

Concrete Stormceptor® Order Request Form

Contractor Information

Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____

Owner Information

Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____

Stormceptor Model

| | | | |
|--------------------------|--------------------------|--------------------------|--------------------------|
| 1000 | 1500 | 2000 | 2500 |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Insert Size

| | |
|--------|--------------------------|
| 22" | <input type="checkbox"/> |
| 32" | <input type="checkbox"/> |
| 44" | <input type="checkbox"/> |
| Custom | <input type="checkbox"/> |

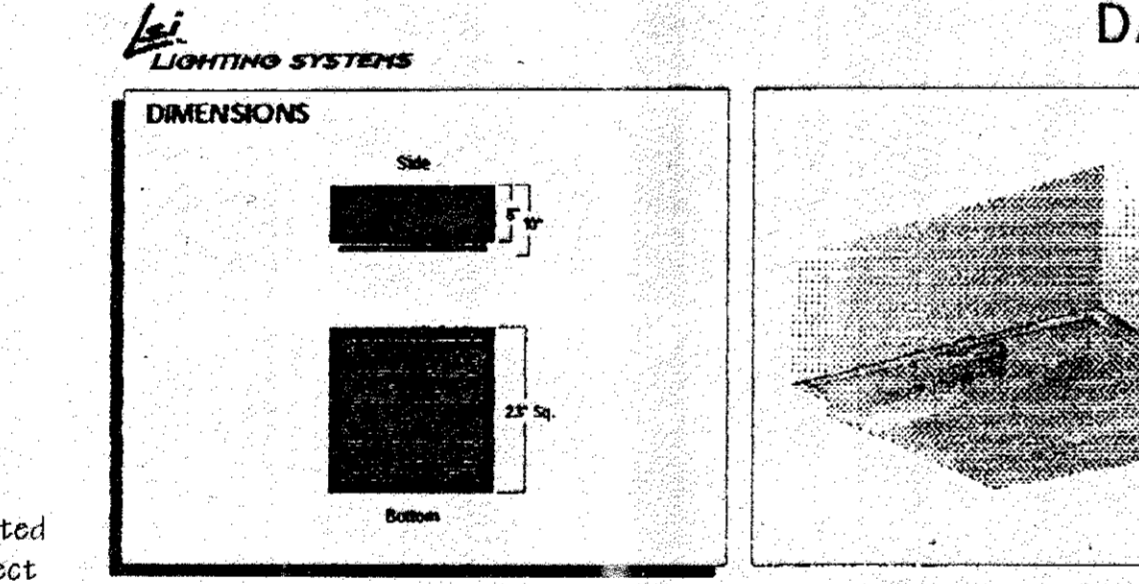
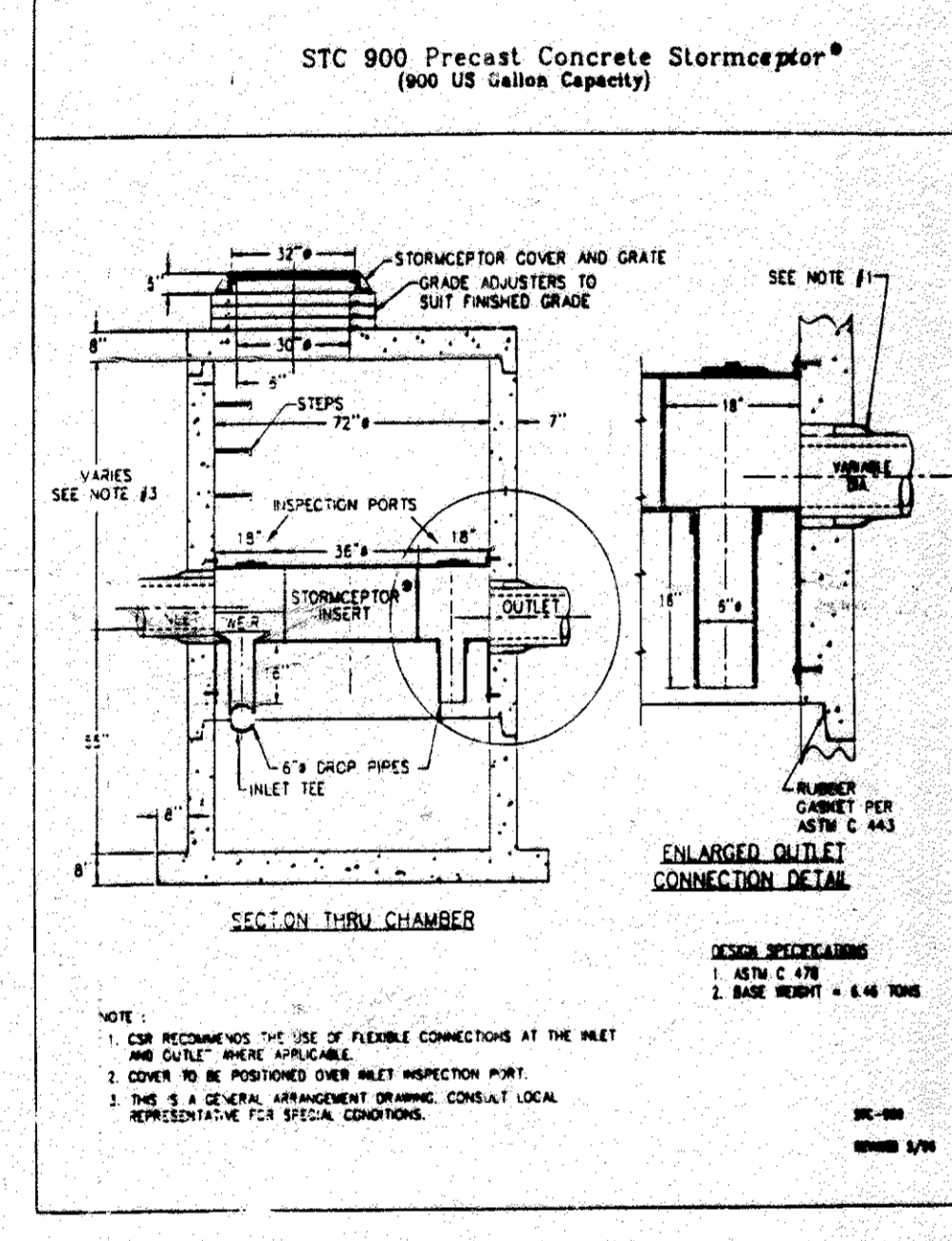
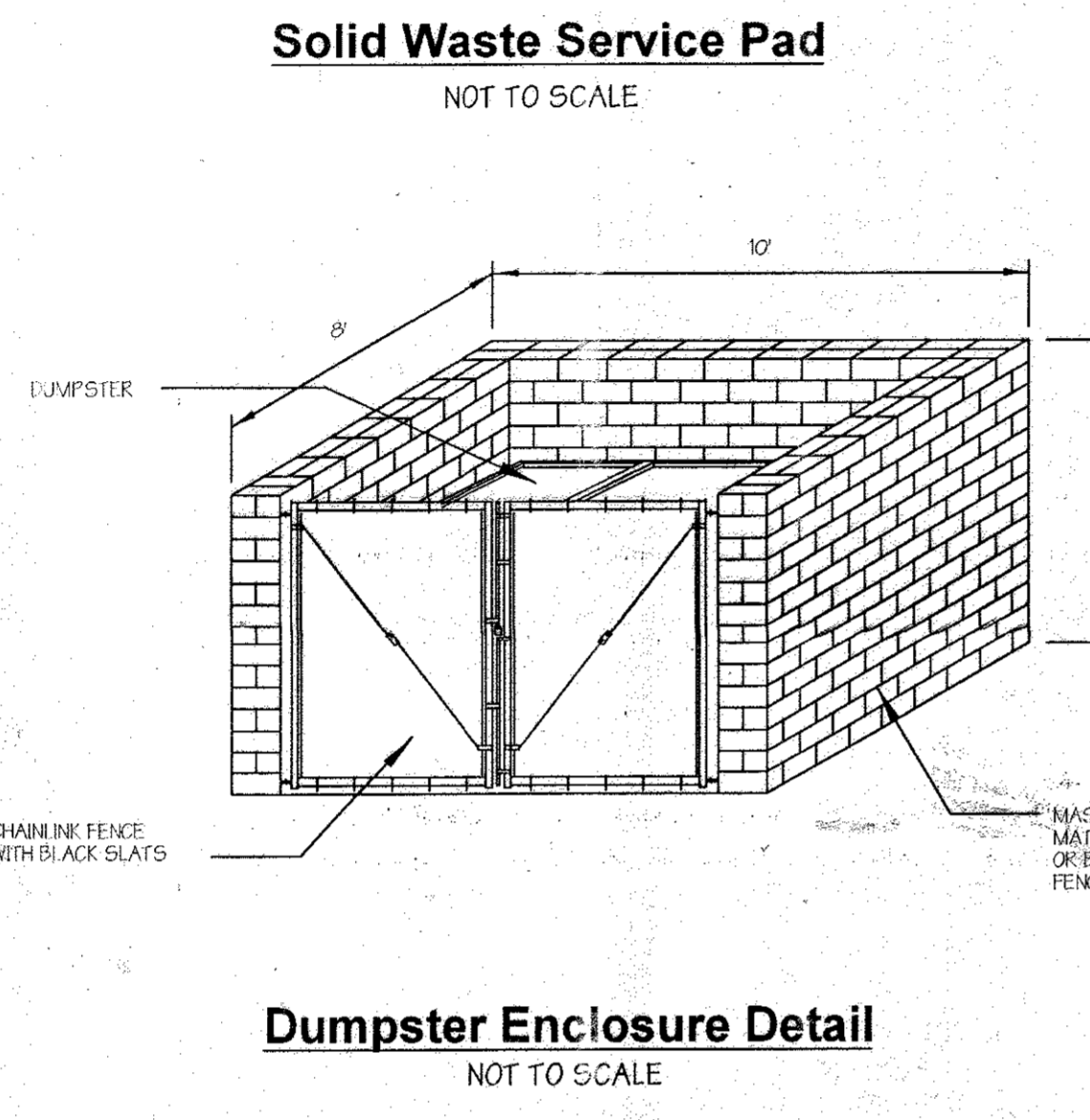
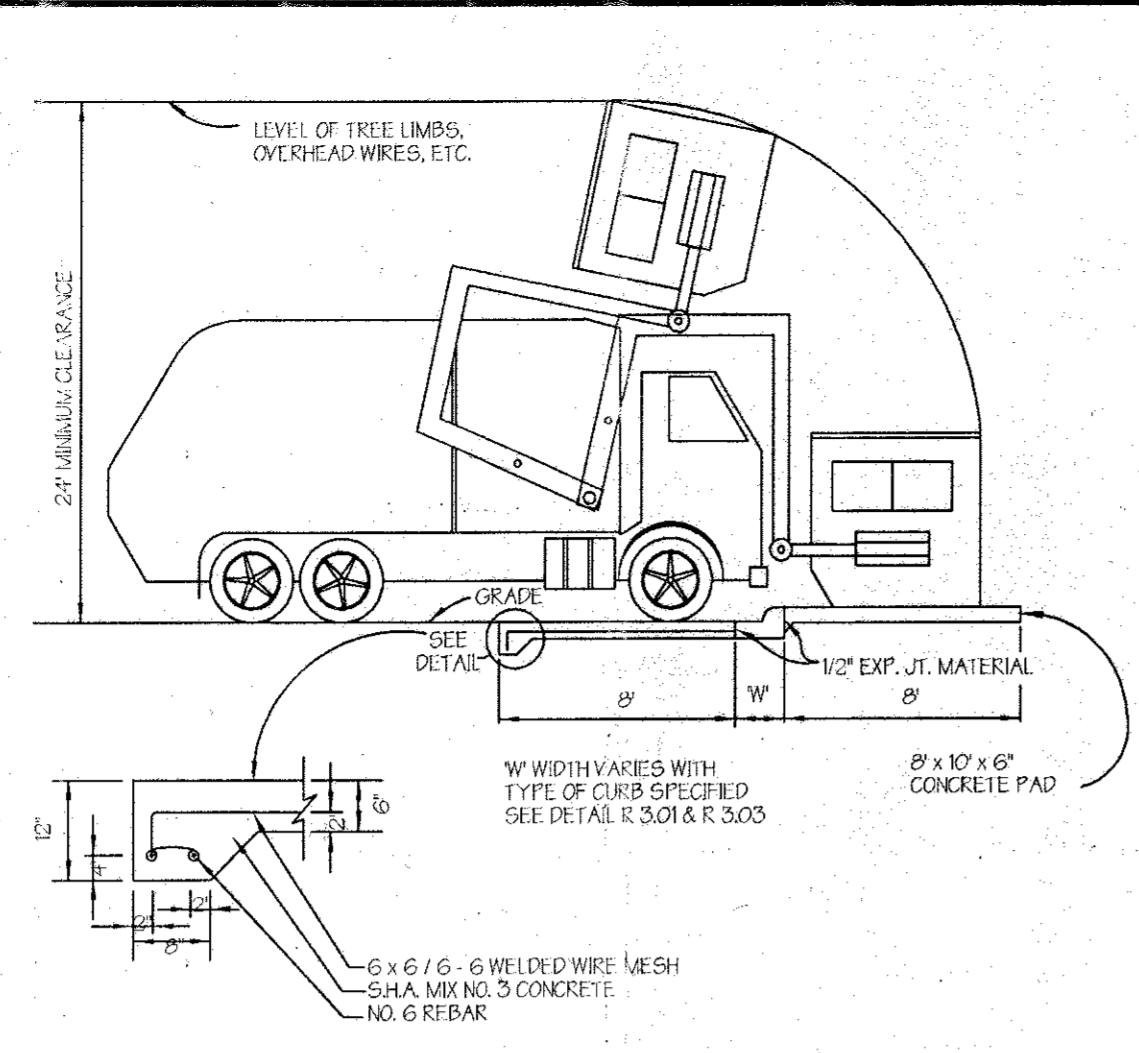
Stormceptor Details

Top Elevation (ft): _____
Inlet Pipe Invert (ft): _____
Outlet Pipe Invert (ft): _____
Pipe Type: _____
Pipe Inside Diameter (in) (ID): _____
Pipe Outside Diameter (in) (OD): _____

Project Name: HIGHS LISBON CENTER
Delivery Address: _____
City: _____ **State:** _____ **Zip Code:** _____
Designer/Company: _____ **Phone:** _____ **Fax:** _____

Please fax this order to Stormceptor at (801) 762-4190
For Technical Assistance Please Call Stormceptor Corporation at (801) 762-8361 or toll free at 1 (800) 762-4703

ALL LIFTING APPARATUS TO BE PROVIDED BY THE INSTALLATION CONTRACTOR



ORDERING INFORMATION Select appropriate line numbers from each column to formulate order code. Refer to example below.

| Component | Line | Line | Line | Line | Line | Line | Options |
|----------------------|------|----------------------|------|----------------------|------|----------------------|---------|
| DA - 1 - Synchrotron | 750 | DA - 2 - Synchrotron | 750 | DA - 3 - Synchrotron | 750 | DA - 4 - Synchrotron | 750 |

EXAMPLE OF A TYPICAL ORDER: DA S 400 SMH DA MT WHT ND

OPTIONAL CHAIN HANGING KIT - CHK

SLOPE SURFACE ADAPTOR - SSA

ACCESSORY ORDERING INFORMATION

HIGHS SITE DATA

Site Area (Special Exception Site) 32,517 S.F. (0.75 Ac.)
Area of Plan Submission 0.75 Ac ±
(Total Building 'C' & Gas Station)
Area of Disturbance 0.46 Ac ±
Existing Use Convenience store w/ gas pumps
Proposed Use Convenience Store w/ Gas Pumps

PARCEL # SITE DATA

Gross Site Area 7.99 Ac.
Deed Reference 1640/0491 Plat 7170
Tax Account Number 04-0000-322649
Counclimanic District 4
Zoning B-2

PARCEL # PARKING TABULATION

| | | | |
|--------------------|---------------|---------------------------------------|----|
| Ex. Building 'A' | = 14,593 S.F. | (Food/Retail) - 1 SP/150 S.F. | 77 |
| Ex. Building 'B' | = 15,565 S.F. | (General Retail) - 5 SP/1000 S.F. | 78 |
| Prop. Building 'C' | = 3,600 S.F. | (General Retail) - 5 SP/1000 S.F. | 18 |
| | = 3600 S.F. | (Highs Store) - 2 SP/1000 S.F. | 18 |
| | | (Gas) | 3 |
| Ex. Building 'D' | = 3531 S.F. | (Restaurant) - 48 Seats; 12 Employees | 12 |
| | | 1 SP/4 Seats; 1 SP/12 Empl. | 12 |
| Fut. Building 'E' | = 3025 S.F. | (General Retail) - 5 SP/1000 S.F. | 16 |
| Ex. Building 'F' | = 2851 S.F. | (Restaurant) - 50 Seats; 7 Employees | 21 |
| | | 1 SP/3 Seats; 1 SP/2 Empl. | 21 |
| Fut. Building 'G' | = 3200 S.F. | (General Retail) - 5 SP/1000 S.F. | 16 |

MINIMUM LOT AREA REQUIRED

Base Maximum 20,000 S.F.
Gross Floor Area 3,600 S.F.
Convenience Store Parking 7,998 S.F. w/ drive
TOTAL 31,598 S.F.

20% of Net Lot Area Requirement
to be Landscape Area 6,504 S.F.
LANDSCAPE AREA PROVIDED 6,517 S.F.

PARKING REQUIRED - Section 133.03(d)(4)(C) & (e)

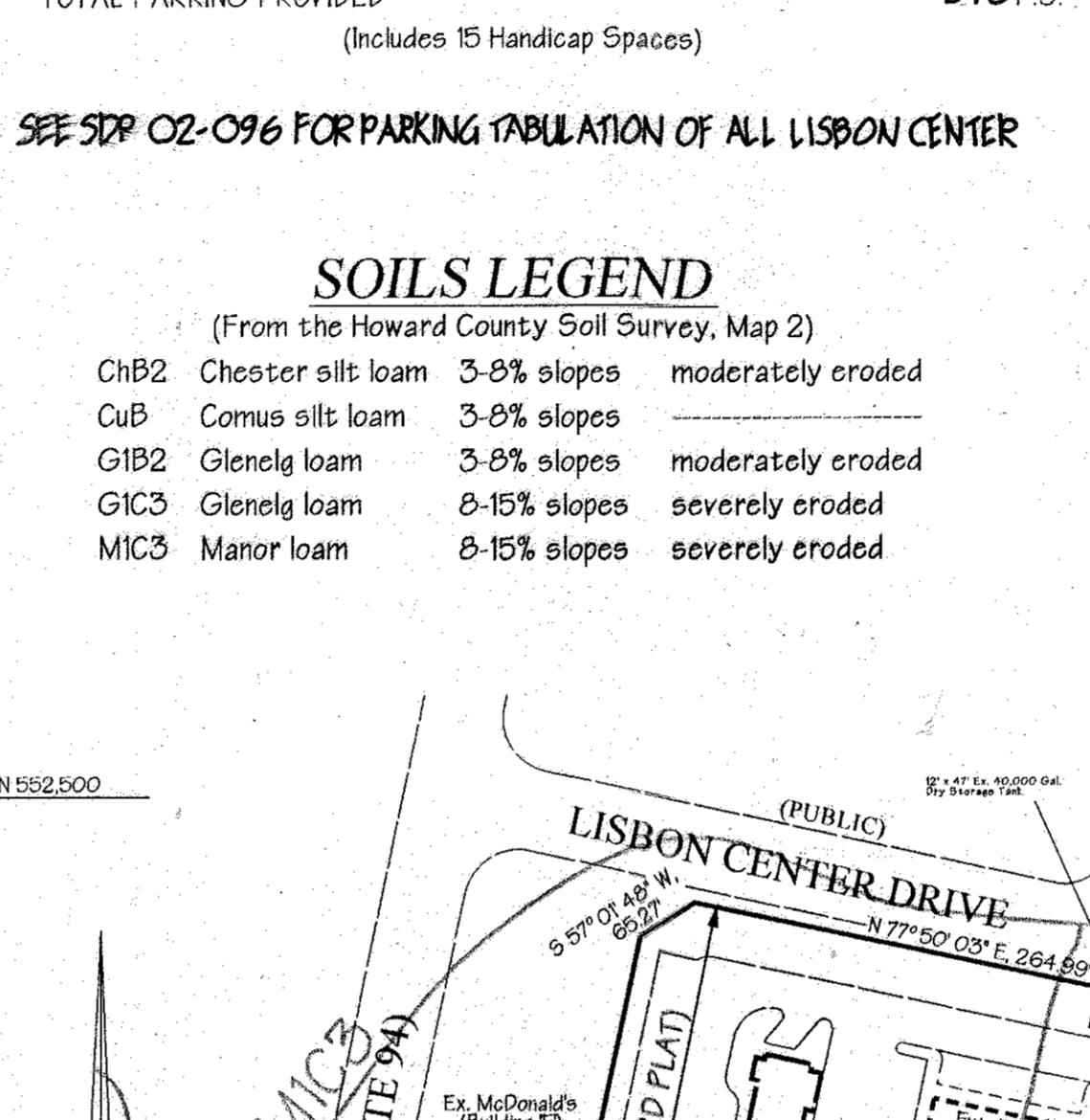
Fuel Station 9
Convenience Store Ancillary to Gas Service Station 5 x (3600 S.F. / 1000) 18
TOTAL 27
PARKING PROVIDED (Store) 21 P.S.

PARKING SPACE DIMENSIONS

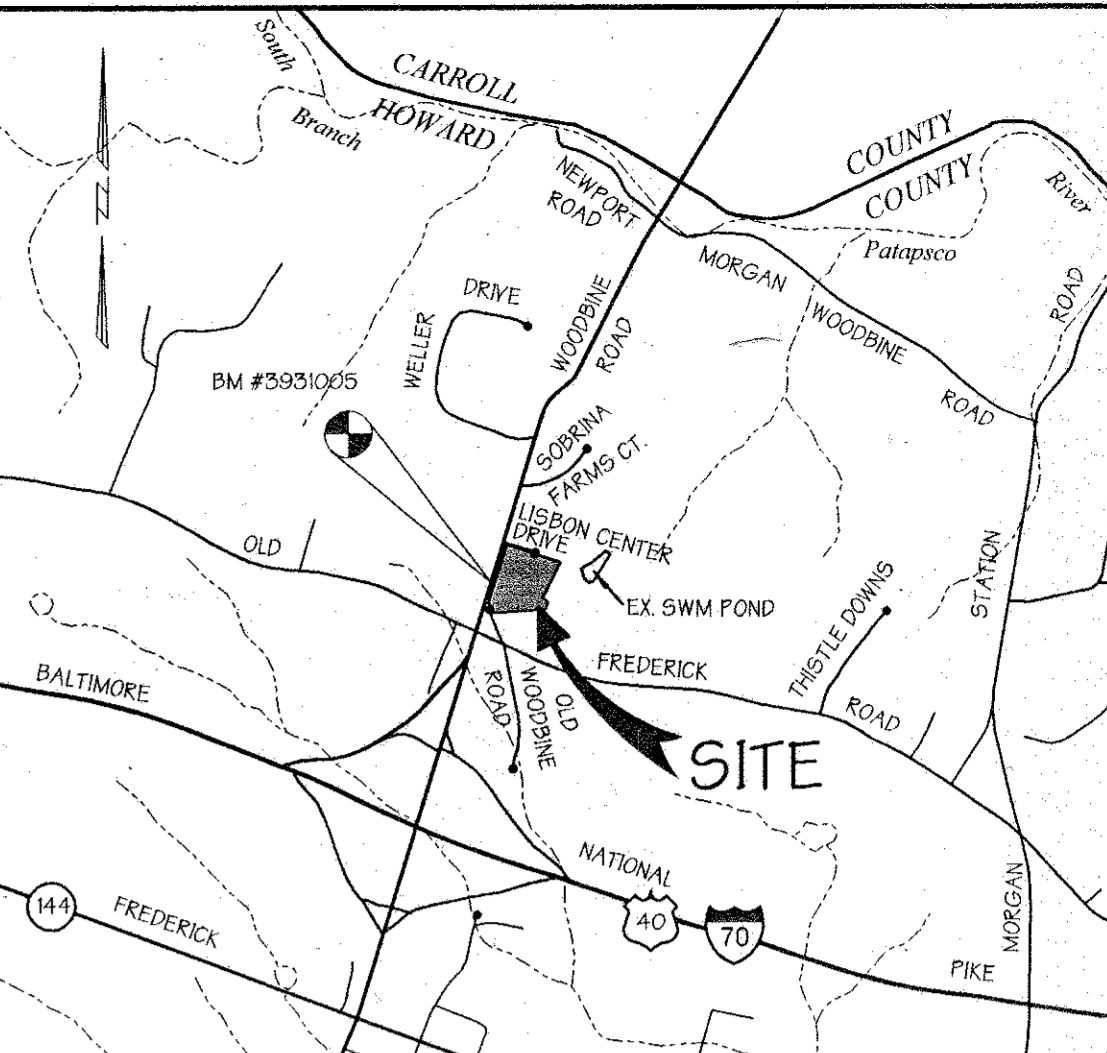
Typical Space 9' x 18'
Handicap Space 8' x 12'
(All spaces to be permanently striped)

SOILS LEGEND
(From the Howard County Soil Survey, Map 2)

| | | | |
|------|--------------------|--------------|-------------------|
| ChB2 | Chestnut silt loam | 3-8% slopes | moderately eroded |
| CuB | Comus silt loam | 3-8% slopes | |
| G1B2 | Glenelg loam | 3-8% slopes | moderately eroded |
| G1C3 | Glenelg loam | 8-15% slopes | severely eroded |
| M1C3 | Manor loam | 8-15% slopes | severely eroded |



- GENERAL NOTES**
- All work shall be performed in accordance with the Howard County Design Manual, Volume IV, i.e., Standard Specifications and Details for Construction and/or as shown on these plans.
 - The contractor shall notify the Department of Public Works, Construction Inspection Division at (410) 313-1800 at least 24 hours prior to the start of work.
 - The contractor shall notify Miss Utility at (800) 257-7777 at least 48 hours prior to any excavation.
 - The contractor shall test pit existing utilities at least five (5) days before starting work shown on these drawings to verify their location and elevation.
 - The contractor shall notify the engineer immediately if location of utilities is other than shown.
 - Any damage to public rights-of-way and/or adjacent properties shall be repaired immediately at the contractor's expense.
 - All areas not being paved or receiving any building coverage shall be stabilized in accordance with the plans approved by the Howard Soil Conservation District.
 - All slopes shall be 2:1 or flatter.
 - The contractor shall maintain at least a 2' level bench behind all curb and gutter receiving fill areas.
 - The contractor shall remove all existing paving, curb and gutter, etc. that may interfere with proposed construction.
 - All utilities installed under paving shall receive full trench compaction.
 - All water main tees, bends, caps, etc. shall be buttressed in accordance with the Howard County design requirements.
 - All water lines shall have a minimum 4' cover.
 - All plan dimensions are to face of curb unless otherwise noted.
 - For details of ramps and signs for the handicapped and aged and as shown hereon, see Sheet 2 of 6.
 - Traffic control devices, markings and signing shall be in accordance with the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD). All street and regulatory signs shall be in place prior to the placement.
 - The existing septic field has a reserve capacity of 1222 gpd which can be used for the Highs Store with public restrooms and six additional "low water using" tenants in Proposed Building C.
 - See the Board of Appeals Case (B.A. Case) #96-02E for a special exception to operate a gasoline service station and convenience store in a B-2 Zoning District (reference Sheet 2 for conditions of approval). Any site development shall comply with the conditions set forth in the zoning order Case Deo on Sheet 2 and 7.
 - Reference F-87-64, Route 94 Business Center, SDP 88-173 and SDP 94-22.



SHEET INDEX

- Gross Area Site Plan
- Site Plan
- Sediment Control Plan
- Sediment Control Notes & Details
- Landscape Plan
- Profiles & Details
- Stormceptor Drainage Area

Professional Certification: I hereby certify that this document was prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 21501 Expiration Date: 5/1/2019

APPROVED: HOWARD COUNTY HEALTH OFFICER 4-9-98
APPROVED: HOWARD SOIL CONSERVATION DISTRICT
APPROVED: Howard County Department of Planning and Zoning

CHIEF, DEVELOPMENT ENGINEERING DIVISION MK 3/10/98
ANDY HAMILTON 4/16/98
DIVISION OF LAND DEVELOPMENT 4/16/98

NOTE:

The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statement shall apply to all initial and future occupants or tenants.

PROFESSIONAL CERTIFICATION: I hereby certify that this document was prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 21501 Expiration Date: 5/1/2019

(FOR UNDER CANOPY)

THE DAKOTA SERIES

The Dakota Series features energy efficient and cost-effective canopy luminaires. Lens options and lamp types provide uniform distribution and make Dakota fixtures ideal for service station, convenience store, and automotive dealership applications.

SPECIFICATIONS

HOUSING: Each two-piece Dakota housing is formed from zinc-plated steel. Covers are finished to produce a clean, shiny appearance while increasing housing strength and ensuring weather-tight construction. Each fixture is UL Listed and CSA certified for damp locations.

LENS/GASSET: The Dakota is available with any of the following lens types: an injection-molded dropped polycarbonate lens for high-visibility areas, or a 1/2" recessed flat temper glass. A continuous, one-piece (PMMA) gasket ensures maximum sealing of the door frame to the housing.

DCOR FASTENER: The Dakota recessed aluminum door frame features one captive door fastener which allows easy access without loose hardware.

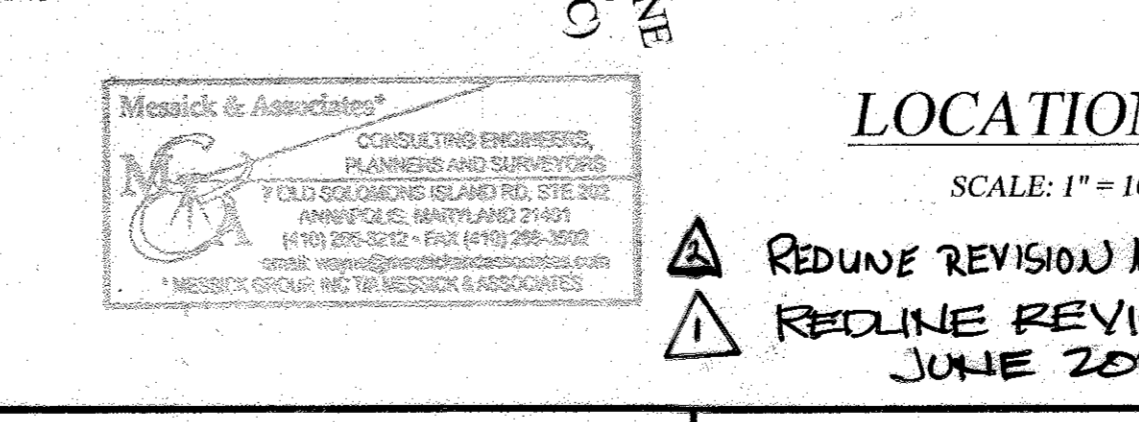
SOCKETS: Porcelain mogul-base sockets feature spring-retained contacts for long life.

BALAST: High-power factor type ballast is mounted to the housing reinforcing plate. Ballast is rated for 20' ft operation.

REFLECTORS/DISTRIBUTION PATTERNS: All Dakota fixtures are available in a one-piece symmetrical reflector or a high-performance symmetrical reflector. All photometric data is certified by an independent testing facility.

MOUNTING: The Dakota fixture can be mounted to a nonconductive surface. Mount with 1/4" minimum space from ceiling, unless mounted to metal or concrete.

FINISHES: Each Dakota fixture is finished with Duracolor™ LS3 Lighting Systems' revolutionary moisture-based polyester-powder finishing process. To give the fixture an exceptionally attractive appearance. Standard finish colors available for the Dakota are bronze, black, and white. The Duracolor polyester finish withstands extreme weather changes without cracking or peeling. Finish is guaranteed for five years.



- The Underground Storage Tanks required for the proposed fuel service station shall be installed by a contractor certified by the Maryland Department of the Environment for the installation of Underground Storage Tanks.
- Prior to installation of the Underground Storage Tanks the owner shall submit plans and/or specifications for the installation of the Underground Storage Tanks to the Howard County Health Department, Bureau of Environmental Health. The Bureau of Environmental Health shall review said plans and/or specifications to confirm that adequate measures have been provided to prevent future fire contamination, due to tank leakage or fuel spillage, of the existing well which is located at the southwest corner of the building located at 706 Lisbon Center Drive.

ADDRESS CHART

| PARCEL NO. | STREET ADDRESS |
|-----------------|--------------------------------------|
| p/o Parcel 82-F | Building C - 708 Lisbon Center Drive |

SUBDIVISION NAME Route 94 Business Center
SECTION NAME N/A
PARCEL # p/o Parcel 82-F

| PLAT # | BLOCK # | ZONE | LG MAP | ELECT. DIST. | CENSUS TRACT |
|--------|---------|------|--------|--------------|--------------|
| 7170 | 24 | B-2 | 2 | 4 | 6040 |

WATER CODE N/A
SEWER CODE N/A

Gross Area Site Plan
ROUTE 94 BUSINESS CENTER
LISBON CENTER
BUILDING 'C'

Election District #4
Parcel 82-F
Scale: As Shown

Howard County, Maryland
August 22, 1997
Sheet 1 of 7

GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS
658 KENILWORTH DRIVE, SUITE 100
TOWSON, MARYLAND 21204
(410) 825-8120

DEVELOPER CERTIFICATION:

I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project, later authorized periodic on-site inspection by the Howard Soil Conservation District.

Developer Name: _____ Date: 10/2/17

OWNER/DEVELOPER

Route 94 Limited Partnership
c/o MIE Properties, Inc.
5720 Executive Drive
Baltimore, Maryland 21228
(410) 788-0100

ENGINEER CERTIFICATION:

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

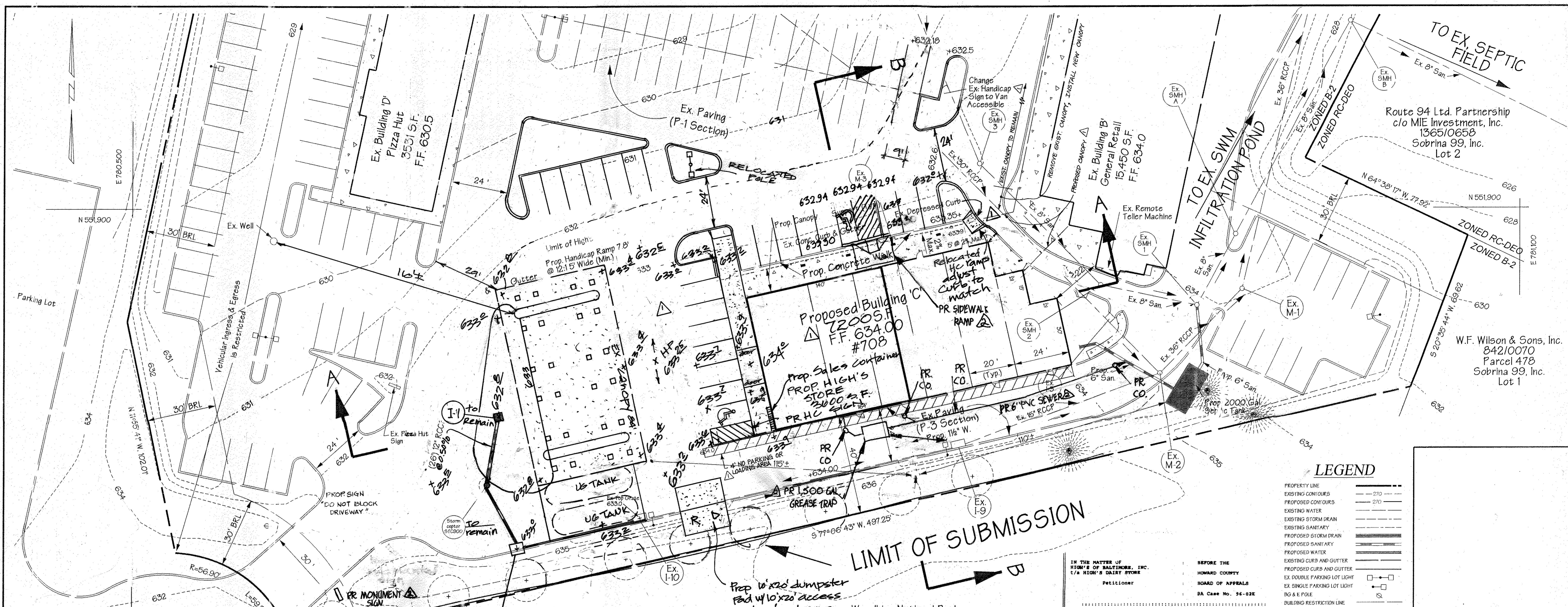
Engineer: _____ Date: 10/2/17
Name: NICHOLAS BRADDO PE # 18554

Professional Certification: I hereby certify that this document was prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 21501 Expiration Date: 5/1/2019

Professional Certification: I hereby certify that this document was prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 21501 Expiration Date: 5/1/2019

APPROVED: HOWARD COUNTY HEALTH OFFICER 4-9-98
APPROVED: HOWARD SOIL CONSERVATION DISTRICT
APPROVED: Howard County Department of Planning and Zoning

CHIEF, DEVELOPMENT ENGINEERING DIVISION MK 3/10/98
ANDY HAMILTON 4/16/98
DIVISION OF LAND DEVELOPMENT 4/16/98



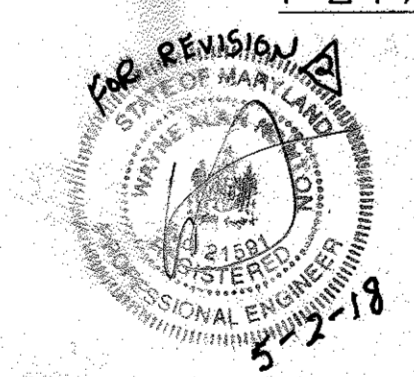
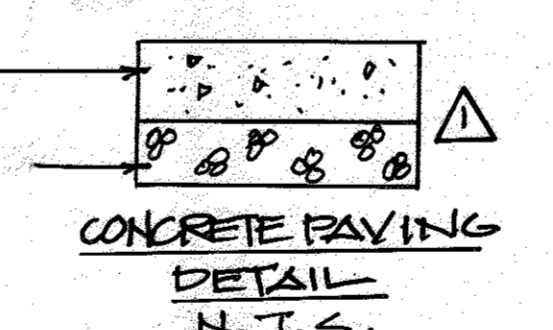
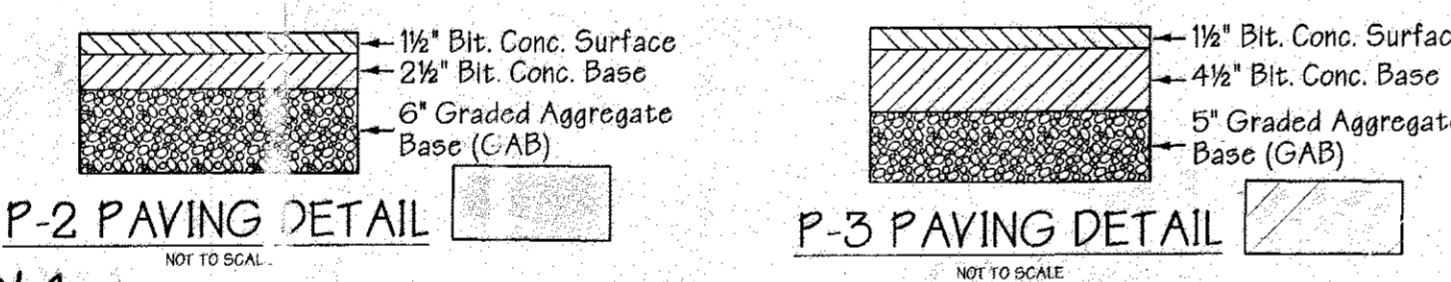
LEGEND

| | |
|-----------------------------|-------------|
| PROPERTY LINE | --- |
| EXISTING CONTOURS | --- 270 --- |
| PROPOSED CONTOURS | --- 270 --- |
| EXISTING WATER | --- |
| EXISTING STORM DRAIN | --- |
| EXISTING SANITARY | --- |
| PROPOSED STORM DRAIN | --- |
| PROPOSED SANITARY | --- |
| PROPOSED WATER | --- |
| EXISTING CURB AND GUTTER | --- |
| PROPOSED CURB AND GUTTER | --- |
| EX DOUBLE PARKING LOT LIGHT | □ |
| EX SINGLE PARKING LOT LIGHT | □ |
| RG & E POLE | □ |
| BUILDING RESTRICTION LINE | --- |

LIMIT OF SUBMISSION

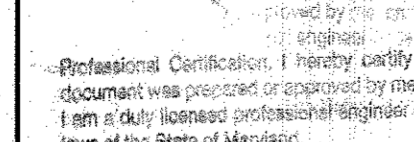
PLAN

SCALE: 1" = 20'



Professional Certification: I hereby certify that this document was prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

License No. 21521 Expiration Date: 6/14/2019



Professional Certification: I hereby certify that this document was prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

License No. 21521 Expiration Date: 5/16/2019

Howard County Curb and Gutter Detail
NOT TO SCALE

Handicapped Parking Sign Detail
NOT TO SCALE

IN THE MATTER OF THE PETITION OF HIGH'S OF BALTIMORE, INC. C/O HIGH'S DAIRY STORE, Petitioner

Before the Board of Appeals, Howard County, Maryland, in Case No. 96-02E

Based upon the foregoing, it is this 11th day of June, 1996, by the Howard County Board of Appeals,

ORDERED: That the Petition of High's of Baltimore, Inc., c/o High's Dairy Store, for a special exception for a gasoline service station and convenience store on the property known as 708 Lisbon Center Drive, Lisbon, Howard County, Maryland, be, and the same is hereby GRANTED, subject to the following conditions:

- The outdoor lighting of the Property shall be limited to the lamps located on the underside of the canopy and shall be shielded and directed to minimize the reflection of such light onto adjacent properties and to not produce glare which would cause a traffic hazard. The lights shall be turned off during the hours of 11:00 p.m. and 5:30 a.m. daily.
- The hours of operation shall be limited to 9:30 a.m. to 11:00 p.m. seven days a week.
- The Petitioner shall comply with all applicable Federal, State, and County laws and regulations.

ATTEST: Paula Myrtz, Secretary

HOWARD COUNTY BOARD OF APPEALS: George L. Layman, Chairperson; Jeffery Rushing, Vice Chairperson; Evelyn Tanner

PREPARED BY: BARBARA W. COX, COUNTY SOLICITOR

Not Present at Time of Hearing: James W. Pfefferkorn

I HEREBY CERTIFY that I listened to the recording of BA Case No. 96-02E and I reviewed all of the evidence submitted prior to casting my vote.

REDUCE REVISIONS JUNE 2017

These plans for private well and private septic systems. Howard County Health Department.

APPROVED: HOWARD COUNTY HEALTH OFFICER: [Signature] DATE: 4/2/98

APPROVED: HOWARD SOIL CONSERVATION DISTRICT

Reviewed for the Howard Conservation District and meets technical requirements.

APPROVED: Howard County Department of Planning and Zoning

CHIEF, DEVELOPMENT ENGINEERING DIVISION MK: [Signature] DATE: 3/16/98

DIVISION OF LAND DEVELOPMENT SA: [Signature] DATE: 4/14/98

DIRECTOR: [Signature] DATE: 4/14/98

ADDRESS CHART: PARCEL NO. 7170, STREET ADDRESS p/o Parcel 82-F, Building C - 708 Lisbon Center Drive

SUBDIVISION NAME: Route 94 Business Center, SECTION NAME: N/A, PARCEL #: p/o Parcel 82-F

PLAT #: 7170, BLOCK #: 24, ZONE: B-2, ELECT. DIST.: 4, CENSUS TRACT #: 6040

WATER CODE: N/A, SEWER CODE: N/A

Site Plan: ROUTE 94 BUSINESS CENTER LISBON CENTER BUILDING 'C'

Election District #4, Parcel 82-F, Scale: 1"=20', Howard County, Maryland August 22, 1997 Sheet 2 of 7

GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS
658 KENILWORTH DRIVE, SUITE 100
TOWSON, MARYLAND 21284
(410) 825-8120

DEVELOPER CERTIFICATION:
I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance of a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also agree to the periodic on-site inspection by the Howard County Soil Conservation District.

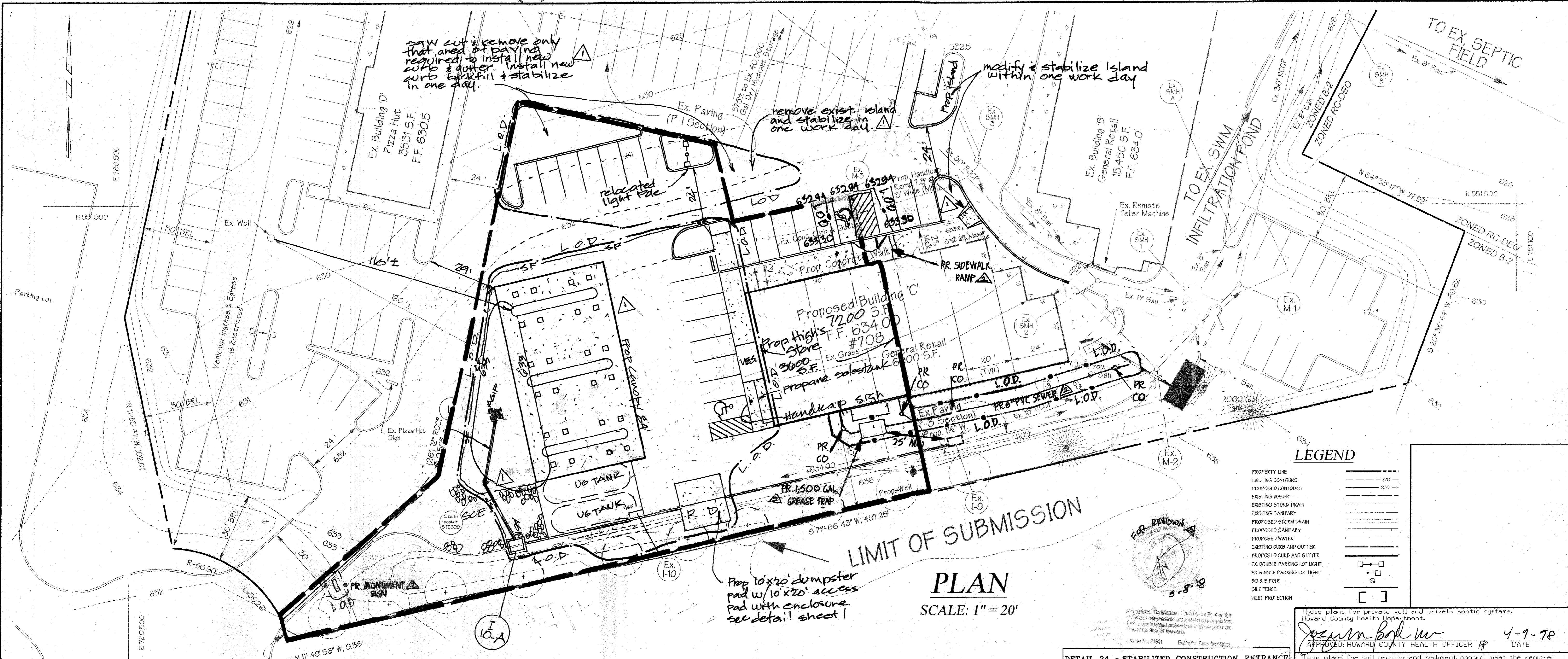
Developer Name: [Signature] Date: 10/4/97

OWNER/DEVELOPER
Route 94 Limited Partnership
c/o MIE Properties, Inc.
5720 Executive Drive
Baltimore, Maryland 21228
(410) 788-0100

ENGINEER CERTIFICATION:
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Engineer Name: [Signature] Date: 10/2/97
Name: WILLIAM J. BRADY PE # 13558

REV: 5/20/98 REVISION: EXTENT OF CANOPY TO MATCH ARCH. PLANS; SHOW 4' NO PARKING OR LOADING AREA.



LEGEND

| | |
|------------------------------|-------------|
| PROPERTY LINE | --- |
| EXISTING CONTOURS | --- 270 --- |
| PROPOSED CONTOURS | --- 270 --- |
| EXISTING WATER | --- |
| EXISTING STORM DRAIN | --- |
| EXISTING SANITARY | --- |
| PROPOSED STORM DRAIN | --- |
| PROPOSED SANITARY | --- |
| EXISTING CURB AND GUTTER | --- |
| PROPOSED CURB AND GUTTER | --- |
| EX. DOUBLE PARKING LOT LIGHT | □ |
| EX. SINGLE PARKING LOT LIGHT | □ |
| 80% & 60% SILT FENCE | --- |
| INLET PROTECTION | [] |

PLAN
SCALE: 1" = 20'

SEQUENCE OF CONSTRUCTION

- OBTAIN GRADING PERMIT.
- NOTIFY THE HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES 48 HOURS PRIOR TO BEGINNING WORK.
- INSTALL SILT FENCE (1 DAY).
- FINE GRADE, INSTALL UTILITIES, BEGIN BUILDING CONSTRUCTION (5 WEEKS).
- INSTALL CURB AND GUTTER (1 DAY).
- BEGIN PAVING OPERATIONS (2 DAYS).
- WITH PERMISSION OF THE SEDIMENT CONTROL INSPECTOR REMOVE REMAINING SEDIMENT CONTROL DEVICES AND STABILIZE WITH PERMANENT SEEDING (1 DAY).

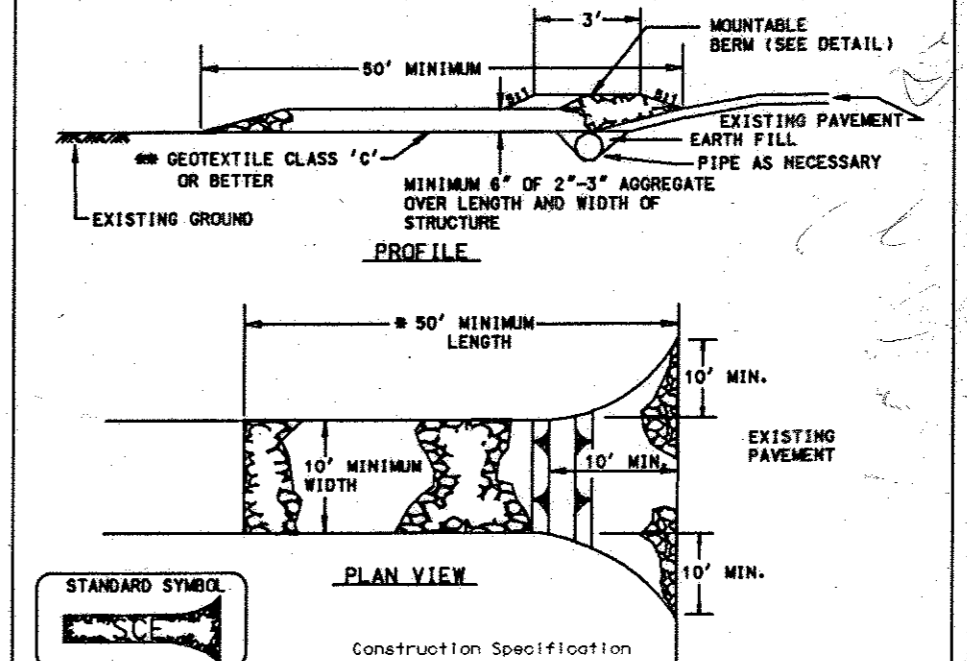
* ALL WORK IN EXISTING PAVED AREAS IS TO BE STABILIZED WITH STONE AT THE END OF EACH WORKING DAY.

* THE CONTRACTOR IS RESPONSIBLE FOR CLEANING THE EXISTING SWM POND FOR ANY SEDIMENT ATTRIBUTED TO THIS PLAN.

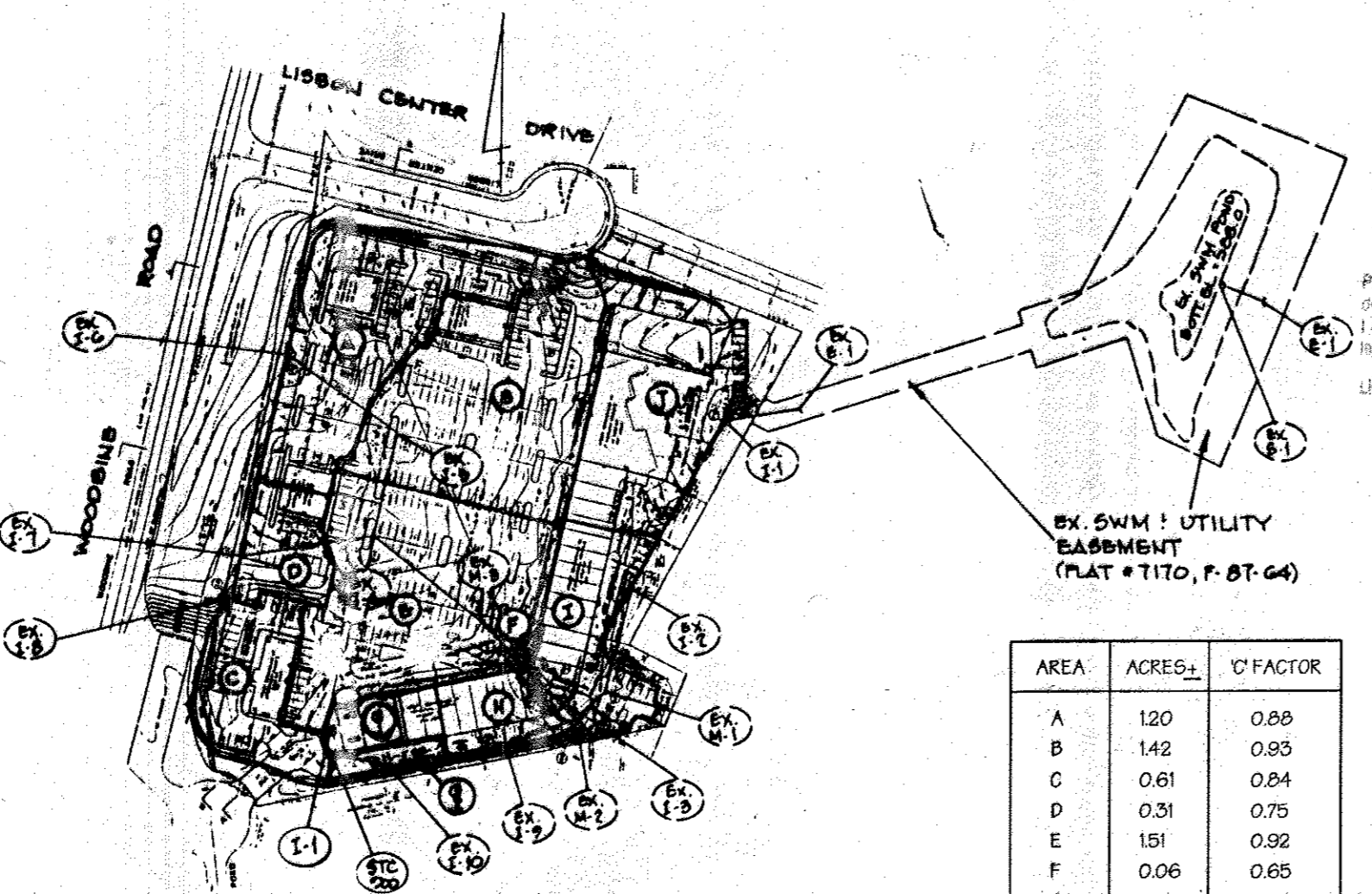
REDLINE REVISIONS / JUNE 2017

HOWARD COUNTY BENCHMARK
3/4" Reinforcing rod 0.5' below surface, 285' north of Route 99 along side Woodbine Road

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



- Length - minimum of 50' (40' for single residence lot).
- Width - 10' minimum, should be flared at the existing road to provide a turning radius.
- Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. After plan approval, authority may not require single family residences to use geotextile.
- Stone - crushed aggregate (2" to 3" or recycled or recycled concrete equivalent) shall be placed at least 6" deep over the length and width of the entrance.
- Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
- Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.



DRAINAGE AREA MAP
SCALE: 1" = 200'

| AREA | ACRES | C FACTOR |
|------|-------|----------|
| A | 1.20 | 0.89 |
| B | 1.42 | 0.83 |
| C | 0.61 | 0.84 |
| D | 0.21 | 0.75 |
| E | 1.51 | 0.92 |
| F | 0.06 | 0.65 |
| G | 0.18 | 0.89 |
| G2 | 0.10 | 0.89 |
| H | 0.29 | 0.86 |
| I | 0.55 | 0.91 |
| J | 1.08 | 0.93 |

NOTE:
tenant or occupant of any building shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statements shall apply to all initial and future occupants or tenants.

GEORGE WILLIAM STEPHENS, JR. AND ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS
658 KENILWORTH DRIVE, SUITE 100
TOWSON, MARYLAND 21284
(410) 825-8120

DEVELOPER CERTIFICATION:
I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I/also authorize periodic on-site inspection by the Howard County Department of the Environment.
Developer Name: *Michael J. ...* Date: 10/2/97

OWNER/DEVELOPER
Route 94 Limited Partnership
c/o MIE Properties, Inc.
5720 Executive Drive
Baltimore, Maryland 21228
(410) 788-0100

ENGINEER CERTIFICATION:
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Engineer: *Nicholas J. ...* Date: 10/2/97
Name: *Nicholas J. ...* PE # 18558

These plans for private well and private septic systems. Howard County Health Department.
APPROVED: HOWARD COUNTY HEALTH OFFICER *[Signature]* DATE: 4-9-98

These plans for soil erosion and sediment control meet the requirements of Howard Soil Conservation District.
APPROVED: HOWARD SOIL CONSERVATION DISTRICT *[Signature]* DATE: 3/10/98

Reviewed for the Howard Conservation District and meets technical requirements.
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING *[Signature]* DATE: 3/10/98

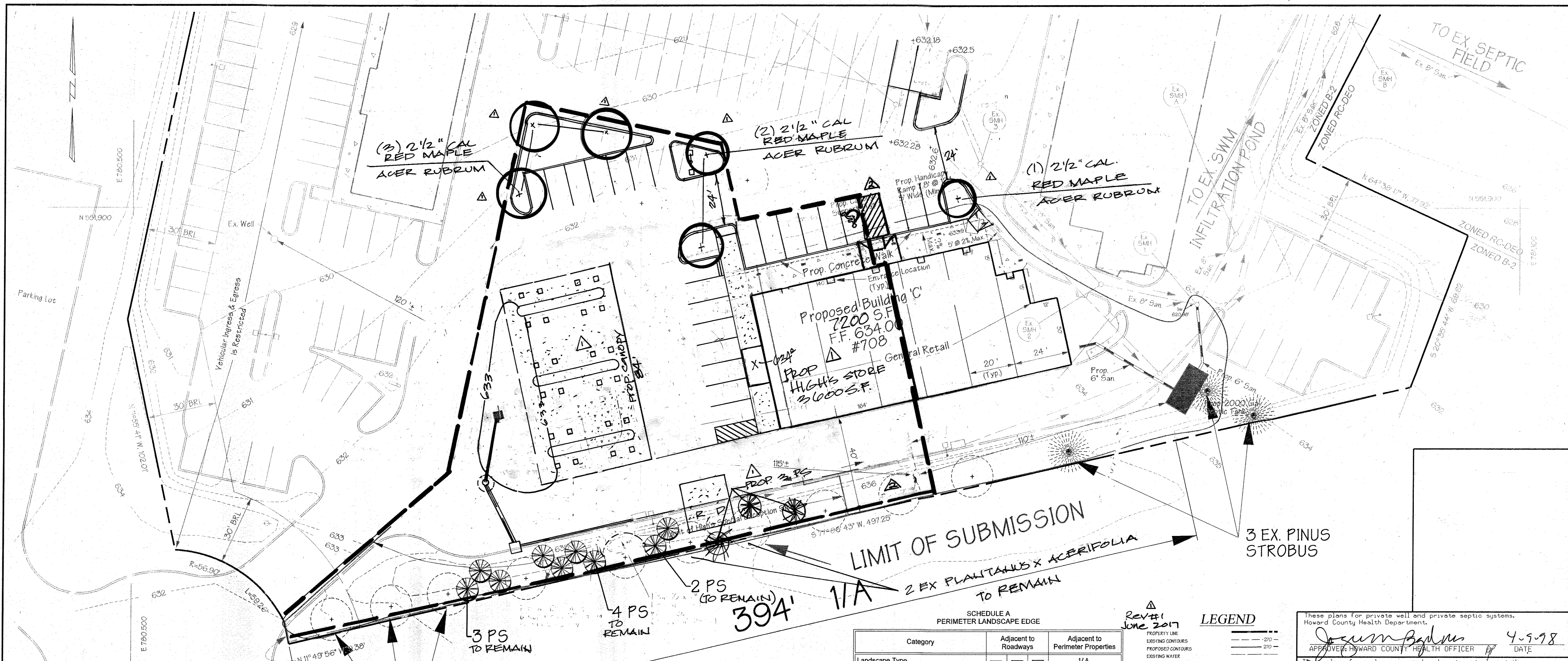
CHIEF, DEVELOPMENT ENGINEERING DIVISION, MKK DATE: 3/11/98
DIVISION OF LAND DEVELOPMENT, JPA DATE: 4/10/98

DIRECTOR, *[Signature]* DATE: 4/10/98

ADDRESS CHART
PARCEL NO. 7170 STREET ADDRESS: Building C - 708 Lisbon Center Drive
p/o Parcel 82-F

| SUBDIVISION NAME | SECTION NAME | PARCEL # |
|--------------------------|---------------------|--|
| Route 94 Business Center | N/A | p/o Parcel 82-F |
| PLAT # 7170 | BLOCK # 24 ZONE B-2 | TAX MAP # 4 ELECT. DIST. N/A CENSUS TRACT # 6040 |
| WATER CODE N/A | SEWER CODE N/A | |

Sediment Control Plan
ROUTE 94 BUSINESS CENTER LISBON CENTER BUILDING 'C'
Election District #4
Parcel 82-F
Scale: 1"=20'
Howard County, Maryland
August 22, 1997
Sheet 3 of 7



PLAN
SCALE: 1" = 20'

**SCHEDULE B
PARKING LOT INTERNAL
LANDSCAPING**

| | |
|--|------------------------|
| NUMBER OF PARKING SPACES | 21 PKG SF. |
| NUMBER OF TREES REQ'D. | 2 TREES REQ'D |
| NUMBER TREES PROV'D SHADE OTHER TREES (2:1 SUB.) | 6 SHADE TREES PROVIDED |

**SCHEDULE A
PERIMETER LANDSCAPE EDGE**

| Category | Adjacent to Roadways | Adjacent to Perimeter Properties |
|--|----------------------|----------------------------------|
| Landscape Type | | 1/A |
| Linear Feet of Roadway Frontage/Perimeter | | 394' |
| Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed) | | YES 394' |
| Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed) | | NO |
| Number of Plants Required | | 6.6 |
| Shade Trees | | |
| Evergreen Trees | | |
| Shrubs | | |
| Number of Plants Provided | | 10 EX. 9 EX. 3 PROP. |
| Shade Trees | | |
| Evergreen Trees | | |
| Other Trees (2:1 substitution) | | |
| Shrubs (10:1 substitution) | | |
| (Describe plant substitution credits below if needed) | | |

Comments:

LEGEND

- PROPERTY LINE
- EXISTING CONTOURS
- PROPOSED CONTOURS
- EXISTING WATER
- EXISTING STORM DRAIN
- EXISTING SANITARY
- PROPOSED STORM DRAIN
- PROPOSED SANITARY
- PROPOSED WATER
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- EX. DOUBLE PARKING LOT LIGHT
- EX. SINGLE PARKING LOT LIGHT
- B&E POLE
- EXISTING DECIDUOUS TREE TO REMAIN (SEE SDP 88-173)
- PROPOSED DECIDUOUS TREE
- PROPOSED ORNAMENTAL TREE
- PROPOSED EVERGREEN TREE
- PROPOSED SHRUBS

These plans for private well and private septic systems. Howard County Health Department.

APPROVED: HOWARD COUNTY HEALTH OFFICER *Josum Barnes* DATE 4-9-98

These plans for soil erosion and sediment control meet the requirements of Howard Soil Conservation District.

APPROVED: HOWARD SOIL CONSERVATION DISTRICT

PLAN NUMBER _____ DATE _____

Reviewed for the Howard Conservation District and meets technical requirements.

NATURAL RESOURCES CONSERVATION SERVICE DATE _____

APPROVED: Howard County Department of Planning and Zoning

CHIEF, DEVELOPMENT ENGINEERING DIVISION MK *Chris Dammann* DATE 5/16/98

DIVISION OF LAND DEVELOPMENT *Cathy Hamilton* DATE 4/16/98

DIRECTOR *James S. Ruth* DATE 4/16/98

ADDRESS CHART

| | |
|-----------------|--------------------------------------|
| PARCEL NO. | STREET ADDRESS |
| p/o Parcel 82-F | Building C - 708 Lisbon Center Drive |

| | | |
|--------------------------|----------------|-----------------|
| SUBDIVISION NAME | SECTION NAME | PARCEL # |
| Route 94 Business Center | N/A | p/o Parcel 82-F |
| PLAT # | BLOCK # | ZONE |
| 7170 | 24 | B-2 |
| TAX MAP | ELECT. DIST. | CENSUS TRACT |
| 2 | 4 | 6040 |
| WATER CODE N/A | SEWER CODE N/A | |

NOTE:
tenant or occupant of any building shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statement shall apply to all initial and future occupants or tenants.

FOR APPROVED OVERALL LANDSCAPE PLAN,
SEE SDP 88-173

**GEORGE WILLIAM STEPHENS, JR.
AND ASSOCIATES, INC.**
CIVIL ENGINEERS & LAND SURVEYORS
658 KENILWORTH DRIVE, SUITE 100
TOWSON, MARYLAND 21204
(410) 825-8120

DEVELOPER CERTIFICATION:
I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Developer Name: *Edward J. O'Neil* Date: 6/19/97

OWNER/DEVELOPER
Route 94 Limited Partnership
c/o MIE Properties, Inc.
5720 Executive Drive
Baltimore, Maryland 21228
(410) 788-0100

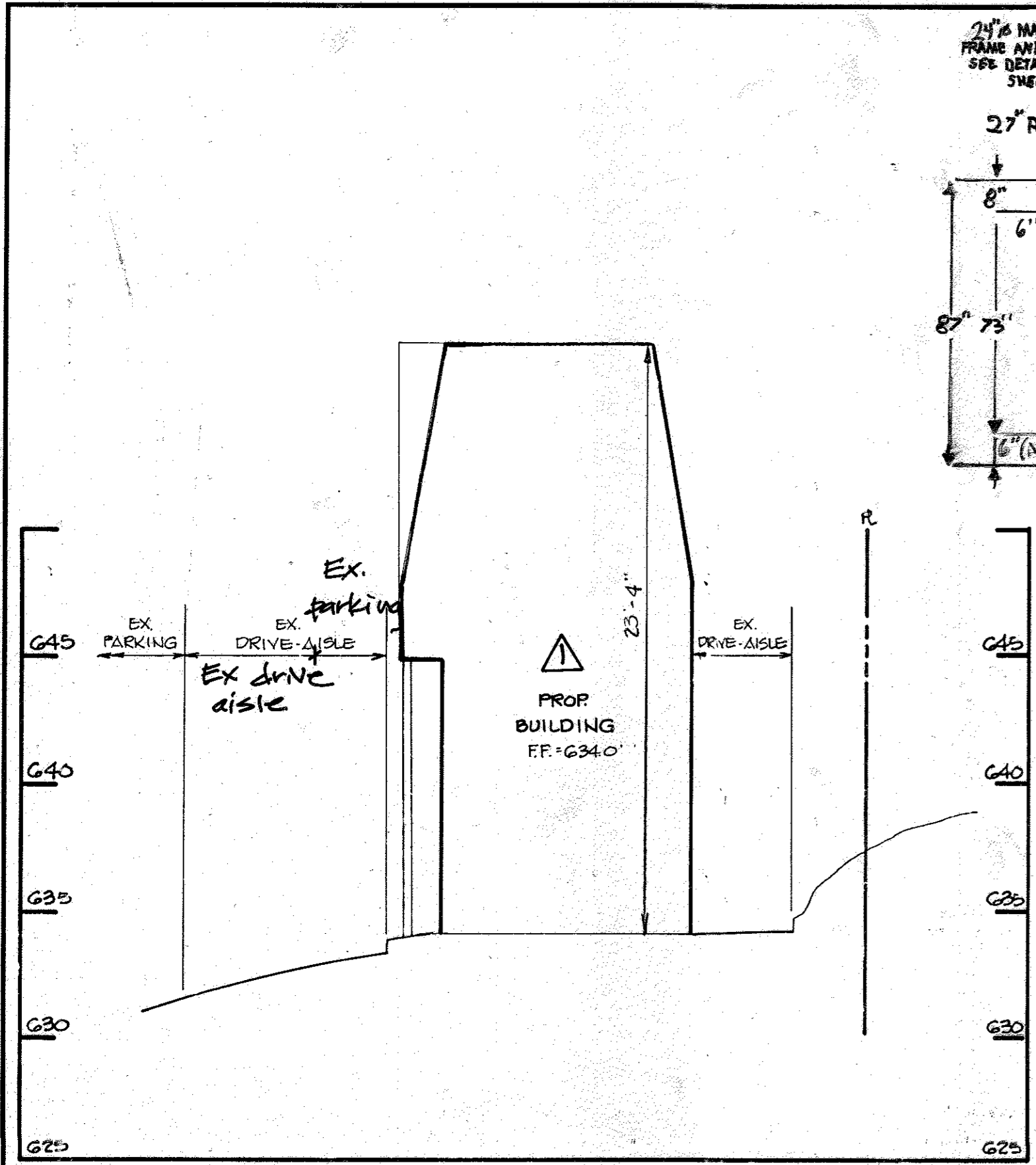
ENGINEER CERTIFICATION:
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Engineer: *John J. Barnes* Date: 6/10/97

**LANDSCAPE PLAN
ROUTE 94 BUSINESS CENTER
LISBON CENTER
BUILDING 'C'**

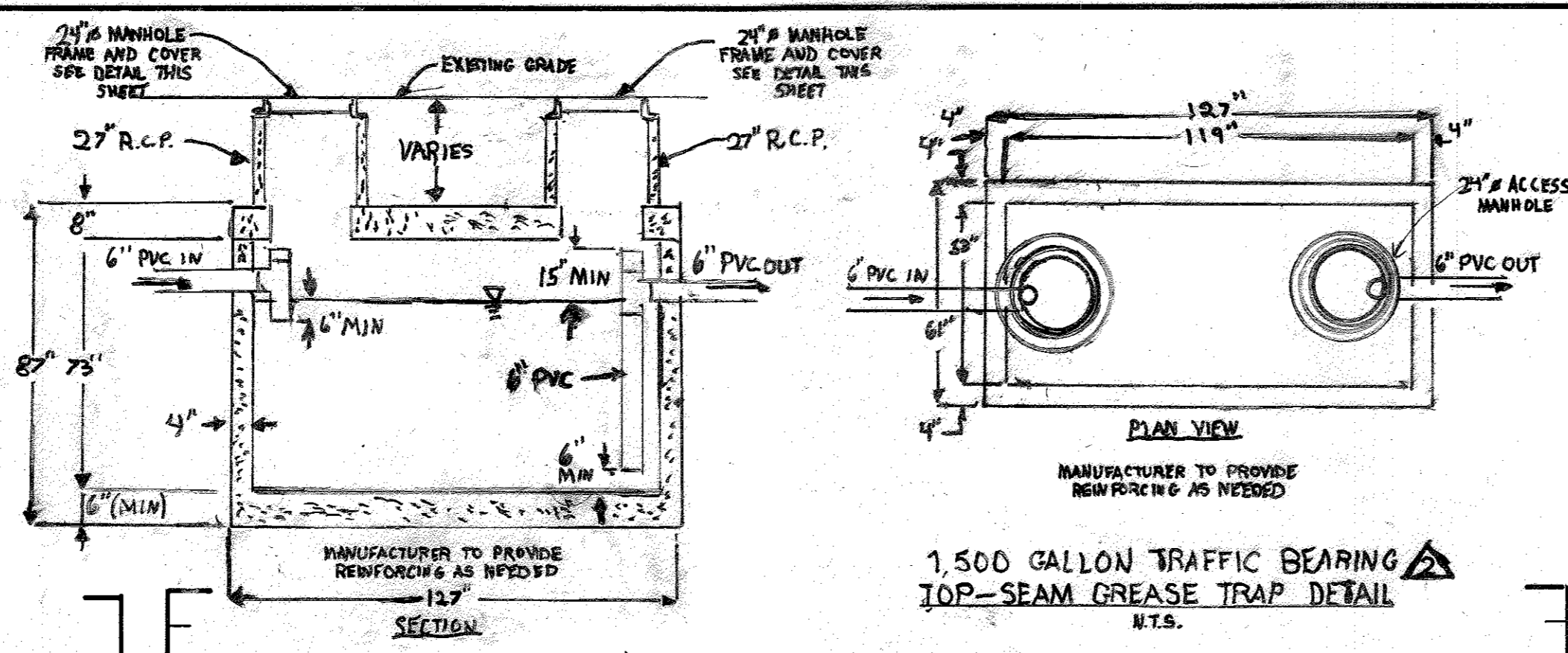
Election District #4
Parcel 82-F
Scale: 1"=20'

Howard County, Maryland
August 22, 1997
Sheet 5 of 7

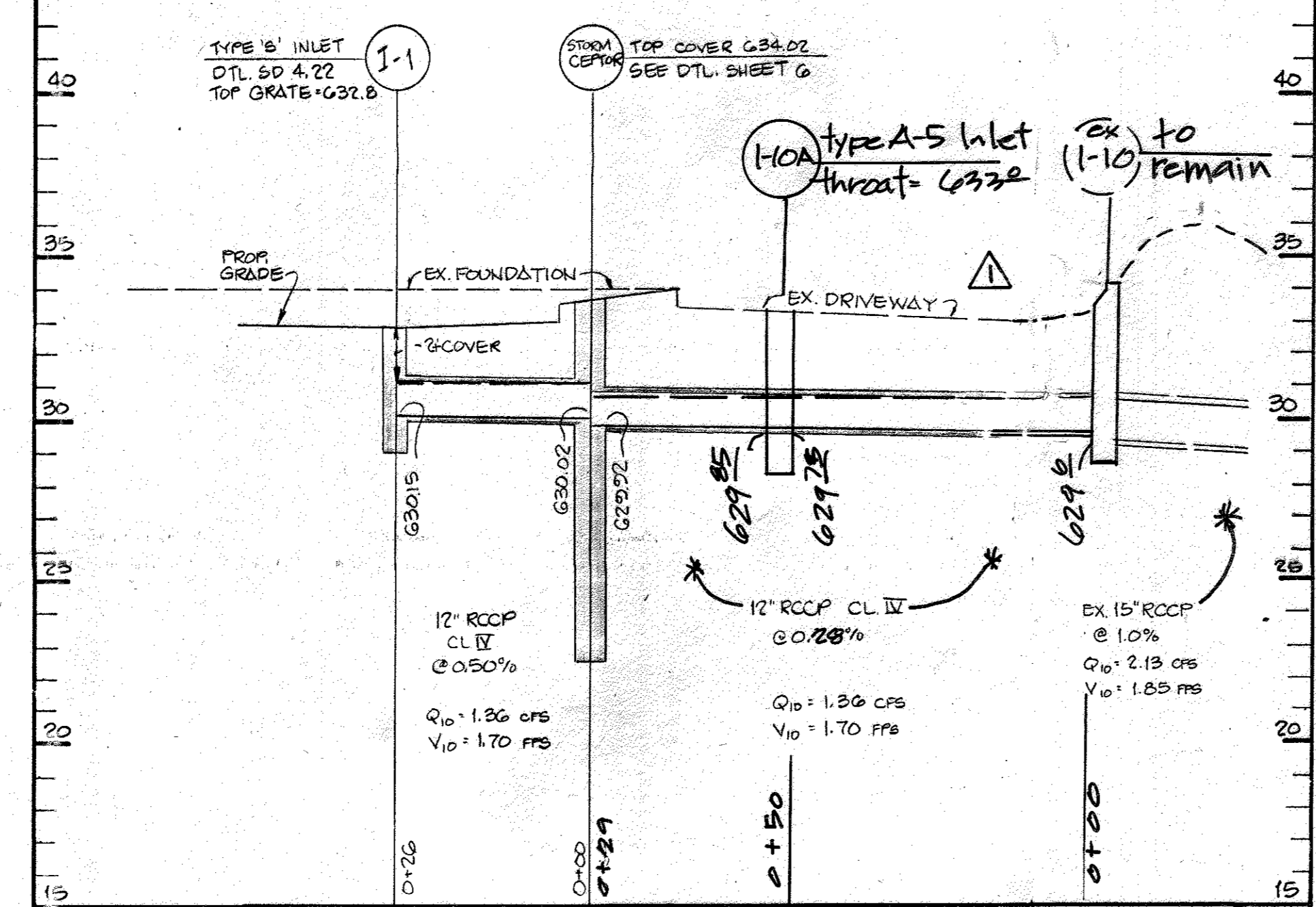


SECTION B-B
SCALE: HORIZ: 1"=30'
VERT: 1"=5'

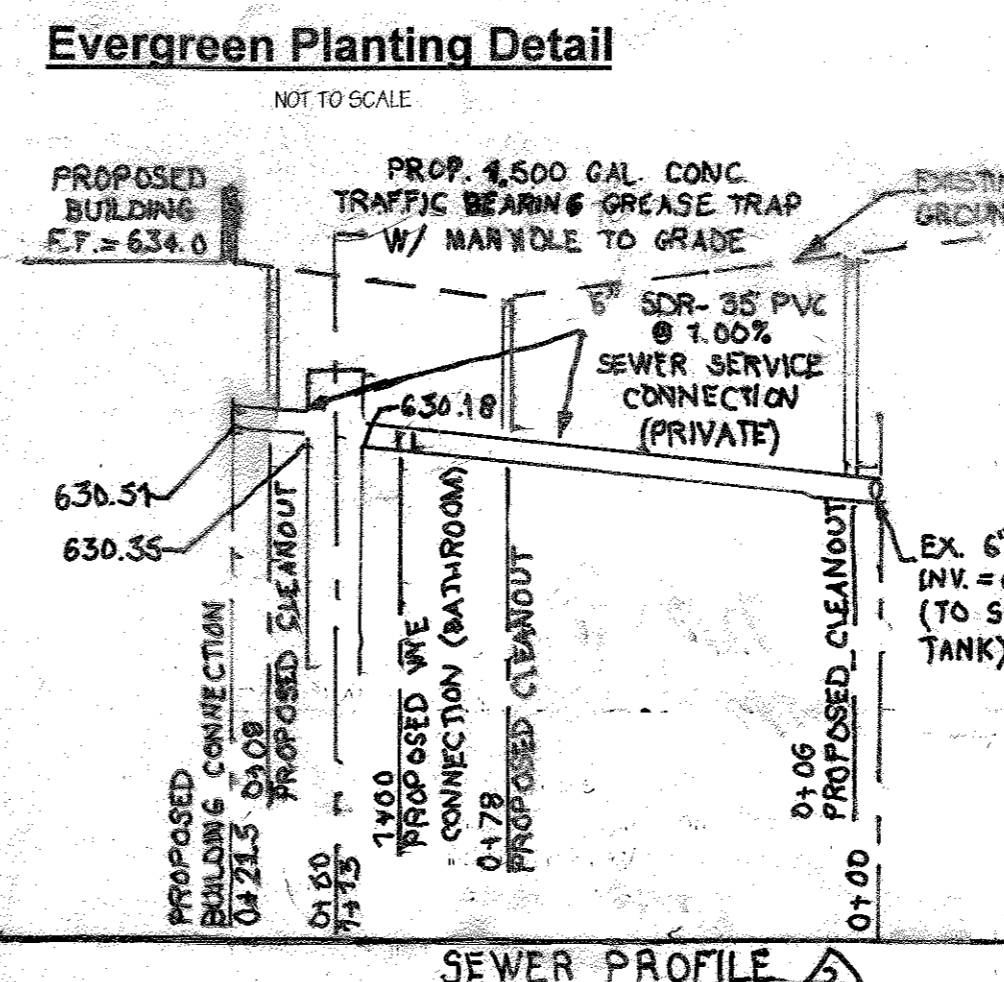
| STRUCTURE SCHEDULE | | | | |
|--------------------|------------------|------|--------|---------|
| NO | TYPE | SIZE | IN/OUT | TOP EL. |
| 1-1 | SD 4.22 8" INLET | 12" | G30.15 | G32.8 |



1,500 GALLON TRAFFIC BEARING TOP-SEAM GREASE TRAP DETAIL
M.T.S.



STORM DRAIN PROFILE
SCALE: HORIZ: 1"=20'
VERT: 1"=4'



SEWER PROFILE
SCALE: HORIZ: 1"=20'
VERT: 1"=4'

| ADDITIONAL PLANT SCHEDULE FOR REV #1, JUNE 2017 | | | | | | |
|---|-----|-------------|-----------------------------|-------------------------|----------|------|
| QTY | KEY | SIZE | BOTANICAL NAME | COMMON NAME | SPACING | ROOT |
| 6 | AR | 2 1/2" Cal. | Acer rubrum 'October Glory' | October Glory Red Maple | As shown | B&B |
| 3 | PS | 6" HT | Pinus strobus | Eastern White Pine | As shown | B&B |

PLANTING NOTES
PLANT LOCATIONS SHALL BE FIELD ADJUSTED TO AVOID UTILITIES. CONTRACTOR IS RESPONSIBLE FOR LOCATING UTILITIES PRIOR TO START OF WORK. ALL TREES AND SHRUBS SHALL BE MULCHED TO A MINIMUM OF 18" BEYOND THE EDGE OF THE ROOT BALL. SHRUBS MASSSES SHALL BE PLANTED IN CONTINUOUS MULCH BEDS. ALL WIRE, PLASTIC AND TWINE TIES SHALL BE REMOVED FROM TOP OF THE ROOT BALL.

PLANT STANDARDS
ALL NURSERY STOCK SHALL BE TOP QUALITY AND IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., "AMERICAN STANDARDS FOR NURSERY STOCK", LATEST EDITION. INFERIOR NURSERY STOCK WILL BE SUBJECT TO REJECTION BY THE LANDSCAPE ARCHITECT. BARE-ROOT SHALL NOT BE ALLOWED FOR ANY TREE DEFINED AS MAJOR DECIDUOUS, MINOR DECIDUOUS OR EVERGREEN.

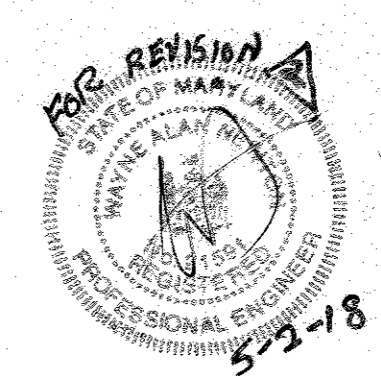
CHANGES MAY IMPACT REQUIRED CERTIFICATION
PLANT TYPES (DECIDUOUS TREES, EVERGREEN, ETC.), QUANTITIES, SPACING, LOCATION, AND SPECIES SHOWN ON THE APPROVED LANDSCAPE PLAN ARE BASED ON REQUIREMENTS STATED IN THE LATEST HOWARD COUNTY LANDSCAPE MANUAL. ANY CHANGE IN THESE ITEMS MAY AFFECT THE REQUIRED APPROVAL AND CERTIFICATION OF THE INSTALLED PLANTING. OWNER IS REQUIRED TO ARRANGE AND PAY FOR CERTIFICATION BY LANDSCAPE ARCHITECT.

LANDSCAPE SPECIFICATIONS
LANDSCAPE SPECIFICATION SHALL CONFORM TO LCA LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREA, INCLUDING PLANTING PROCEDURES AND SOIL PREPARATION FOR SHRUBS AND PERENNIAL BEDS. A ONE-YEAR WARRANTY PERIOD SHALL BE REQUIRED. MAINTENANCE REQUIRED TO HONOR THE ONE-YEAR WARRANTY SHALL BE PERFORMED AS PART OF THIS CONTRACT.

SPECIAL PROVISIONS TO LCA STANDARD SPECIFICATIONS
CONTRACTOR IS ENCOURAGED TO PERFORM SOIL TESTING. TEST RESULTS SHALL BE SUBMITTED 30 DAYS BEFORE PLANTING. FAILURE TO PERFORM TESTING WILL NOT VOID GUARANTEE PROVISIONS.

CONTRACTOR SHALL REVIEW AND TEST SUBSOIL DRAINAGE CHARACTERISTICS 30 DAYS PRIOR TO PLANTING AND NOTIFY THE OWNER OF UNACCEPTABLE CONDITIONS.

NO EXCEPTIONS TO THE GUARANTEE PROVISIONS ARE ALLOWED UNLESS AGREED TO IN WRITING PRIOR TO PLANTING.

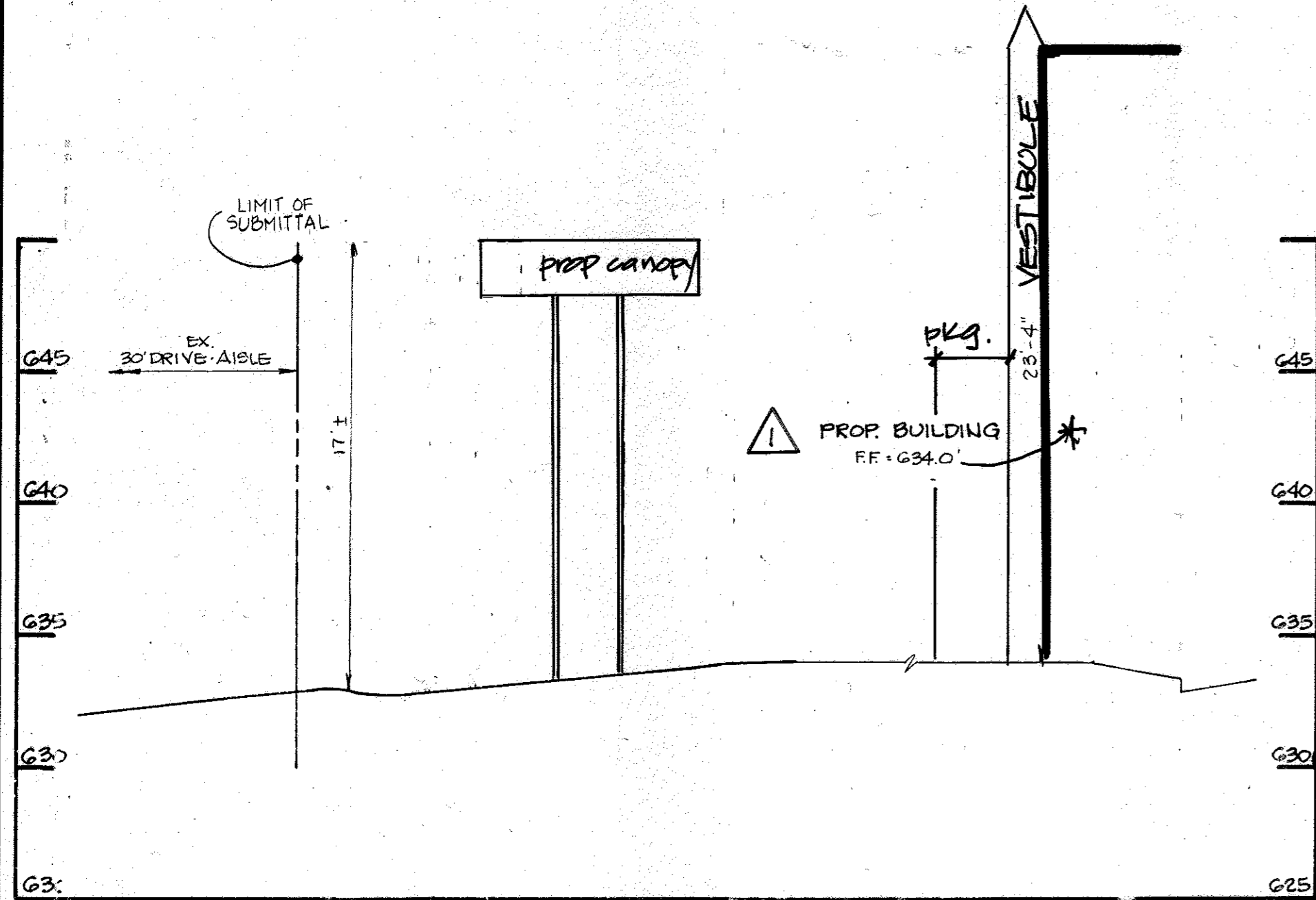


Professional Certification: I hereby certify that this document was prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 21591 Exp. Date: 5/14/2019

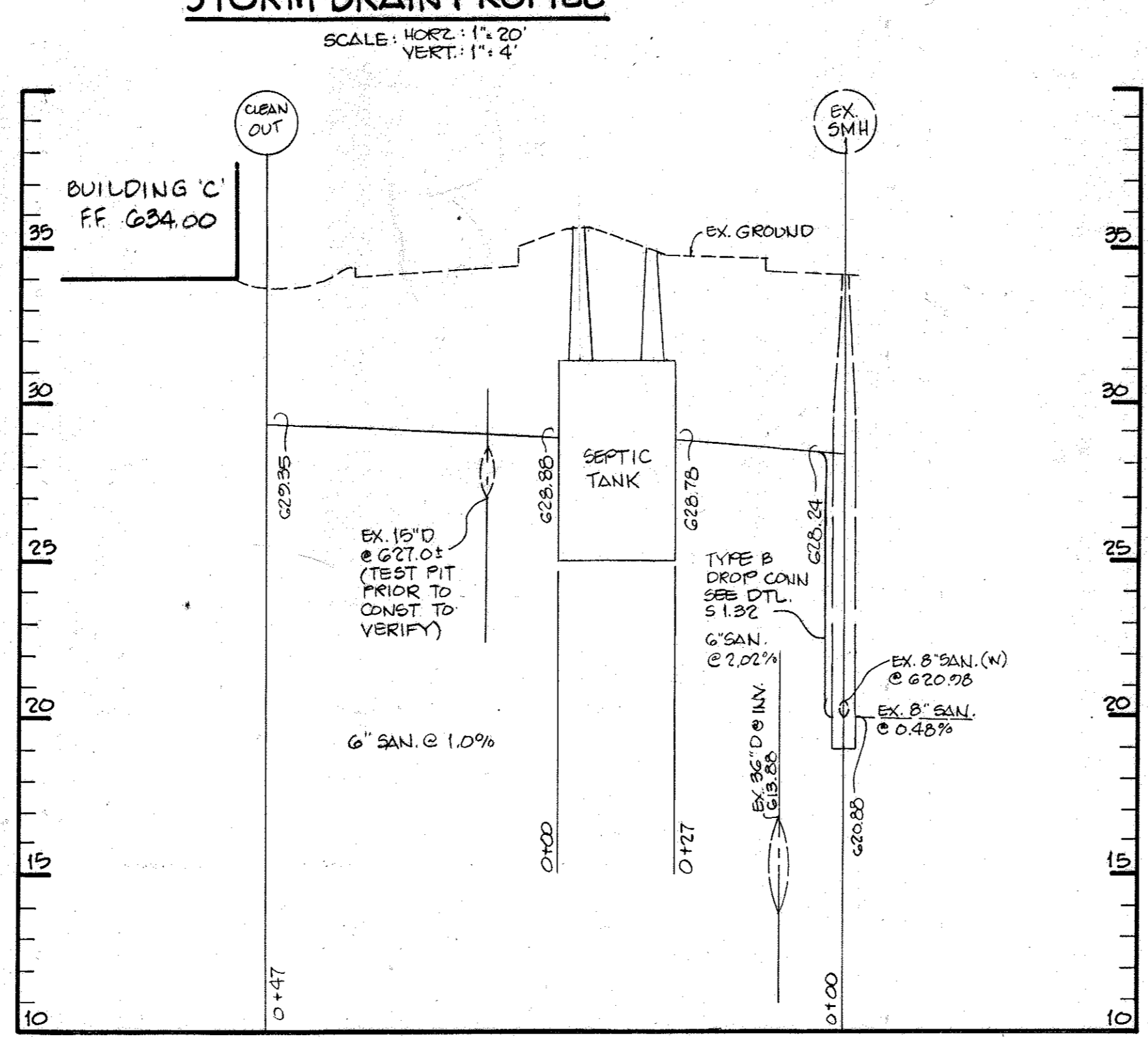
Professional Certification: I hereby certify that this document was prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 21591 Exp. Date: 5/14/2019

Professional Certification: I hereby certify that this document was prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 21591 Exp. Date: 5/14/2019

Professional Certification: I hereby certify that this document was prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 21591 Exp. Date: 5/14/2019



SECTION A-A
SCALE: HORIZ: 1"=30'
VERT: 1"=5'



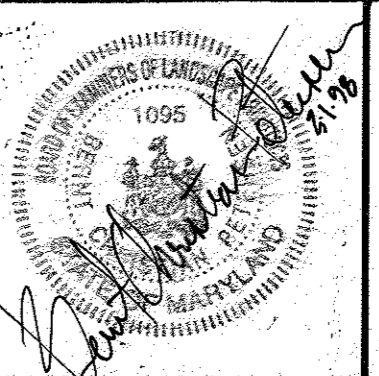
PRIVATE SANITARY SEWER PROFILE
SCALE: HORIZ: 1"=20'
VERT: 1"=4'

NOTE:
tenants or occupant of any building shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statement shall apply to all initial and future occupants or tenants.

DEVELOPER CERTIFICATION:
I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction of the project have been trained in accordance with the requirements of the Environmental Protection Agency for the Control of Sediment and Erosion before beginning the project. I/We authorize periodic on-site inspection by the Howard County Department of Planning and Zoning.
Developer Name: *Edward St. John* Date: 6/19/97

OWNER/DEVELOPER
Route 94 Limited Partnership
c/o MIE Properties, Inc.
5720 Executive Drive
Baltimore, Maryland 21228
(410) 788-0100

ENGINEER CERTIFICATION:
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard County Department of Planning and Zoning.
Engineer: *Nicholas J. Brumby* Date: 6/19/97
Name: *Nicholas J. Brumby* PE: 18538



These plans for private well and private septic systems. Howard County Health Department.
James B. Smith 4-9-98
APPROVED: HOWARD COUNTY HEALTH OFFICER DATE

These plans for S.W.M. construction, soil erosion and sediment control meet the requirements of Howard Soil Conservation District.
APPROVED: HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Reviewed for the Howard Conservation District and meets technical requirements.
NATURAL RESOURCES CONSERVATION SERVICE DATE

APPROVED: Howard County Department of Planning and Zoning
John Dammann 3/16/98
CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE
Cindy Hamilton 4/16/98
DIVISION OF LAND DEVELOPMENT DATE
James B. Smith 4/16/98
DIRECTOR DATE

ADDRESS CHART
PARCEL NO. STREET ADDRESS
p/o Parcel 82-F

SUBDIVISION NAME SECTION NAME PARCEL #
N/A N/A p/o Parcel 82-F

PLAT # N/A BLOCK # ZONE B-2 / ZONE MAP TAX MAP ELECT. DIST. 4 CENSUS TRACT 6040
WATER CODE N/A SEWER CODE N/A

Profiles & Details
ROUTE 94 BUSINESS CENTER LISBON CENTER
BUILDING 'C'
Election District #4 Parcel 82-F Scale: 1"=20'
Howard County, Maryland August 22, 1997 Sheet 6 of 7

