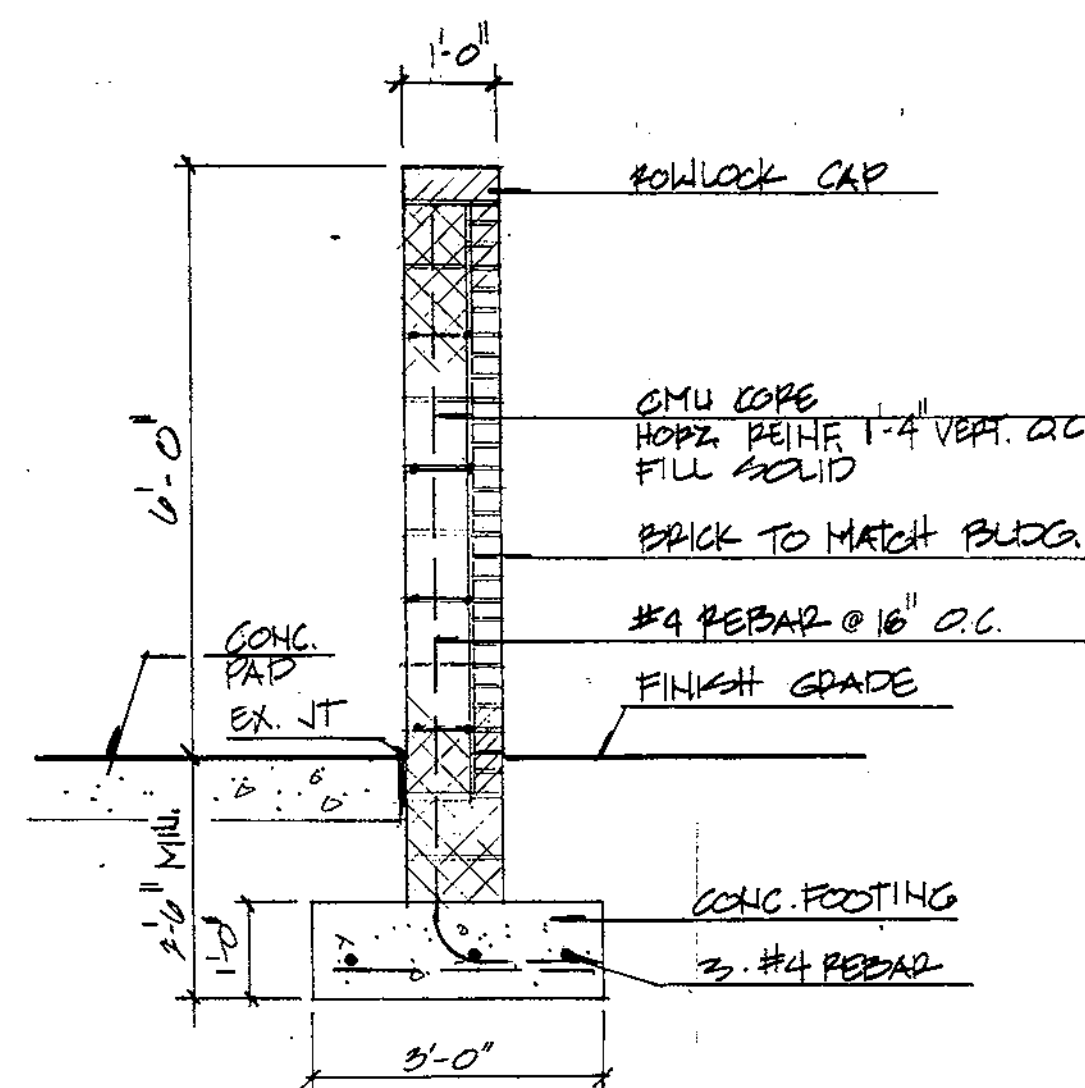
Detail - Concrete Step with Rail Detail

No Scale



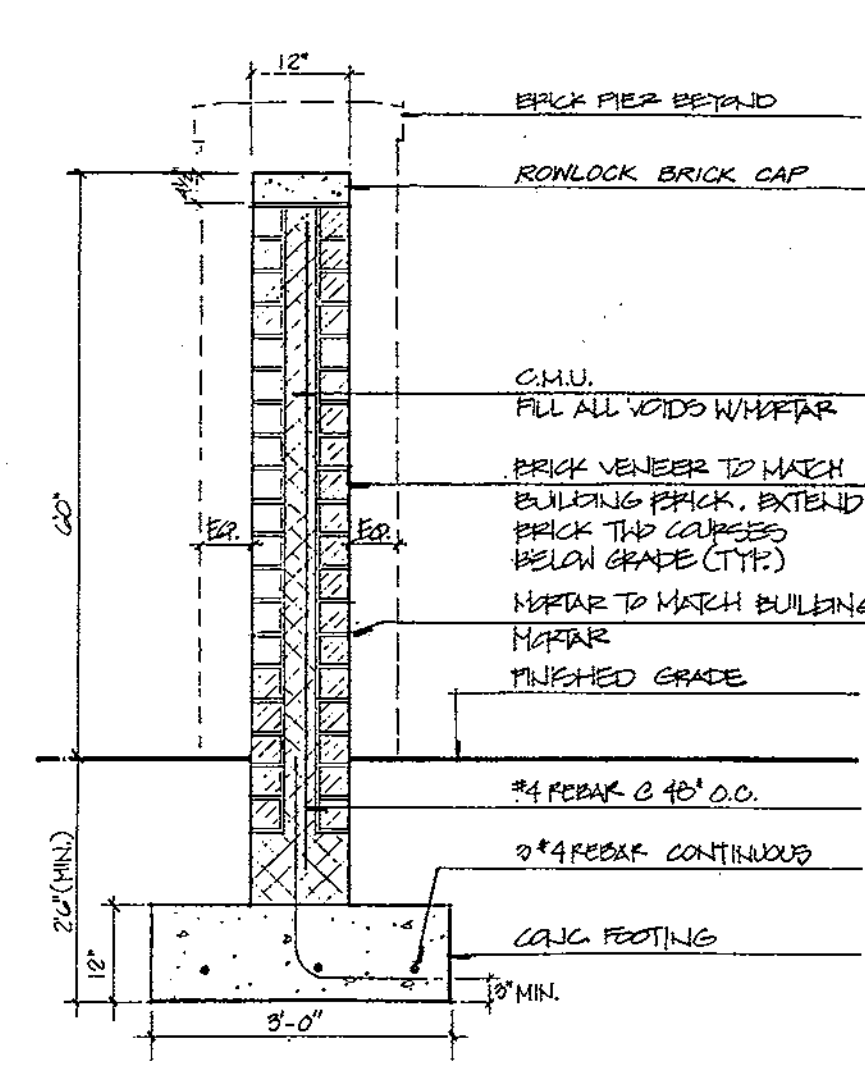
Section - Concrete Stairs & Railing

No Scale



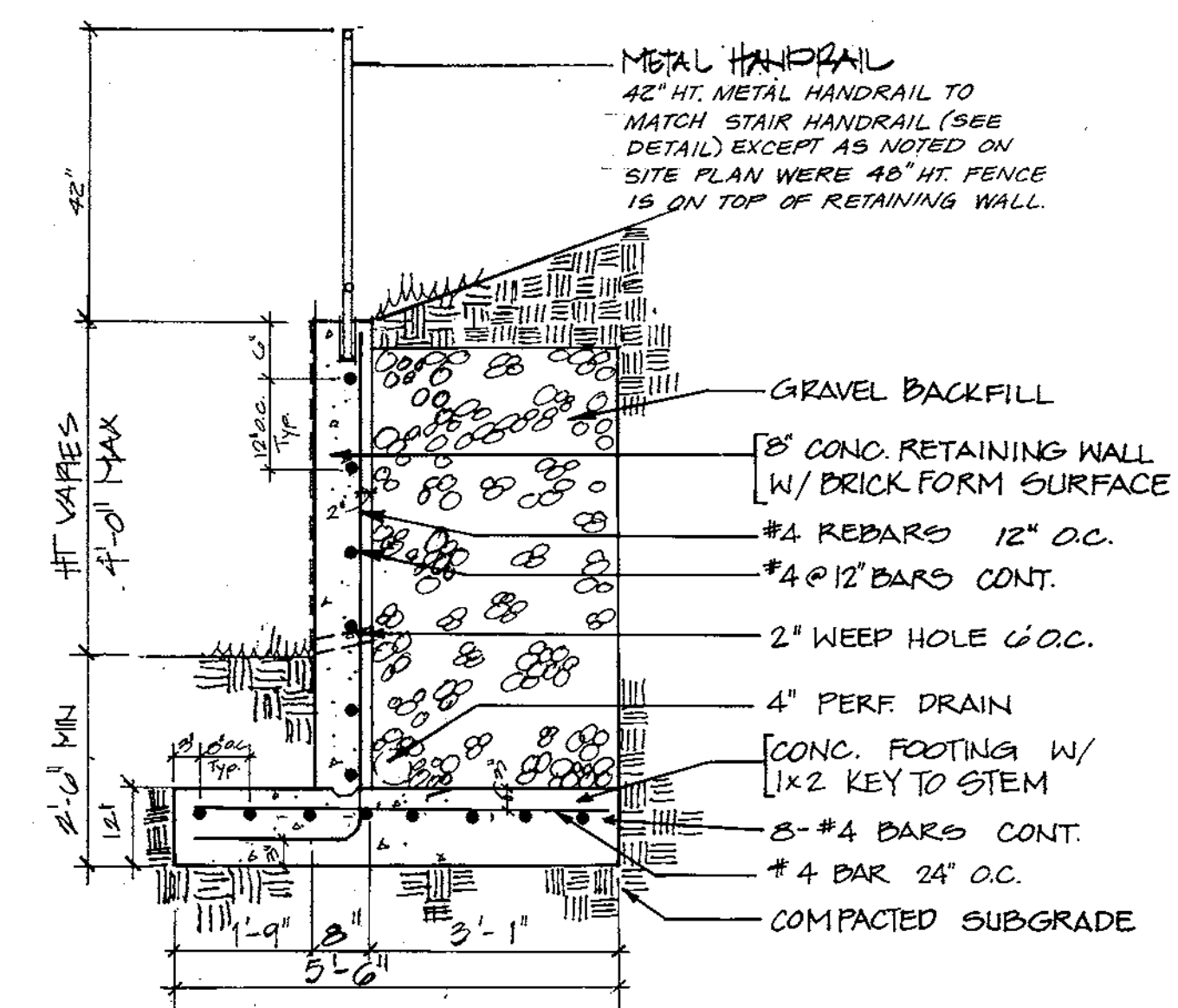
Section - Brick Dumpster Enclosure Wall

Scale: 1/2" = 1' - 0"



Section - Brick Screen Wall

Scale: 1/2" = 1' - 0"



Section - Concrete Retaining Wall

Scale: 1/2" = 1' - 0"



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* 3/20/98
 Chief, Division of Land Development: *[Signature]* 3/20/98
 Chief, Development Engineering Division: *[Signature]* 3/16/98

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MD. 20866
 TELEPHONE: (301)421-4024 NO. VA. (301)989-2524 BALTO. (301)880-1820 FAX (301)421-4186

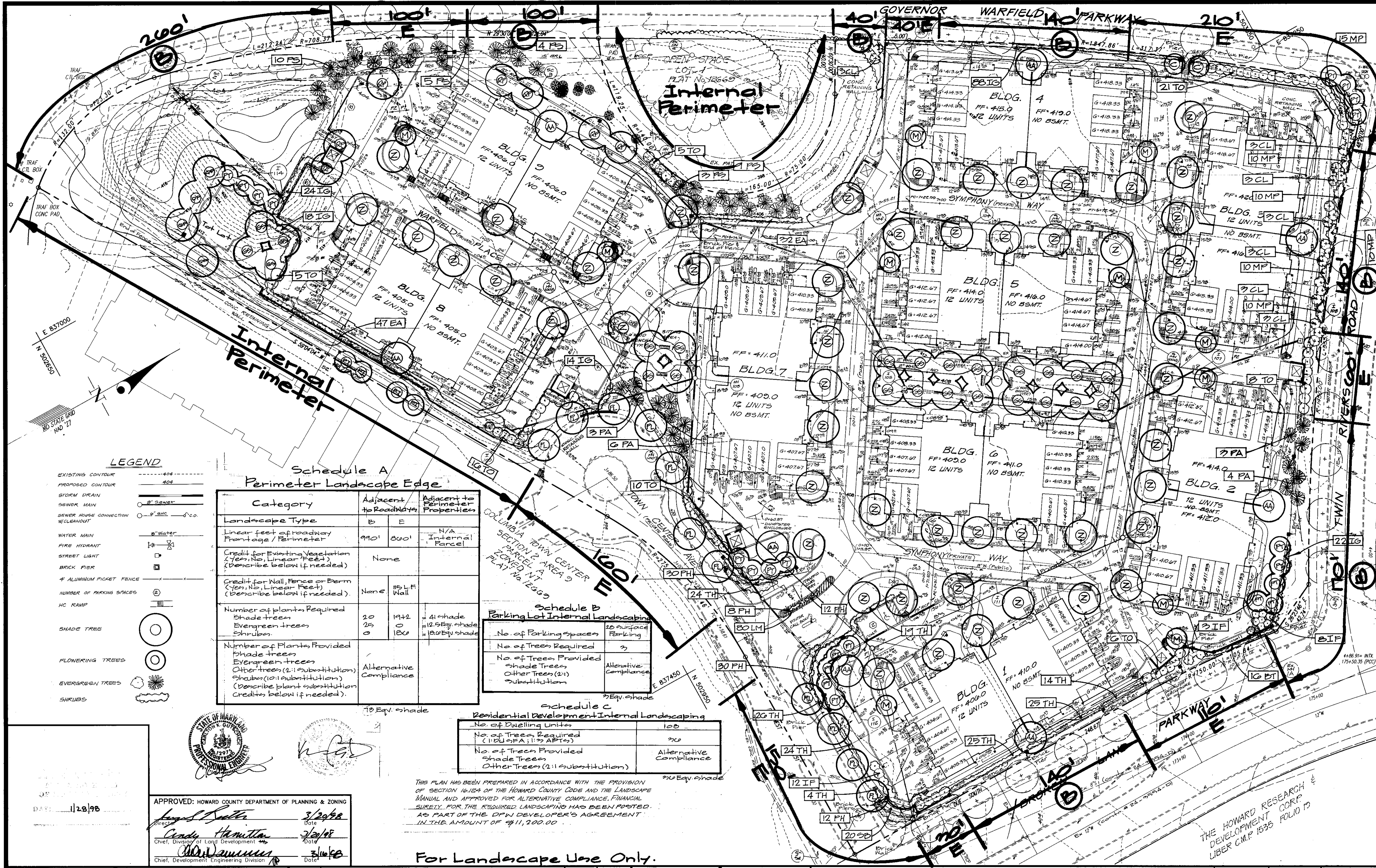
DATE	REVISION	BY	APP'R.
1-10-98	REV PER COUNTY COMMENTS	enb	
12-30-97	REV PER SRC COMMENTS	FKJ	

OWNER
 TRAFALGAR HOUSE
 RESIDENTIAL MARYLAND
 8965 GULFORD ROAD, SUITE 290
 COLUMBIA, MD. 21046
 ATTN: MR. MICHAEL LANCE
 PH: (301) 621-8151

CLARKSVILLE ELECTION DISTRICT No. 5

Site Plan Details
COLUMBIA TOWN CENTER
 SECTION 2 AREA 9
 PARCEL "B"
 PLAT No. 12669

DES.	SCALE	ZONING	G.L.W. FILE NO.
As Shown	New Town	97066	
DRN.	DATE	TAX MAP No.	SHEET
CHK.	FEB. 23, 1998	770	8 of 10



LEGEND

- EXISTING CONTOUR 404
- PROPOSED CONTOUR 404
- STORM DRAIN
- SEWER MAIN 8" sewer
- SEWER HOUSE CONNECTION 8" S.W.C. & C.O.
- WATER MAIN 8" Water
- FIRE HYDRANT
- STREET LIGHT
- BRICK PIER
- 4" ALUMINUM PICKET FENCE
- NUMBER OF PARKING SPACES
- HC RAMP
- SHADE TREE
- FLOWERING TREES
- EVERGREEN TREES
- SHRUBS

**Schedule A
Perimeter Landscape Edge**

Category	Adjacent to Roadway		Adjacent to Perimeter Properties
	B	E	
Landscape Type	B	E	N/A - Internal Parcel
Linear feet of roadway Frontage / Perimeter	990'	800'	N/A - Internal Parcel
Credit for Existing Vegetation (Yes/No, Linear Feet) (Describe below if needed)	None		
Credit for Wall, Fence or Berm (Yes/No, Linear Feet) (Describe below if needed)	None	15 L.F. Wall	
Number of plants Required Shade trees Evergreen trees Shrubs	20 25 0	19+2 0 180	41 shade 12.5 Eqv. shade 8.0 Eqv. shade
Number of Plants Provided Shade trees Evergreen trees Other trees (2:1 substitution) Shrubs (10:1 substitution) (Describe plant substitution Credits below if needed)	Alternative Compliance		

**Schedule B
Parking Lot Internal Landscaping**

No. of Parking Spaces	20 Surface Parking
No. of Trees Required	3
No. of Trees Provided Shade Trees Other Trees (2:1 substitution)	Alternative Compliance

**Schedule C
Residential Development Internal Landscaping**

No. of Dwelling Units	108
No. of Trees Required (1:1 DU SFA; 1:1 DU APTS)	90
No. of Trees Provided Shade Trees (2:1 substitution) Other Trees	Alternative Compliance

THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISION OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL AND APPROVED FOR ALTERNATIVE COMPLIANCE. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED. AS PART OF THE DTW DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$11,200.00

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

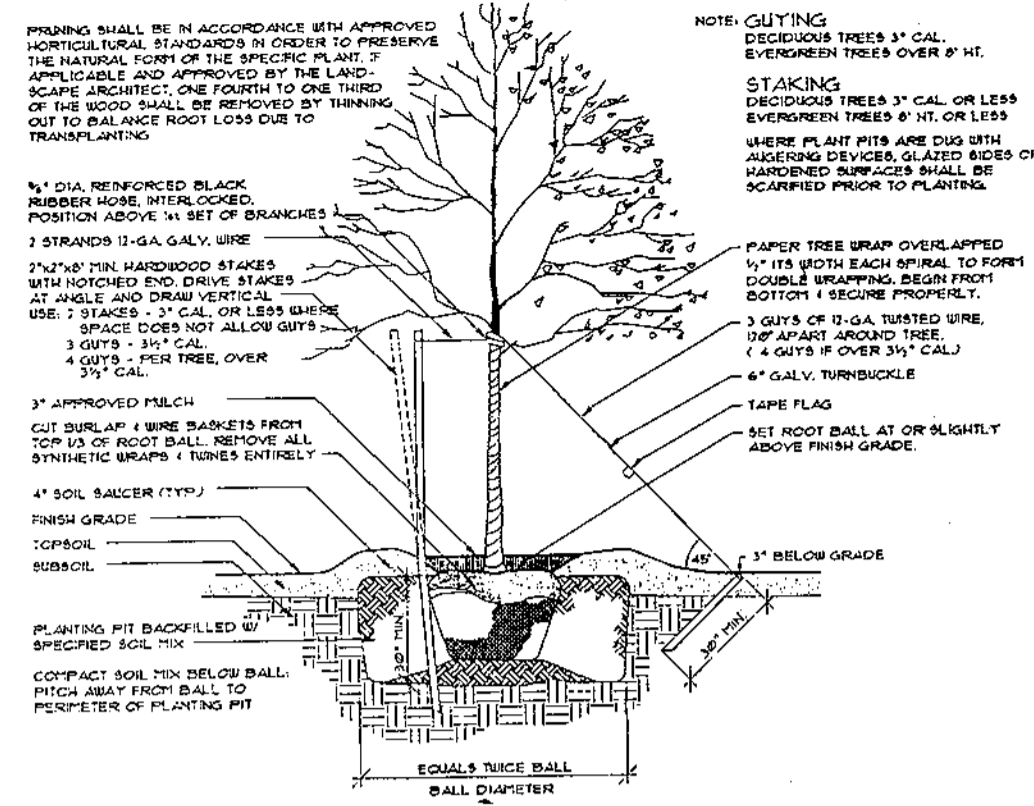
Joseph Butler 3/20/98
Director

Cathy Hamilton 3/20/98
Chief, Division of Land Development

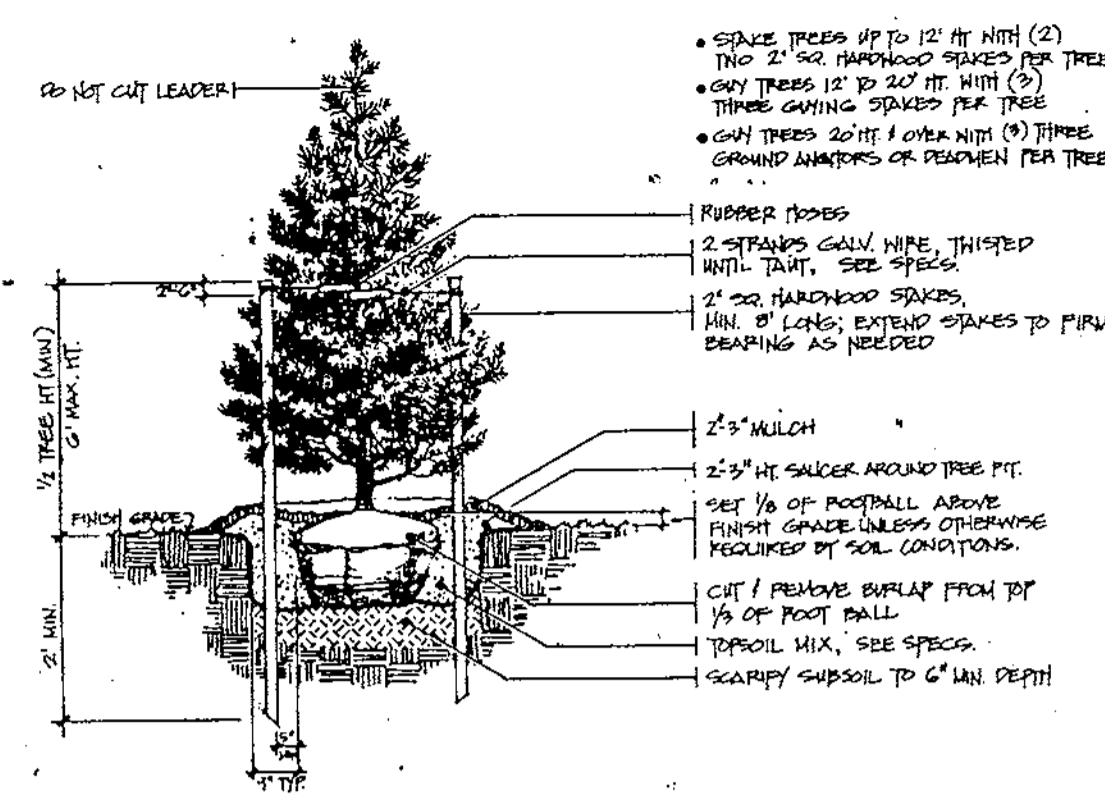
Chris Damann 3/16/98
Chief, Development Engineering Division

For Landscape Use Only.

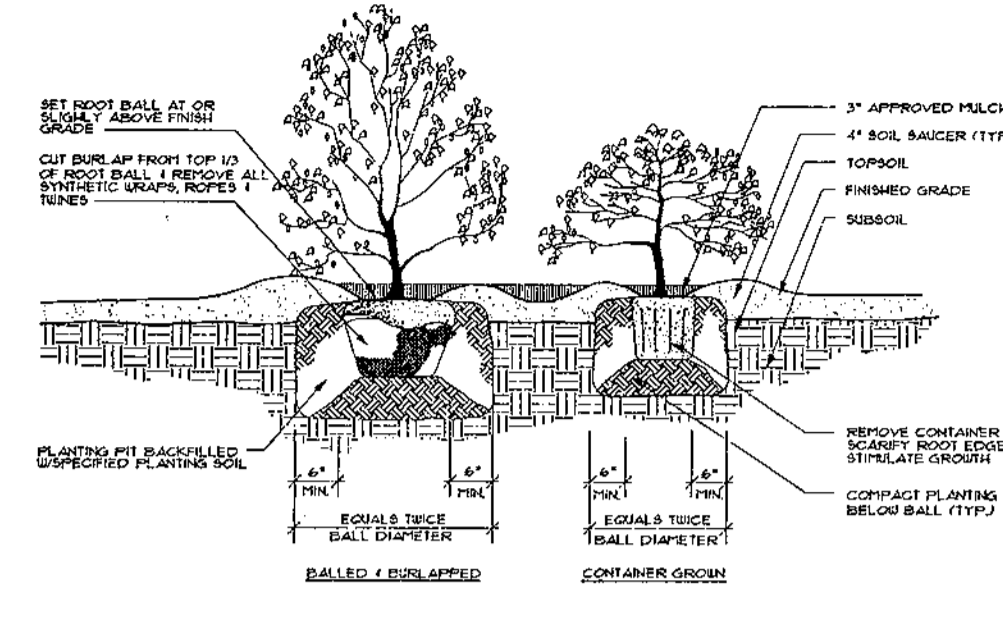
<p>GLW GUTSCHICK LITTLE & WEBER, P.A. CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20866 TEL: (301) 421-4024 MO. VA.: (301) 908-2524 BALT.: (410) 880-1820 FAX: (301) 421-4186 DES. DRN. CHK.</p>	<p>2-25-98 Rev per tot lot relocation & D/W plans out 1-10-98 Rev per County comments 12-30-97 Rev per SRC Comments</p>	<p>OWNER TRAPALGAR HOUSE RESIDENTIAL MARYLAND 8065 GUILFORD RD. SUITE 200 COLUMBIA, MD 21044 (410) 552-0000</p>	<p>OWNER TRAPALGAR HOUSE RESIDENTIAL MARYLAND 8065 GUILFORD RD. SUITE 200 COLUMBIA, MD 21044 (301) 621-9151</p>	<p style="text-align: center;">Landscape Plan COLUMBIA TOWN CENTER SECTION 2 AREA 9 PARCEL "B" PLAT No. 12669</p>	<p>SCALE 1"=30'</p> <p>DATE FEB. 23, 1998</p>	<p>ZONING NEW TOWN</p> <p>TAX MAP No. 36</p>	<p>G. L. W. FILE No. 97066</p> <p>SHEET 9 of 10</p>
	<p>CLARKSVILLE ELECTOR DISTRICT No. 5</p>		<p>HOWARD COUNTY, MARYLAND</p>		<p>SDP-98-43</p>		



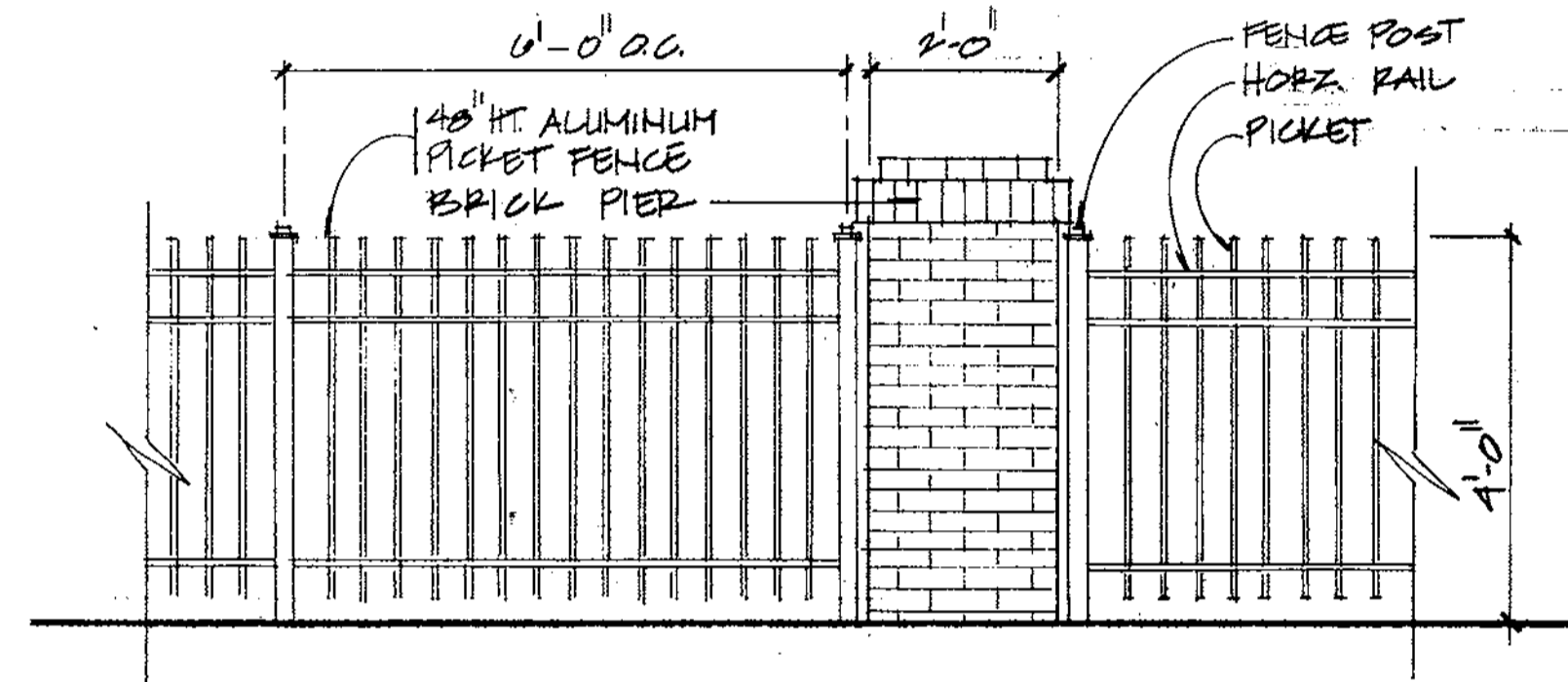
Detail - Deciduous Tree Planting
No Scale



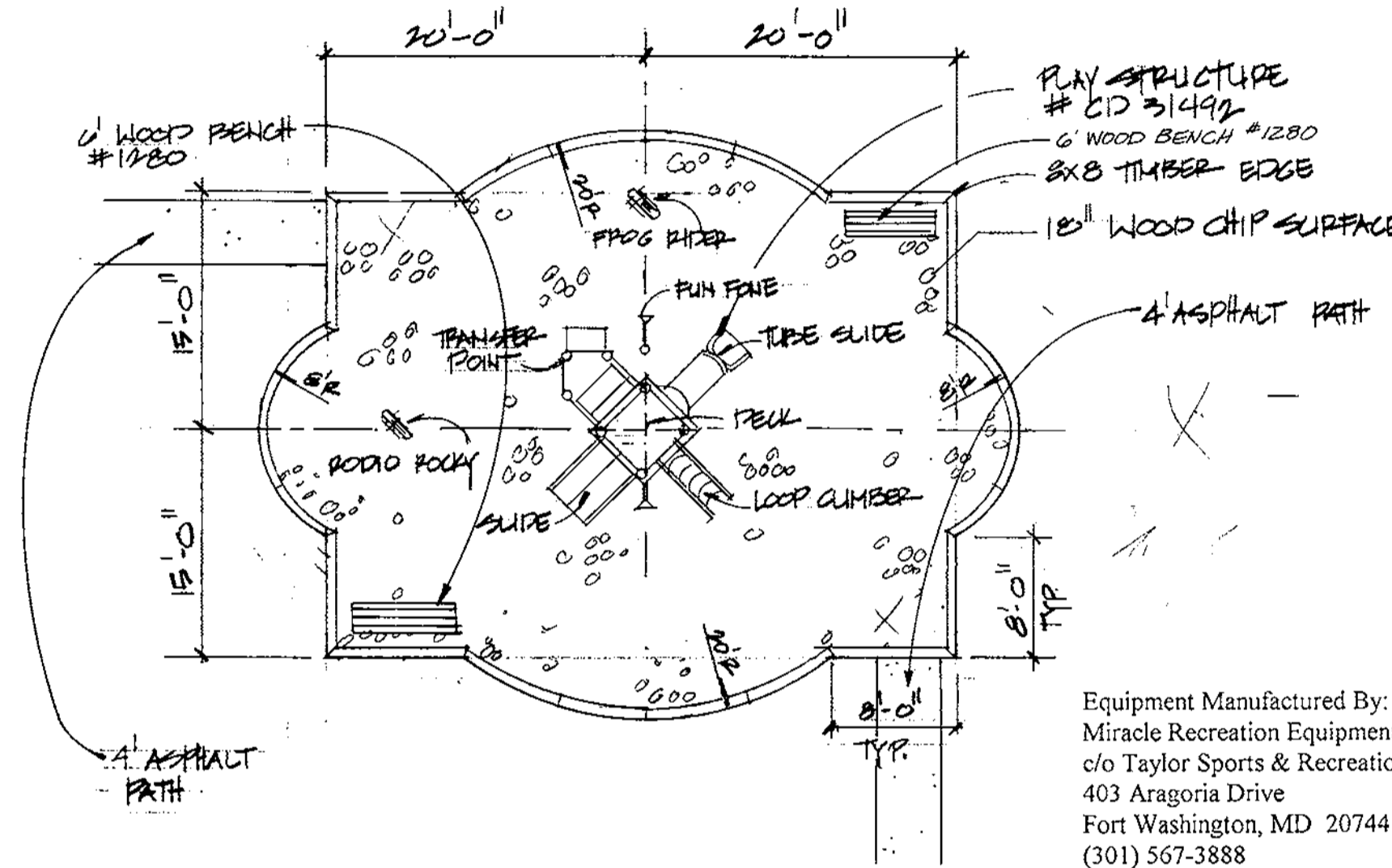
Detail - Evergreen Tree Planting
No Scale



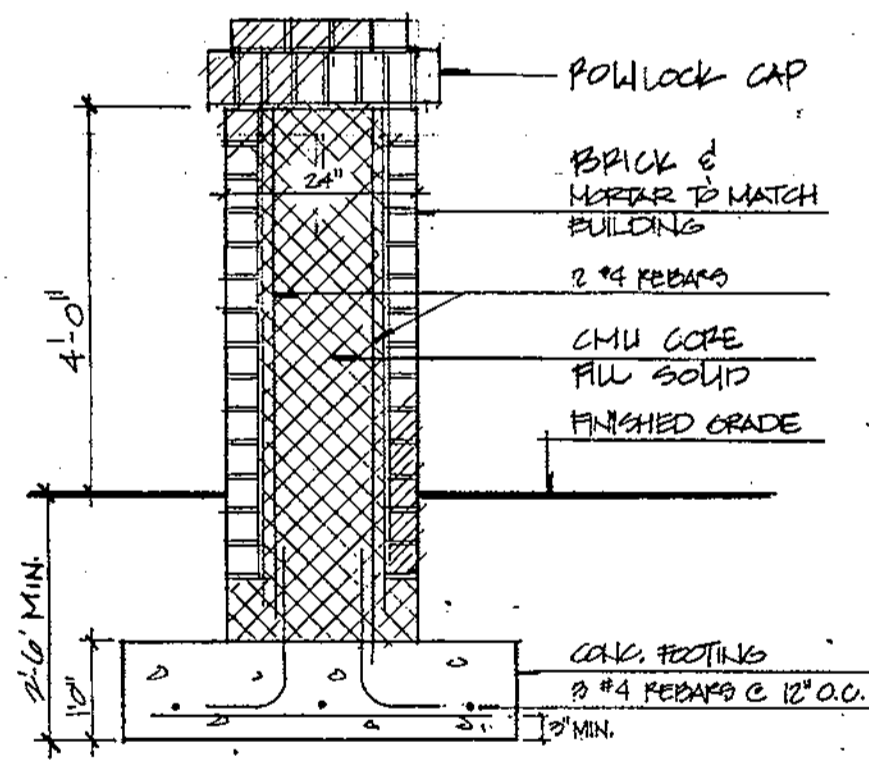
Detail - Shrub Planting
No Scale



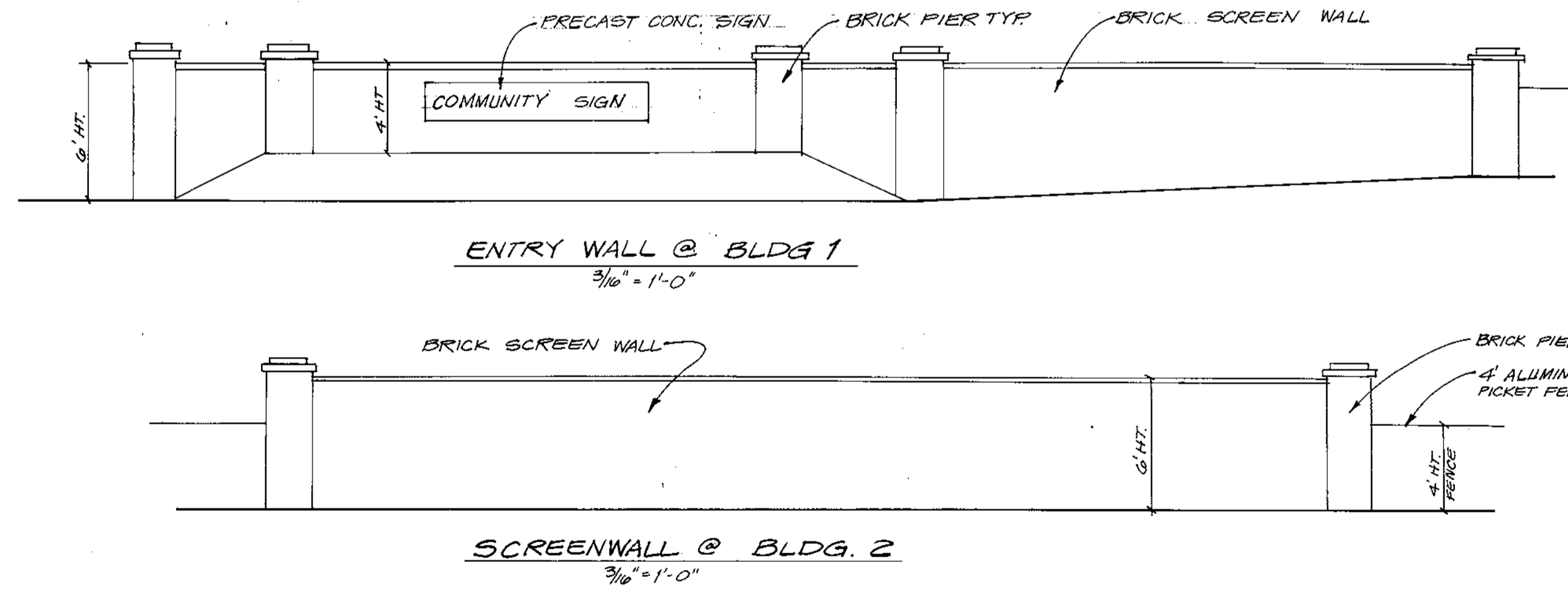
Elevation - Brick Pier & Picket Fence
Scale: 1/4" = 1'-0"



Detail - Tot-Lot Recreation Area
Scale: 1" = 10'-0"



Section - Brick Pier
Scale: 1/4" = 1'-0"



PLANT LIST

KEY	QTY	NAME - BOTANICAL/COMMON	SIZE	ROOT	COMMENTS
DECIDUOUS SHADE TREES					
AA	8	Acer rubrum "Armstrong" Armstrong Columnar Red Maple	2-1/2 - 3" Cal. 12-14' Ht.	B & B	
Z	51	Zelkova serrata "Green Vase" Green Vase Zelkova	2-1/2 - 3" Cal. 12-14' Ht.	B & B	7" Branch Ht.
GS	24	Gleditsia tri. inermis "Shademaster" Shademaster Honey Locust	2-1/2 - 3" Cal. 12-14' Ht.	B & B	7" Branch Ht.
PL	11	Plantanus X acerifolia "Bloodgood" Bloodgood London Planetree	2-1/2 - 3" Cal. 12-14' Ht.	B & B	7" Branch Ht.
QP	11	Quercus palustris. Pin Oak	2-1/2 - 3" Cal. 12-14' Ht.	B & B	7" Branch Ht.
DECIDUOUS FLOWERING TREES					
C	4	Lagerstroemia indica "Naychez" Natchez Crape Myrtle	8 - 10' Ht Hwy.	B & B	Multi-stem
M	10	Malus "Red Barron" Red Barron Crabapple	1-3/4 - 2" Cal. 8-10' Ht.	B & B	
PT	20	Prunus cerasifera "Thundercloud" Purple Leaf Flowering Plum	1-3/4 - 2" Cal. 8-10' Ht.	B & B	
EVERGREEN TREES					
CL	21	Cupressocyparis leylandii Leyland Cypress	6'-8" Ht.	B & B	Sheared, Full
IF	20	Ilex X "Fosteri" Foster's Holly	6 - 8' Ht. Hwy.	B & B	Sheared, Full
PS	31	Pinus strobus White Pine	6 - 8' Ht.	B & B	Sheared, Full
PA	16	Picea abies Norway Spruce	6 - 8' Ht.	B & B	Sheared, Full
TO	71	Thuja occidentalis "Nigra" Pyramidal Arborvitae	6 - 8' Ht. Hwy.	B & B	
SHRUBS					
BT	16	Berberis thun. atro. "Crimson Pygmy" Crimson Pygmy Barberry	2 - 2.5' Ht.	B & B/Cont.	
EA	7	Euonymus alatus "Compacta" Dwarf Winged Euonymus	2.5 - 3' Ht.	B & B	30" O.C.
IG	166	Ilex glabra Inkberry	2.5 - 3' Ht.	B & B/Cont.	30" O.C.
MP	65	Myrica pensylvanica/ Northern Bayberry	2.5 - 3' Ht.	B & B/Cont.	
SB	20	Spiraea nipponica "Snowmound" Snowmound Spirea	2 - 2.5' Ht.	B & B/Cont.	
TH	147	Taxus X media "Hicksi" Hicks Yew	3 - 3.5' Ht.	B & B	30" O.C.
PERENNIAL AND GROUNDCOVERS					
LM	80	Liriope muscari Purple Liriope	1 Gal.	Cont.	18" O.C.
PH	92	Pennisetum alopecuroides "Hamelin" Dwarf Fountain Grass	1 Gal.	Cont.	24" O.C.
		Seasonal Flowers - Colors and general planting to be determined	4" pots	Cont.	

Planting Notes

- All plants provided by Contractor to be nursery grown and furnished in accordance with AAN "American Standards for Nursery Stock" ANSI Z60.1.
- All trees to be planted symmetrically around central leader. No forked leader stock will be accepted.
- Plant material substitution will not be allowed unless contractor can prove market unavailability at the time of construction.
- The Contractor shall notify all utility companies five (5) days prior to beginning work.
- Any damage to the existing utilities, buildings, paving, curb and walls, and vegetation (not so designated for removal on these plans) shall be repaired to previous condition or replaced by the Contractor at his expense.
- All areas disturbed during construction are to be seeded unless noted otherwise.
- All oaks and pines shall be planted during the spring planting season only.
- All planting procedures and specifications shall conform to "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Area" latest edition.

APPROVED PLANNING BOARD OF HOWARD COUNTY
DATE: 1/28/98

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Date: 3/20/98
Date: 3/21/98
Date: 3/16/98

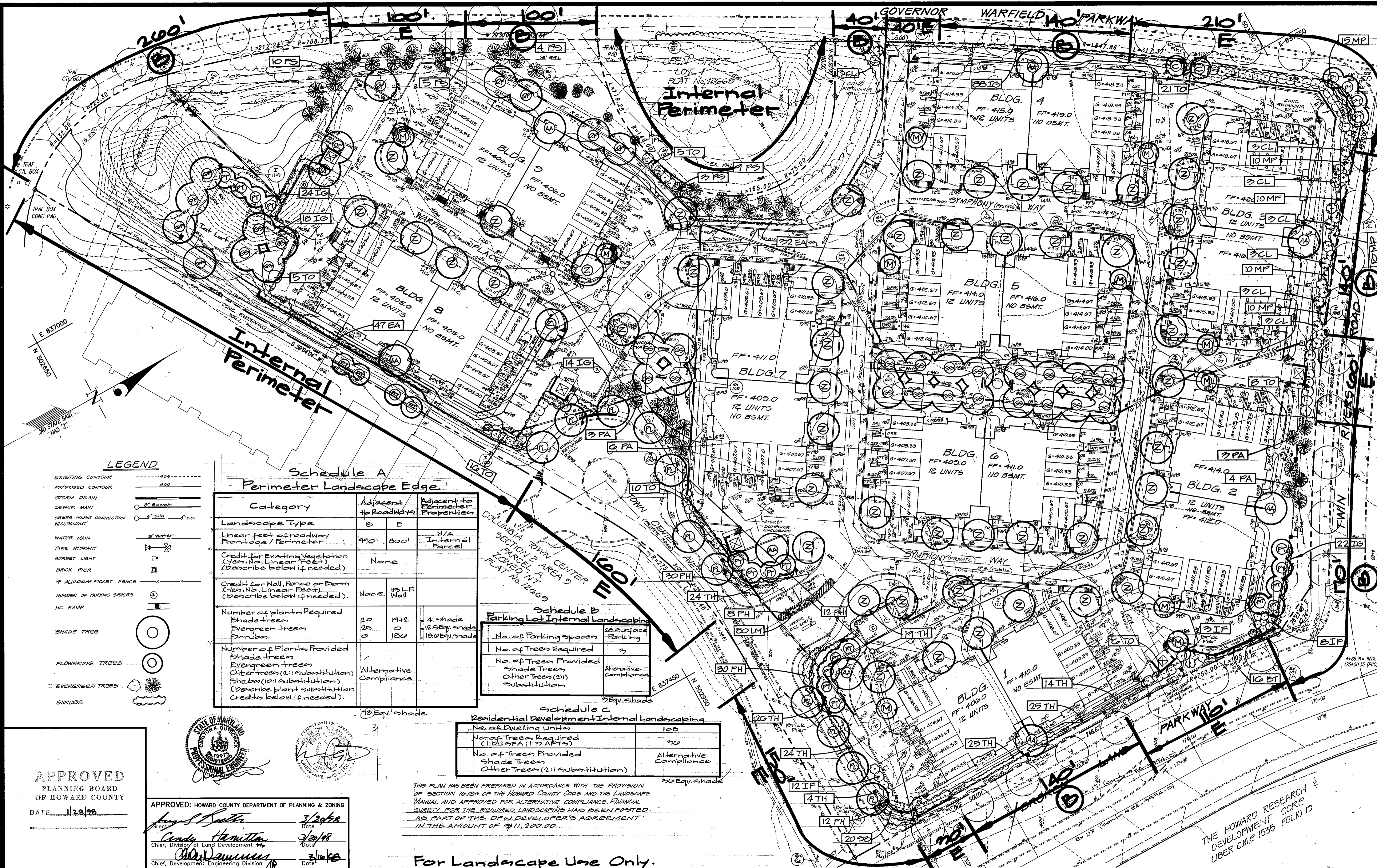
GW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE SUITE 250 BURTONSVILLE OFFICE PARK BURTONSVILLE, MD 20866
TELEPHONE: (301)421-4024 NO.VA. (301)989-2524 BALTO. (301)880-1820 FAX (301)421-4186

DATE	REVISION	BY	APP'R.
2/19/98	Rev Per Tot Lot Relaxation & W/Fire Cut	WBJ	
12-30-97	REV PER SRC COMMENTS	MJ	

OWNER
TRAFALGAR HOUSE
RESIDENTIAL MARYLAND
8965 GUILFORD ROAD, SUITE 290
COLUMBIA, MD 21046
ATTN: MR. MICHAEL LANCE
PH: (301) 621-8151

Landscape and Site Details
COLUMBIA TOWN CENTER
SECTION 2, AREA 9
PARCEL "B"
PLAT No. 12669
CLARKSVILLE ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

DES.	SCALE	ZONING	G.L.W. FILE No.
	As Shown	New Town	97066
DRN.	DATE	TAX MAP No.	SHEET
	FEB 23, 1998	70	10 of 10



LEGEND

- EXISTING CONTOUR 404
- PROPOSED CONTOUR 406
- STORM DRAIN
- SEWER MAIN 8" sewer
- SEWER HOUSE CONNECTION 8" S.H.C. 8" S.C.O.
- WATER MAIN 8" Water
- FIRE HYDRANT
- STREET LIGHT
- BRICK PIER
- ALUMINUM PICKET FENCE
- NUMBER OF PARKING SPACES
- H.C. RAMP
- SHADE TREE
- FLOWERING TREES
- EVERGREEN TREES
- SHRUBS

Schedule A
Perimeter Landscape Edge

Category	Adjacent to Roadways	Adjacent to Perimeter Properties
Landscape Type	B	E
Linear feet of roadway frontage / Perimeter	990'	800'
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	None	N/A Internal Parcel
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	None	115 L.F. Wall
Number of plants Required Shade trees Evergreen trees Shrubs	20 25 0	14+2 0 180
Number of plants Provided Shade trees Evergreen trees Other trees (2:1 substitution) Shrubs (10:1 substitution) (Describe plant substitution credits below if needed)	Alternative Compliance	41 shade 12.5 Eq. shade 180 Eq. shade

Schedule B
Parking Lot Internal Landscaping

No. of Parking Spaces	20 Surface Parking
No. of Trees Required	3
No. of Trees Provided Shade Trees Other Trees (2:1 substitution)	Alternative Compliance

Schedule C
Residential Development Internal Landscaping

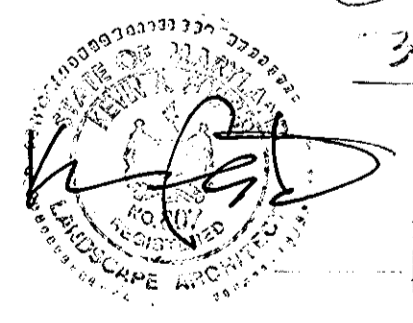
No. of Dwelling Units	100
No. of Trees Required (1:10:1 PFA; 1:1:1:1 APFA)	20
No. of Trees Provided Shade Trees Other Trees (2:1 substitution)	Alternative Compliance

THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISION OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL AND APPROVED FOR ALTERNATIVE COMPLIANCE. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED. AS PART OF THE D.P.W. DEVELOPER'S AGREEMENT. IN THE AMOUNT OF \$11,200.00.

For Landscape Use Only.

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE 11/29/98

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Angela S. Smith 3/29/98
Cady Hamilton 3/2/98
W.D. Dammer 3/16/98



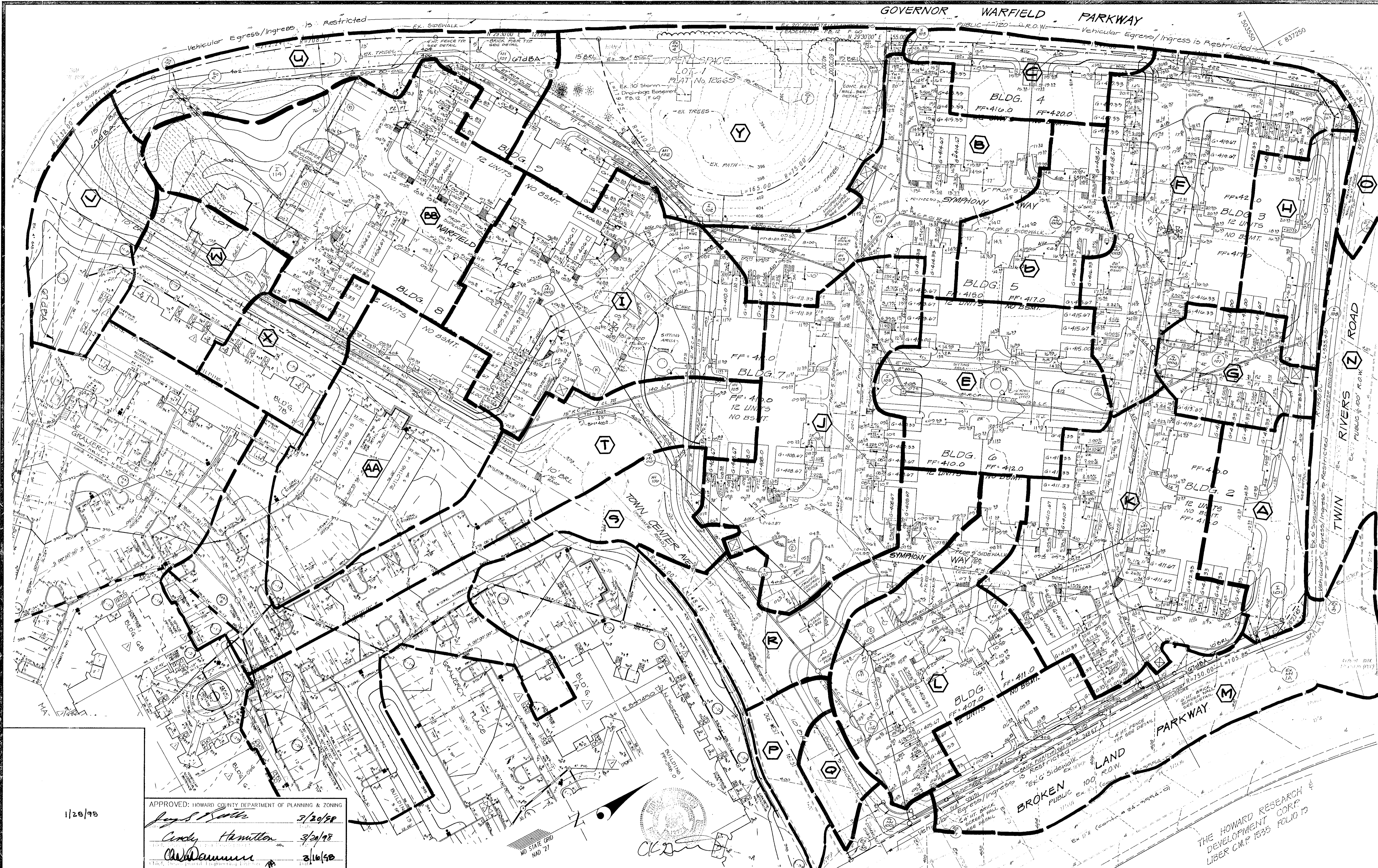
GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20866

DATE	REVISION	BY	APPR.
11-29-98	Rev per tot lot relocation & P/W clear out	WAB	WAB
11-29-98	Rev per County Comments	WAB	WAB
12-29-98	Rev per SPC Comments	WAB	WAB

OWNER
TRAFALGAR HOUSE
RESIDENTIAL MARYLAND
8045 BULLFROG RD SUITE 200
COLUMBIA, MD 21044
(410) 202-0400

Landscaping Plan
COLUMBIA TOWN CENTER
SECTION 2 AREA 9
PARCEL "B"
PLAT No. 12869

SCALE	ZONING	G. L. W. FILE No.
1"=30'	NEW TOWN	97066
DATE	TAX MAP No.	SHEET
FEB. 23, 1998	36	9 of 10



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Raymond Smith 3/20/98
Cindy Hamilton 3/20/98
W. Dammann 3/16/98

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20866

DATE	REV. PER	SRC	COMMENTS	BY	APPR.
2-27-97	1	GLW	Rev. grading in area of toilet, rev. drainage divide.	JKS	
12-30-97	2	GLW	REV. PER SRC COMMENTS	JKS	

OWNER
 TRD
 10275 LITTLE PATRICK PKWY
 COLUMBIA, MD 21044
 (410) 552-0000

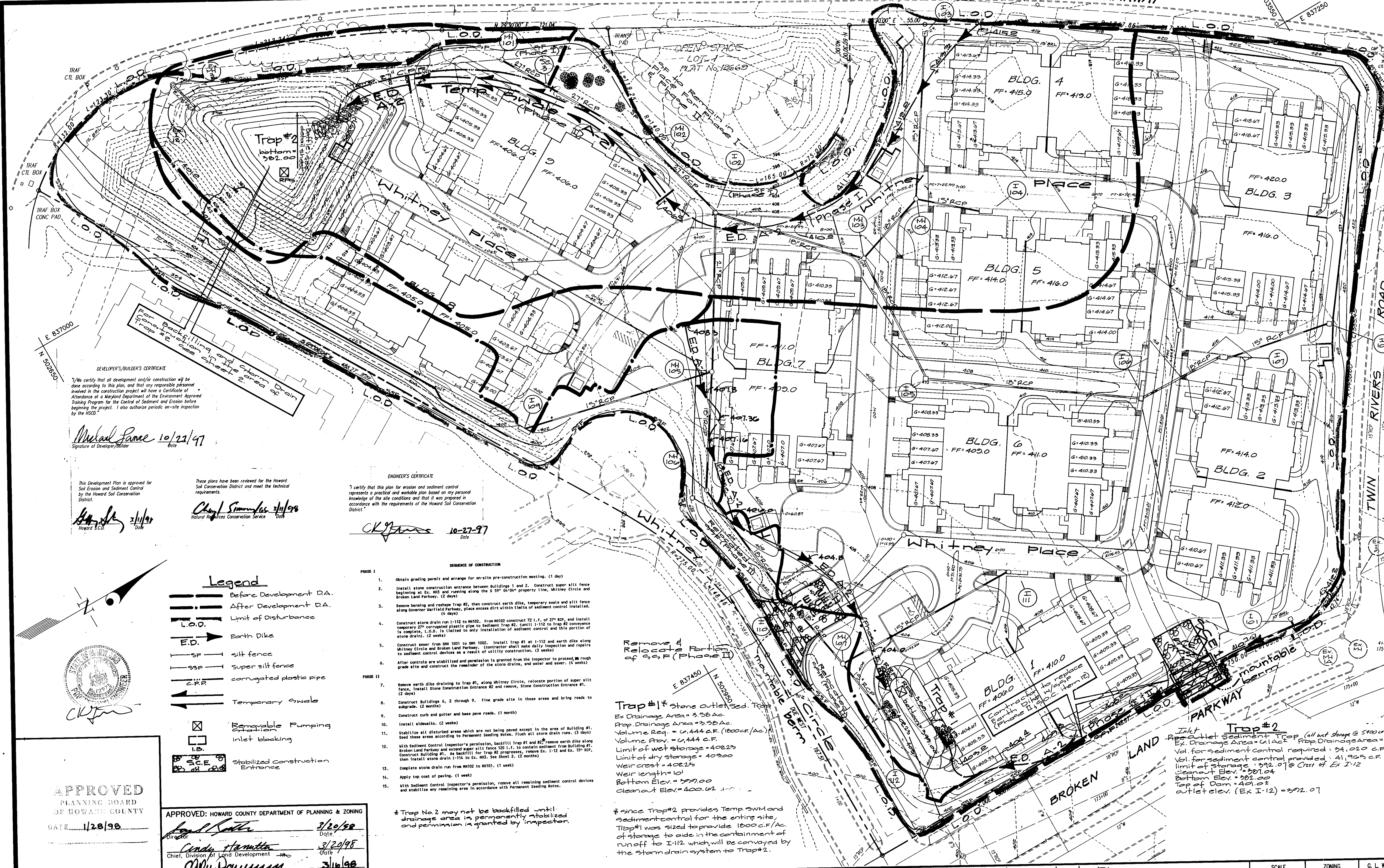
OWNER
 TRAPALAN HOUSE
 RESIDENTIAL WAREHOUSE
 8065 GUILFORD RD. SUITE 200
 COLUMBIA, MD 21046
 (301) 621-8151

Drainage Area Map
COLUMBIA TOWN CENTER
 SECTION 2 AREA 9
 PARCEL "B"
 PLAT No. 12669

CLARKSVILLE ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=30'	NEW TOWN	97066
DATE	TAX MAP No.	SHEET
FEB. 23, 1998	36	3 of 10



DEVELOPER'S/BUILDER'S CERTIFICATE
 I/We certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance of a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD.

Michael Jance 10/22/97
 Signature of Developer/Builder Date

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

[Signature] 3/11/98
 Date
 Howard S.C.D.

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.

Cheryl Simmons 3/11/98
 Natural Resources Conservation Service Date

ENGINEER'S CERTIFICATE
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

CK Jones 10-27-97
 Date

- Legend**
- Before Development DA.
 - After Development DA.
 - Limit of Disturbance
 - Earth Dike
 - silt fence
 - Super silt fence
 - corrugated plastic pipe
 - Temporary Swale
 - Removable Pumping Station
 - inlet blocking
 - Stabilized Construction Entrance

- SEQUENCE OF CONSTRUCTION**
1. Obtain grading permit and arrange for on-site pre-construction meeting. (1 day)
 2. Install stone construction entrance between Buildings 1 and 2. Construct super silt fence beginning at Ex. M03 and running along the 5' 50" 04' 00" property line, Whitney Circle and Broken Land Parkway. (2 days)
 3. Remove berling and reshape Trap #2, then construct earth dike, temporary swale and silt fence along Governor Warfield Parkway, place access dirt within limits of sediment control installed. (4 days)
 4. Construct storm drain run 1-112 to M102. From M102 construct 72' l.f. of 24" RCP, and install temporary 27" corrugated plastic pipe to sediment Trap #2. Cancel 1-112 to Trap #2 conveyance to complete. L.O.D. is limited to only installation of sediment control and this portion of storm drain. (2 weeks)
 5. Construct sewer from S98 1001 to S98 1002. Install Trap #1 at 1-112 and earth dike along Whitney Circle and Broken Land Parkway. Contractor shall make daily inspection and repairs to sediment control devices as a result of utility construction. (3 weeks)
 6. After controls are stabilized and permission is granted from the inspector to proceed, rough grade site and construct the remainder of the storm drain, and water and sewer. (4 weeks)
 7. Remove earth dike draining to Trap #1, along Whitney Circle, relocate portion of super silt fence, install Stone Construction Entrance #2 and remove Stone Construction Entrance #1. (2 days)
 8. Construct Buildings 4, 2 through 9. Fine grade site in these areas and bring roads to subgrade. (2 months)
 9. Construct curb and gutter and base pave roads. (1 month)
 10. Install sidewalks. (2 weeks)
 11. Stabilize all disturbed areas which are not being paved except in the area of Building 1. Seed these areas according to Permanent Seeding Notes. Flush all storm drain runs. (3 days)
 12. With Sediment Control Inspector's permission, backfill Trap #1 and #2; remove earth dike along Broken Land Parkway and extend super silt fence 120' l.f. to contain sediment from Building #1. Construct Building #1. As backfill for Trap #2 progresses, remove Ex. 1-12 and Ex. 15" RCP, then install storm drain 1-114 to Ex. M03. See Sheet 2. (2 months)
 13. Complete storm drain run from M102 to M101. (1 week)
 14. Apply top coat of paving. (1 week)
 15. With Sediment Control Inspector's permission, remove all remaining sediment control devices and stabilize any remaining area in accordance with Permanent Seeding Notes.

Remove & Relocate Portion of S.S.F. (Phase II)

Trap #1 * Stone outlet Sed. Trap
 Ex. Drainage Area = 3.38 Ac.
 Prop. Drainage Area = 3.38 Ac.
 Volume Req. = 0.444 c.f. (1800 c.f./Ac.)
 Volume Ret. = 0.444 c.f.
 Limit of dry storage = 40823
 Weir crest = 40823
 Weir length = 10'
 Bottom Elev. = 399.00
 Cleanout Elev. = 400.62

* Since Trap #2 provides Temp SWM and Sediment control for the entire site, Trap #1 was sized to provide 1800 c.f./Ac. of storage to aid in the containment of runoff to I-112 which will be conveyed by the storm drain system to Trap #2.

Trap #2
 Inlet
 Stone outlet Sediment Trap (all wet storage @ 5000 c.f./Ac.)
 Ex. Drainage Area = 6.1 Ac. Prop. Drainage Area = 6.3 Ac.
 Vol. for sediment control required = 94,020 c.f. (5400 c.f./Ac.)
 Vol. for sediment control provided = 41,905 c.f.
 limit of storage = 312.07 @ Crest of Ex I-12
 cleanout Elev. = 387.04
 Bottom Elev. = 382.00
 Top of Dam = 401.00
 outlet elev. (Ex. I-12) = 392.07

APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE 1/28/98

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

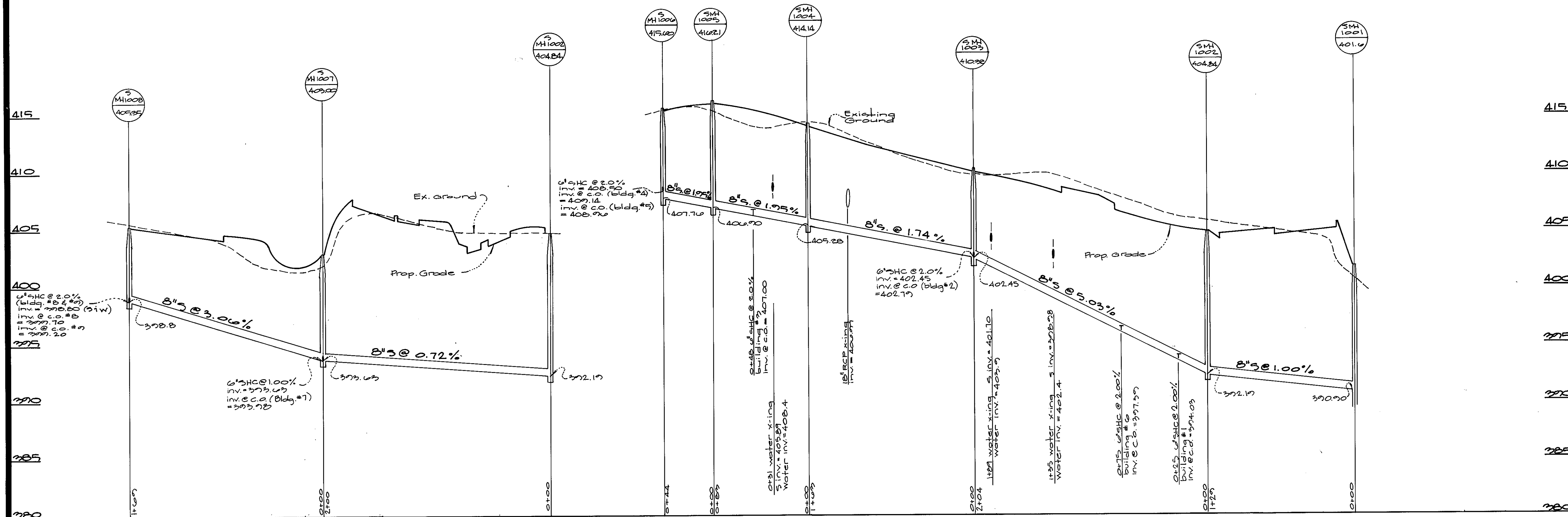
[Signature] 3/20/98
 Date
[Signature] 3/20/98
 Date
[Signature] 3/16/98
 Date

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20866

OWNER:
 Trafalgar House Residential Maryland
 2805 Guilford Road, Suite 200
 Columbia, Maryland 21046
 (301) 621-2151

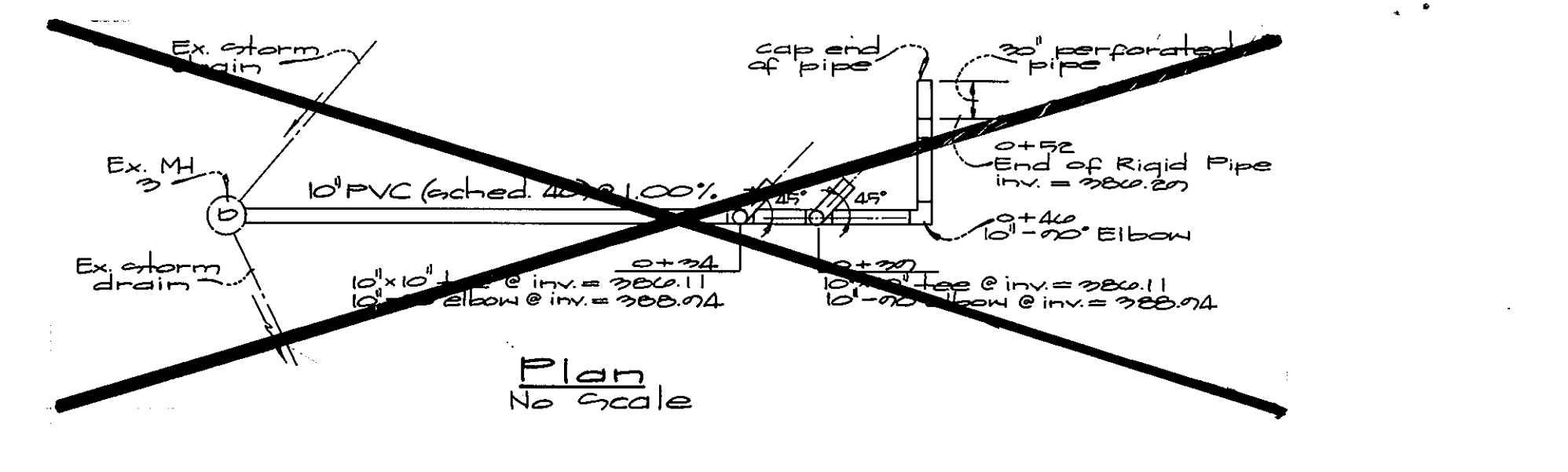
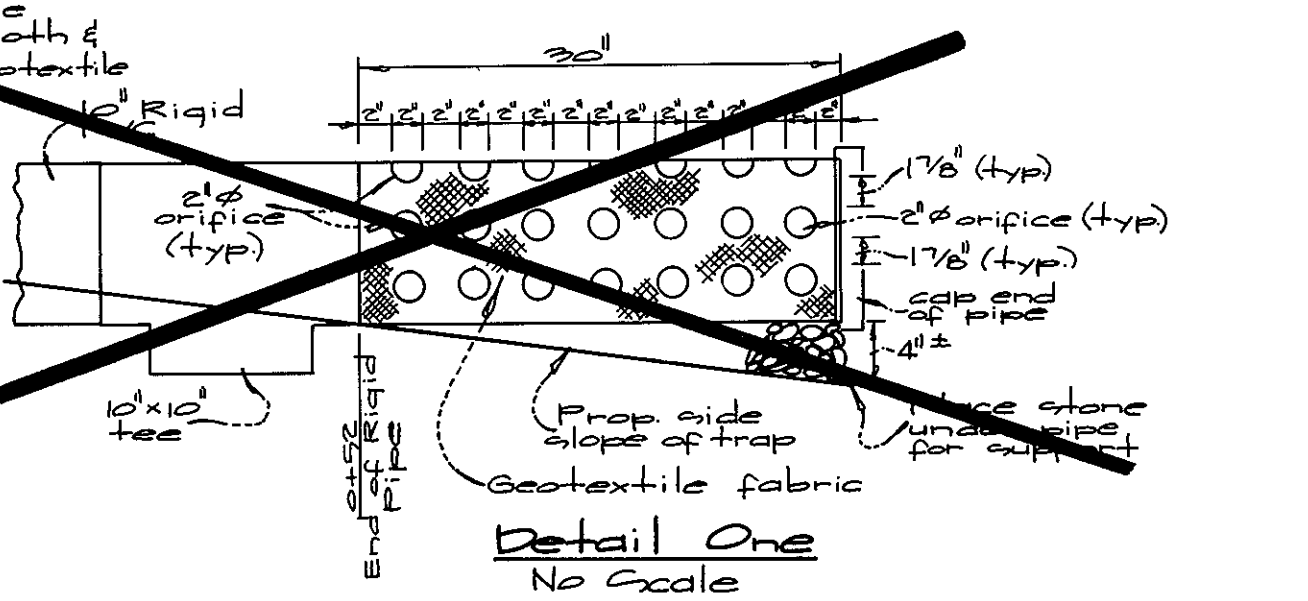
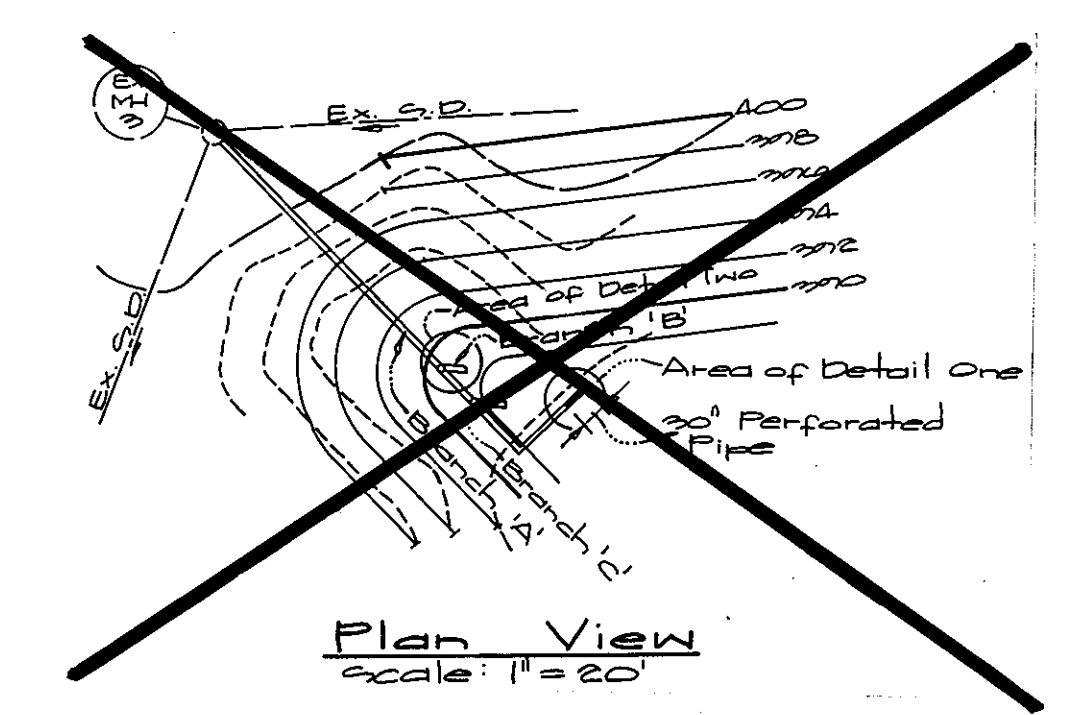
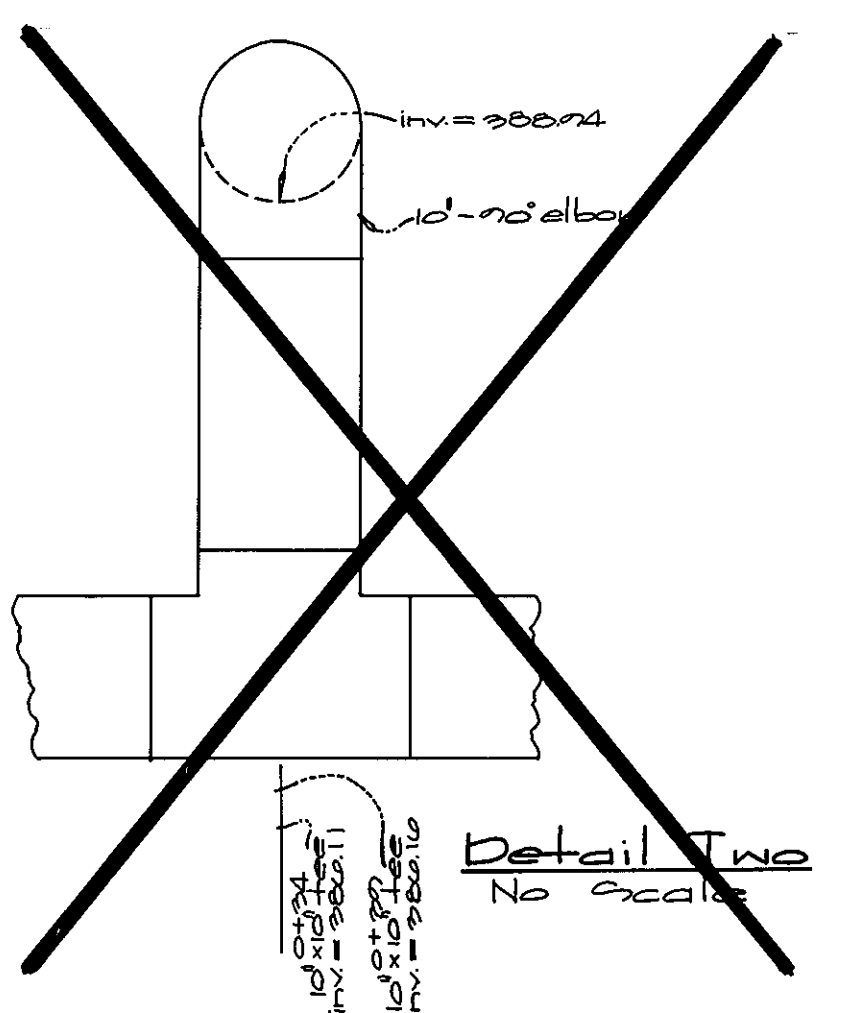
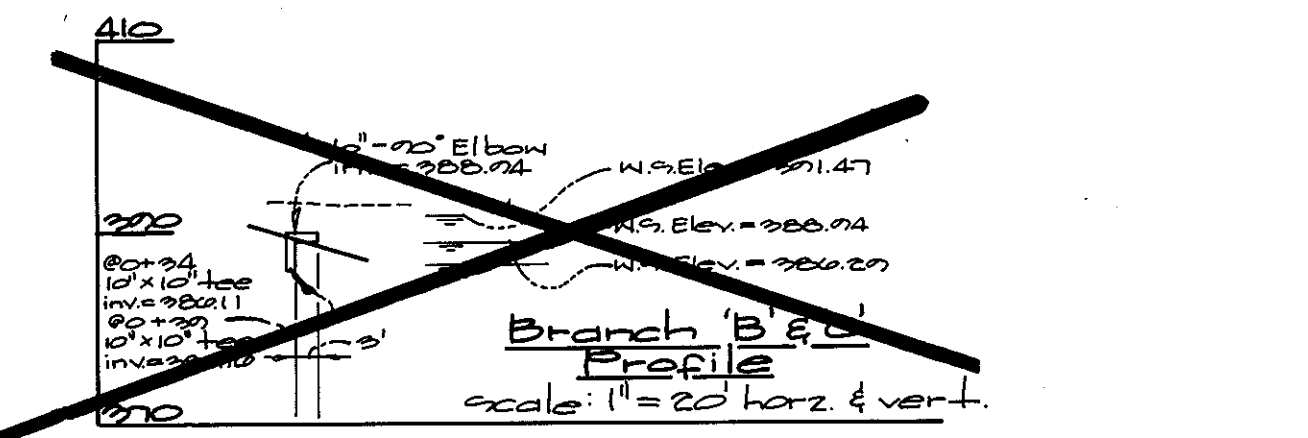
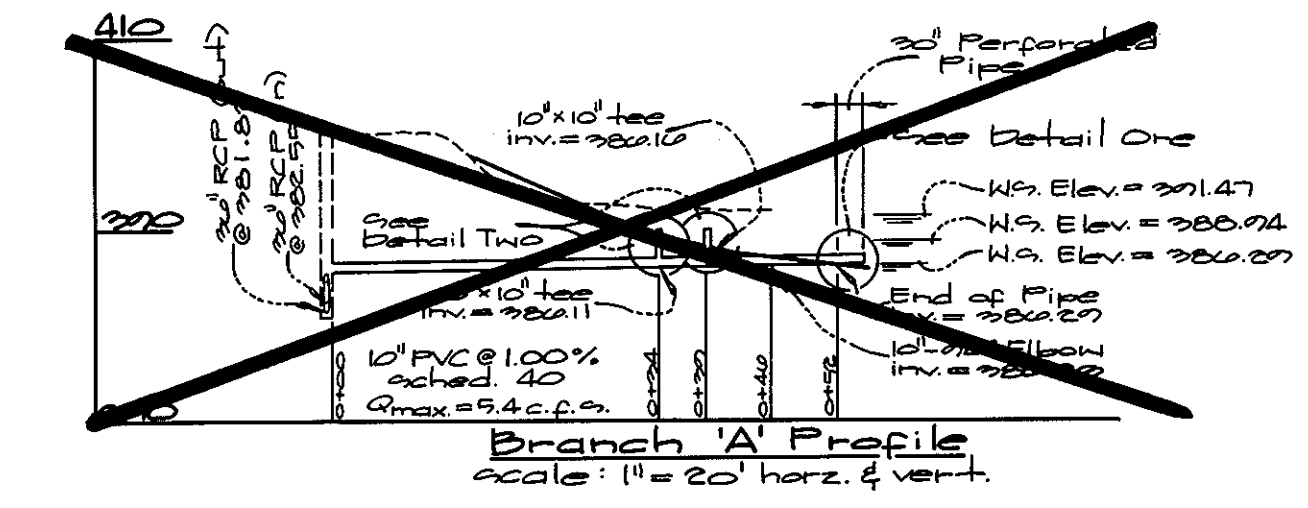
Sediment Control Plan
COLUMBIA TOWN CENTER
 SECTION 2 AREA 9
 PARCEL "B"
 PLAT No. 12669

SCALE 1"=30'	ZONING NEW TOWN	G. L. W. FILE No. 97066
DATE FEB. 23, 1998	TAX MAP No. 36	SHEET 4 of 10



Profile
 scale: 1" = 20' horz.
 1" = 5' vert.

Drainage Area Calculations					
Inlet	Drainage Area	Area (ac.±)	"C"	Percent Impervious	Remarks
101	A	0.22	0.72	80%	under this plan
102	B	0.42	1	1	1
103	C	0.21	1	1	1
104	D	0.25	1	1	1
105	E	0.41	1	1	1
106	F	0.62	1	1	1
107	G	0.19	1	1	1
108	H	0.22	1	1	1
109	I	0.57	1	1	1
110	J	0.62	1	1	1
111	K	0.62	1	1	1
112	L	0.47	1	1	1
Ex. I-7	M	0.62	0.68	72%	under F
Ex. I-9	N	0.25	0.67	72%	under F 07-10
Ex. I-10	O	0.76	0.64	68%	1
Ex. I-24	P	0.07	0.87	100%	under 90P 07-07
Ex. I-25	Q	0.07	0.87	100%	1
Ex. I-27	R	0.27	0.68	72%	1
Ex. I-28	S	0.62	0.60	57%	1
Ex. I-17	T	0.79	0.60	57%	1
I-112	U	0.52	0.24	8%	under this plan
Ex. I-20	V	0.27	0.24	7%	under 90P 07-07
Ex. I-21	W	0.22	0.42	24%	1
Ex. I-22	X	0.21	0.57	57%	1
Ex. I-1	Y	0.21	0.37	20%	under 90P 00-06
Ex. I-10	AA	0.91	0.60	67%	under 90P 07-07
I-114	BB	0.50	0.75	80%	under this plan



Approved: Howard County Department of Planning & Zoning
 Director: *[Signature]* 3/20/98
 Chief, Division of Land Development: *[Signature]* 3/20/98
 Chief, Development Engineering: *[Signature]* 3/16/98

HOWARD COUNTY BOARD OF ZONING APPEALS
 1/28/98

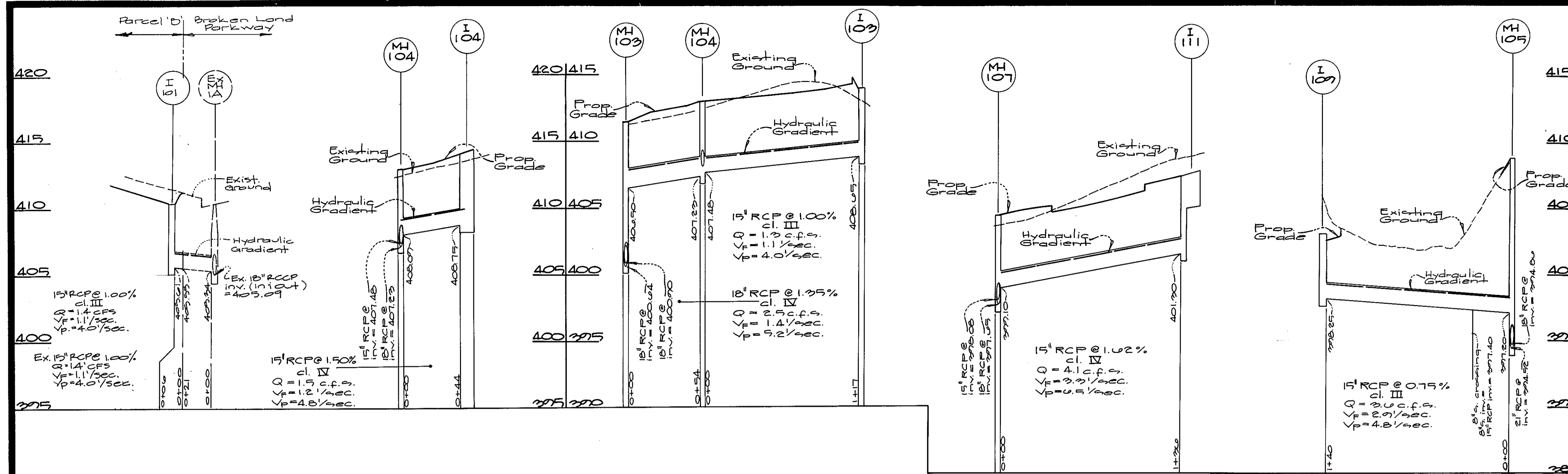
GW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MD. 20886
 TELEPHONE: (301)421-4024 NO. VA. (301)989-2524 BALTO. (301)880-1820 FAX (301)421-4186

DATE	REVISION	BY	APPR.

OWNER
 Trapdoor Home Residential Maryland
 8705 Guilford Road Suite 200
 Columbia, Maryland 21046
 Attn: Michael Lance
 (301) 421-0151

Sewer Profiles
Columbia Town Center
 Section 2 Area 9
 Parcel "B"
 plat no. 12009
 Clarksville Election District No. 5
 Howard County, Maryland

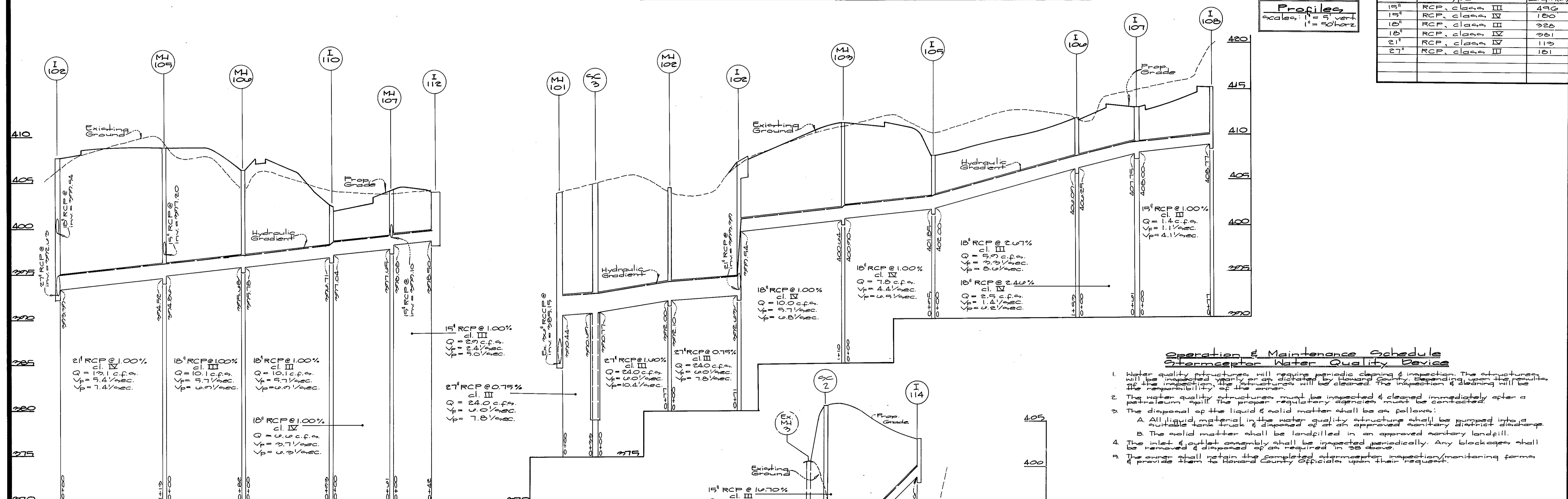
DES.	SCALE	ZONING	G.L.W. FILE NO.
KLP	As shown	NT	97006
DRN.	DATE	TAX MAP NO.	SHEET
CHK.	FEB. 23, 1998	26	5 of 10



Structure Schedule

No	Type	Width (inside)	Top Elevation		Invert Elevation		Std. Detail	Locations	Remarks
			Upper	Lower	Upper	Lower			
I-101	4' inlet	—	410.50	—	—	405.01	S.D. 4.22		
I-102	cos 15'	—	407.78	406.00	397.54	392.49	MSHA MD-214UR		
I-103	16' inlet	—	415.02	—	408.49	—	S.D. 4.22		
I-104	A-10	2'-0"	414.40	414.20	—	408.75	S.D. 4.22		
I-105	16' inlet	—	407.67	—	402.00	401.09	S.D. 4.22		
I-106	cos 15'	—	412.40	411.80	400.65	400.00	MSHA MD-214UR		
I-107	A-5	2'-0"	413.10	413.10	408.00	407.75	S.D. 4.01		
I-108	16' inlet	—	415.17	—	408.77	—	S.D. 4.22		
I-109	A-10	2'-0"	409.00	409.00	—	398.25	S.D. 4.02		
I-110	cos 15'	—	409.00	408.25	397.04	396.71	MSHA MD-214UR		
I-111	cos 15'	—	408.07	407.74	—	401.30	"		
I-112	A-10	2'-0"	402.80	402.80	—	398.50	S.D. 4.22		
I-114	A-5	—	402.30	—	398.00	—	S.D. 4.01		
MH101	std. Manhole	4'-0"	404.00	390.44	398.15	—	S. 9.01		
MH102	"	"	404.50	392.10	392.00	—	"		
MH103	"	"	411.40	400.00	400.04	—	"		
MH104	"	"	412.87	408.00	407.23	—	"		
MH105	"	"	408.80	397.00	396.92	—	"		
MH106	"	"	408.27	395.78	395.08	—	"		
MH107	"	"	404.25	393.10	393.05	—	"		
SC 2	series 1200	—	406.30	—	398.50	398.50	"		
SC 3	series 4800	—	405.08	—	392.77	392.00	"		

* Stormceptor, see sheet 7 for order forms and structure detail.



Profiles

scales: 1" = 5' vert.
1" = 50' horz.

Size	Type	Length (LF)
15"	RCP, class III	490
15"	RCP, class IV	180
18"	RCP, class III	228
18"	RCP, class IV	281
21"	RCP, class IV	113
27"	RCP, class III	101

- ### Operation & Maintenance Schedule Stormceptor Water Quality Device
- Water quality structures will require periodic cleaning & inspection. The structures will be inspected yearly or as dictated by Howard County. Depending upon the results of the inspection, the structures will be cleaned. The responsibility of the owner.
 - The water quality structures must be inspected & cleaned immediately after a precipitation event. The proper regulatory agencies must be contacted.
 - The disposal of the liquid & solid matter shall be as follows:
 - All liquid material in the water quality structure shall be pumped into a suitable tank truck & disposed of at an approved sanitary district discharge.
 - The solid matter shall be landfilled in an approved sanitary landfill.
 - The inlet & outlet assembly shall be inspected periodically. Any blockages shall be removed & disposed of as required in 3B above.
 - The owner shall retain the completed stormceptor inspection/monitoring forms & provide them to Howard County officials upon their request.

APPROVED
DATE: 1/28/98

Approved: Howard County Department of Planning & Zoning
Director: *[Signature]* 3/20/98
Date: 3/20/98
Chief, Division of Land Development: *[Signature]*
Chief, Development Engineering Division: *[Signature]* 3/16/98

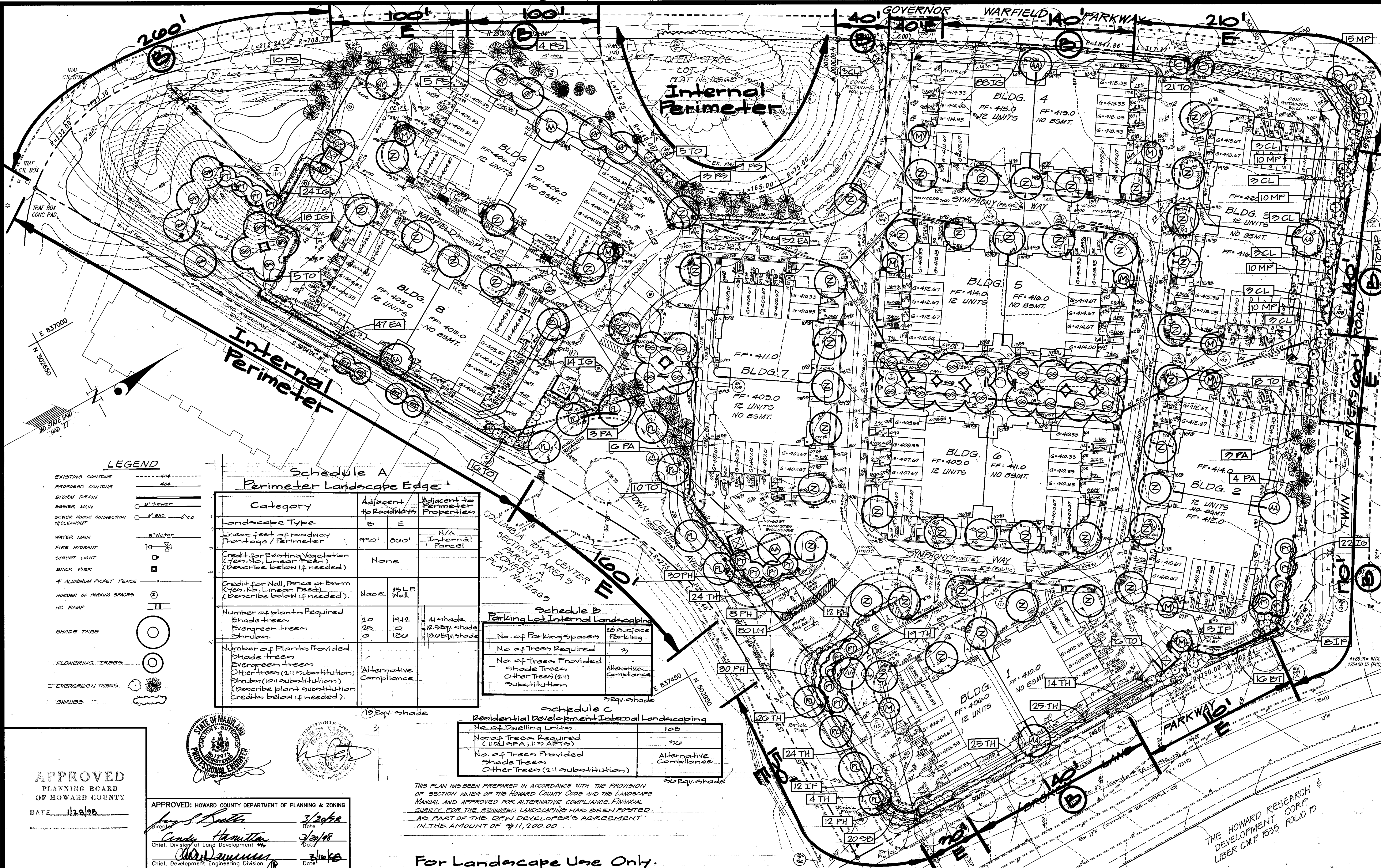
GW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MD. 20886
TELEPHONE: (301)421-4024 NO. VA. (301)989-2524 BALTO. (301)880-1820 FAX (301)421-4186

DATE	REVISION	BY	APPR.
12-30-97	REV. PER SRC COMMENTS		MCF

OWNER
Tropalgar Home Residential Maryland
8005 Guilford Road Suite 200
Columbia, Maryland 21046
(301) 621-8151

Storm Drain Profiles
Columbia Town Center
Section 2 Area 9
Parcel "B"
plat no. 12009
Clarkeville Election District No. 5
Howard County, Maryland

DES. DEV.	SCALE	ZONING	G.L.W. FILE NO.
KLP	As shown	NT	97006
CHK.	DATE	TAX MAP NO.	SHEET
	FEB. 23, 1998	20	6 of 10



LEGEND

- EXISTING CONTOUR 404
- PROPOSED CONTOUR 404
- STORM DRAIN
- SEWER MAIN 8" sewer
- SEWER HOUSE CONNECTION 8" S.H.C. 8" S.C.O.
- WATER MAIN 8" Water
- FIRE HYDRANT
- STREET LIGHT
- BRICK PIER
- ALUMINUM PICKET FENCE
- NUMBER OF PARKING SPACES
- HC RAMP
- SHADE TREE
- FLOWERING TREES
- EVERGREEN TREES
- SHRUBS

Schedule A
Perimeter Landscape Edge

Category	Adjacent to Roadways	Adjacent to Perimeter Properties
Landscape Type	B	E
Linear feet of roadway frontage / Perimeter	990'	060'
Credit for Existing Vegetation (Yes/No, Linear Feet) (Describe below if needed)	None	N/A Internal Parcel
Credit for Wall, Fence or Berm (Yes/No, Linear Feet) (Describe below if needed)	None	115 L.F. Wall
Number of plants Required Shade trees Evergreen trees Shrubs	20 25 0	41 shade 12.5 Eqv. shade 13.6 Eqv. shade
Number of Plants Provided Shade trees Evergreen trees Other trees (2:1 substitution) Shrubs (10:1 substitution) (Describe plant substitution Credits below if needed)	Alternative Compliance	

Schedule B
Parking Lot Internal Landscaping

No. of Parking Spaces	20 Surface Parking
No. of Trees Required	3
No. of Trees Provided Shade Trees Other Trees (2:1 substitution)	Alternative Compliance

Schedule C
Residential Development Internal Landscaping

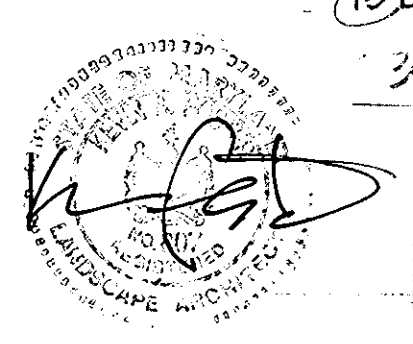
No. of Dwelling Units	100
No. of Trees Required (1:10:1 PFA; 1:1:1 APFs)	90
No. of Trees Provided Shade Trees Other Trees (2:1 substitution)	Alternative Compliance

THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISION OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL AND APPROVED FOR ALTERNATIVE COMPLIANCE. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED. AS PART OF THE D.P.W. DEVELOPER'S AGREEMENT, IN THE AMOUNT OF \$11,200.00.

For Landscape Use Only.

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE: 11/29/98

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Angela S. Suttler 3/29/98
Cady Hamilton 3/2/98
W.D. Damman 3/16/98
 Chief, Division of Land Development
 Chief, Development Engineering Division



GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20866
 TEL: (301) 421-4024 NO. VA.: (301) 989-2524 BALT.: (410) 880-1820 FAX: (301) 421-4186 DES. DRN. CHK.

DATE	REVISION	BY	APPR.
12-25-97	Rev. per tot lot relocation & D/W clear out	WAF	
1-10-98	Rev. per County comments	WAF	
12-30-97	Rev. per SDC Comments	WAF	

OWNER: **MRD**
 10275 LITTLE PATIENT PKWY
 COLUMBIA, MD 21044
 (410) 292-0000

OWNER: **TRAFALGAR HOUSE**
 RESIDENTIAL MARYLAND
 8045 GUILFORD RD. SUITE 200
 COLUMBIA, MD 21046
 (301) 621-8151

Landscape Plan
COLUMBIA TOWN CENTER
 SECTION 2 AREA 9
 PARCEL 7B
 PLAT No. 12669

THE HOWARD RESEARCH
 DEVELOPMENT CORP.
 LIBER C.M.P. 1535

SCALE 1"=30'	ZONING NEW TOWN	G. L. W. FILE No. 97066
DATE FEB. 23, 1998	TAX MAP No. 36	SHEET 9 of 10

CLARKSVILLE ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

