

GENERAL NOTES

1. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
2. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
3. TOPOGRAPHY SHOWN HEREON WAS TAKEN FROM ROAD CONSTRUCTION PLANS F-97-119. CONTOUR INTERVAL IS 2 FEET.
4. HOWARD COUNTY CONTROL:
HORIZONTAL DATUM BASED ON NAD 83 - MONUMENTS 37HC AND 37CC.
VERTICAL DATUM BASED ON NAD 27 - MONUMENTS 2444001-R
5. ALL ROADWAYS ARE PUBLIC AND EXISTING.
6. EXISTING UTILITIES SHOWN HAVE BEEN TAKEN FROM CONTRACT DRAWINGS 14-3588-D AND ROAD CONSTRUCTION PLANS F-97-119.
7. CONTRACTOR SHALL ADJUST ALL UTILITY ELEVATION AND LOCATION AS NECESSARY TO MATCH SDP GRADES.
8. STORMWATER MANAGEMENT IS PROVIDED FOR THESE LOTS UNDER ROAD CONSTRUCTION PLANS F-97-119 BY MEANS OF A RETENTION FACILITY.
9. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN WETLANDS, WETLAND BUFFERS, STREAM BUFFERS OR FOREST CONSERVATION AREAS.
10. PORCHES, FIREPLACES, CHIMNEYS, EXTERIOR STAIRWAYS AND BAY WINDOWS WHICH EXTEND ABOVE THE B.R.L. SHALL BE IN ACCORDANCE WITH SECTION 128(A)(1) OF THE HOWARD COUNTY ZONING REGULATIONS.
11. (W.D.) INDICATES WALKOUT BASEMENT.
12. PVIOUS HOWARD COUNTY FILE NO'S S-94-36, P-97-01, WP-97-03, F-97-119.
13. THIS PROJECT IS SUBJECT TO THE THIRD EDITION OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
14. MAINTENANCE AGREEMENT FOR USE-IN-COMMON DRIVEWAYS ARE RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY IN LIBER 4039 AT FOLIOS 292, 296, 300 AND 304 FOR LOTS 1 AND 2, 10 THRU 13, 19 AND 20, AND 48 THRU 51.
15. ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE AT THE BUILDERS EXPENSE.
16. BRL INDICATES BUILDING RESTRICTION LINE.
17. FOR DRIVEWAY ENTRANCE DETAIL SEE HOWARD COUNTY STANDARD DETAIL R-6.01 & R-6.03 ON SHEET B.
18. FOR EASEMENT, LOT SIZE AND OTHER RELATED INFORMATION, REFER TO PLAT NO'S 12904-12908.
19. EXISTING HOUSES ON LOTS 18 AND 47 ARE TO REMAIN AND PERMISSION IS GRANTED TO GRADE ON THESE LOTS.

GENERIC SITE DEVELOPMENT PLAN

ARBOR WOODS

1st ELECTION DISTRICT

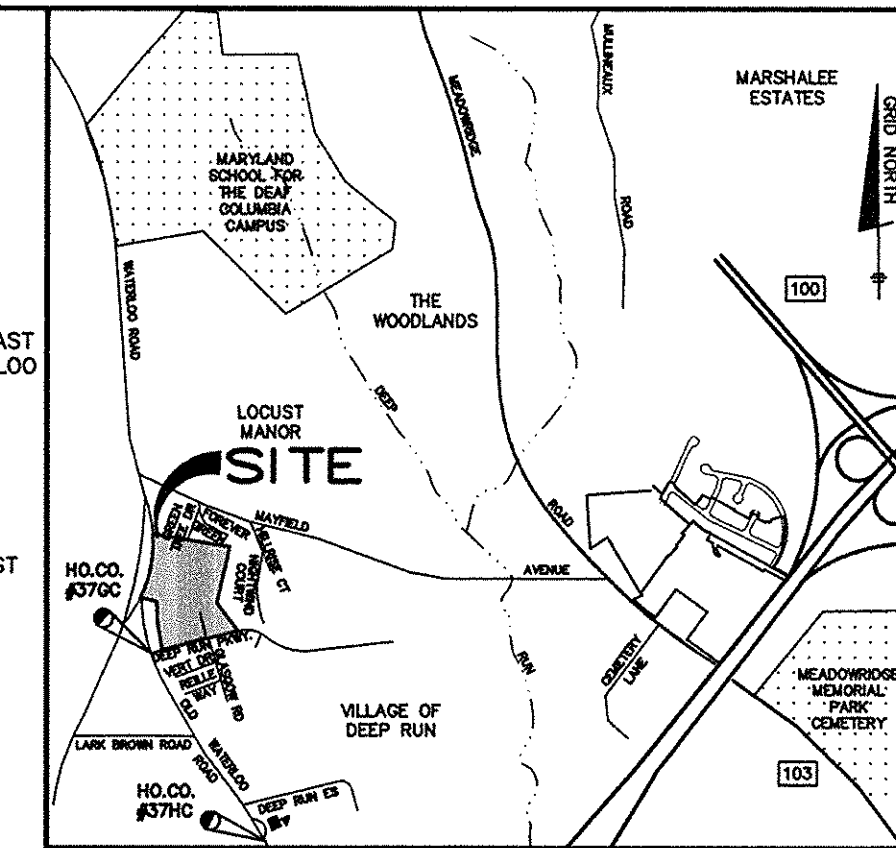
HOWARD COUNTY, MARYLAND

BENCH MARKS (NAD 83)

HO.CO. #37HC
3/4" REBAR AND ALUMINUM CAP 38.0' SOUTH OF THE EDGE OF PAVEMENT ON WATERLOO ROAD, 120' EAST OF THE GATEWAY TO WATERLOO COMMUNITY PARK.
N 552854.2141(F/T) E 1372839.499(F/T)
N 186510.3015(M) E 418381.3561(M)

HO.CO. #37CC
3/4" REBAR AND ALUMINUM CAP 13.9' WEST OF THE EDGE OF PAVEMENT ON WATERLOO ROAD, 0.15 MILES EAST OF THE INTERSECTION BETWEEN ROUTE 108 AND WATERLOO ROAD.
N 555250.7923(F/T) E 1370946.362(F/T)
N 162240.7800(M) E 417865.2869(M)

BENCH MARKS (NAD 27)
HO.CO. #244001-R
ELEV. 346.728'
CONC. MONUMENT SET FLUSH WITH SURFACE, 34.07' EAST OF THE EDGE OF PAVEMENT ALONG N.B. ROUTE 108
N 495673.696 E 858372.166



SITE DATA TABULATION

GENERAL SITE DATA

- 1.) PRESENT ZONING: R-SC
- 2.) APPLICABLE DPZ FILE REFERENCES: S-94-36, P-97-01, WP-97-03, F-97-119
- 3.) PROPOSED USE OF SITE: SINGLE FAMILY DETACHED
- 4.) PROPOSED WATER AND SEWER SYSTEMS: PUBLIC

AREA TABULATION

- 1.) TOTAL PROJECT AREA..... 18.94 AC.
- 2.) NET AREA OF SITE..... 9.22 AC.
- 3.) AREA OF THIS PLAN SUBMISSION..... 9.22 AC.
- 4.) APPROXIMATE LIMIT OF DISTURBANCE..... 9.22 AC.
- 5.) BUILDING COVERAGE OF SITE (PERMITTED)..... N/A (SFD)
- 6.) TOTAL NUMBER OF UNITS ALLOWED AS SHOWN ON FINAL PLAT..... 54
- 7.) TOTAL NUMBER OF RESIDENTIAL UNITS/LOTS PROPOSED ON THIS SUBMISSION..... 54
- 8.) OPEN SPACE ON SITE..... 7.59 AC.
PERCENTAGE OF GROSS AREA..... 40%

SHEET INDEX	
NO.	DESCRIPTION
1	TITLE SHEET
2-4	GENERIC SITE DEVELOPMENT PLAN
5-7	SEDIMENT AND EROSION CONTROL PLAN
8	SEDIMENT CONTROL NOTES AND DETAILS

SPECIAL NOTE:
ANY HOUSE TYPE/LOT THAT WARRANTS THE GARAGE/DRIVEWAY OPPOSITE TO WHAT IS SHOWN ON THIS SITE PLAN AND IN THE HOUSE MATRIX WILL BE REQUIRED TO PROCESS A "RESTE" THROUGH THE COUNTY (i.e., MAKE THE DRIVEWAY).

LOT AREA TABLE

LOT NUMBER	AREA SQ. FT.	LOT NUMBER	AREA SQ. FT.
1	9,792	28	6,503
2	6,537	29	6,930
3	6,480	30	6,055
4	8,171	31	6,497
5	7,117	32	6,127
6	7,176	33	6,700
7	8,767	34	7,180
8	6,470	35	6,096
9	6,044	36	6,003
10	7,527	37	7,497
11	6,842	38	6,093
12	10,212	39	6,300
13	9,294	40	6,865
14	6,017	41	7,598
15	6,006	42	9,503
16	6,204	43	6,714
17	8,198	44	6,460
18	8,800	45	6,426
19	7,391	46	8,434
20	7,919	47	14,374
21	8,704	48	11,088
22	7,919	49	10,157
23	6,770	50	7,414
24	6,088	51	8,874
25	6,204	52	6,003
26	6,070	53	6,053
27	6,128	54	7,855

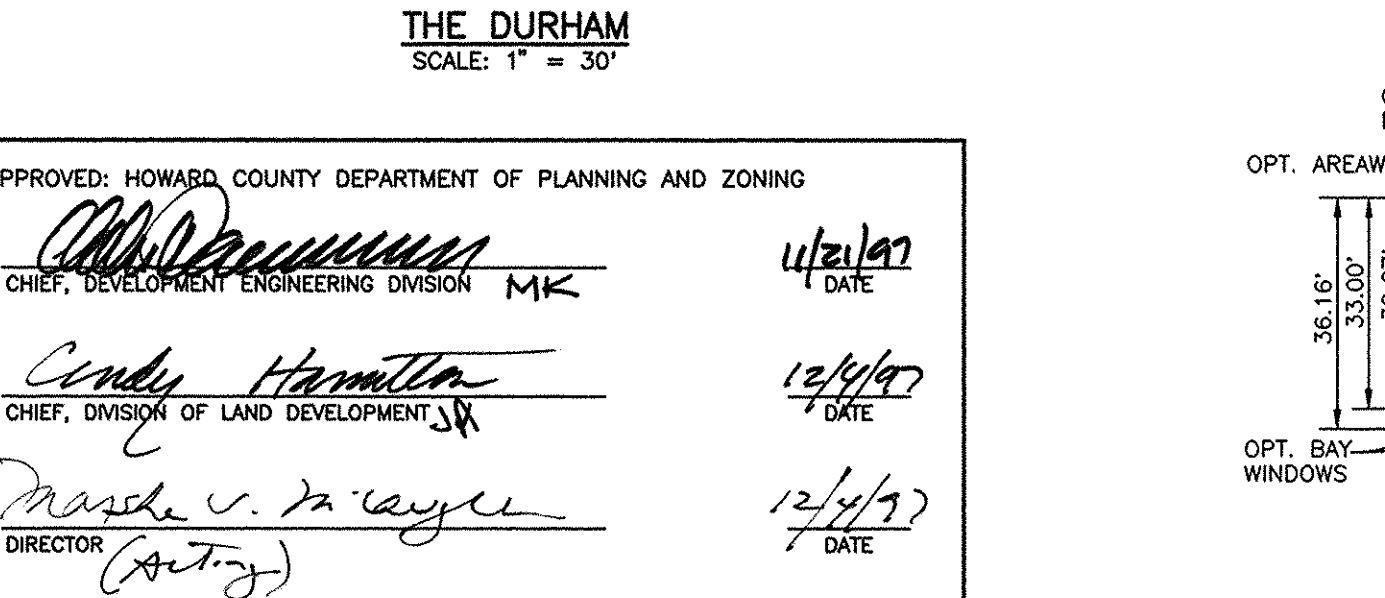
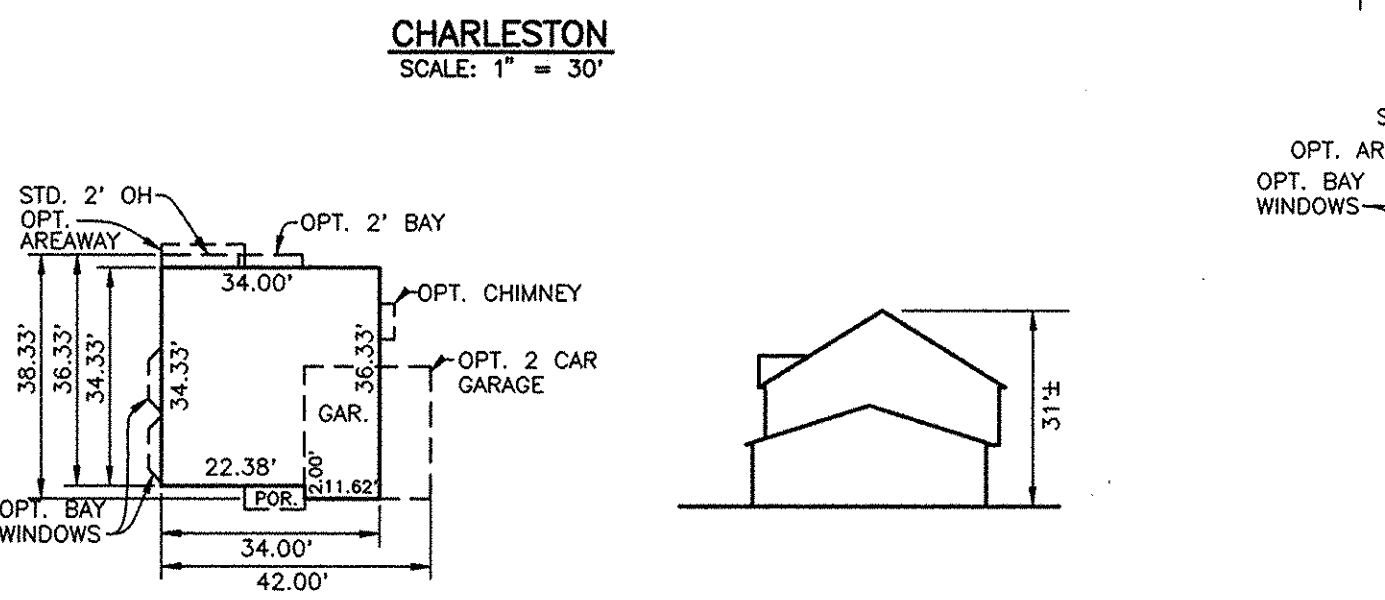
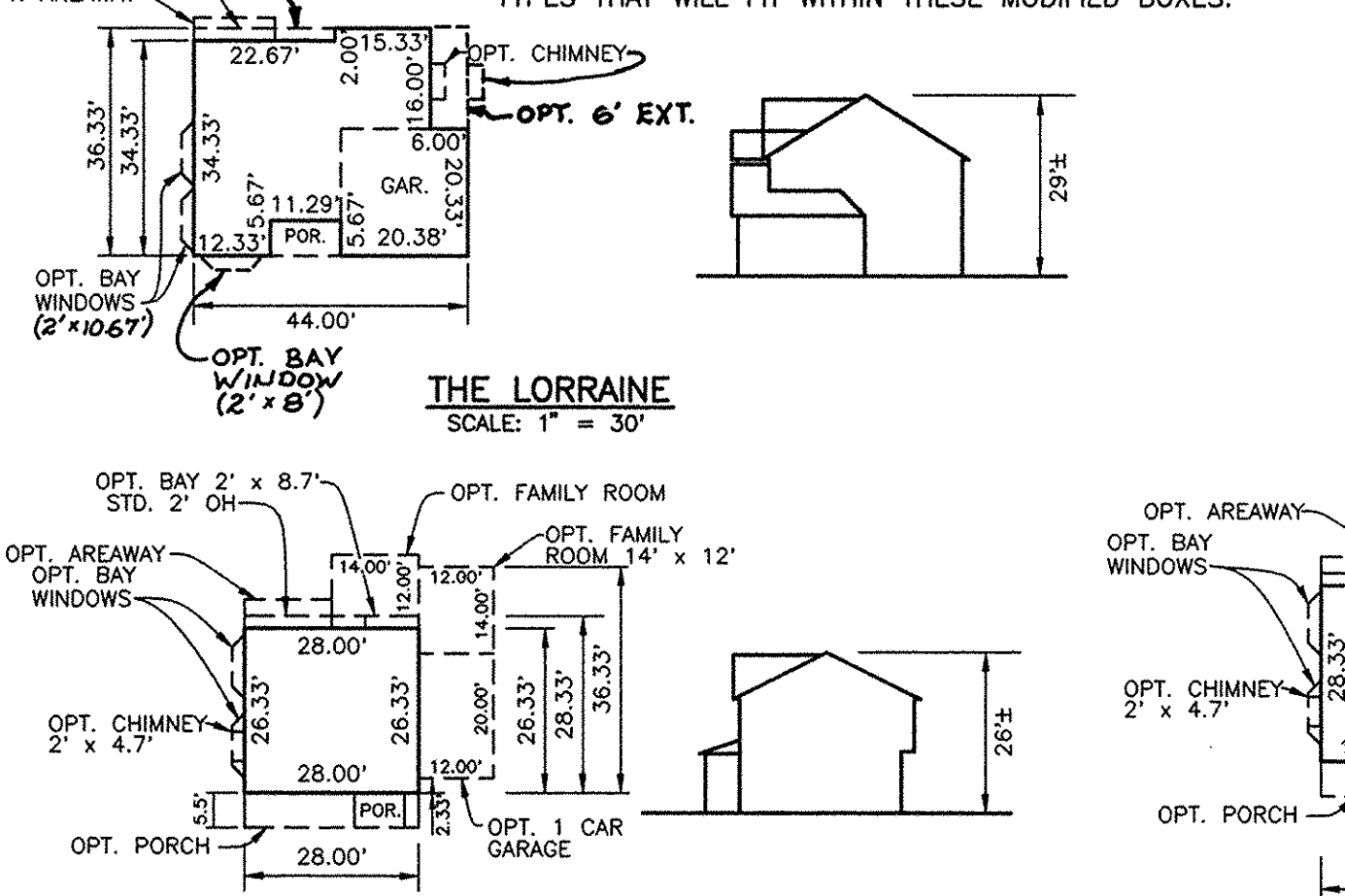
MINIMUM SEWER SERVICE

LOT NUMBER	EL. SHC AT R/W	MINIMUM CELLAR EL.	LOT NUMBER	EL. SHC AT R/W	MINIMUM CELLAR EL.
1	336.7	340.3	28	325.6	329.4
2	336.8	341.1	29	326.7	330.6
3	336.9	340.0	30	327.1	330.5
4	337.0	338.1	31	327.9	331.6
5	337.2	336.9	32	328.1	331.7
6	337.3	335.8	33	328.2	331.8
7	337.4	334.7	34	328.3	331.9
8	337.5	333.6	35	328.4	332.0
9	337.6	332.5	36	328.5	332.1
10	337.7	331.4	37	328.6	332.2
11	337.8	330.3	38	328.7	332.3
12	337.9	329.2	39	328.8	332.4
13	338.0	328.1	40	328.9	332.5
14	338.1	327.0	41	329.0	332.6
15	338.2	325.9	42	329.1	332.7
16	338.3	324.8	43	329.2	332.8
17	338.4	323.7	44	329.3	332.9
18	338.5	322.6	45	329.4	333.0
19	338.6	321.5	46	329.5	333.1
20	338.7	320.4	47	329.6	333.2
21	338.8	319.3	48	329.7	333.3
22	338.9	318.2	49	329.8	333.4
23	339.0	317.1	50	329.9	333.5
24	339.1	316.0	51	330.0	333.6
25	339.2	314.9	52	330.1	333.7
26	339.3	313.8	53	330.2	333.8
27	339.4	312.7	54	330.3	333.9

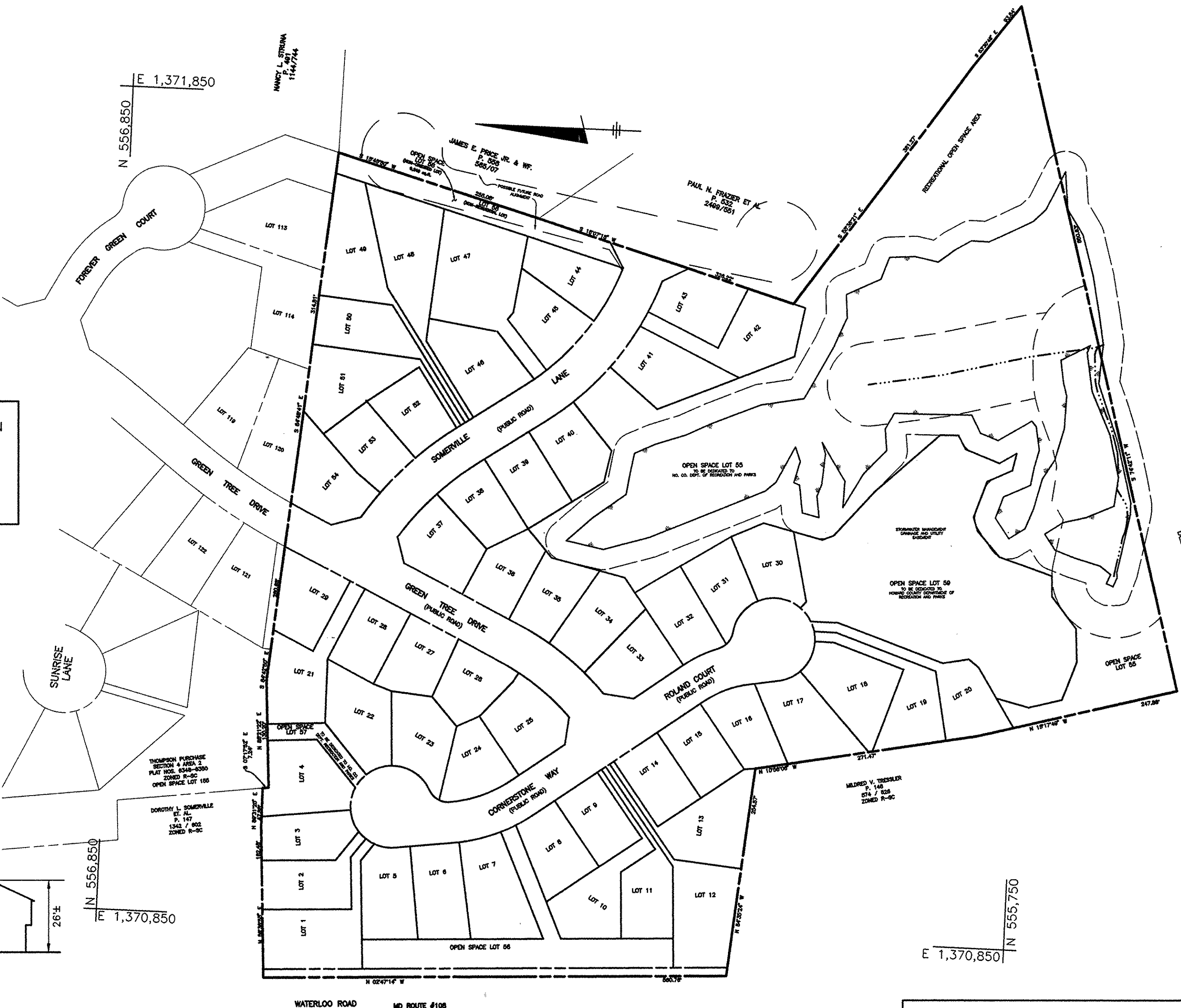
* VERIFY SHC ELEVATION AT R/W LINE PRIOR TO HOUSE CONSTRUCTION.

HOUSE TYPE	CHARACTERISTICS	WIDTH	DEPTH
A	ALEXANDRIA ARLINGTON II CHARLESTON CHARTLEY II CLAREMONT DURHAM LORRAINE WESTCOTT	44.00'	46.33'
B	ALEXANDRIA ARLINGTON II CHARLESTON CHARTLEY II DURHAM LORRAINE WESTCOTT	44.00'	44.00'
C	ALEXANDRIA ARLINGTON II CHARLESTON CHARTLEY II DURHAM LORRAINE WESTCOTT	44.00'	44.00'
D	ALEXANDRIA CHARLESTON	42.00'	34.33'
E	CHARLESTON DURHAM	40.00'	38.33'
F	CHARLESTON DURHAM WESTCOTT	40.00'	44.83'

NOTE: SOME BOXES ON THIS PLAN HAVE BEEN SLIGHTLY MODIFIED TO MATCH THE CONFIGURATION OF THE BUILDING ENVELOPE. ALL OF THESE MODIFIED BOXES HAVE BEEN IDENTIFIED ON THE GENERIC SITE PLAN AND IN THE HOUSE MATRIX ON SHEET B. SEE SHEET B FOR THE HOUSE TYPES THAT WILL FIT WITHIN THESE MODIFIED BOXES.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division: MK
 Chief, Division of Land Development: [Signature]
 Director: [Signature]



PLANTING LIST

SYMBOL	QUANTITY	NAME	REMARKS
○	82	ACER RUBRA (Red Maple) (EXISTING STREET TREES)	2 1/2" MIN. CAL. B&B FULL HEAD
⊗	43	QUERCUS PALUSTIS SOVEREIGN (PROPOSED LANDSCAPE TREES)	2 1/2" MIN. CAL. B&B FULL HEAD
⊗	15	FINUS THUNBERGII (Japanese Black Pine) (EXISTING SWM TREES)	5'-6' ht. UNSHEARED
○	12	ACER RUBRA (Red Maple) (EX. PERIMETER AND SWM TREES)	2 1/2" MIN. CAL. B&B FULL HEAD

- PLANTING NOTES:**
1. TREES MUST BE PLANTED A MINIMUM OF 4 FEET FROM THE CURB OR SIDEWALK AND MUST BE A MINIMUM OF 5 FEET FROM ANY STORM DRAIN.
 2. A MINIMUM DISTANCE OF 20 FEET MUST BE MAINTAINED BETWEEN ANY TREES LOCATED ALONG THE CURB LINE AND ANY STREET LIGHTS.
 3. TREE MUST BE PLANTED A MINIMUM OF 5 FEET FROM AN OPEN SPACE ACCESS STRIP AND 10 FEET FROM A DRIVEWAY.
 - * 4. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF \$4,300.

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL#
ARBOR WOODS		LOTS 1 THRU 54
PLAT No. 12904-12908	ZONE R-SC	TAX MAP 37
	ELEC. DIST. 1ST	CENSUS 6012.00
WATER CODE D05	SEWER CODE 2521000	

ADDRESS CHART

LOT NO.	STREET ADDRESS	LOT NO.	STREET ADDRESS	LOT NO.	STREET ADDRESS
1	8241 CORNERSTONE WAY	19	8020 ROLAND COURT	37	8000 SOMERVILLE LANE
2	8245 CORNERSTONE WAY	20	8024 ROLAND COURT	38	8010 SOMERVILLE LANE
3	8249 CORNERSTONE WAY	21	8132 GREEN TREE DRIVE	39	8020 SOMERVILLE LANE
4	8248 CORNERSTONE WAY	22	8244 CORNERSTONE WAY	40	8030 SOMERVILLE LANE
5	8237 CORNERSTONE WAY	23	8240 CORNERSTONE WAY	41	8040 SOMERVILLE LANE
6	8233 CORNERSTONE WAY	24	8236 CORNERSTONE WAY	42	8044 SOMERVILLE LANE
7	8229 CORNERSTONE WAY	25	8232 CORNERSTONE WAY	43	8048 SOMERVILLE LANE
8	8225 CORNERSTONE WAY	26	8144 GREEN TREE DRIVE	44	8041 SOMERVILLE LANE
9	8221 CORNERSTONE WAY	27	8140 GREEN TREE DRIVE	45	8037 SOMERVILLE LANE
10	8217 CORNERSTONE WAY	28	8136 GREEN TREE DRIVE	46	8029 SOMERVILLE LANE
11	8213 CORNERSTONE WAY	29	8128 GREEN TREE DRIVE	47	8122 FOREVER GREEN CT.
12	8209 CORNERSTONE WAY	30	8013 ROLAND COURT	48	8025 SOMERVILLE LANE
13	8205 CORNERSTONE WAY	31	8009 ROLAND COURT	49	8021 SOMERVILLE LANE
14	8000 ROLAND COURT	32	8005 ROLAND COURT	50	8017 SOMERVILLE LANE
15	8004 ROLAND COURT	33	8153 GREEN TREE DRIVE	51	8013 SOMERVILLE LANE
16	8008 ROLAND COURT	34	8149 GREEN TREE DRIVE	52	8009 SOMERVILLE LANE
17	8012 ROLAND COURT	35	8145 GREEN TREE DRIVE	53	8005 SOMERVILLE LANE
18	8016 ROLAND COURT	36	8141 GREEN TREE DRIVE	54	8001 SOMERVILLE LANE

NO.	DATE	REVISION
2	1/06/98	UPDATE LORRAINE AND CHARTLEY II HOUSE TYPES.
1	10/16/97	REVISED PER COUNTY COMMENTS.

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 8480 Baltimore National Pike • Millersville City, Maryland 21045 • 410-605-6100

[Signature]
10/21/97

OWNER/DEVELOPER/BUILDER:
CORNERSTONE HOLDINGS, L.L.C.
7405 BUCKS HAVEN LANE
HIGHLAND, MARYLAND 20777
410-988-9146

PROJECT:
ARBOR WOODS
LOTS 1-54

LOCATION:
TAX MAP 37 - BLOCK 14 - PARCELS 149, 405, 493 & 594
1ST ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE:
TITLE SHEET

S-94-36, P-97-01, WP-97-03, F-97-119
 DATE: AUGUST 29, 1997
 PROJECT NO. 1001
 DRAWING 1 OF 8

Design: GWF Draft: JMC SCALE: AS SHOWN

EX. 6' WOODEN NOISE ABATEMENT WALL TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION TO BE BUILT UNDER F-97-119 (SEE SHEET 2 OF F-97-119)

DOROTHY L. SOMERVILLE ET. AL.
1342 / 802
ZONED R-SC 356

THOMPSON PURCHASE
SECTION 4/AREA 2
PLAT NOS. 6348-6350
ZONED R-SC
OPEN SPACE LOT 155
S 07'17'52" E
7.24' N 86'21'22" E
130.20'

PROPOSED TREES TO BE INSTALLED BY THE BUILDER (TYP)

LIMIT OF DISTURBANCE AND SUBMISSION
S 84'42'30" E

LEGEND

PROPOSED TREE LINE	
EXISTING TREE LINE	
FOREST CONSERVATION EASEMENT	
PROPOSED CONTOUR	
EXISTING GRADE	
EXISTING STORM DRAIN	
LIMIT OF DISTURBANCE	

WATERLOO ROAD
MD ROUTE #108



VEHICULAR INGRESS AND EGRESS RESTRICTED

LAND DEDICATED TO THE STATE OF MARYLAND FOR THE PURPOSE OF A PUBLIC ROAD (5615 SF.)

FOREST CONSERVATION EASEMENT

OPEN SPACE LOT 56 TO BE DEDICATED TO THE HOMEOWNERS ASSOCIATION

NOISE ABATEMENT WALL TO BE DEDICATED TO THE HOMEOWNERS ASSOCIATION

EXIST. STREET LIGHT

EXIST. STREET TREE

EXIST. STORM DRAIN

EXIST. UTILITY CASING

EXIST. CONC. DRIVEWAY

EXIST. CONC. DRIVEWAY

EXIST. CONC. DRIVEWAY

EXIST. CONC. DRIVEWAY

EXIST. CONC. DRIVEWAY

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APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Howard County Department of Planning and Zoning
CHIEF, DEVELOPMENT ENGINEERING DIVISION MK 11/21/97
DATE

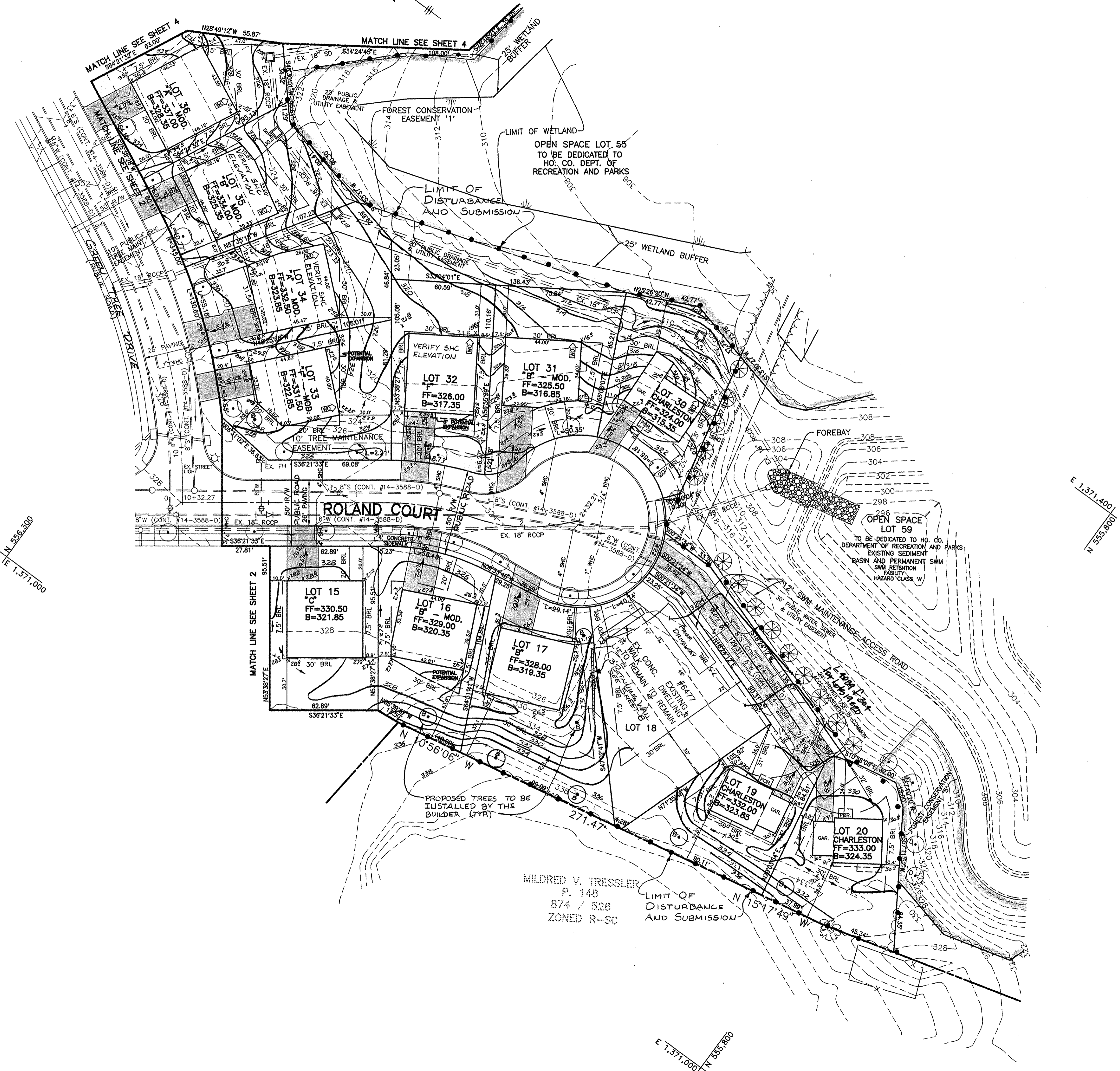
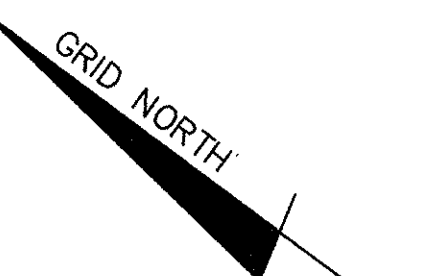
Cindy Hamilton
CHIEF, DIVISION OF LAND DEVELOPMENT 12/4/97
DATE

Mark V. Jaeger
DIRECTOR 12/4/97
DATE

NO.	DATE	REVISION
1	10/15/97	REVISED PER COUNTY COMMENTS.
2	1/06/98	REVISE LOT 29 WALK-THRU HOUSE TYPE REVISION.

TSA GROUP, INC.
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8480 Baltimore National Pike • Ellicott City, Maryland 21043 • 410-465-8105

OWNER/DEVELOPER/BUILDER:	PROJECT:
CORNERSTONE HOLDINGS, L.L.C. 7405 BUCKS HAVEN LANE HIGHLAND, MARYLAND 20777 410-988-9146	ARBOR WOODS LOTS 1-54
LOCATION:	TITLE:
TAX MAP 37 - BLOCK 14 - PARCELS 405, 493, 594 & 149 1st ELECTION DISTRICT HOWARD COUNTY, MARYLAND	GENERIC SITE DEVELOPMENT PLAN AND LANDSCAPE PLAN
DATE:	PROJECT NO.:
AUGUST 29, 1997	1001
DESIGN: JMC	DRAFT: JMC
SCALE: 1"=30'	DRAWING 2 OF 8



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Michael D. Williams 11/21/97
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE

Wanda Hamilton 12/4/97
 CHIEF, DIVISION OF LAND DEVELOPMENT JA DATE

Mildred V. Tressler 1/4/98
 DIRECTOR DATE

NO.	DATE	REVISION
1	10/15/97	REVISED PER COUNTY COMMENTS.

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MILDRED V. TRESSLER
 P. 148
 874 / 526
 ZONED R-3C
 LIMIT OF DISTURBANCE AND SUBMISSION

OWNER/DEVELOPER/BUILDER: CORNERSTONE HOLDINGS, L.L.C. 7405 BUCKS HAVEN LANE HIGHLAND, MARYLAND 20777 410-988-9146	PROJECT: ARBOR WOODS LOTS 1-54 LOCATION: TAX MAP 37 - BLOCK 14 - PARCELS 405, 493, 594 & 149 1st ELECTION DISTRICT HOWARD COUNTY, MARYLAND TITLE: GENERIC SITE DEVELOPMENT PLAN AND LANDSCAPE PLAN DATE: AUGUST 29, 1997 PROJECT NO. 1001 DESIGN: JMC DRAFT: JMC SCALE: 1"=30' DRAWING 3 OF 8
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PROPERTY OF SECURITY DEVELOPMENT CORP.

GRID NORTH

JAMES E. PRICE JR. & WIFE
P. 558
668/707

PAUL N. FRAZER ET AL
P. 552
2489/551

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING	
<i>Charles...</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION MK	11/21/97 DATE
<i>Condy Hamilton</i> CHIEF, DIVISION OF LAND DEVELOPMENT SJ	11/19/97 DATE
<i>James K. ...</i> DIRECTOR	12/1/97 DATE

NO.	DATE	REVISION
1	10/15/97	REVISED PER COUNTY COMMENTS.
2	1/06/98	REVISE LOT 53.

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OWNER/DEVELOPER/BUILDER: CORNERSTONE HOLDINGS, L.L.C. 7405 BUCKS HAVEN LANE HIGHLAND, MARYLAND 20777 410-988-9146	PROJECT: ARBOR WOODS LOTS 1-53 LOCATION: TAX MAP 37 - BLOCK 14 - PARCELS 405, 493, 594 & 149 1st ELECTION DISTRICT HOWARD COUNTY, MARYLAND TITLE: GENERIC SITE DEVELOPMENT PLAN AND LANDSCAPE PLAN DATE: AUGUST 29, 1997 PROJECT NO. 1001 DRAWING 4 OF 8
DESIGN: JMC DRAFT: JMC	SCALE: 1"=30' DRAWING 4 OF 8



LEGEND

PROPOSED TREE LINE	
EXISTING TREE LINE	
STABILIZED CONSTRUCTION ENTRANCE	
PROPOSED CONTOUR	
EXISTING GRADE	
EXISTING STORM DRAIN	
LIMIT OF DISTURBANCE	
EXISTING EARTH DIKE*	
PROPOSED EARTH DIKE	
EXISTING SILT FENCE*	
PROPOSED SILT FENCE	
EXISTING SUPER SILT FENCE*	
PROPOSED SUPER SILT FENCE	

* - INSTALLED UNDER F-97-116

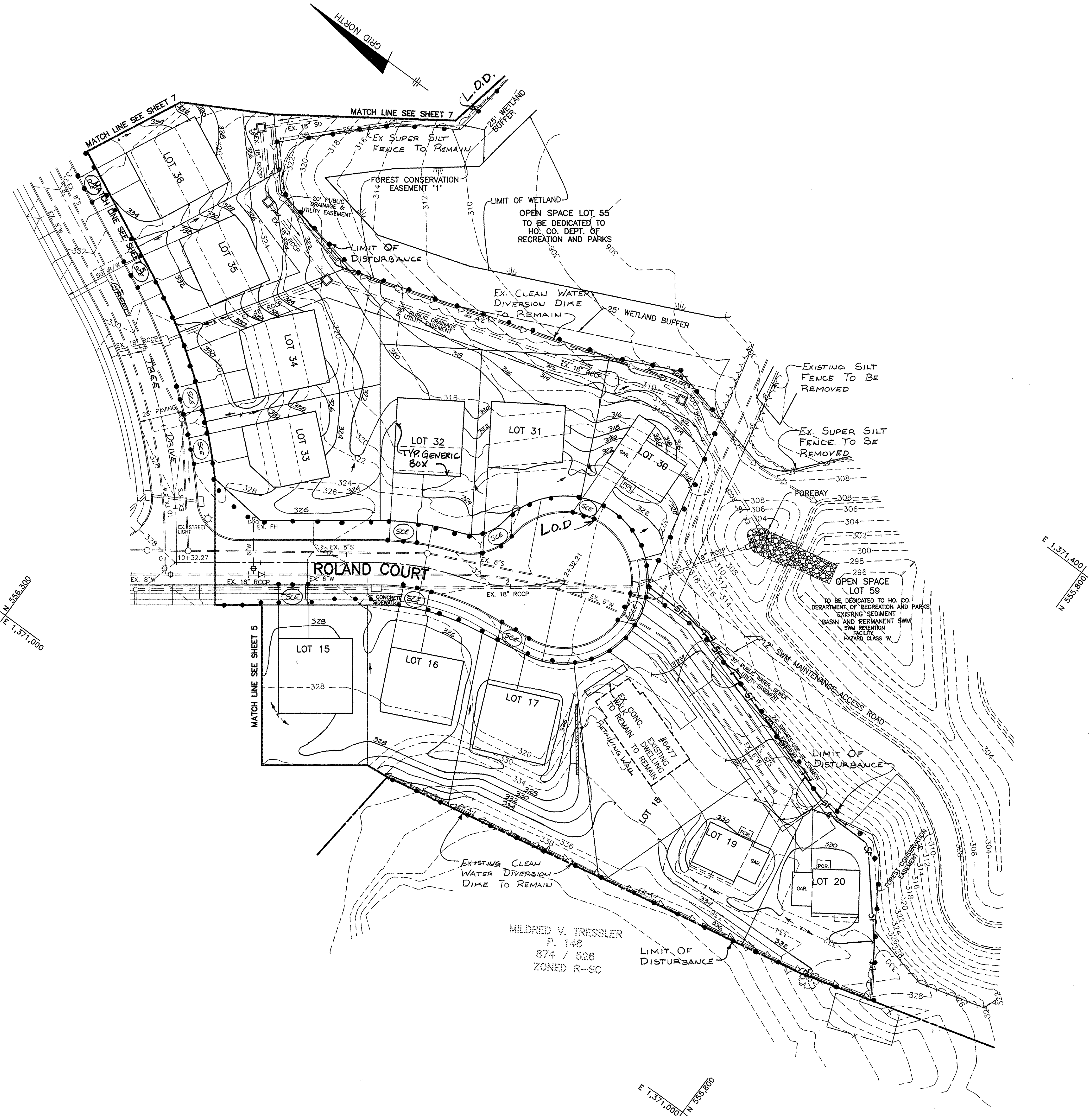
FOR SEDIMENT CONTROL ONLY

BY THE DEVELOPER: "I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."		9/2/97 DATE:
DEVELOPER: <i>Ben D. Boy</i>		
BY THE ENGINEER: "I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."		9/2/97 DATE:
ENGINEER: <i>Christopher A. Melegan</i>		
THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.		11-18-97 DATE:
NATURAL RESOURCES CONSERVATION SERVICE <i>Charles J. Summers</i>		
REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS. <i>John K. Reintzer</i>		11/18/97 DATE:
HOWARD SOIL CONSERVATION DISTRICT		
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING <i>Mark J. Summers</i>		11/21/97 DATE:
CHIEF, DEVELOPMENT ENGINEERING DIVISION		
<i>Candy Hamilton</i>		12/1/97 DATE:
CHIEF, DIVISION OF LAND DEVELOPMENT		
<i>Frank C. Dwyer</i>		12/4/97 DATE:
DIRECTOR		

NO.	DATE	REVISION
1	10/16/97	REVISED PER HSCD COMMENTS.

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 8480 Baltimore National Pike • Elliott City, Maryland 21048 • 410-685-8105

OWNER/DEVELOPER/BUILDER: CORNERSTONE HOLDINGS, L.L.C. 7405 BUCKS HAVEN LANE HIGHLAND, MARYLAND 20777 410-988-9146	PROJECT: ARBOR WOODS LOTS 1-54
LOCATION: TAX MAP 37 - BLOCK 14 - PARCELS 405, 493, 594 & 149 1st ELECTION DISTRICT HOWARD COUNTY, MARYLAND	TITLE: SEDIMENT AND EROSION CONTROL PLAN
DATE: AUGUST 29, 1997	PROJECT NO. 1001
DESIGN: JMC	DRAFT: JMC
SCALE: 1"=30'	DRAWING 5 OF 8



BY THE DEVELOPER:
 "I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."
Barry D. Bay 9/2/97
 DEVELOPER: DATE:

BY THE ENGINEER:
 "I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
Christopher A. Malagau 9/2/97
 ENGINEER: DATE:

THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
Charles E. Ferrmann 11-18-97
 NATURAL RESOURCES CONSERVATION SERVICE DATE:

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS
John R. Robinson 11/28/97
 HOWARD SOIL CONSERVATION DISTRICT DATE:

APPROVED HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
William D. ... 11/21/97
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE:

Andy Hamilton 12/4/97
 CHIEF, DIVISION OF LAND DEVELOPMENT JA DATE:

Deborah S. DeAngelis 1/1/97
 DIRECTOR DATE:

NO.	DATE	REVISION
1	10/16/97	REVISED PER HSCD COMMENTS.

TSA GROUP, INC.
 planning • architecture • engineering • surveying
 8480 Baltimore National Pike • Ellicott City, Maryland 21043 • 410-465-6106

OWNER/DEVELOPER/BUILDER: CORNERSTONE HOLDINGS, L.L.C.
 7405 BUCKS HAVEN LANE
 HIGHLAND, MARYLAND 20777
 410-988-9146

PROJECT: ARBOR WOODS
 LOTS 1-54

LOCATION: TAX MAP 37 - BLOCK 14 - PARCELS 405, 493, 594 & 149
 1st ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

TITLE: SEDIMENT AND EROSION CONTROL PLAN

DATE: AUGUST 29, 1997 PROJECT NO. 1001

DESIGN: JMC DRAFT: JMC SCALE: 1"=30' DRAWING 6 OF 8



PROPERTY OF SECURITY DEVELOPMENT CORP.

BY THE DEVELOPER:
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.
 DEVELOPER: D. Boy 9/2/97
 DATE:

BY THE ENGINEER:
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 ENGINEER: Christopher A. Malogaw 9/2/97
 DATE:

THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
Charles L. Harrison 11-18-97
 NATURAL RESOURCES CONSERVATION SERVICE
 DATE:

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS
John R. Plutner 11/18/97
 HOWARD SOIL CONSERVATION DISTRICT
 DATE:

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Mike D'Amico 11/21/97
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MK
 DATE:

Candy Hamilton 12/4/97
 CHIEF, DIVISION OF LAND DEVELOPMENT JA
 DATE:

Frank V. DeLay 12/4/97
 DIRECTOR
 DATE:

NO.	DATE	REVISION
1	10/16/97	REVISED PER HSCD COMMENTS.

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OWNER/DEVELOPER/BUILDER:	PROJECT:
CORNERSTONE HOLDINGS, L.L.C. 7405 BUCKS HAVEN LANE HIGHLAND, MARYLAND 20777 410-988-9146	ARBOR WOODS LOTS 1-54
DESIGN: JMC	DRAFT: JMC
DATE: AUGUST 29, 1997	PROJECT NO. 1001
SCALE: 1"=30'	DRAWING 7 OF 8



LEGEND

PROPOSED TREE LINE	
EXISTING TREE LINE	
FOREST CONSERVATION EASEMENT	
PROPOSED CONTOUR	
EXISTING GRADE	
EXISTING STORM DRAIN	
LIMIT OF DISTURBANCE	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Howard Hamilton
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MK 11/21/97
 DATE

Cindy Hamilton
 CHIEF, DIVISION OF LAND DEVELOPMENT 12/4/97
 DATE

Thomas J. Jangle
 DIRECTOR 12/4/97
 DATE

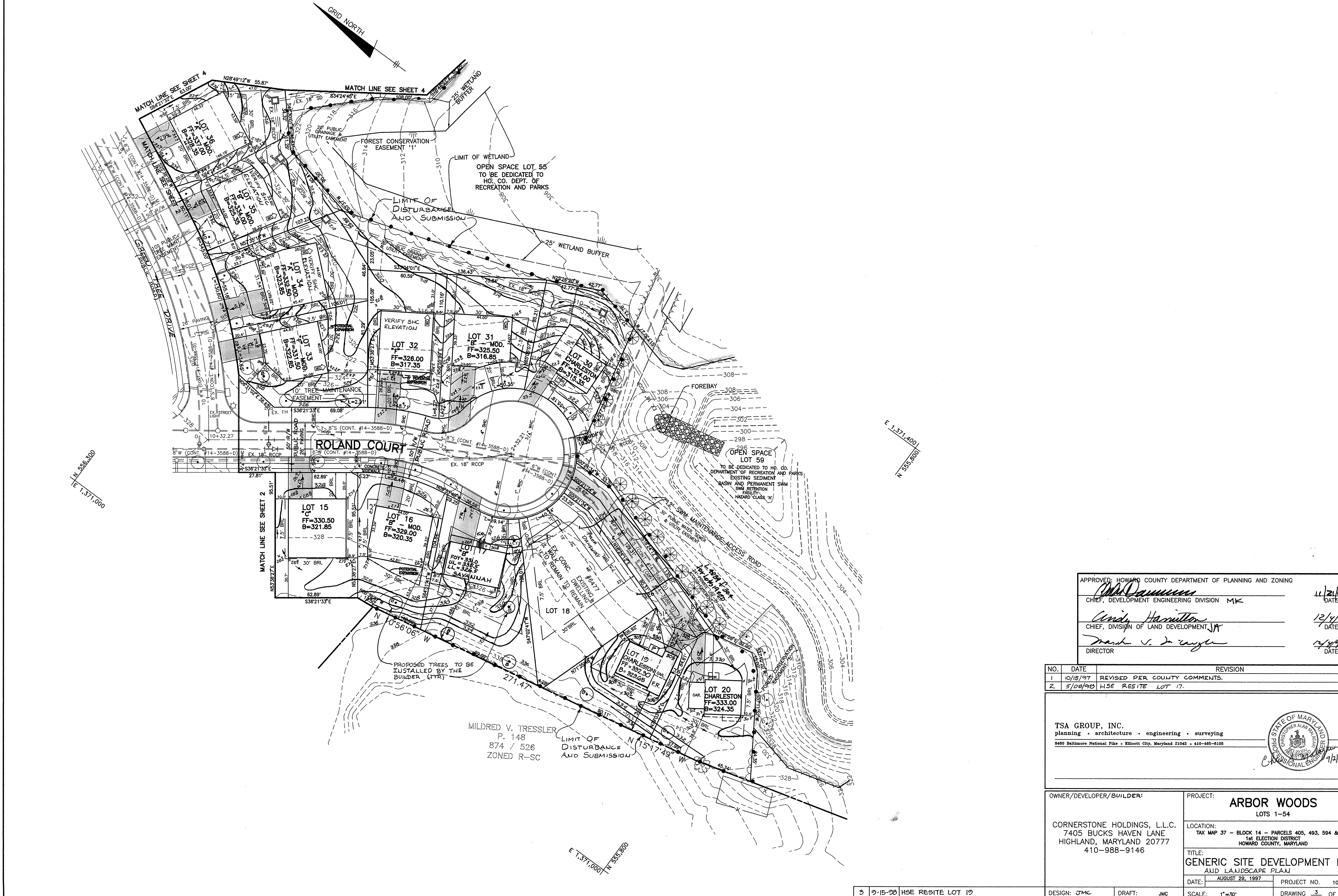
NO.	DATE	REVISION
1	10/15/97	REVISED PER COUNTY COMMENTS
2	1/06/98	REVISE LOT 29 WALK-THRU HOUSE TYPE REVISION.
3	5/08/98	HSE RESITE LOT 23.

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Cheryl Hamilton 9/24/97

OWNER/DEVELOPER/BUILDER: CORNERSTONE HOLDINGS, L.L.C. 7405 BUCKS HAVEN LANE HIGHLAND, MARYLAND 20777 410-988-9146	PROJECT: ARBOR WOODS LOTS 1-54
TITLE: GENERIC SITE DEVELOPMENT PLAN AND LANDSCAPE PLAN	LOCATION: TAX MAP 37 - BLOCK 14 - PARCELS 405, 493, 594 & 149 1st ELECTION DISTRICT HOWARD COUNTY, MARYLAND
DATE: AUGUST 28, 1997	PROJECT NO. 1001
DESIGN: JMC	DRAFT: JMC
SCALE: 1"=30'	DRAWING 2 OF 8

NO.	DATE	REVISIONS (CONT.)
5	7-20-99	HOUSE RESITE LOT 3
4	7-1-98	REV. HSE # 22 LOT 22 FROM "E BOX" TO "SAVANNAH"



GRID NORTH

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Howard Hamilton 11/21/97
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE

David Hamilton 12/4/97
 CHIEF, DIVISION OF LAND DEVELOPMENT JA DATE

Mildred V. Tressler 1/4/98
 DIRECTOR DATE

NO.	DATE	REVISION
1	10/15/97	REVISED PER COUNTY COMMENTS.
2	5/08/98	HSE RESITE LOT 17.

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OWNER/DEVELOPER/BUILDER: CORNERSTONE HOLDINGS, L.L.C.
 7405 BUCKS HAVEN LANE
 HIGHLAND, MARYLAND 20777
 410-988-9146

PROJECT: ARBOR WOODS
 LOTS 1-54

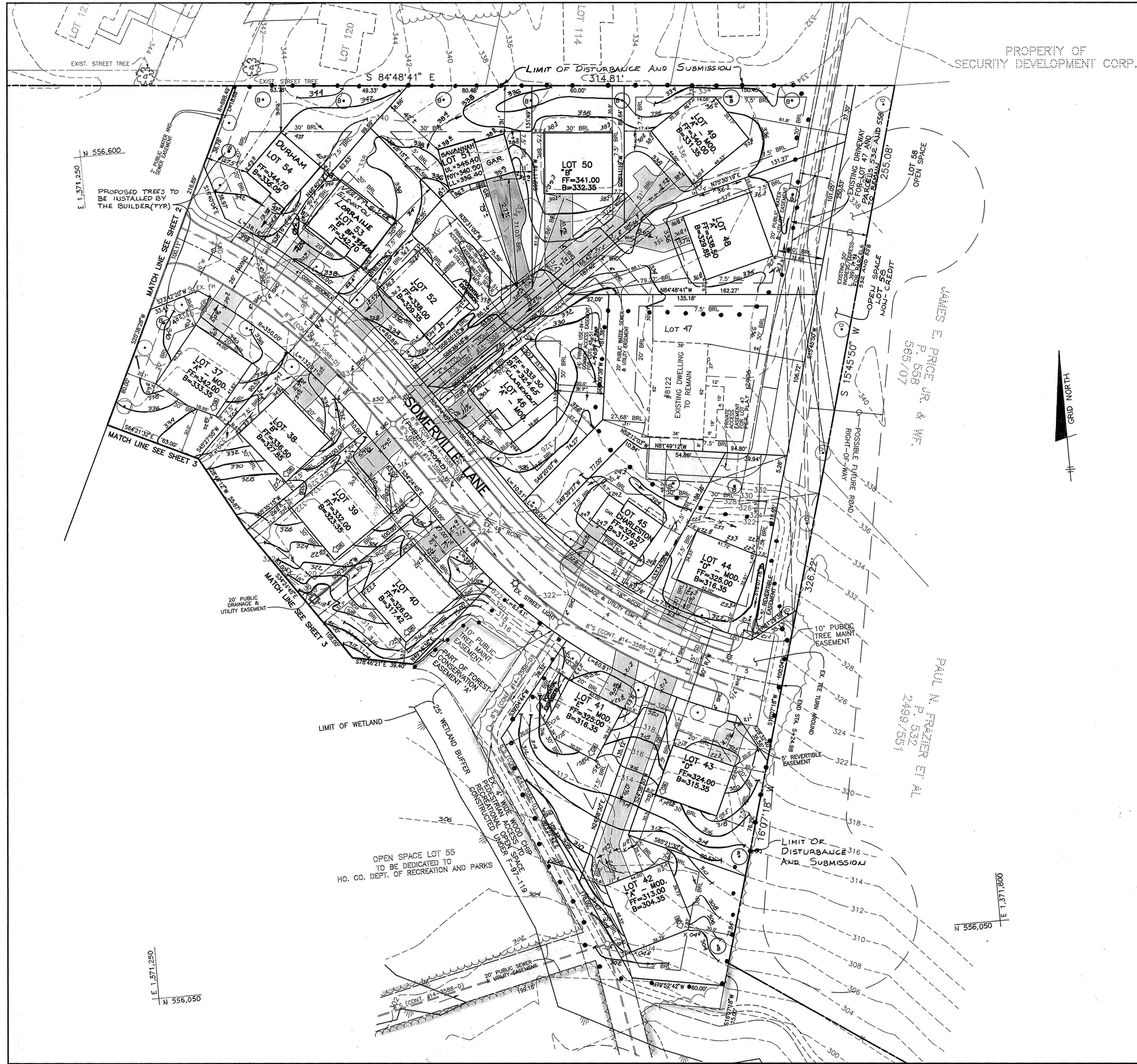
LOCATION: TAX MAP 37 - BLOCK 14 - PARCELS 405, 493, 594 & 149
 1st ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

TITLE: GENERIC SITE DEVELOPMENT PLAN
 AND LANDSCAPE PLAN

DATE: AUGUST 29, 1997 PROJECT NO. 1001

DESIGN: JMC DRAFT: JMC SCALE: 1"=30' DRAWING 3 OF 8

3 9-15-98 HSE RESITE LOT 19



PROPERTY OF SECURITY DEVELOPMENT CORP.

5	12-11-98	HOUSE SITING LOT 54.
4	9-1-98	HOUSE SITING LOT 51
3	5/08/98	SITE LOT 46.
No.	DATE	REVISION
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING		
	<i>Michael...</i>	11/21/97 DATE
	CHIEF, DEVELOPMENT ENGINEERING DIVISION MK	
	<i>Sandy Hamilton</i>	12/1/97 DATE
	CHIEF, DIVISION OF LAND DEVELOPMENT JF	
	<i>Frank...</i>	2/1/97 DATE
	DIRECTOR	

NO.	DATE	REVISION
1	10/15/97	REVISED PER COUNTY COMMENTS.
2	1/06/98	REVISE LOT 53.

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OWNER/DEVELOPER/BUILDER:	PROJECT:
CORNERSTONE HOLDINGS, L.L.C. 7405 BUCKS HAVEN LANE HIGHLAND, MARYLAND 20777 410-988-9146	ARBOR WOODS LOTS 1-53
LOCATION:	TITLE:
TAX MAP 37 - BLOCK 14 - PARCELS 405, 493, 594 & 149 1st ELECTION DISTRICT HOWARD COUNTY, MARYLAND	GENERIC SITE DEVELOPMENT PLAN AND LANDSCAPE PLAN
DATE:	PROJECT NO.
AUGUST 29, 1997	1001
DESIGN:	DRAFT:
JMC	JMC
SCALE:	DRAWING
1"=30'	4 OF 8

SEDIMENT CONTROL NOTES

- 1. A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTION... 2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED... 3. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE... 4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED... 5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED... 6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION... 7. SITE ANALYSIS:

Table with 2 columns: Item, Value. Includes TOTAL AREA OF SITE (18.34 ACRES), AREA DISTURBED (9.42 ACRES), AREA TO BE VEGETATIVELY STABILIZED (7.02 ACRES), etc.

PERMANENT SEEDBED PREPARATION

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING... SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:

- 1. PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ FT) AND 600 LBS PER ACRE 10-10-10 FERTILIZER... 2. ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE... 3. SEED WITH 60 LBS PER ACRE (1.4 LBS/1000 SQ FT) OF KENTUCKY 31 TALL FESCUE... 4. MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ FT) OF UNROTTED SMALL GRASS STRAW...

SEQUENCE OF CONSTRUCTION

- DAY 1 - OBTAIN A GRADING PERMIT... DAY 2-6 - INSTALL SEDIMENT CONTROLS THAT ARE NOTED TO BE INSTALLED UNDER THE SDP... DAY 7-10 - EXCAVATE FOR FOUNDATIONS, ROUGH GRADE AND STABILIZE IN ACCORDANCE WITH TEMPORARY SEEDBED NOTES... DAY 11-81 - CONSTRUCT HOUSE, BACKFILL AND CONSTRUCT DRIVEWAY... DAY 82-86 - FINAL GRADE AREA AND STABILIZE WITH PERMANENT SEEDBED NOTES... DAY 87-90 - WITH APPROVAL OF THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROL DEVICES AND STABILIZE ANY REMAINING DISTURBED AREAS.

TEMPORARY SEEDBED PREPARATION

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING... SOIL AMENDMENTS: APPLY 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ FT)...

TOPSOIL STANDARDS AND SPECIFICATIONS

- 1. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS STANDARDS AS SET FORTH IN THESE SPECIFICATIONS... 2. TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING: a) TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND... b) TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUAKERGRASS, JOHNSONGRASS... 3. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIME SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE...

HOUSE TYPE MATRIX

Table with columns: LOT #, BOX*, ALEXANDRIA, ARLINGTON II, CHARLESTON, CHARTLEY II, CLAREMONT, DURHAM, LORRAINE, WESTCOTT. Rows 1-54. Y/N indicators.

N - HOUSE TYPE DOES NOT FIT WITHIN THE GENERIC BOX AND/OR HOUSE IS TO LARGE TO ALLOW FOR GRADING OF A REASONABLE YARD.

Y - HOUSE TYPE DOES FIT WITH THE OPTIONS AS INDICATED.

R - HOUSE TYPE FITS WITHIN THE BUILDING ENVELOPE BUT NOT THE GENERIC BOX. WILL REQUIRE A HOUSE TYPE REVISION...

OPTIONS - THESE A HOUSE TYPE REVISION IS NOT REQUIRED.

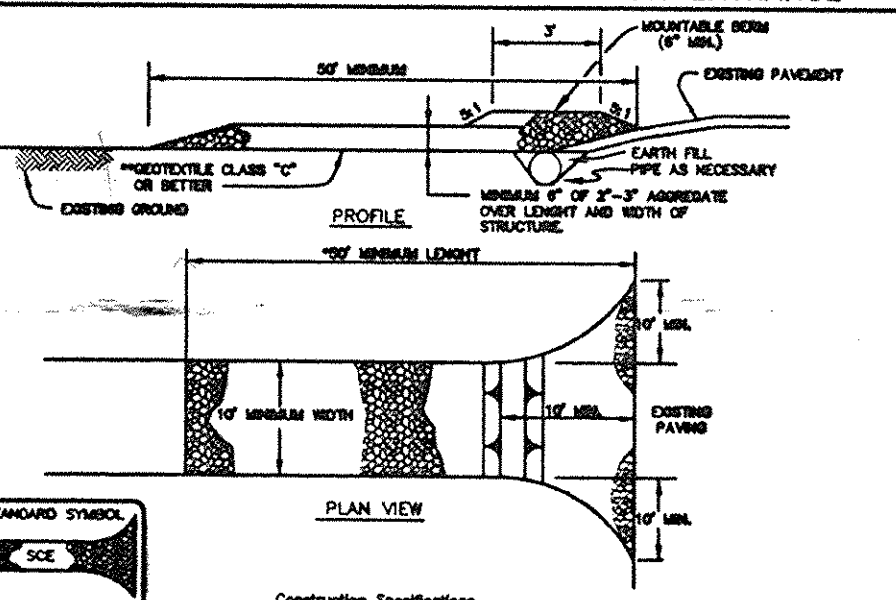
- 1 - NO 2' SIDE EXTENSION (SEE POTENTIAL EXPANSION NOTE THIS SHEET)
2 - NO SUNROOM
3 - NO FAMILY ROOM EXTENSION
4 - NO 2' OVERHANG
5 - NO OPTIONAL 2 CAR GARAGE
6 - NO BREAKFAST ROOM
7 - NO OPTIONAL REAR EXTENSION
8 - OPT. FAMILY ROOM

NOTE: GENERIC BOXES ARE FOR THE BASIC HOUSE FOOTPRINT AND OPTIONS ARE ALLOWED TO EXTEND OUT OF THE GENERIC BOX AS LONG AS A ZONING VIOLATION IS NOT CREATED.

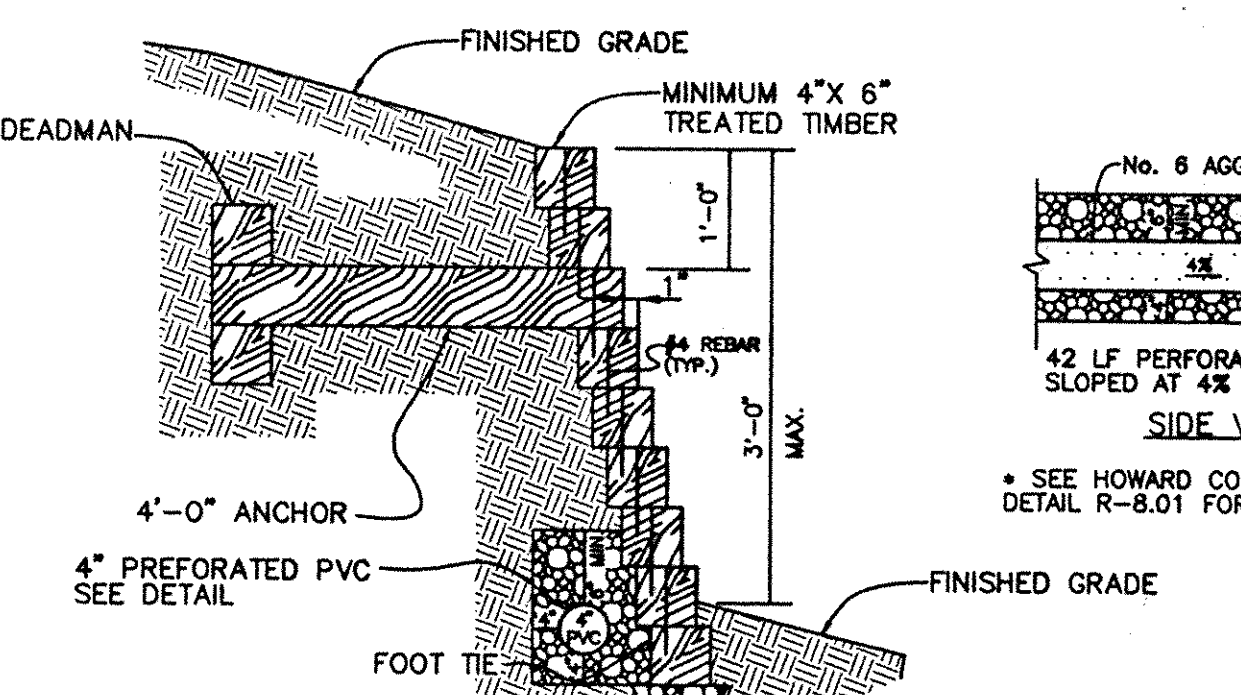
* BOXES MARKED MOD. HAVE BEEN SLIGHTLY MODIFIED FROM THE RECTANGULAR GENERIC BOXES. ANY CHANGES IN THE HOUSE TYPES THAT FIT WITHIN THESE BOXES HAVE BEEN REFLECTED WITHIN THE HOUSE TYPE MATRIX.

NOTE: THE POTENTIAL EXPANSION AS INDICATED ON LOTS 16, 27, 32, 33, 41, 52 ALLOWS THE HOUSE TO EXTEND FROM THE FRONT, SIDE OR REAR OF THE GENERIC BOX PROVIDED THE HOUSE MODEL FOOTPRINT WILL REMAIN WITHIN THE BUILDING RESTRICTION ENVELOPE...

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE

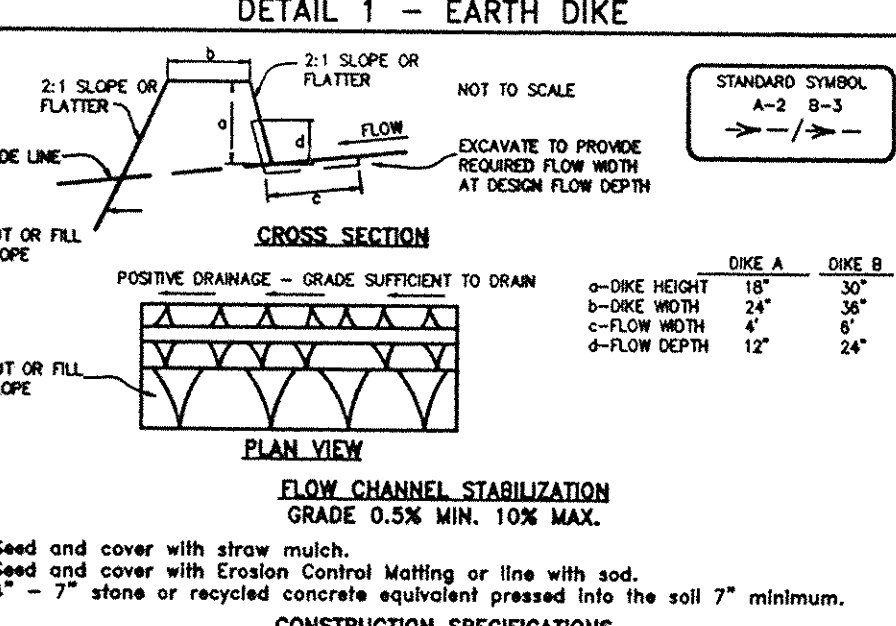


- 1. Length - minimum of 30" (30" for single ramp only)
2. Width - 12" minimum, should be flared at the existing road to provide a landing ramp.
3. Concrete curb (18" high) shall be placed over the existing ground prior to placing concrete...
4. Stone - crushed aggregate (1" to 2") or reclaimed or recycled concrete equivalent shall be placed about 8" deep over the length and width of the entrance.



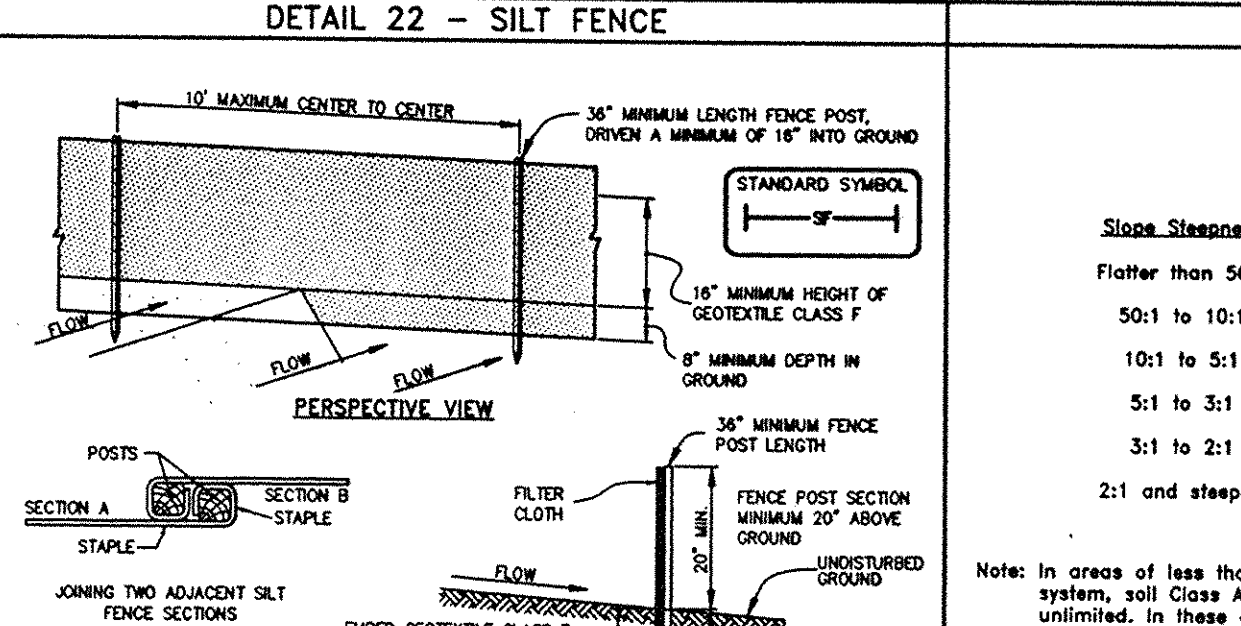
- NOTES:
1. PLACE ANCHORS 4'-0" O.C.
2. STAGGER TREATED TIMBER SO THAT ENDS DO NOT LINE UP VERTICALLY. PRE-DRILL HOLES 2" O.C FOR #4 REBAR USE TO JOIN TIMBER.
3. A GEOTECHNICAL ENGINEER SHALL BE PRESENT AT THE TIME OF EXCAVATION TO MODIFY WALL DESIGN AND BACK FILL MATERIAL AS DICTATED BY SITE SPECIFIC SOIL CONDITIONS...

DETAIL 1 - EARTH DIKE



- 1. Seed and cover with straw mulch.
2. Seed and cover with Erosion Control Matting or line with sod.
3. 4" - 7" stone or recycled concrete equivalent pressed into the soil 7" minimum.
CONSTRUCTION SPECIFICATIONS
1. All temporary earth dikes shall have uninterrupted positive drainage to an outlet. Spot elevations may be necessary for grades less than 1%.

DETAIL 22 - SILT FENCE

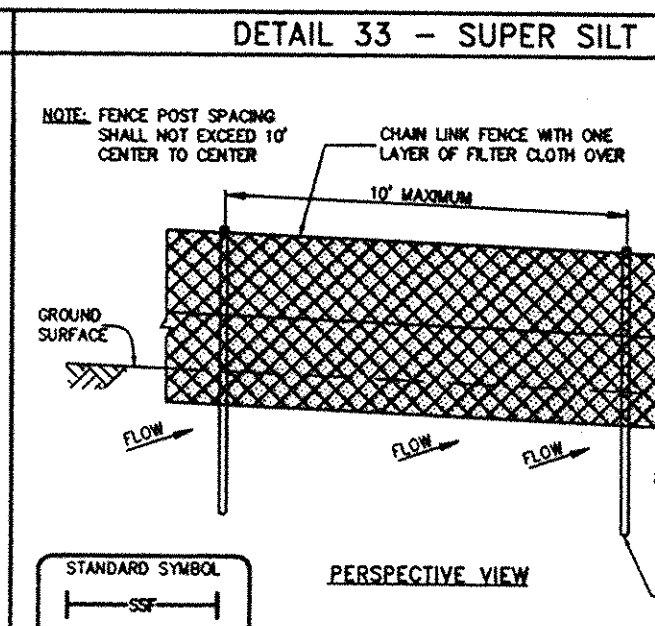


- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE
1. Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) cut, or 1 3/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard 1" or 1 1/2" section weighing not less than 1.00 pound per linear foot.
2. Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:

SILT FENCE

Table with columns: Slope, Slope Steepness, (Maximum) Slope Length, (Maximum) Silt Fence Length. Includes rows for Slope 10:1 to 2:1 and Steeper.

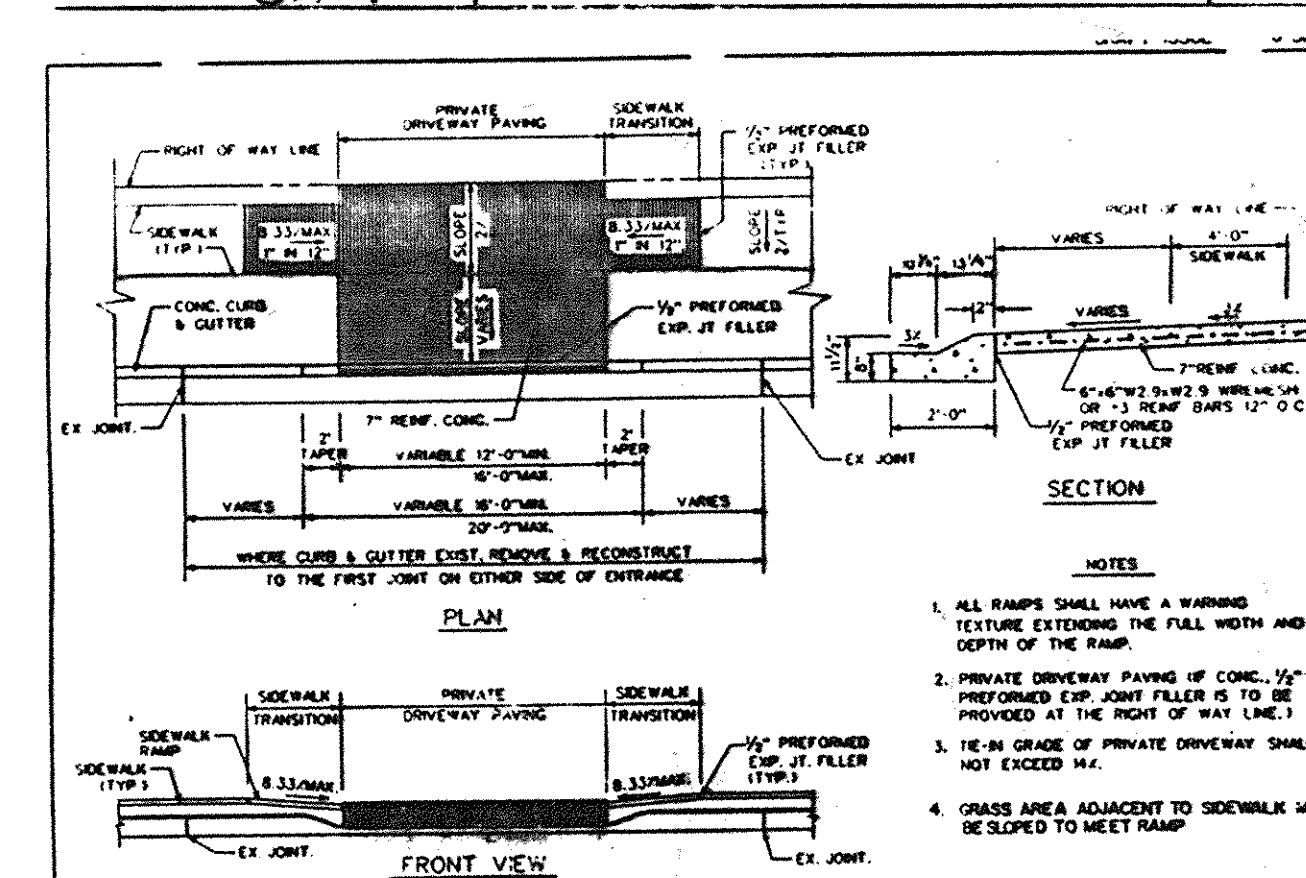
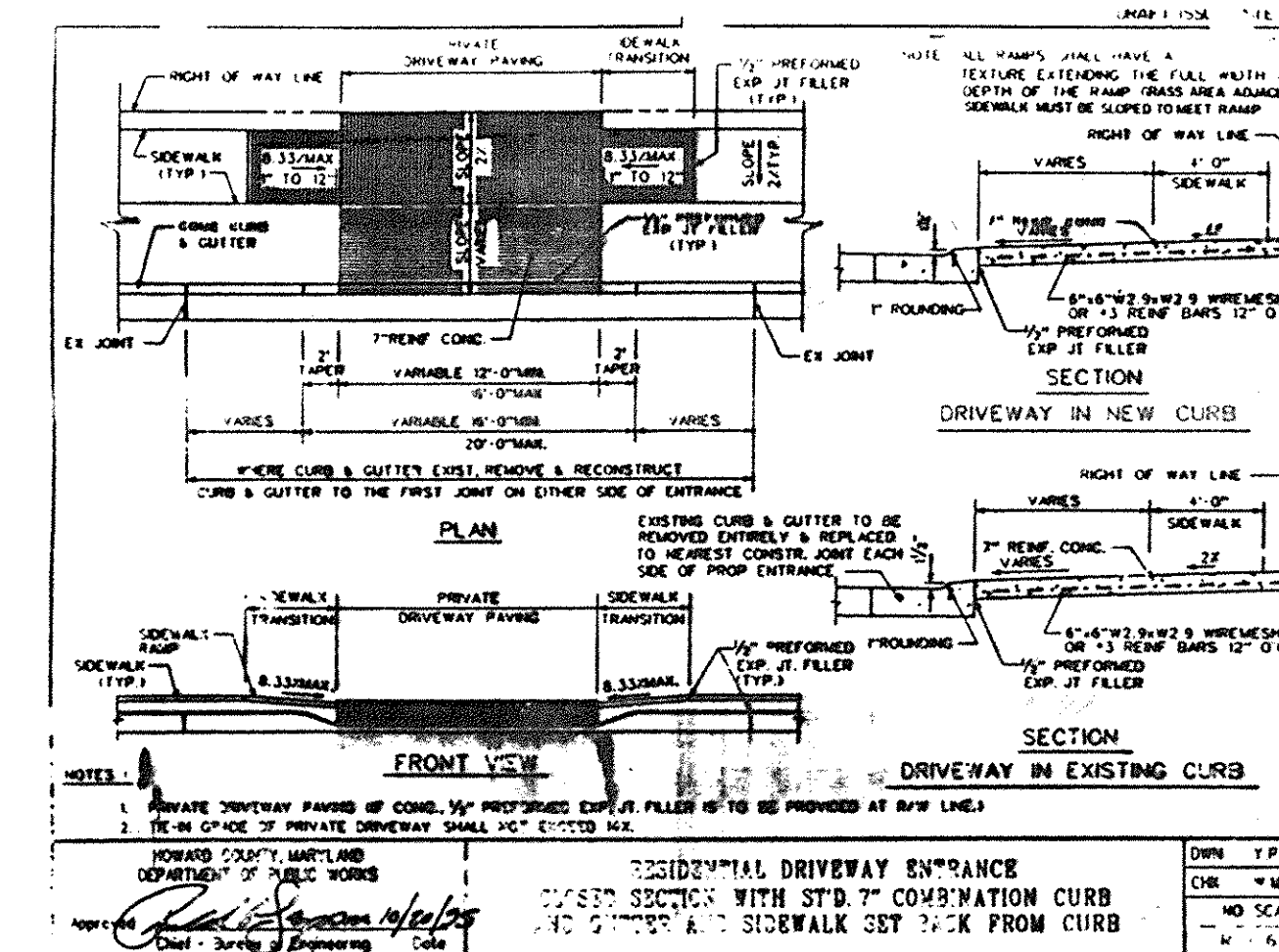
DETAIL 33 - SUPER SILT FENCE



- CONSTRUCTION SPECIFICATIONS
1. Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for 6' fence shall be used, substituting 42" fabric and 6' length posts.
2. Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, brace and truss rods, drive anchors and post caps are not required except on the ends of the fence.

SUPER SILT FENCE

Table with columns: Slope, Slope Steepness, Slope Length (maximum), Silt Fence Length (maximum). Includes rows for Slope 0-10%, 10-20%, 20-33%, 33-50%, 50%+.



RESIDENTIAL DRIVEWAY ENTRANCE CLOSED SECTION WITH MODIFIED CURB AND GUTTER AND SIDEWALK. BY THE DEVELOPER: I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN...

APPROVED HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. Chief, Development Engineering Division: Andre Hamilton. Chief, Division of Land Development: MK. Director: [Signature]

Table with columns: NO., DATE, REVISION. Includes revisions for 10/16/97 and 11/11/99.

TSA GROUP, INC. planning • architecture • engineering • surveying. 5480 Baltimore National Pike • Ellicott City, Maryland 21043 • 410-485-6105.

OWNER/DEVELOPER/BUILDER: CORNERSTONE HOLDINGS, L.L.C. 7405 BUCKS HAVEN LANE HIGHLAND, MARYLAND 20777 410-988-9146. PROJECT: ARBOR WOODS LOTS 1-54. LOCATION: TAX MAP 37 - BLOCK 14 - PARCELS 405, 493, 594 & 149.

GENERAL NOTES

1. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
2. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
3. TOPOGRAPHY SHOWN HEREON WAS TAKEN FROM ROAD CONSTRUCTION PLANS F-97-119. CONTOUR INTERVAL IS 2 FEET.
4. HOWARD COUNTY CONTROL:
HORIZONTAL DATUM BASED ON NAD 83 - MONUMENTS 37HC AND 37CC.
VERTICAL DATUM BASED ON NAD 27 - MONUMENTS 2444001-R
5. ALL ROADWAYS ARE PUBLIC AND EXISTING.
6. EXISTING UTILITIES SHOWN HAVE BEEN TAKEN FROM CONTRACT DRAWINGS 14-3588-D AND ROAD CONSTRUCTION PLANS F-97-119. CONTRACTOR SHALL ADJUST ALL UTILITY ELEVATION AND LOCATION AS NECESSARY TO MATCH SDD GRADES.
7. STORMWATER MANAGEMENT IS PROVIDED FOR THESE LOTS UNDER ROAD CONSTRUCTION PLANS F-97-119 BY MEANS OF A RETENTION FACILITY.
8. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN WETLANDS, WETLAND BUFFERS, STREAM BUFFERS OR FOREST CONSERVATION AREAS.
9. PORCHES, FIREPLACES, CHIMNEYS, EXTERIOR STAIRWAYS AND BAY WINDOWS WHICH EXTEND ACROSS THE B.R.L. SHALL BE IN ACCORDANCE WITH SECTION 128(A)(1) OF THE HOWARD COUNTY ZONING REGULATIONS.
10. (W) INDICATES WALKOUT BASEMENT.
11. PERVIOUS HOWARD COUNTY FILE NO'S S-94-36, P-97-01, WP-97-03, F-97-119.
12. THIS PROJECT IS SUBJECT TO THE THIRD EDITION OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
13. MAINTENANCE AGREEMENT FOR USE-IN-COMMON DRIVEWAYS ARE RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY IN LIBER 4039 AT FOLIOS 292, 296, 300 AND 304 FOR LOTS 1 AND 2, 10 THRU 13, 19 AND 20, AND 48 THRU 51.
14. ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE AT THE BUILDERS EXPENSE.
15. BRL INDICATES BUILDING RESTRICTION LINE.
16. FOR DRIVEWAY ENTRANCE DETAIL SEE HOWARD COUNTY STANDARD DETAIL R-6.01 & R-6.03 ON SHEET 8.
17. FOR EASEMENT, LOT SIZE AND OTHER RELATED INFORMATION, REFER TO PLAT NO'S 12904-12908.
18. EXISTING HOUSES ON LOTS 18 AND 47 ARE TO REMAIN AND PERMISSION IS GRANTED TO GRADE ON THESE LOTS.

GENERIC SITE DEVELOPMENT PLAN

ARBOR WOODS

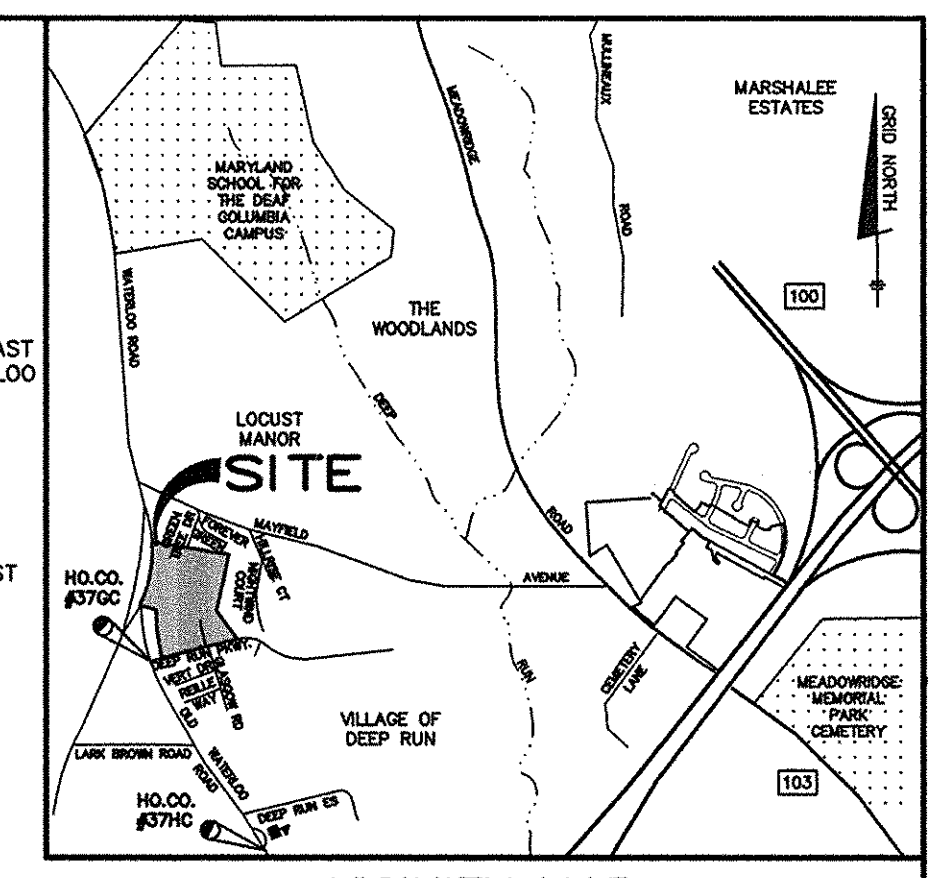
1st ELECTION DISTRICT

HOWARD COUNTY, MARYLAND

BENCH MARKS (NAD 83)
HOCO #372C
3/4" REBAR AND ALUMINUM CAP 38.0' SOUTH OF THE EDGE OF PAVEMENT ON WATERLOO ROAD, 120'± EAST OF THE GATEWAY TO WATERLOO COMMUNITY PARK.
N 552854.2141(F/T) E 1372639.499(F/T)
N 108810.3015(M) E 418381.3561(M)

HOCO #372C
3/4" REBAR AND ALUMINUM CAP 13.9' WEST OF THE EDGE OF PAVEMENT ON WATERLOO ROAD, 0.15 MILES EAST OF THE INTERSECTION BETWEEN ROUTE 108 AND WATERLOO ROAD.
N 555250.7923(F/T) E 1370946.382(F/T)
N 169240.7800(M) E 417865.2869(M)

BENCH MARKS (NAD 27)
HOCO #2444001-R
ELEV. 346.728'
CONC. MONUMENT SET FLUSH WITH SURFACE, 34.07' EAST OF THE EDGE OF PAVEMENT ALONG N.B. ROUTE 108
N 495673.696 E 858372.166

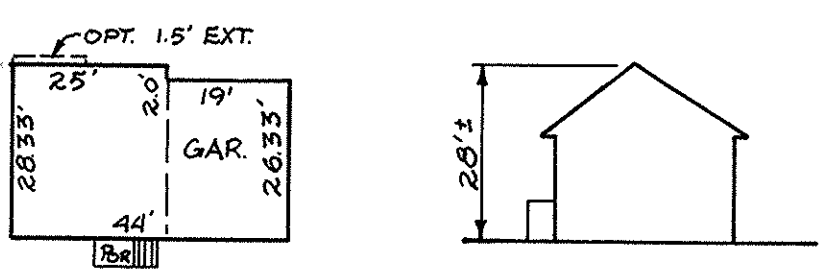


SHEET INDEX	
NO.	DESCRIPTION
1	TITLE SHEET
2-4	GENERIC SITE DEVELOPMENT PLAN
5-7	SEDIMENT AND EROSION CONTROL PLAN
8	SEDIMENT CONTROL NOTES AND DETAILS

SPECIAL NOTE:
ANY HOUSE TYPE/LOT THAT WARRANTS THE GARAGE/DRIVEWAY OPPOSITE TO WHAT IS SHOWN ON THIS SITE PLAN AND IN THE HOUSE MATRIX WILL BE REQUIRED TO PROCESS A "RESTE" THROUGH THE COUNTY (i.e., ~~HOUSE TYPE~~ ~~DRIVEWAY~~)

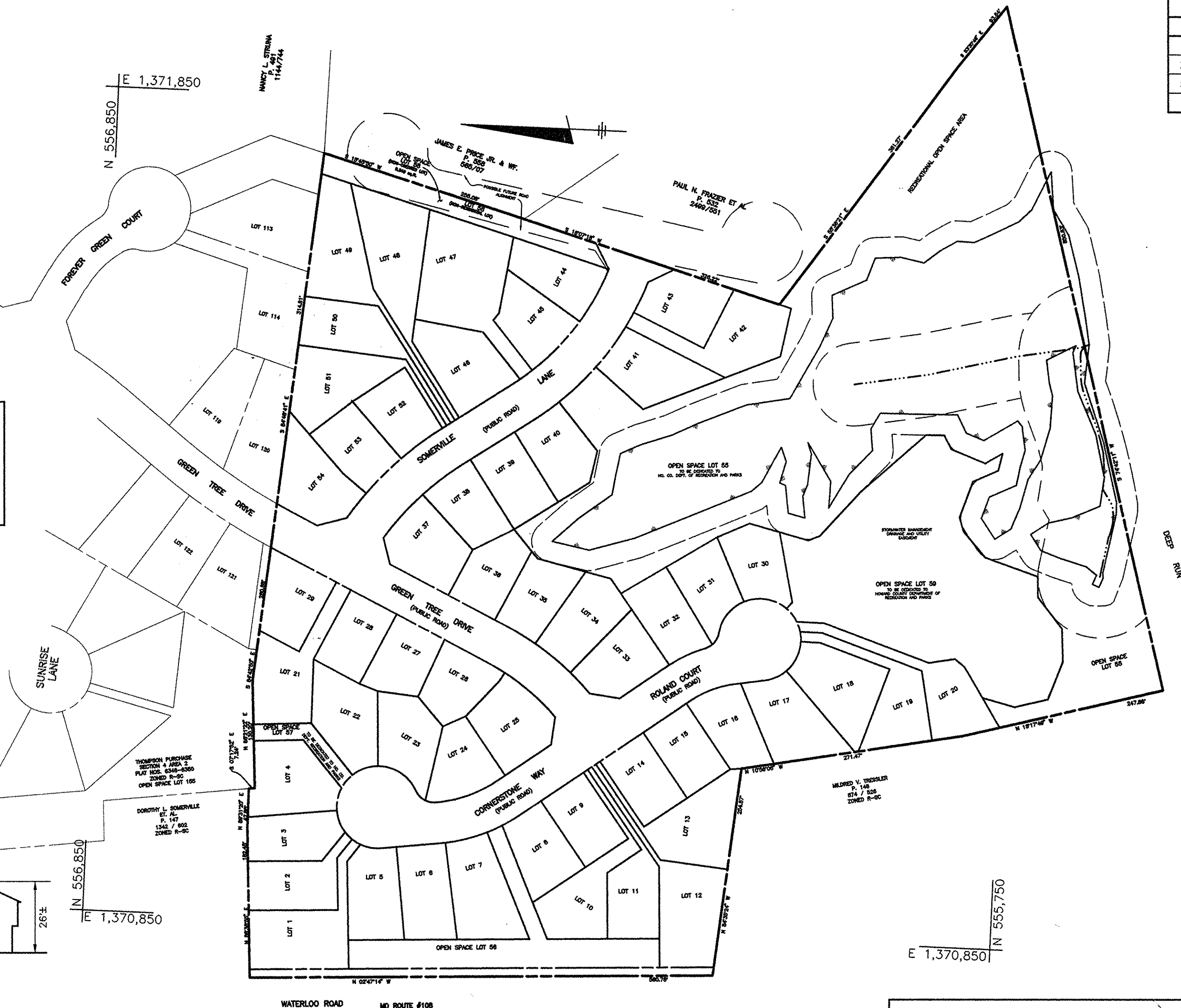
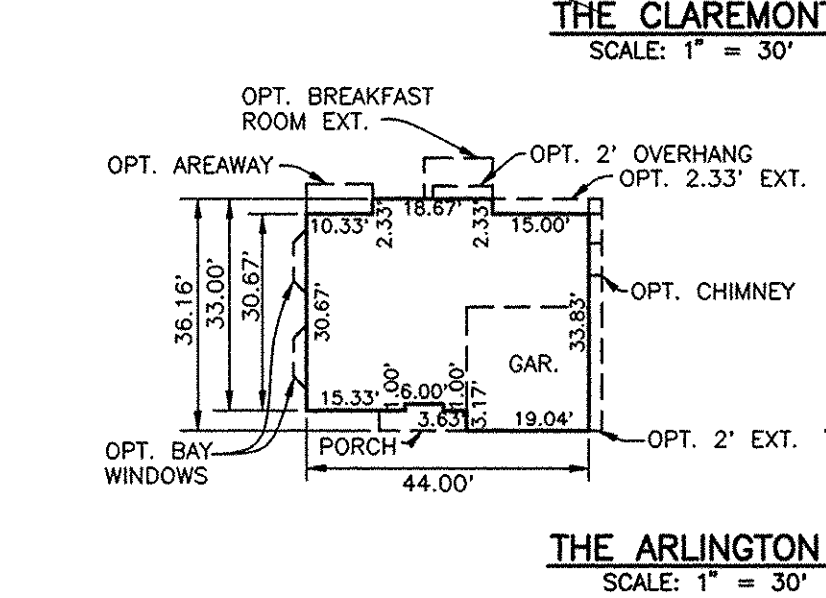
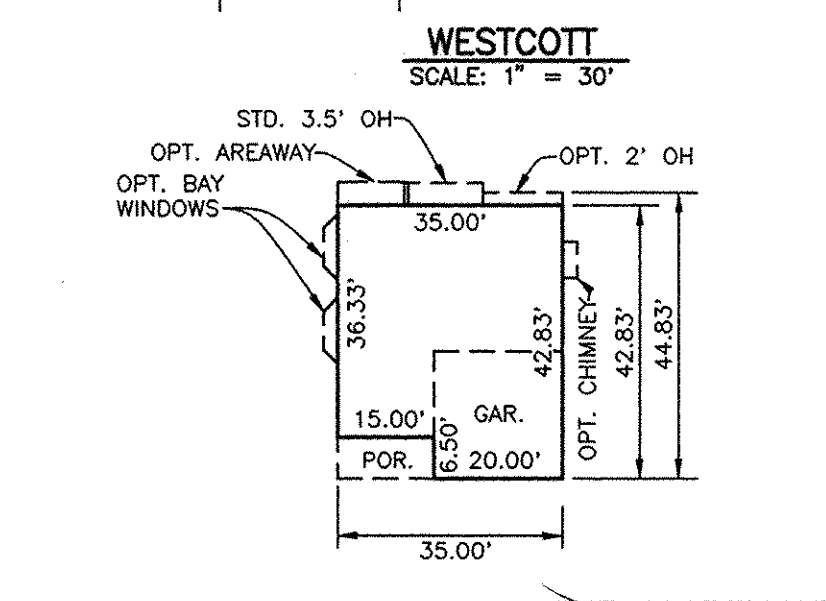
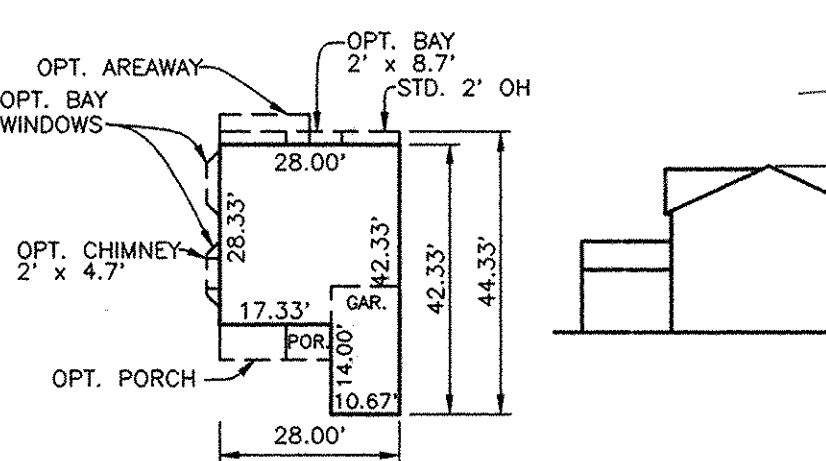
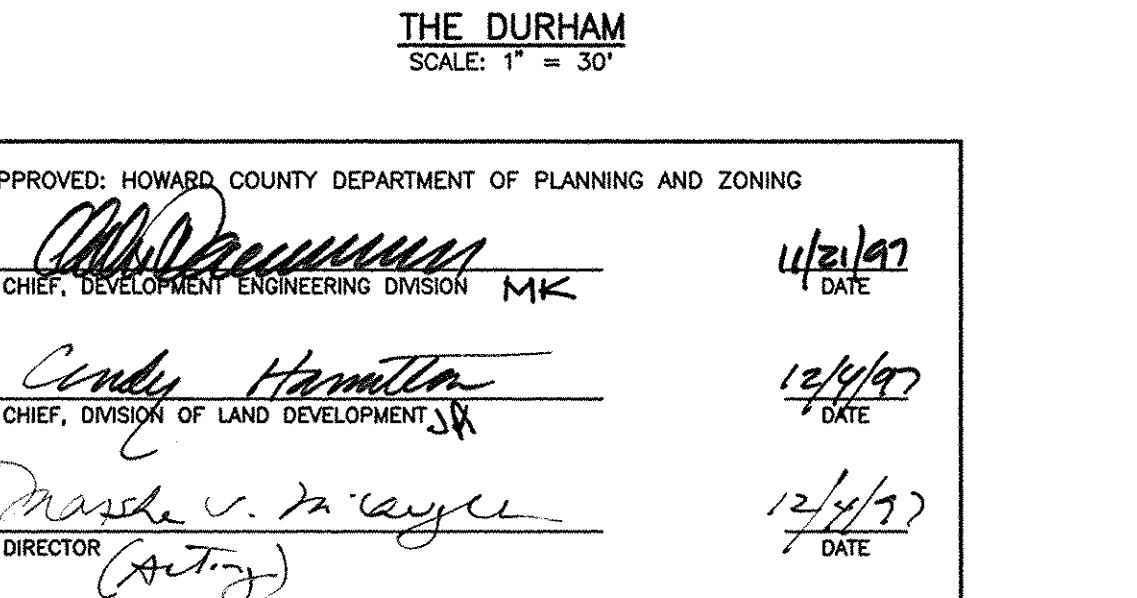
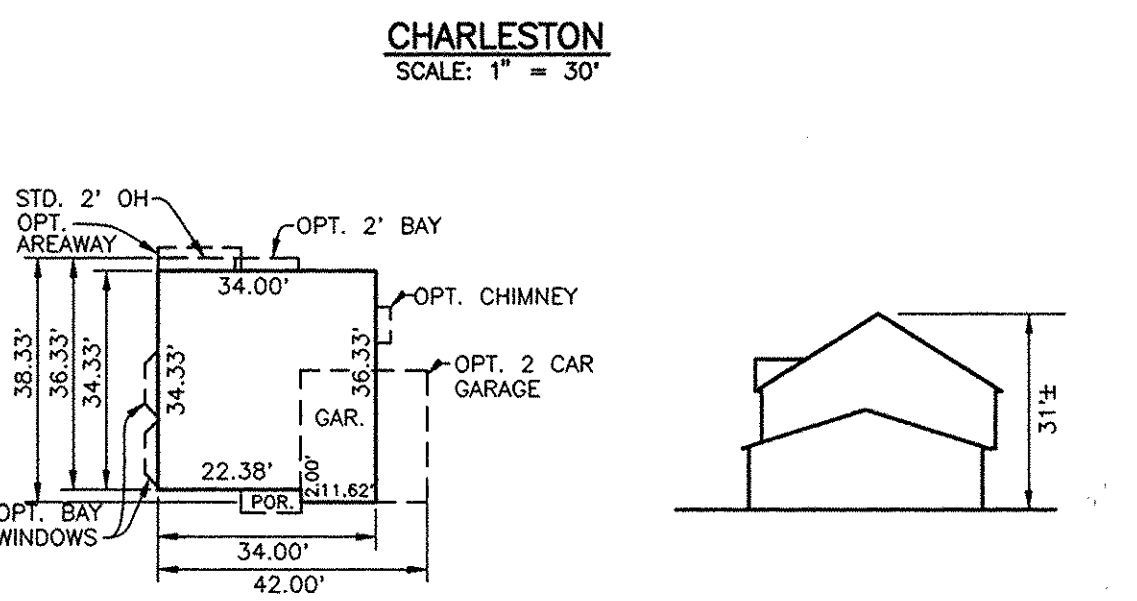
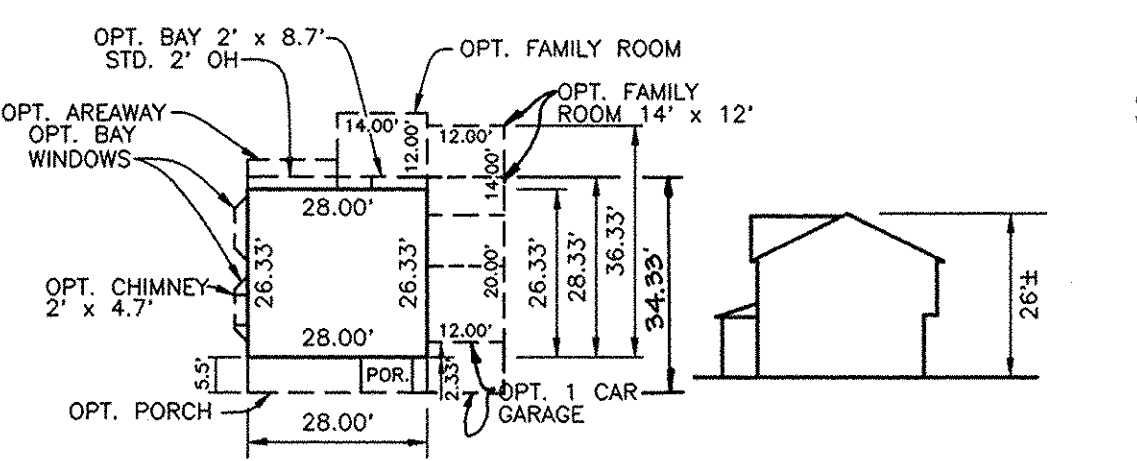
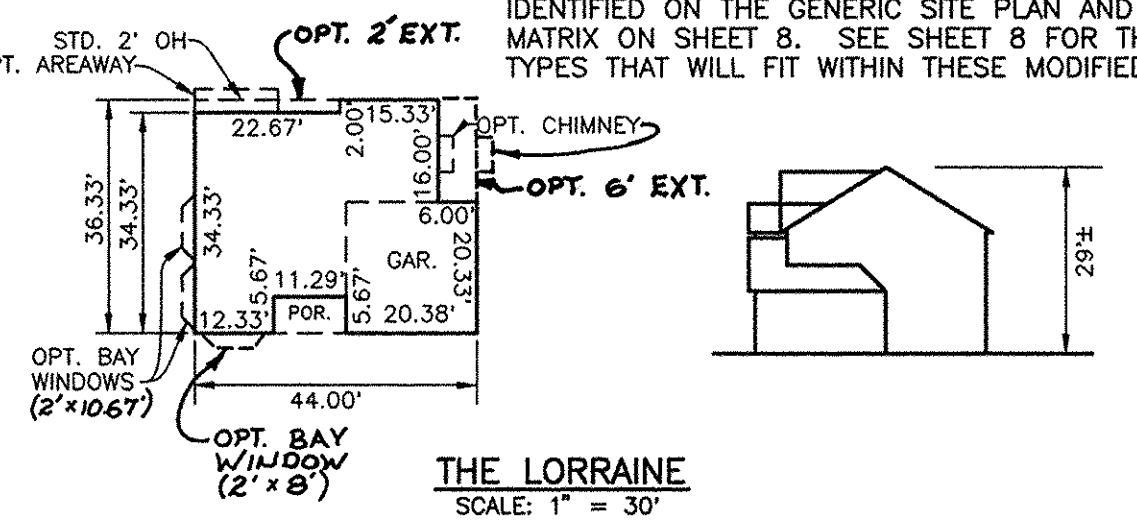
SITE DATA TABULATION

- GENERAL SITE DATA**
- 1.) PRESENT ZONING: R-SC
 - 2.) APPLICABLE DPZ FILE REFERENCES: S-94-36, P-97-01, WP-97-03, F-97-119
 - 3.) PROPOSED USE OF SITE: SINGLE FAMILY DETACHED
 - 4.) PROPOSED WATER AND SEWER SYSTEMS: X PUBLIC
- AREA TABULATION**
- 1.) TOTAL PROJECT AREA..... 18.94 AC.
 - 2.) NET AREA OF SITE..... 9.22 AC.
 - 3.) AREA OF THIS PLAN SUBMISSION..... 9.22 AC.
 - 4.) APPROXIMATE LIMIT OF DISTURBANCE..... 9.22 AC.
 - 5.) BUILDING COVERAGE OF SITE (PERMITTED)..... N/A (SFD)
 - 6.) TOTAL NUMBER OF UNITS ALLOWED AS SHOWN ON FINAL PLAT..... 54
 - 7.) TOTAL NUMBER OF RESIDENTIAL UNITS/LOTS PROPOSED ON THIS SUBMISSION..... 54
 - 8.) OPEN SPACE ON SITE..... 7.59 AC.
PERCENTAGE OF GROSS AREA..... 40%



HOUSE TYPE	CHARACTERISTICS
A SAVANNAH	ALEXANDRIA ARLINGTON II CHARLESTON CHARTLEY II CLAREMONT DURHAM LORRAINE WESTCOTT SAVANNAH 44.00'
B SAVANNAH	ALEXANDRIA ARLINGTON II CHARLESTON CHARTLEY II DURHAM LORRAINE WESTCOTT SAVANNAH 44.00'
C ALEXANDRIA	ARLINGTON II CHARLESTON CHARTLEY II DURHAM LORRAINE WESTCOTT SAVANNAH 44.00'
D ALEXANDRIA	CHARLESTON 42.00'
E CHARLESTON	DURHAM 40.00'
F CHARLESTON	DURHAM WESTCOTT 44.83'

NOTE: SOME BOXES ON THIS PLAN HAVE BEEN SLIGHTLY MODIFIED TO MATCH THE CONFIGURATION OF THE BUILDING ENVELOPE. ALL OF THESE MODIFIED BOXES HAVE BEEN IDENTIFIED ON THE GENERIC SITE PLAN AND IN THE HOUSE MATRIX ON SHEET 8. SEE SHEET 8 FOR THE HOUSE TYPES THAT WILL FIT WITHIN THESE MODIFIED BOXES.



LOT AREA TABLE

LOT NUMBER	AREA SQ. FT.	LOT NUMBER	AREA SQ. FT.
1	9,792	28	6,503
2	6,537	29	6,530
3	6,080	30	6,055
4	8,171	31	6,497
5	7,117	32	6,127
6	7,178	33	6,700
7	8,767	34	7,180
8	6,470	35	6,098
9	8,044	36	9,003
10	7,947	37	7,497
11	6,842	38	6,093
12	10,419	39	6,500
13	9,284	40	6,865
14	6,017	41	7,598
15	8,006	42	9,503
16	8,204	43	6,774
17	8,198	44	6,460
18	8,800	45	6,426
19	7,391	46	8,434
20	7,319	47	14,374
21	8,704	48	11,088
22	7,375	49	10,157
23	6,770	50	7,414
24	6,086	51	8,874
25	6,070	52	6,000
26	6,070	53	6,053
27	6,128	54	7,855

MINIMUM SEWER SERVICE

LOT NUMBER	EL. SHC AT R/W	MINIMUM CELLAR EL.	LOT NUMBER	EL. SHC AT R/W	MINIMUM CELLAR EL.
1	336.7	340.3	28	325.8	329.4
2	336.8	341.1	29	326.7	330.6
3	336.9	340.8	30	327.7	331.8
4	333.9	338.1	31	328.9	333.6
5	332.2	336.9	32	333.1	337.3
6	331.0	335.9	33	333.5	337.6
7	327.8	332.3	34	331.8	333.8
8	322.5	326.7	35	321.5	325.3
9	318.7	322.3	36	322.4	326.3
10*	322.6	327.4	37	325.1	333.0
11	317.0	321.2	38	320.1	323.9
12	315.9	321.8	39	316.4	320.0
13	322.4	326.6	40	312.2	316.2
14	318.8	322.3	41	300.7	304.6
15	313.8	317.7	42	292.7	296.3
16	313.5	317.4	43	309.7	313.8
17	308.8	313.0	44	309.8	313.8
18	310.9	314.4	45	309.5	313.1
19	319.5	323.3	46	314.1	318.2
20	319.8	323.8	47	323.8	328.4
21	326.5	332.2	48	324.4	328.0
22	324.1	329.9	49	323.9	328.0
23	332.3	336.0	50	322.9	326.5
24	327.5	331.5	51	321.4	325.7
25	320.0	325.8	52	321.4	324.7
26	320.0	325.8	53	321.4	324.7
27	323.9	328.2	54	322.5	326.3

* VERIFY SHC ELEVATION AT R/W LINE PRIOR TO HOUSE CONSTRUCTION.

ADDRESS CHART

LOT NO.	STREET ADDRESS	LOT NO.	STREET ADDRESS	LOT NO.	STREET ADDRESS
1	8241 CORNERSTONE WAY	19	8020 ROLAND COURT	37	8000 SOMERVILLE LANE
2	8245 CORNERSTONE WAY	20	8024 ROLAND COURT	38	8010 SOMERVILLE LANE
3	8249 CORNERSTONE WAY	21	8132 GREEN TREE DRIVE	39	8020 SOMERVILLE LANE
4	8248 CORNERSTONE WAY	22	8244 CORNERSTONE WAY	40	8030 SOMERVILLE LANE
5	8237 CORNERSTONE WAY	23	8240 CORNERSTONE WAY	41	8040 SOMERVILLE LANE
6	8233 CORNERSTONE WAY	24	8236 CORNERSTONE WAY	42	8044 SOMERVILLE LANE
7	8228 CORNERSTONE WAY	25	8232 CORNERSTONE WAY	43	8048 SOMERVILLE LANE
8	8225 CORNERSTONE WAY	26	8144 GREEN TREE DRIVE	44	8041 SOMERVILLE LANE
9	8221 CORNERSTONE WAY	27	8140 GREEN TREE DRIVE	45	8037 SOMERVILLE LANE
10	8217 CORNERSTONE WAY	28	8136 GREEN TREE DRIVE	46	8029 SOMERVILLE LANE
11	8213 CORNERSTONE WAY	29	8128 GREEN TREE DRIVE	47	8122 FOREVER GREEN CT.
12	8209 CORNERSTONE WAY	30	8128 GREEN TREE DRIVE	48	8025 SOMERVILLE LANE
13	8205 CORNERSTONE WAY	31	8009 ROLAND COURT	49	8021 SOMERVILLE LANE
14	8200 ROLAND COURT	32	8005 ROLAND COURT	50	8017 SOMERVILLE LANE
15	8004 ROLAND COURT	33	8153 GREEN TREE DRIVE	51	8013 SOMERVILLE LANE
16	8008 ROLAND COURT	34	8149 GREEN TREE DRIVE	52	8009 SOMERVILLE LANE
17	8012 ROLAND COURT	35	8145 GREEN TREE DRIVE	53	8005 SOMERVILLE LANE
18	8016 ROLAND COURT	36	8141 GREEN TREE DRIVE	54	8001 SOMERVILLE LANE

PLANTING LIST

SYMBOL	QUANTITY	NAME	REMARKS
○	82	ACER RUBRA (Red Maple) (EXISTING STREET TREES)	2 1/2" MIN. CAL. B&B FULL HEAD
*○	43	QUERCUS PALUSTIS SOVEREIGNA SOVEREIGN OAK (PROPOSED LANDSCAPE TREES)	2 1/2" MIN. CAL. B&B FULL HEAD
⊗	15	PINUS THUNDERGIGA (Japanese Black Pine) (EXISTING SWM TREES)	5'-6' ht. UNSHEARED
○	12	ACER RUBRA (Red Maple) (EX. PERIMETER AND SWM TREES)	2 1/2" MIN. CAL. B&B FULL HEAD

- PLANTING NOTES:**
1. TREES MUST BE PLANTED A MINIMUM OF 4 FEET FROM THE CURB OR SIDEWALK AND MUST BE A MINIMUM OF 5 FEET FROM ANY STORM DRAIN.
 2. A MINIMUM DISTANCE OF 20 FEET MUST BE MAINTAINED BETWEEN ANY TREES LOCATED ALONG THE CURB LINE AND ANY STREET LIGHTS.
 3. TREE MUST BE PLANTED A MINIMUM OF 5 FEET FROM AN OPEN SPACE ACCESS STRIP AND 10 FEET FROM A DRIVEWAY.
- * 4. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF \$4,300

REVISIONS

NO.	DATE	REVISION
1	7-8-18	ADD SAVANNAH HSE. TYPE TO GENERIC BOXES "A", "B" & "C"
2	5/08/98	ADD SAVANNAH HSE. TYPE.
3	1/06/98	UPDATE LORRAINE AND CHARTLEY II HOUSE TYPES.
4	10/16/97	REVISED PER COUNTY COMMENTS.
5	9-15-98	REVISED CHARLESTON HOUSE TYPE

TSA GROUP, INC.
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8480 Baltimore National Pike • Ellicott City, Maryland 21045 • 410-465-8105

OWNER/DEVELOPER/BUILDER:
CORNERSTONE HOLDINGS, L.L.C.
7405 BUCKS HAVEN LANE
HIGHLAND, MARYLAND 20777
410-988-9146

PROJECT:
ARBOR WOODS
LOTS 1-54

LOCATION:
TAX MAP 37 - BLOCK 14 - PARCELS 149, 405, 493 & 594
1ST ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE:
TITLE SHEET
S-94-36, P-97-01, WP-97-03, F-97-119

DATE: AUGUST 29, 1997
PROJECT NO.: 1001

Design: GWF
Draft: JMC
SCALE: AS SHOWN
DRAWING: 1 OF 8

EX. 6' WOODEN NOISE ABATEMENT WALL TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION TO BE BUILT UNDER F-97-119 (SEE SHEET 2 OF F-97-119)

DOROTHY L. SOMERVILLE ET. AL.
1342 / 802
ZONED R-SC 356

THOMPSON PURCHASE SECTION 4/AREA 2
PLAT NOS. 6348-6350
ZONED R-SC
OPEN SPACE LOT 155A
S 07'17"52" E 7.24'
N 86°21'22" E 130.20'

EXISTING 4" WIND ASPHALT PATHWAY PER F-97-119
PROPOSED TREES TO BE INSTALLED BY THE BUILDER (TYP.)

LIMIT OF DISTURBANCE AND SUBMISSION
S 84°42'50" E 216.90'

LEGEND

- PROPOSED TREE LINE
- EXISTING TREE LINE
- FOREST CONSERVATION EASEMENT
- PROPOSED CONTOUR
- EXISTING GRADE
- EXISTING STORM DRAIN
- LIMIT OF DISTURBANCE



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Howard 11/21/97
CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE

Cindy Hamilton 12/4/97
CHIEF, DIVISION OF LAND DEVELOPMENT SA DATE

Frankie S. Dangle 12/4/97
DIRECTOR DATE

NO.	DATE	REVISION
1	10/15/97	REVISED PER COUNTY COMMENTS.
2	1/06/98	REVISE LOT 29 WALK-THRU HOUSE TYPE REVISION.
3	5/08/98	HSE RESITE LOT 23.

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OWNER/DEVELOPER/BUILDER: CORNERSTONE HOLDINGS, L.L.C.
7405 BUCKS HAVEN LANE
HIGHLAND, MARYLAND 20777
410-988-9146

PROJECT: ARBOR WOODS
LOTS 1-54

LOCATION: TAX MAP 37 - BLOCK 14 - PARCELS 405, 493, 594 & 149
1st ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE: GENERIC SITE DEVELOPMENT PLAN AND LANDSCAPE PLAN

DATE: AUGUST 29, 1997 PROJECT NO. 1001

DESIGN: JTM DRAFT: JMC SCALE: 1"=30' DRAWING 2 OF 8

NO.	DATE	REVISIONS (CONT.)
6	7-22-99	REVISE HSE & GRADE LOT 27 FROM "D BOX" TO "ALEXANDRIA"
5	7-20-99	HOUSE RESITE LOT 3
4	7-9-98	REV HSE & GRD LOT 22 FROM "E BOX" TO "SAVANNAH"



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Michael D. ...
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MK 11/21/97
 DATE

Andy Hamilton
 CHIEF, DIVISION OF LAND DEVELOPMENT JA 12/4/97
 DATE

Mark V. ...
 DIRECTOR 12/4/97
 DATE

NO.	DATE	REVISION
1	10/15/97	REVISED PER COUNTY COMMENTS.
2	5/08/98	HSE RESITE LOT 17.

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Chris A. ...
 9/2/97

OWNER/DEVELOPER/BUILDER: CORNERSTONE HOLDINGS, L.L.C.
 7405 BUCKS HAVEN LANE
 HIGHLAND, MARYLAND 20777
 410-988-9146

PROJECT: ARBOR WOODS
 LOTS 1-54

LOCATION: TAX MAP 37 - BLOCK 14 - PARCELS 405, 493, 594 & 149
 1st ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

TITLE: GENERIC SITE DEVELOPMENT PLAN
 AND LANDSCAPE PLAN

DATE: AUGUST 29, 1997 PROJECT NO. 1001

DESIGN: JMC DRAFT: JMC SCALE: 1"=30' DRAWING 3 OF 8

5	3-29-00	HSE RESITE LOT 20
4	5-14-99	HSE RESITE LOT 30
3	9-15-98	HSE RESITE LOT 19



PROPERTY OF SECURITY DEVELOPMENT CORP.



NO.	DATE	REVISION
7	05-24-99	HOUSE SITING LOT 43
6	05-24-99	HOUSE SITING LOT 46
5	12-11-98	HOUSE SITING LOT 54
4	9-1-98	HOUSE SITING LOT 51
3	5/08/98	SITE LOT 46

NO.	DATE	REVISION
1	10/15/97	REVISED PER COUNTY COMMENTS.
2	1/06/98	REVISE LOT 53.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Michael... 11/2/97
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE

Cindy Hamilton 12/1/97
 CHIEF, DIVISION OF LAND DEVELOPMENT JF DATE

James C. Kingler 12/1/97
 DIRECTOR DATE

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OWNER/DEVELOPER/BUILDER: CORNERSTONE HOLDINGS, L.L.C. 7405 BUCKS HAVEN LANE HIGHLAND, MARYLAND 20777 410-988-9146	PROJECT: ARBOR WOODS LOTS 1-53
LOCATION: TAX MAP 37 - BLOCK 14 - PARCELS 405, 493, 594 & 149 1st ELECTION DISTRICT HOWARD COUNTY, MARYLAND	TITLE: GENERIC SITE DEVELOPMENT PLAN AND LANDSCAPE PLAN
DATE: AUGUST 29, 1997	PROJECT NO.: 1001
DESIGN: JMC	DRAFT: JMC
SCALE: 1"=30'	DRAWING: 4 OF 8



LEGEND

PROPOSED TREE LINE	
EXISTING TREE LINE	
FOREST CONSERVATION EASEMENT	
PROPOSED CONTOUR	
EXISTING GRADE	
EXISTING STORM DRAIN	
LIMIT OF DISTURBANCE	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chris Sauer
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MK 11/21/97 DATE

Cindy Hamilton
 CHIEF, DIVISION OF LAND DEVELOPMENT 12/4/97 DATE

Frank S. Drayton
 DIRECTOR 12/4/97 DATE

NO.	DATE	REVISION
1	10/15/97	REVISED PER COUNTY COMMENTS.
2	1/06/98	REVISE LOT 29 WALK-THRU HOUSE TYPE REVISION.
3	5/08/98	HSE RESITE LOT 23.

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STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 9/14/97

OWNER/DEVELOPER/BUILDER: CORNERSTONE HOLDINGS, L.L.C.
 7405 BUCKS HAVEN LANE
 HIGHLAND, MARYLAND 20777
 410-988-9146

PROJECT: ARBOR WOODS
 LOTS 1-54

LOCATION: TAX MAP 37 - BLOCK 14 - PARCELS 405, 493, 594 & 149
 1st ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

TITLE: GENERIC SITE DEVELOPMENT PLAN AND LANDSCAPE PLAN

DATE: AUGUST 28, 1997 PROJECT NO. 1001

DESIGN: JMC DRAFT: JMC SCALE: 1"=30' DRAWING 2 OF 8

NO.	DATE	REVISIONS (CONT.)
8	4-14-00	REVISE GRADING & FLOOR ELEVS. ON LOT 12
7	3-21-00	REVISE HSE & GRADE LOT 26 FROM "D" BOX TO ALEXANDRIA
6	7-22-99	REVISE HSE & GRADE LOT 27 FROM "D" BOX TO "ALEXANDRIA"
5	7-20-99	HOUSE RESITE LOT 3
4	7-4-98	REV. HSE. & GRD LOT 22 FROM "E BOX" TO "SAVANNAH"



LEGEND

PROPOSED TREE LINE	
EXISTING TREE LINE	
FOREST CONSERVATION EASEMENT	
PROPOSED CONTOUR	
EXISTING GRADE	
EXISTING STORM DRAIN	
LIMIT OF DISTURBAUCE	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Clayton
CHIEF DEVELOPMENT ENGINEERING DIVISION MK 11/21/97 DATE

Cindy Hamilton
CHIEF DIVISION OF LAND DEVELOPMENT JR 12/4/97 DATE

Thomas V. Janyell
DIRECTOR 12/4/97 DATE

NO.	DATE	REVISION
1	10/15/97	REVISED PER COUNTY COMMENTS.
2	1/06/98	REVISE LOT 29 WALK-THRU HOUSE TYPE REVISION.
3	5/08/98	HBE RESITE LOT 23.

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Chris A. Maloney 9/21/97

OWNER/DEVELOPER/BUILDER: CORNERSTONE HOLDINGS, L.L.C.
7405 BUCKS HAVEN LANE
HIGHLAND, MARYLAND 20777
410-988-9146

PROJECT: ARBOR WOODS
LOTS 1-54

LOCATION: TAX MAP 37 - BLOCK 14 - PARCELS 405, 493, 594 & 149
1st ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE: GENERIC SITE DEVELOPMENT PLAN AND LANDSCAPE PLAN

DATE: AUGUST 28, 1997 PROJECT NO. 1001

DESIGN: JMC DRAFT: JMC SCALE: 1"=30' DRAWING 2 OF 8

NO.	DATE	REVISIONS (CONT.)
11	9-22-00	REV. TO GRADING ON LOT 11
12	7-25-00	REV. FF ELEV. & GRADES LOT 10
13	4-14-00	REVISE GRADING & FLOOR ELEV. ON LOT 12
14	3-21-00	REVISE HSE & GRADE LOT 26 FROM "D" BOX TO ALEXANDRIA
15	7-22-99	REVISE HSE & GRADE LOT 27 FROM "D" BOX TO "ALEXANDRIA"
16	7-20-99	HOUSE RESITE LOT 3
17	7-9-98	REV. HSE & GRD LOT 22 FROM "E" BOX TO "SAVANNAH"