

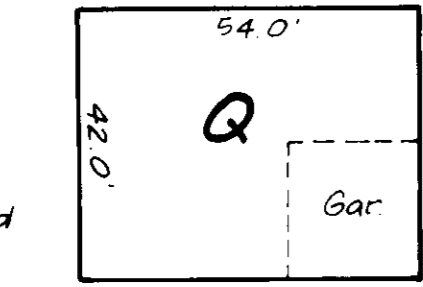
INDEX OF SHEETS	
SHEET NO.	TITLE
1	COVER SHEET
2	SITE DEVELOPMENT PLAN
3	SITE DEVELOPMENT PLAN
4	GRADING AND SEDIMENT AND EROSION CONTROL PLAN
5	GRADING AND SEDIMENT AND EROSION CONTROL PLAN
6	SITE DEVELOPMENT PLAN & SEDIMENT CONTROL NOTES AND DETAILS

**MODEL MATRIX**

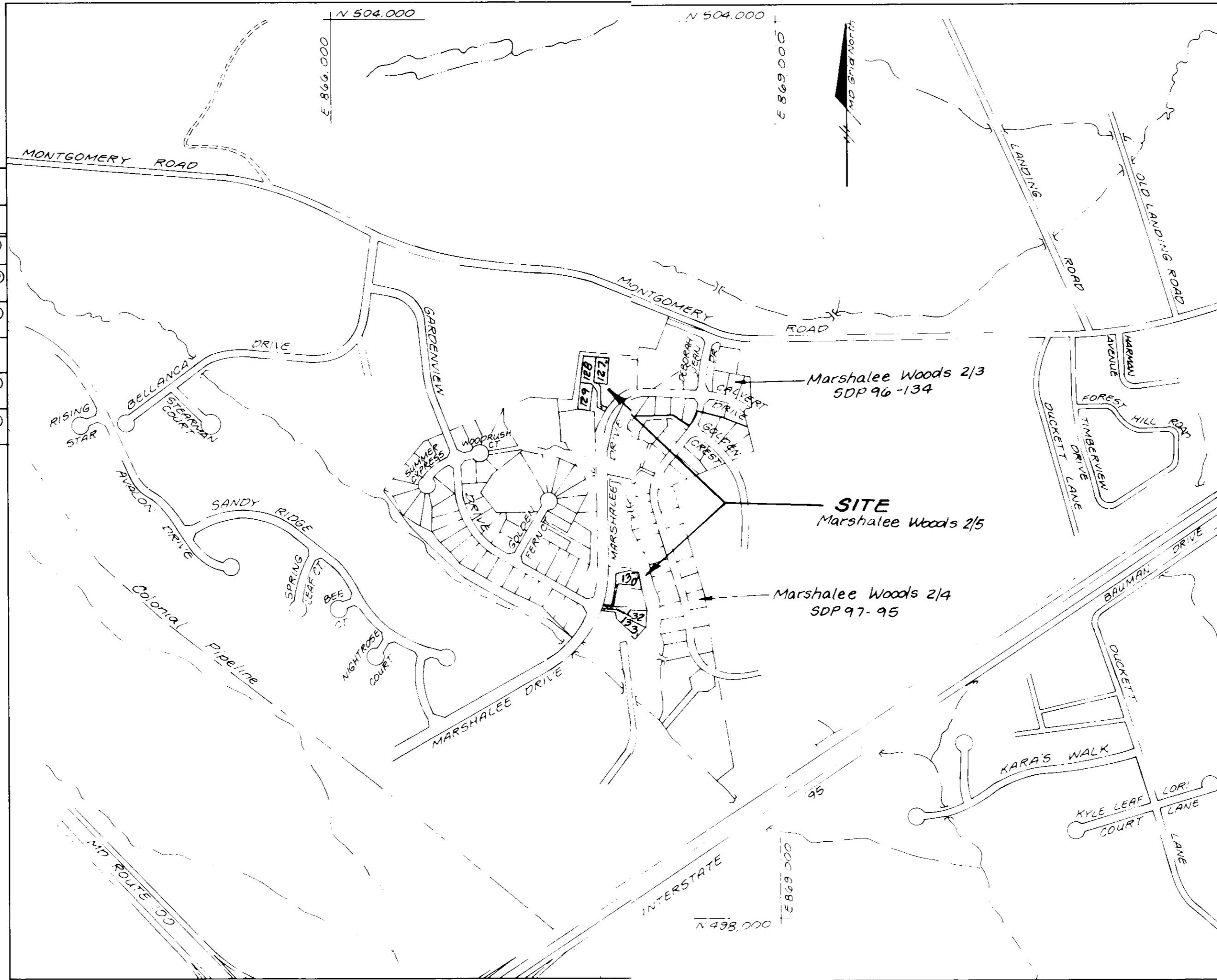
LOT NO.	AVALON	BIRCH WOOD	CHANDLER	DEVON-SHIRE	DEVON-SHIRE EXT	MARQUETTE	ODERLIN	ROSE-MONT	VANDENBERG	VANDENBERG EXT	ZACHARY	ZACHARY EXT
127	Q Rev	Q Rev	Q Rev	*	*	*	Q Rev	Q Rev	Q Rev	Q Rev	Q Rev	Q Rev
128	Q	Q	Q	*	*	*	Q	Q	Q	Q	Q	Q
129	Q Rev	Q Rev	Q Rev	*	*	*	Q Rev	Q Rev	Q Rev	Q Rev	Q Rev	Q Rev
130	Q	Q	Q	*	*	*	Q	Q	Q	Q	Q	Q
132	Q Rev	Q Rev	Q Rev	*	*	*	Q Rev	Q Rev	Q Rev	Q Rev	Q Rev	Q Rev
133	Q	Q	Q	*	*	*	Q	Q	Q	Q	Q	Q

- Q No Sunroom/No AM Room/No 3rd Gar
- Q No Sunroom
- Q No 2ft Garage Extension
- Q No AM Room
- Q See sht. 3 of 6 and 6 of 6 for house type
- \* Model does not fit within Generic Box

- NOTES:**
- 1 Sunroom, Morning Room, and Bumpout options may be sited with Avalon, Chandler, Oberlin, Rosemont, Vandenberg (Standard and Extended) and Zachary (Standard and Extended) on all lots. If red-line revision is submitted and approved.
  - 2 Marquette model may be sited on all lots if red-line revision is submitted and approved.
  - 3 The generic boxes are designed for the basic house footprint. For all of the lots within this subdivision, it may be necessary to submit a red-lined revision for review and approval by Howard County to accommodate model options with selected model type.



All Models fit except the Marquette, the Devonshire and the Devonshire Ext. See Model Matrix for options.

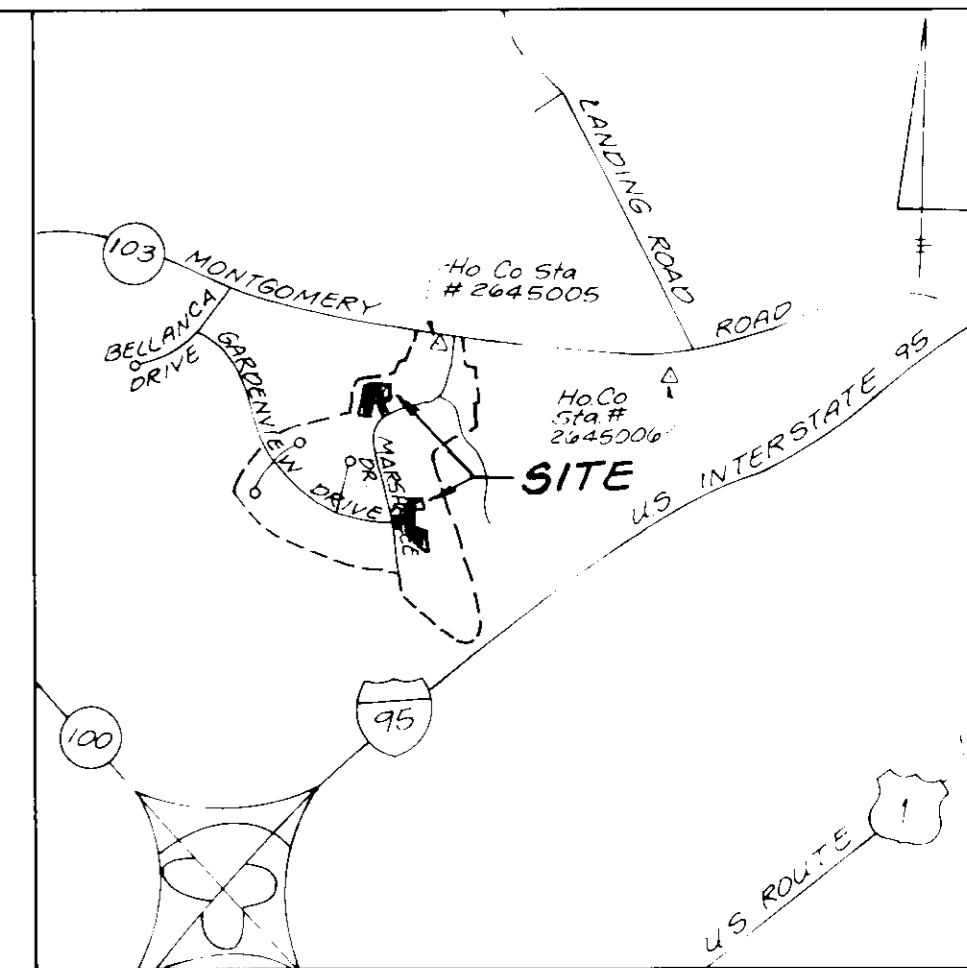


**LOCATION MAP**  
Scale 1" = 600'

**BENCHMARKS**

HO. CO. STATION #2645005  
ELEV 291.929  
Concrete Monument 0.3' Below Surface  
At Top of Bank

HO. CO. STATION #2645006  
ELEV N/A  
Concrete Monument 0.2' Below Surface  
At Top of Bank



**VICINITY MAP**  
Scale: 1" = 2000'

**GENERAL NOTES**

- 1 Site Analysis
  - a. Total area of lots 23250 Ac. plus/minus
  - b. Zoning R-20
  - c. Proposed use of structures: Residential Single Family Detached Dwellings
  - d. Total number of units allowed: 6
  - e. Total number of units provided: 6
- 2 All construction shall be in accordance with Howard County Standards, Specifications and Details, Volume IV.
- 3 The contractor shall notify the Department of Public Works Bureau of Engineering Construction Inspection at (410) 313-1880 at least five (5) working days prior to the start of work.
- 4 The contractor shall notify "Miss Utility" at 1-800-257-7777 at least forty eight (48) hours prior to any excavation work.
- 5 Previous Submittals: 589, 80, 589, 19, 190, 28, 192, 17, 588, 86, 193, 36, WP91, 190, WP94, 89, 195, 191, 95, 191, 94, 07, 196, 30, F96-02, F96-06, SDP96-134, SDP97-95, SDP97-95, WP94-40.
- 6 Any damage caused by the contractor to existing public right of way, existing paving, existing curb and gutter, existing utilities, etc. shall be corrected at the contractor's expense.
- 7 The existing utilities shown herein are located from field surveys and construction drawings of record and Water and Sewer Contract #14-3518 D. The approximate location of existing utilities are shown for the contractor's information and convenience. The contractor shall locate existing utilities to his own satisfaction and well in advance of any construction activities. Additionally, the contractor shall take all necessary precautions to protect all existing utilities and maintain uninterrupted service.
- 8 The existing topography shown reflect the post graded condition shown on Final Construction Plans F-96-66.
- 9 Horizontal and vertical datums are related to the Maryland State Plane Coordinate System as projected from Howard County control stations Ho-2644005 and Ho-2644006.
- 10 Stormwater management is provided by 1-93-36 and F96-30 (Extended Detention).
- 11 The 65 dBA threshold was established by Howard County to alert developers, builders and future residents that areas beyond this threshold may exceed generally accepted noise levels established by the U.S. Department of Housing and Urban Development.
- 12 The existing private sewer system on lot 131 shall be abandoned in accordance with approved procedures of the Howard County Health Department. Public water and public sewer house connections have been provided for the existing dwelling under Contract #14-3518 D. Payment of abandonment and hook-up charges (sewer only) will be in accordance with the agreement between the owners of lot 131 and Marshalee Woods Ltd. Partnership. The private water system (well) will be retained. The public sewer hook-up and private septic system abandonment for this lot shall be completed within (60) days of signature approval of this site development plan.

**SITE DEVELOPMENT PLAN**  
**MARSHALEE WOODS**  
Section Two - Area Five  
Lots 127 -- 129, 130, 132, & 133  
1st Election District Howard County, Maryland

**LOT 130 - DEVELOPER**  
**Marshalee Woods L.P.**  
8835 Columbia 100 Parkway  
Columbia, MD 21045  
(410) 730-0810

SUBDIVISION NAME MARSHALEE WOODS		SECTION/AREA 2/5	LOT Nos. 127-129, 130, 132, 133
PLAT NO. 12461-12463	BLOCK NO. 5	ZONE R-20	TAX MAP NO. 37
ELECTION DISTRICT 1st		SEWIS TRACT G011.02	
WATER CODE D04		SEWER CODE 2152700	

**LDE, INC.**  
9250 Rumsey Road, Suite 106, Columbia, MD 21045  
(410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

ADDRESS CHART	
Lot No.	STREET ADDRESS
127	6489 Marshalee Drive
128	6485 Marshalee Drive
129	6481 Marshalee Drive
130	6308 Marshalee Drive
131	Marshalee Drive
132	6300 Marshalee Drive
133	6296 Marshalee Drive

DESIGNED: KBW  
DRAWN: KBW  
CHECKED: B.D.B.  
DATE: Feb. 1997

**SITE DEVELOPMENT PLAN**  
**MARSHALEE WOODS**  
SECTION TWO - AREA FIVE  
Lots 127 - 129, 130, 132, & 133

Tax Map No. 37 - P/O Parcel 92  
1st Election District Howard County, Maryland  
Previous Submittals: 589-80, 589-19, P90-28, P92-17, 588-86, F93-36, WP91-190, WP94-89, F95-18, P94-07, F94-101, WP94-90, F95-182, F96-30, F96-62, F96-66.

DEVELOPER:  
MARSHALEE WOODS L.P.  
8835 Columbia 100 Parkway  
Columbia, MD 21045  
(410) 730-0810

SCALE: 1" = 30'  
DRAWING: 1 OF 6  
JOB NO.: 96-019.2  
FILE NO.: SDP97-103

**Ryan Homes**  
11800 Knowledge Drive, Suite 128  
Columbia, MD 21115  
(410) 651-0501 FAX 210-531-0000

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 8/3/97 DATE  
DIRECTOR

*[Signature]* 8/1/97 DATE  
DIVISION OF LAND DEVELOPMENT

*[Signature]* 7/1/97 DATE  
CHIEF, DEVELOPMENT ENGINEERING DIVISION





P.G. JAMES  
414 / 712  
ZONED R-20

Howard County  
Open Space Lot 134  
Plat # 12402

Marshalee Woods  
Section 2 Area 3  
Lots 74-88  
Plat # 12327

**SPECIAL NOTE:**  
This plan is for house siting and lot grading only. Improvements shown within the rights-of-way of this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F 96-66 and/or approved Water and Sewer Plans Contract No. 14-3518-C and No. 14-3517-D.

**LEGEND**

- Contour Interval 2'
- Existing Contour 30'
- Proposed Contour 30'
- 300' Elevator 02'-5"
- Direction of Drainage WDS
- Walkout Basement
- Trees to be saved
- Min. C.E. Minimum Cellar Elevation
- 65 dBA Line (Unmitigated)

SUBDIVISION NAME MARSHALEE WOODS		SECTION/AREA 2/5	Lot No. 127, 129, 130, 132
PLAT NO. 12461-12463	BLOCK NO. 5	ZONE R-20	TAX MAP NO. 37
ELECTION DISTRICT 1st		CENSUS TRACT 60102	
WATER CODE 1704		SEWER CODE 152700	

**BRUCE D. BURTON**  
7/1/97

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
*Lee S. Nestle*  
DATE: 8/6/97

*Richard Blood*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 7/1/97

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS

NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT DATE

**ENGINEER'S CERTIFICATE**  
"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

SIGNATURE OF ENGINEER DATE

**DEVELOPER'S CERTIFICATE**  
"I WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONS INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS DEEMED NECESSARY."

SIGNATURE OF DEVELOPER DATE

NO.	DATE	REVISIONS

**LDE, INC.**  
9250 Rumsey Road, Suite 106, Columbia, MD 21045  
(410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

**SITE DEVELOPMENT PLAN**

**MARSHALEE WOODS**  
SECTION TWO - AREA FIVE  
Lots 127 - 129, 130, 132, & 133  
Tax Map No. 37 - P/O Parcel 92

DESIGNED: KBW  
DRAWN: KBW  
CHECKED: B.C.B.  
DATE: Feb. 1997

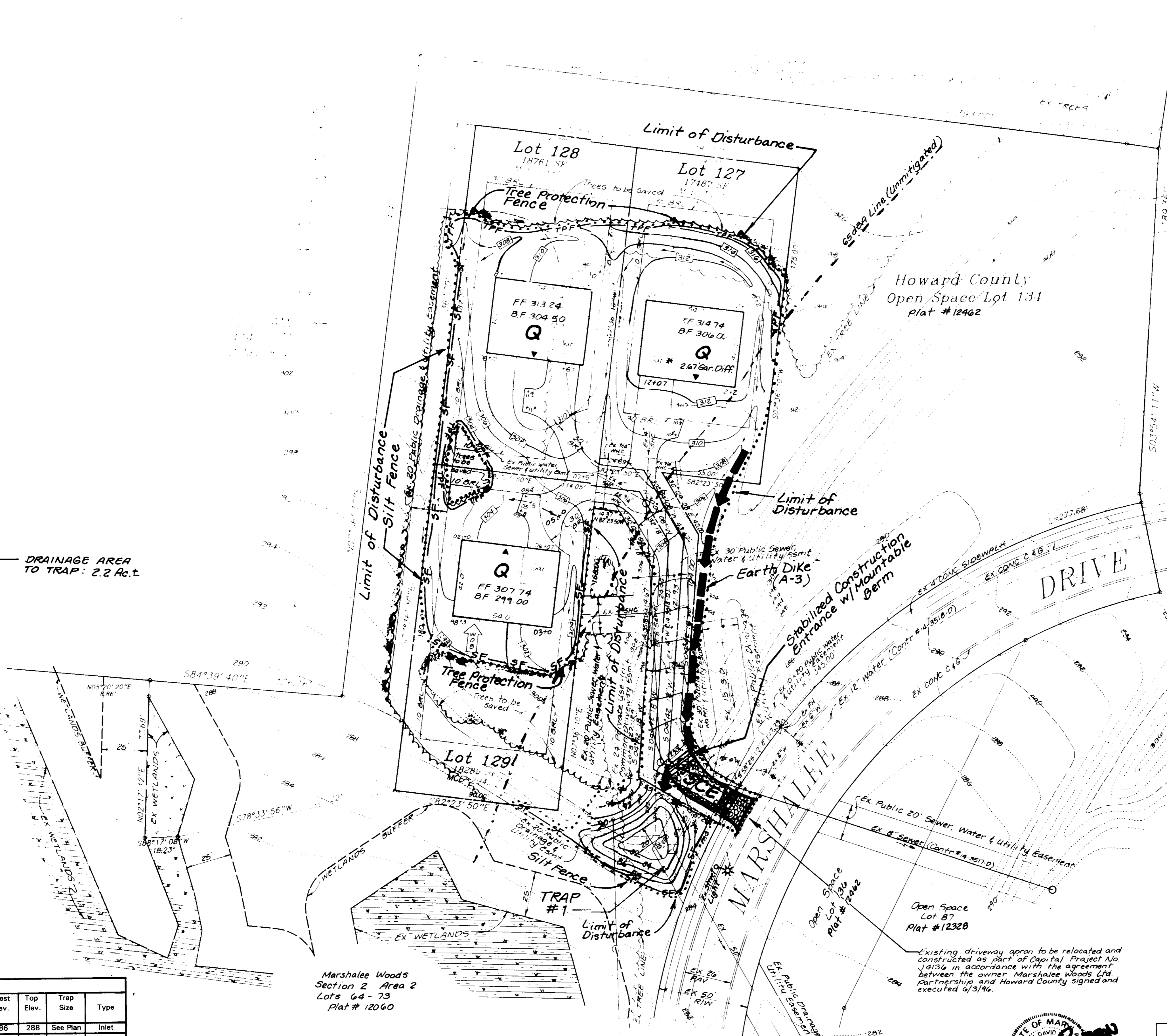
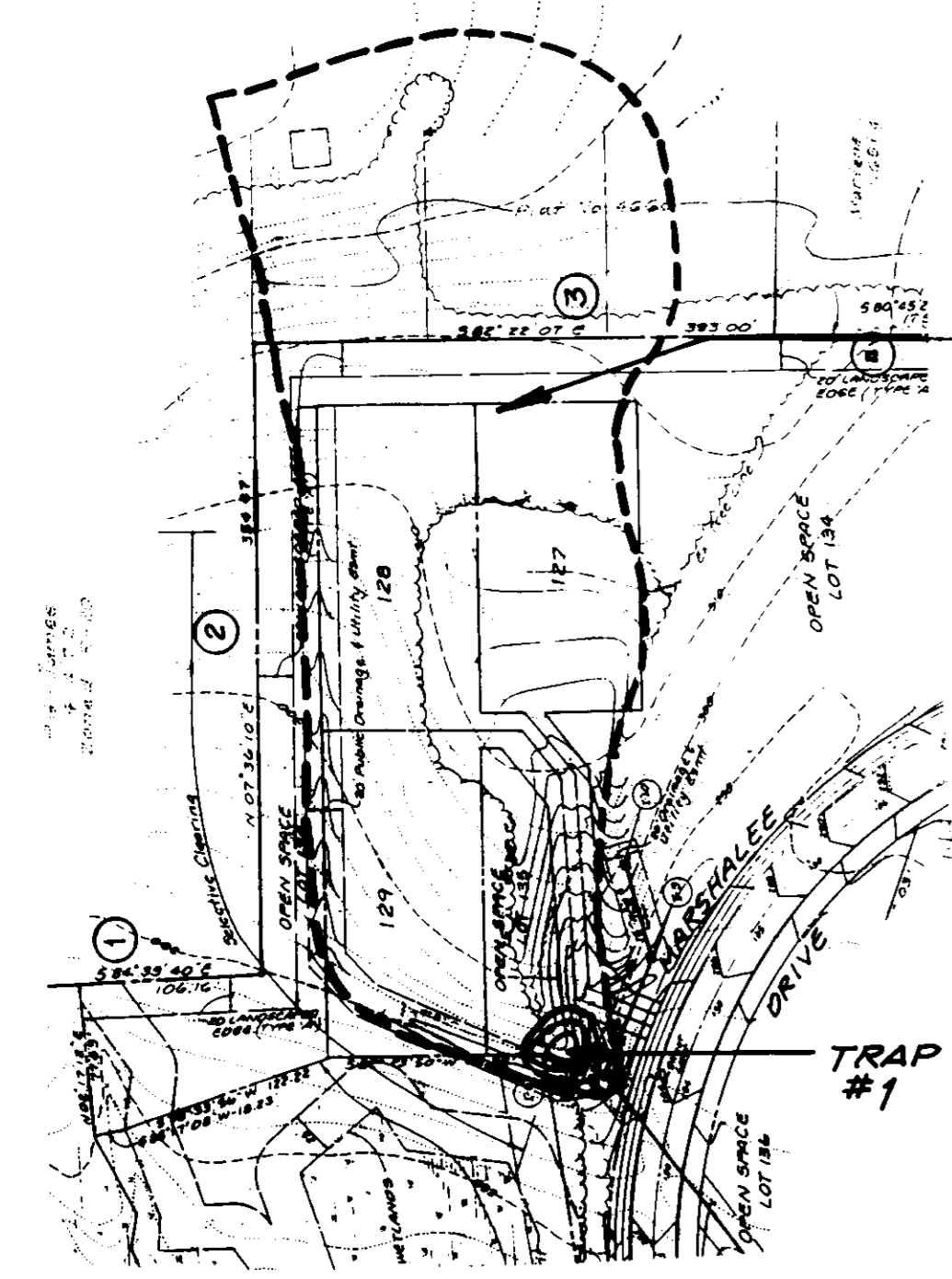
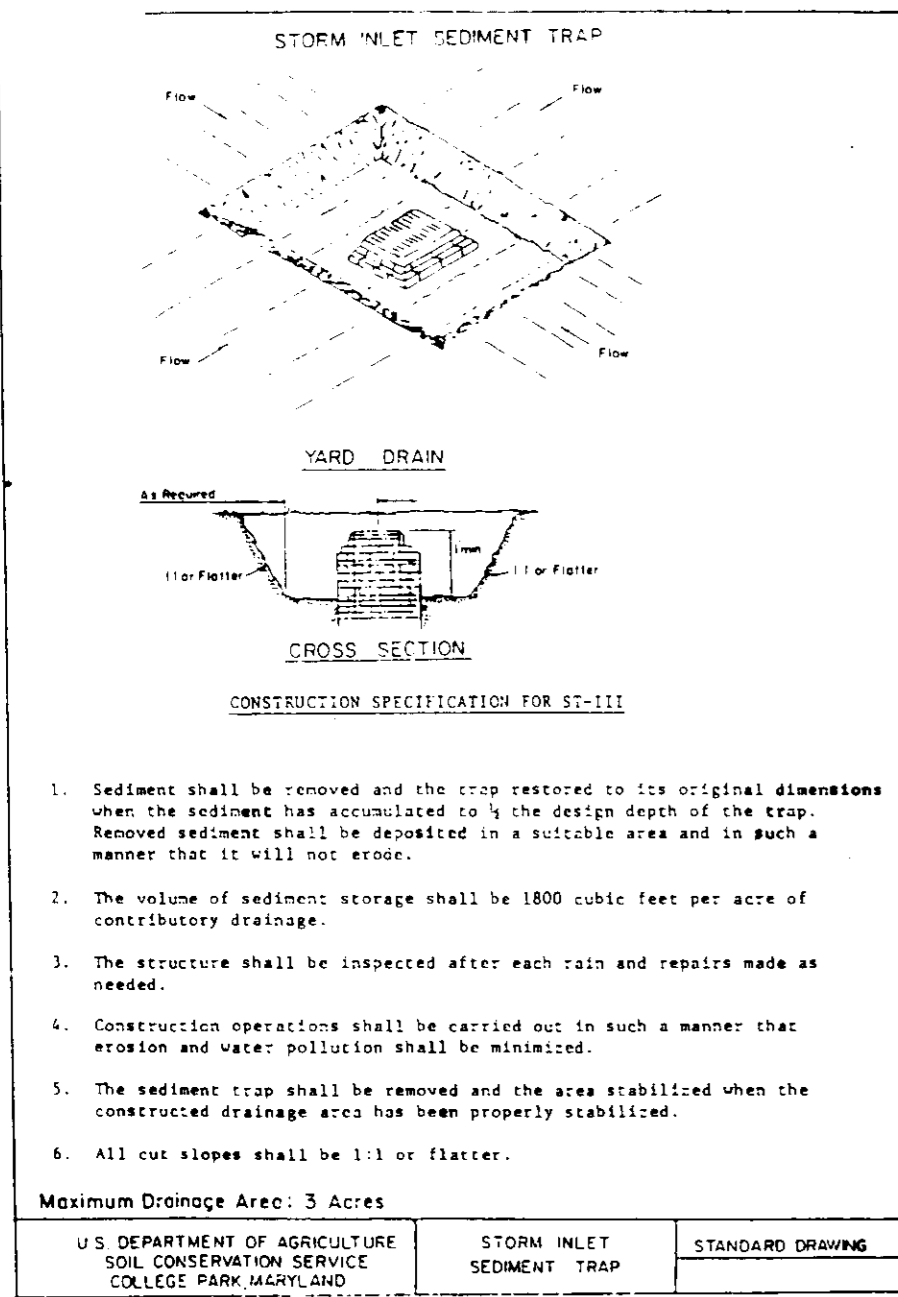
SCALE: 1"=30'  
DRAWING: 2 OF 6  
JOB NO.: 96-C19.2  
FILE NO.: SDP97-103

1st Election District Howard County, Maryland  
Previous Submittals: S89-80, S89-19, P90-28, P92-17, S88-86, F93-36, WP91-190, WP94-89, F95-19, P94-07, F94-101, WP94-90, F95-182, F96-30, F96-62, F96-66, S0P96-134, S0P97-95

Owner: MARSHALEE WOODS, L.P.  
8835 Columbia 100 Parkway  
Columbia, MD 21045  
(410) 730-0810

Engineer: RYAN HOMES  
11490 Cottage Drive, Suite 128  
Chesapeake, MD 21517  
(410) 454-0101 FAX 410-454-0199





**Marshalee Woods**  
Section 2 Area 3  
Lots 74-88  
Plat # 12327

**SPECIAL NOTE:**  
This plan is for house siting and lot grading only. Improvements shown within the rights-of-way of this SDP are not to be used for construction. For construction, see approved Road Construction Plans F 96-66 and/or approved Water and Sewer Plans Contract No. 14-3518-D and No. 14-3517-D.

**LEGEND**

Contour Interval	2'±
Existing Contour	30'
Proposed Contour	30'
Spot Elevation	02+5
Direction of Drainage	→
Walkout Basement	WOB
Trees to be saved	(Symbol)
Min. C.E.	Minimum Ceiling Elevation
SF — SF — SF	SILT FENCE
.....	LIMIT OF DISTURBANCE
TPF — TPF — TPF	TREE PROTECTION FENCE
(Symbol)	STABILIZED CONSTRUCTION ENTRANCE
---	65dBA Line (Unmitigated)
→	EARTH DIKE

**Sediment Trap Schedule**

Trap No.	Max. D.A. Acres	Stor. Reqd. ft³	Stor. Prov. ft³	Stor. Elev.	Weir Length ft.	Bottom Elev.	Crest Elev.	Top Elev.	Trap Size	Type		
1	2.2	7920	8725	286	4	N/A	282	284	286	288	See Plan	Inlet

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 5/6/97 DATE

*[Signature]* 5/6/97 DATE

CHIEF DEVELOPMENT ENGINEERING DIVISION

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS

NATURAL RESOURCES CONSERVATION SERVICE

DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT

DATE

**ENGINEER'S CERTIFICATE**

"I HEREBY CERTIFY THAT THESE GRADING AND SEDIMENT CONTROL PLANS REPRESENT A PRACTICAL AND FEASIBLE DESIGN ON MY PERSONAL KNOWLEDGE OF THE SITE AND THAT IT WAS PREPARED IN ACCORDANCE WITH REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*[Signature]* 7/14/97 DATE

**DEVELOPER'S CERTIFICATE**

"I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS AND WHEN NECESSARY."

*[Signature]* 4/14/97 DATE

**ENGINEER'S CERTIFICATE**

"I HEREBY CERTIFY THAT THESE GRADING AND SEDIMENT CONTROL PLANS REPRESENT A PRACTICAL AND FEASIBLE DESIGN ON MY PERSONAL KNOWLEDGE OF THE SITE AND THAT IT WAS PREPARED IN ACCORDANCE WITH REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*[Signature]* 7/14/97 DATE

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*[Signature]* 4/14/97 DATE

**BRUCE D. BROWN** 7/14/97

**Michael H. Brown** 4/14/97

NO. DATE REVISIONS

**LDE, INC.**  
9250 Rumsey Road, Suite 106, Columbia, MD. 21045  
(410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

DESIGNED: KBW  
DRAWN: KBW  
CHECKED: B.D.B.  
DATE: Feb. 1997

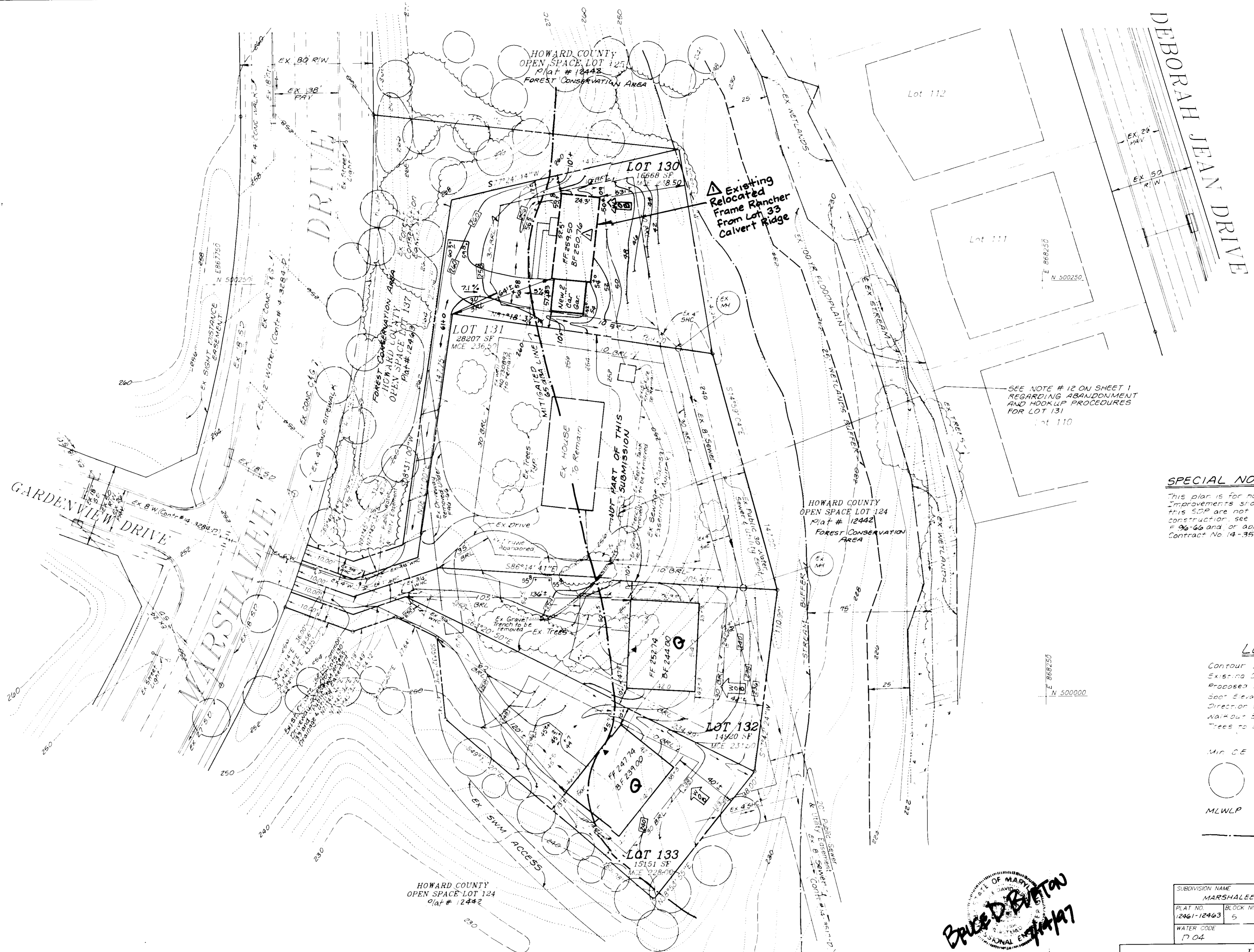
SCALE: 1"=30'  
DRAWING: 4 OF 6  
JOB NO.: 96-019.2  
FILE NO.: SDP97-103

**MARSHALEE WOODS**  
SECTION TWO - AREA FIVE  
Lots 127 - 129, 130, 132, & 133  
Tax Map No. 37 - P/O Parcel 92  
1st Election District - Howard County, Maryland  
Previous Submittals: S89-80, S89-19, P90-28, P92-17, S88-86, P93-36, WPP1-190, WPP4-89, P95-19, P94-07, P94-101, WPP4-90, P95-182, P96-30, P96-62, P96-66, SDP96-134, SDP97-96

Owner: MARSHALEE WOODS L.P.  
11400 Crowdfly Drive, Suite 128  
Columbia, MD. 21045  
(410) 730-2810

**Ryan** 2381586  
Changes Made: Changes Made  
11400 Crowdfly Drive, Suite 128  
Columbia, MD. 21045  
410-634-0301 FAX 410-634-0200

SDP 97-103



**SPECIAL NOTE:**  
 This plan is for house siting and lot grading only. Improvements shown within the parts-of-way on this SDP are not to be used for construction. For construction, see approved Road Construction Plans F-96-66 and approved Water and Sewer Plans Contract No. 14-3518-P and No. 14-3517-P.

**LEGEND**

Contour Interval	2'-0"
Existing Contour	262
Proposed Contour	262-5
Spot Elevation	62-5
Direction of Drainage	→
Walkout Basement	⊕
Trees to be saved	(Tree symbol)
Min. CE	Minimum Ceiling Elevation
(Circle symbol)	Landscape/Street Tree Installed by owner (MLWLF) under F96-66
MLWLF	Marshalee Woods Limited Partnership
(Dashed line)	65 dBA Line (Mitigated)

**BRUCE D. BRYANT**  
 4/14/97

SUBDIVISION NAME MARSHALEE WOODS		SECTION/AREA 2/5	Lot Nos 127-129, 130, 132, 133
PLAT NO. 12461-12463	BLOCK NO. 5	ZONE R-20	TAX MAP NO. 37
ELECTION DISTRICT 1st		SENSUS TRACT 6011 02	
WATER CODE 1704		SEWER CODE 2152700	

**LDE, INC.**  
 9250 Rumsey Road, Suite 106, Columbia, MD. 21045  
 (410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

DESIGNED K.B.W.	<b>SITE DEVELOPMENT PLAN</b>  <b>MARSHALEE WOODS</b> SECTION TWO - AREA FIVE Lots 127 - 129, 130, 132, & 133 Tax Map No. 37 - P/O Parcel 92 1st Election District Howard County, Maryland Previous Submittals: S89-80, S89-19, P90-28, P92-17, S88-86, P93-38, W191-190, W194-89, P95-19, P94-07, P94-101, W194-90, P95-182, P96-30, P96-62, P96-68.	SCALE 1"=30'
DRAWN K.B.W.		DRAWING 3 OF 6
CHECKED B.D.B.		JOB NO. 96-019.2
DATE Feb 1997		FILE NO. SDP97-103

△ LOT 130-DEVELOPER  
**Marshalee Woods L.P.**  
 8835 Columbia 100 Parkway  
 Columbia, Maryland 21045  
 (410) 730-0810

NO.	DATE	REVISIONS
1	9/16/97	Revise house type & developer Lot 130

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING <i>James DeWitt</i> DIRECTOR 8/5/97 DATE	THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS. NATURAL RESOURCES CONSERVATION SERVICE DATE	<b>ENGINEER'S CERTIFICATE</b> "I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT." SIGNATURE OF ENGINEER DATE
DIVISION OF LAND DEVELOPMENT <i>Richard Wood</i> DATE 7/31/97	THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT. HOWARD SOIL CONSERVATION DISTRICT DATE	<b>DEVELOPER'S CERTIFICATE</b> "I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONS INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I/WE ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS DEEMED NECESSARY." SIGNATURE OF DEVELOPER DATE

HOWARD SOIL CONSERVATION DISTRICT  
STANDARD SEDIMENT CONTROL NOTES

- A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction. (313-1855).
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the most current "MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", and revisions thereto.
- Following initial soil disturbance or redisturbance, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1; b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 7, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL (Section C) for permanent seeding, sod, temporary seeding, and mulching. Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:  
Total Area of Site: 2.9250 Acres  
Area Disturbed: 1.7751 Acres  
Area to be roofed or paved: 0.6255 Acres  
Total Area to be vegetatively stabilized: 1.6805 Acres  
Total Area to be stabilized: 2.0000 Cu. Yds.  
Total Fill: 2.0000 Cu. Yds.  
Offsite waste/borrow area location: Grading Activity
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance. Additional sediment control must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- Trenches for the collection of utilities is limited to three pipe lengths or that which can be back filled and stabilized within one working day, whichever is shorter.

HOWARD SOIL CONSERVATION DISTRICT  
PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, disking, or other acceptable means before seeding, if not previously loosened.

- SOIL AMENDMENTS: In lieu of soil test recommendations, use one of the following schedules:
- PREFERRED** -- Apply 2 tons per acre dolomitic limestone (92 lbs/1000sq. ft.) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000sq. ft.) before seeding. Harrow or disk into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (6 lbs/1000sq. ft.) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000sq. ft.) before seeding. Harrow or disk into upper three inches of soil.
  - ACCEPTABLE** -- Apply 2 tons per acre dolomitic limestone (92 lbs/1000sq. ft.) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000sq. ft.) before seeding. Harrow or disk into upper three inches of soil.

SEEDING -- For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000sq. ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs per acre (1.4 lbs/1000sq. ft.) of Kentucky 31 Tall Fescue and 2 lbs per acre (0.5 lbs/1000sq. ft.) of seeding lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) - 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) - Use sod. Option (3) - Seed with 60 lbs per acre Kentucky 31 Tall Fescue and mulch 2 tons / acre well anchored straw.

MULCHING -- Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000sq. ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000sq. ft.) for anchoring.

MAINTENANCE -- Inspect all seeding areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

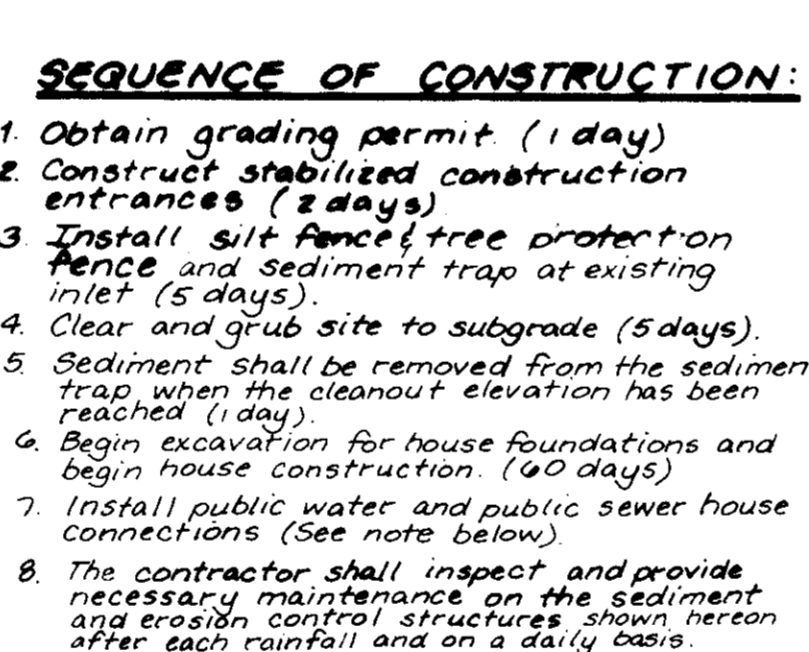
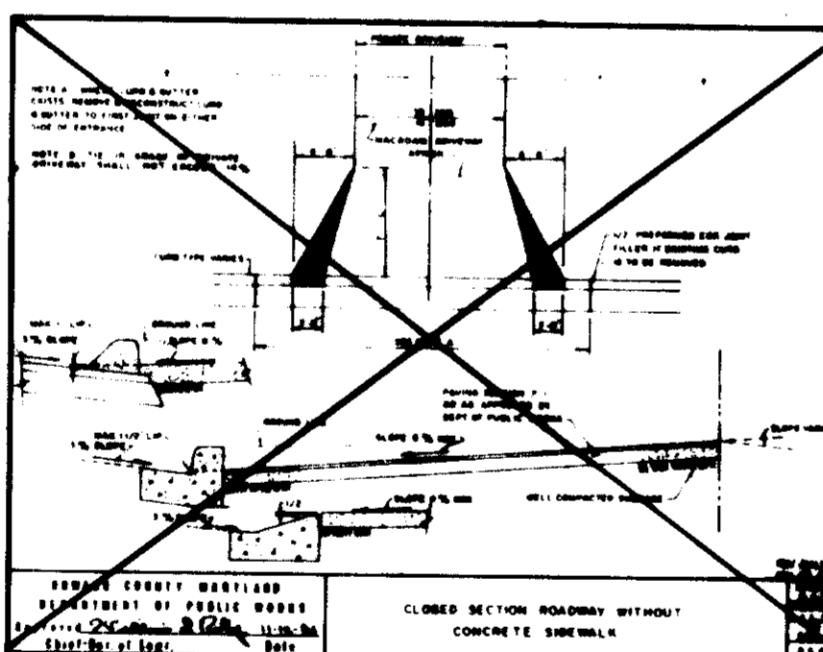
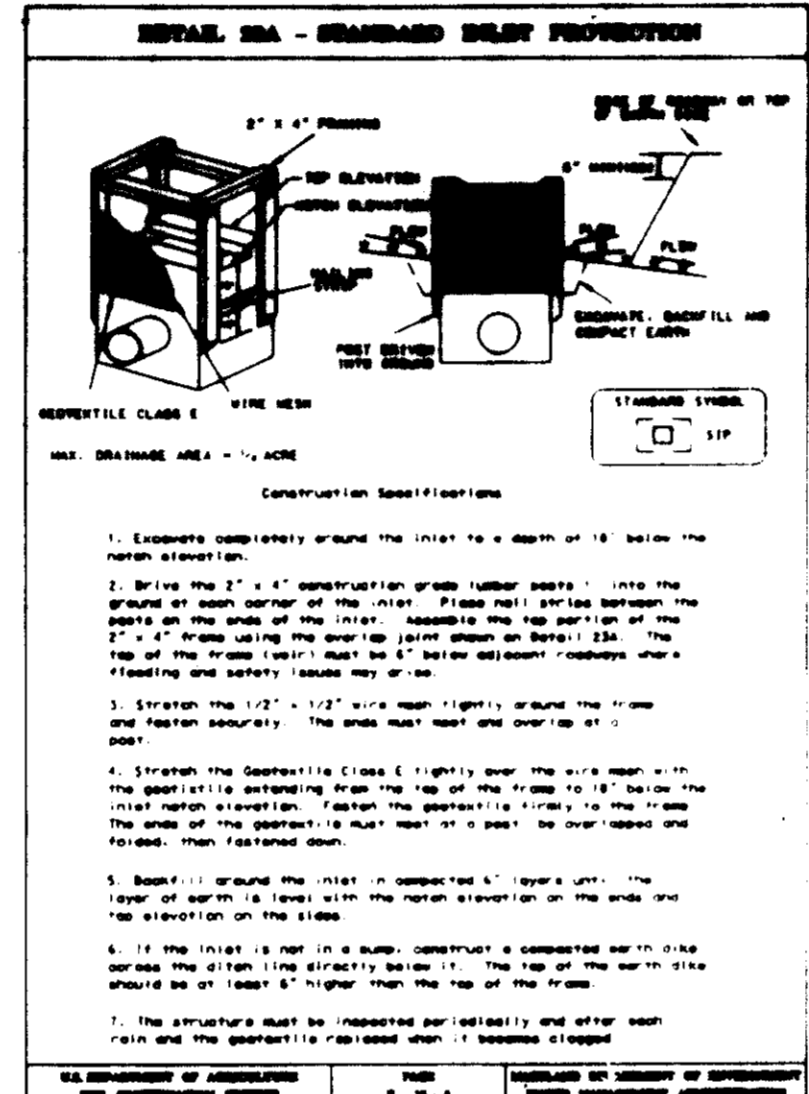
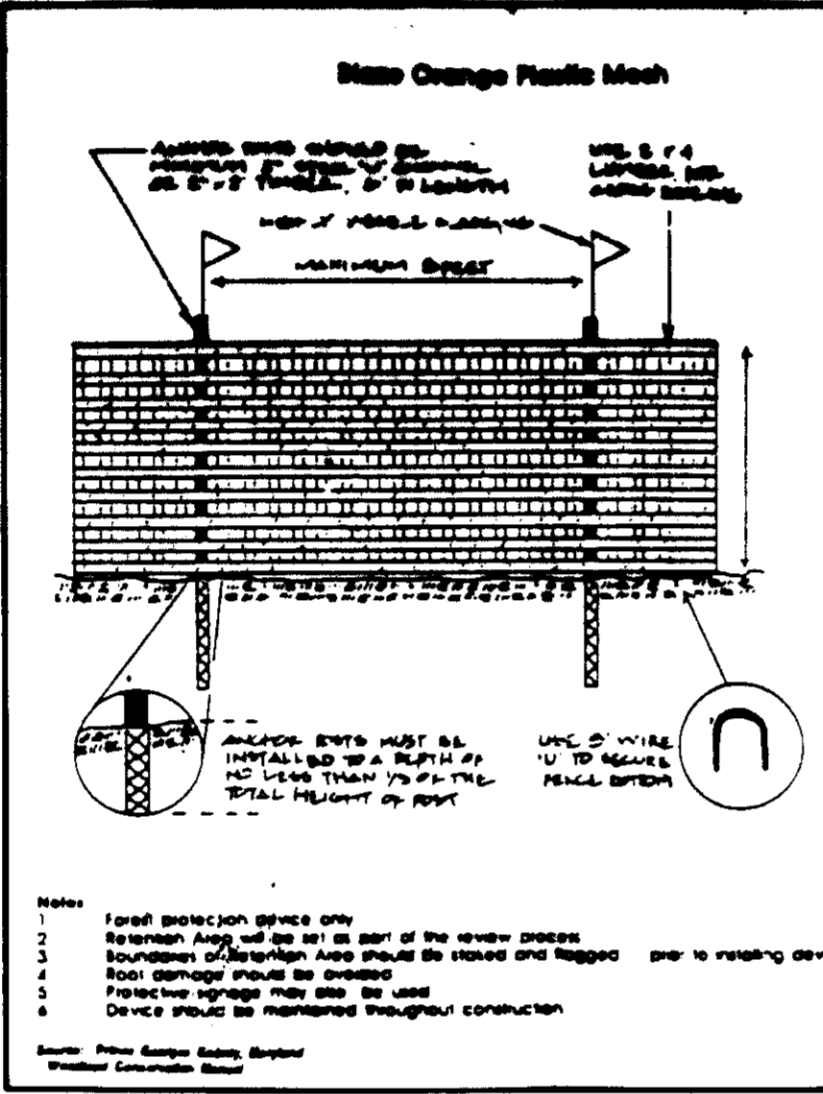
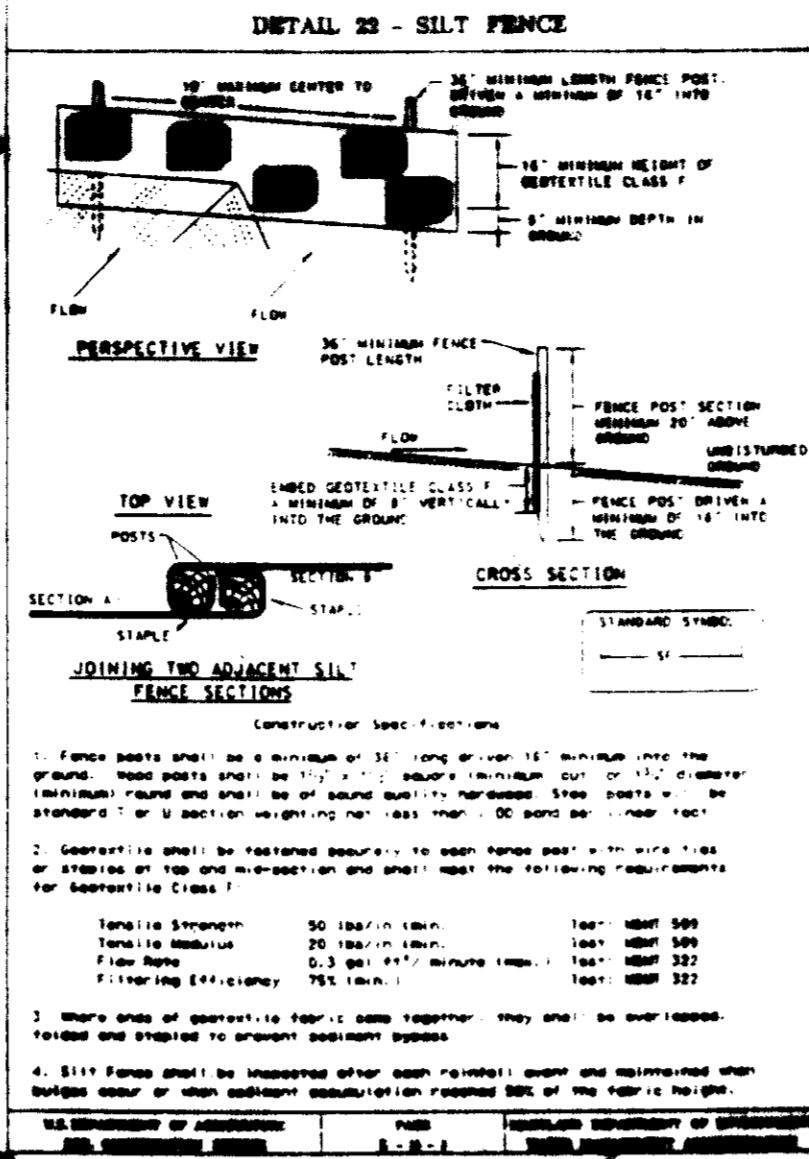
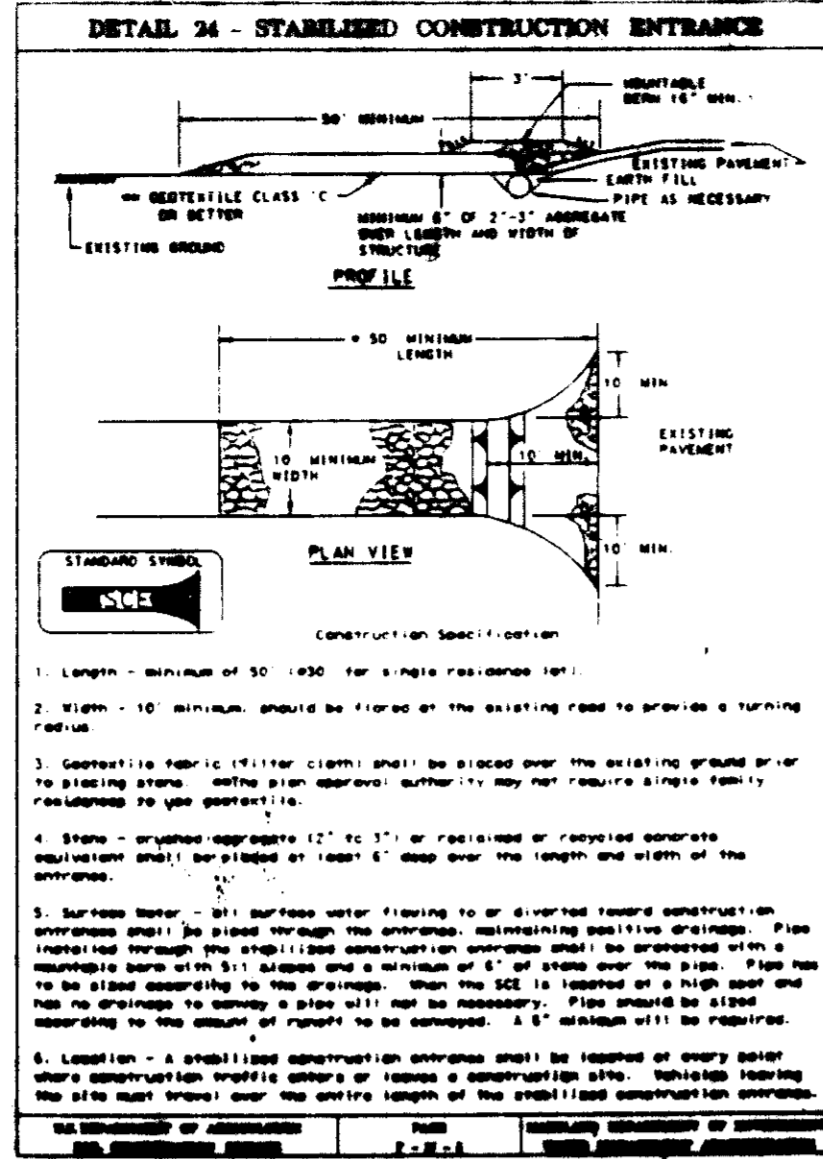
SEEDBED PREPARATION: -- Loosen upper three inches of soil by raking, disking, or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: -- Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000sq. ft.).

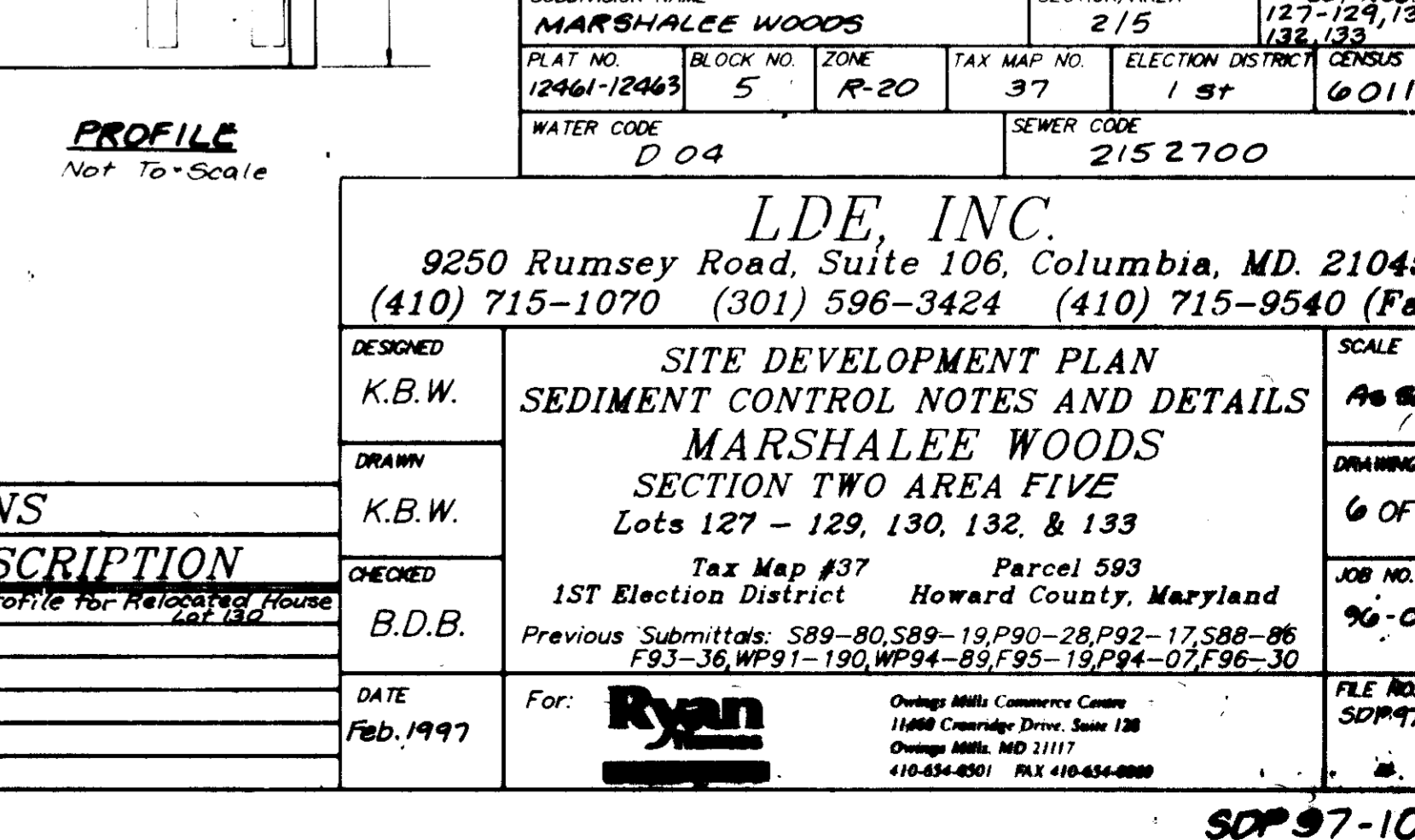
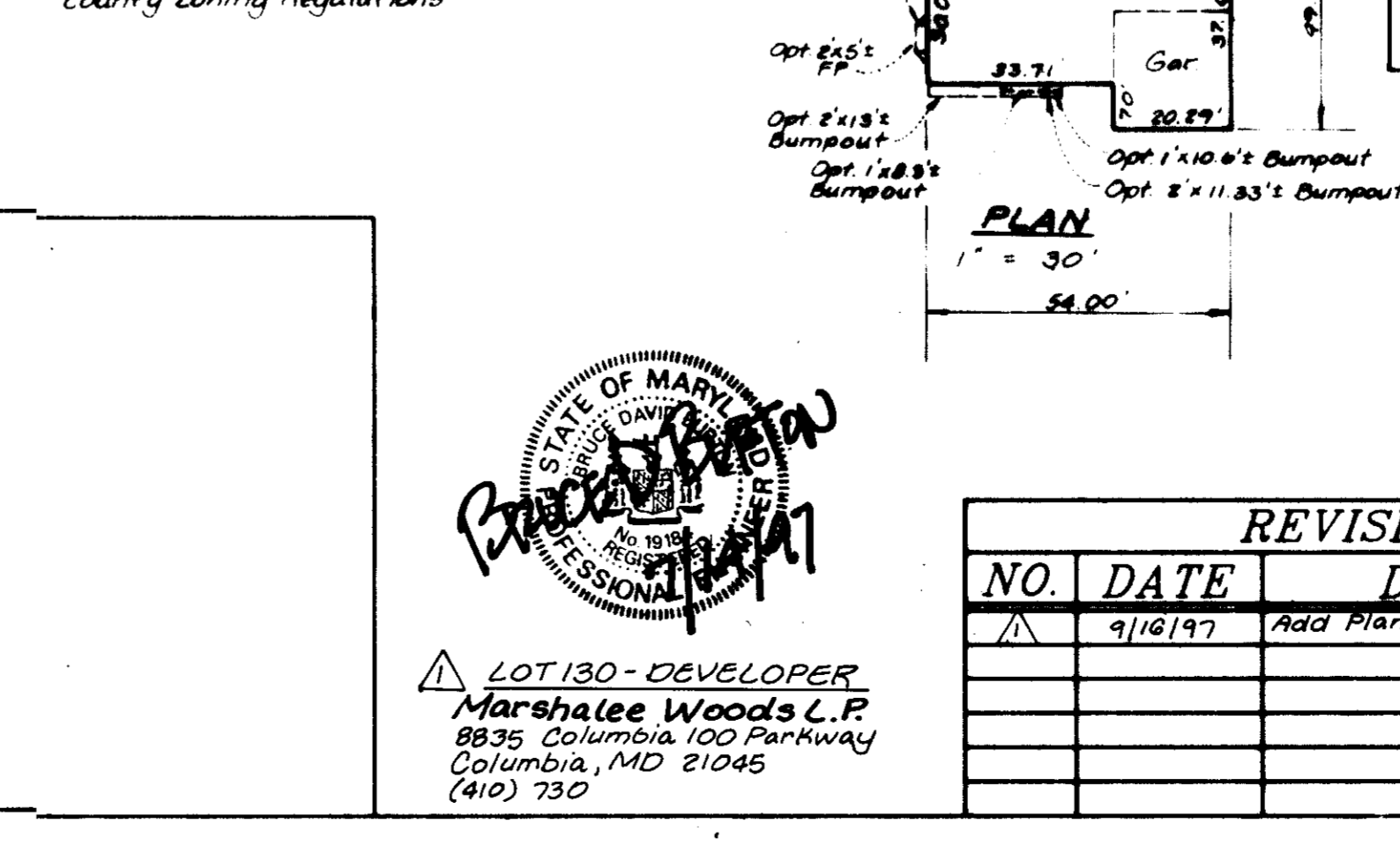
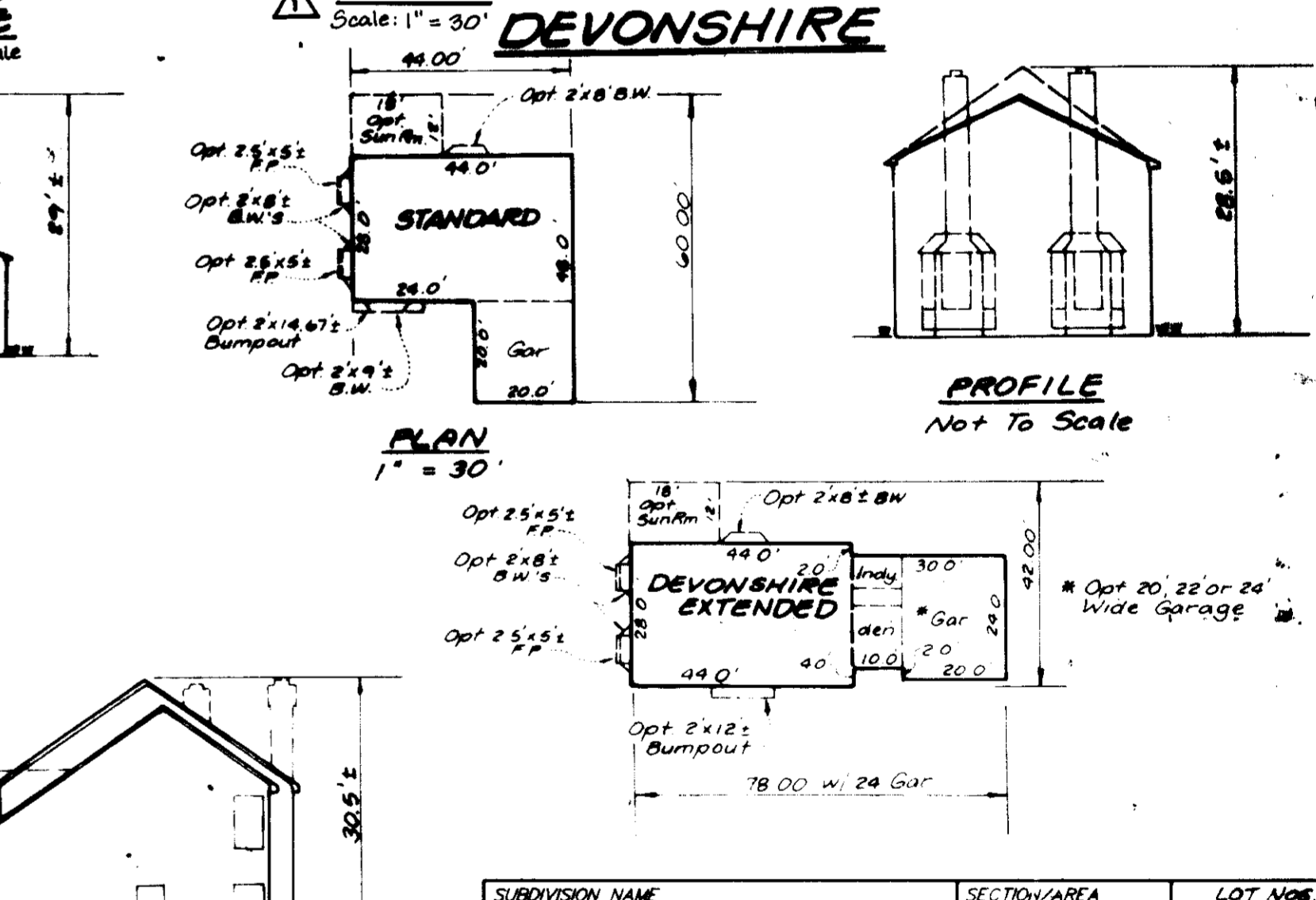
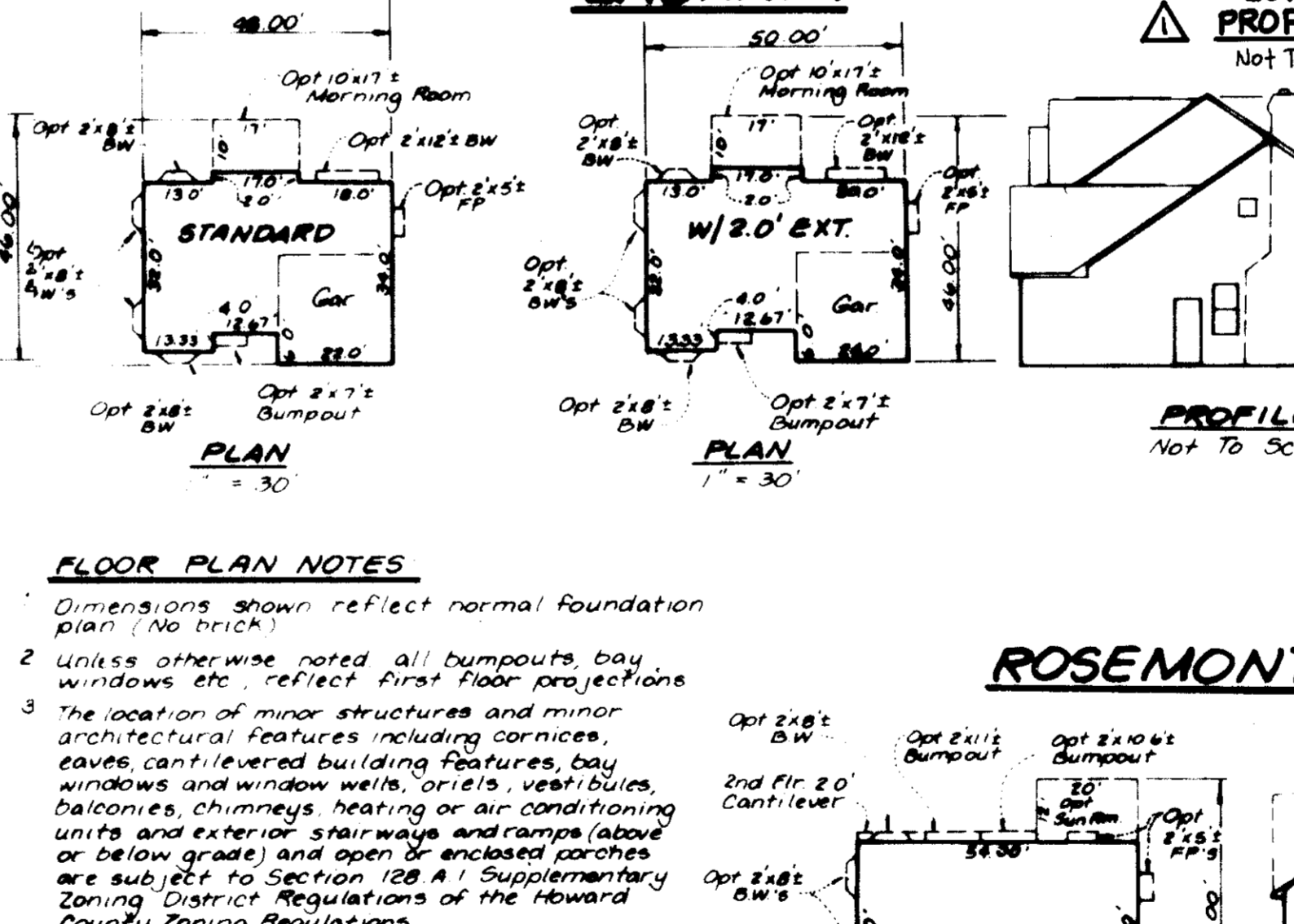
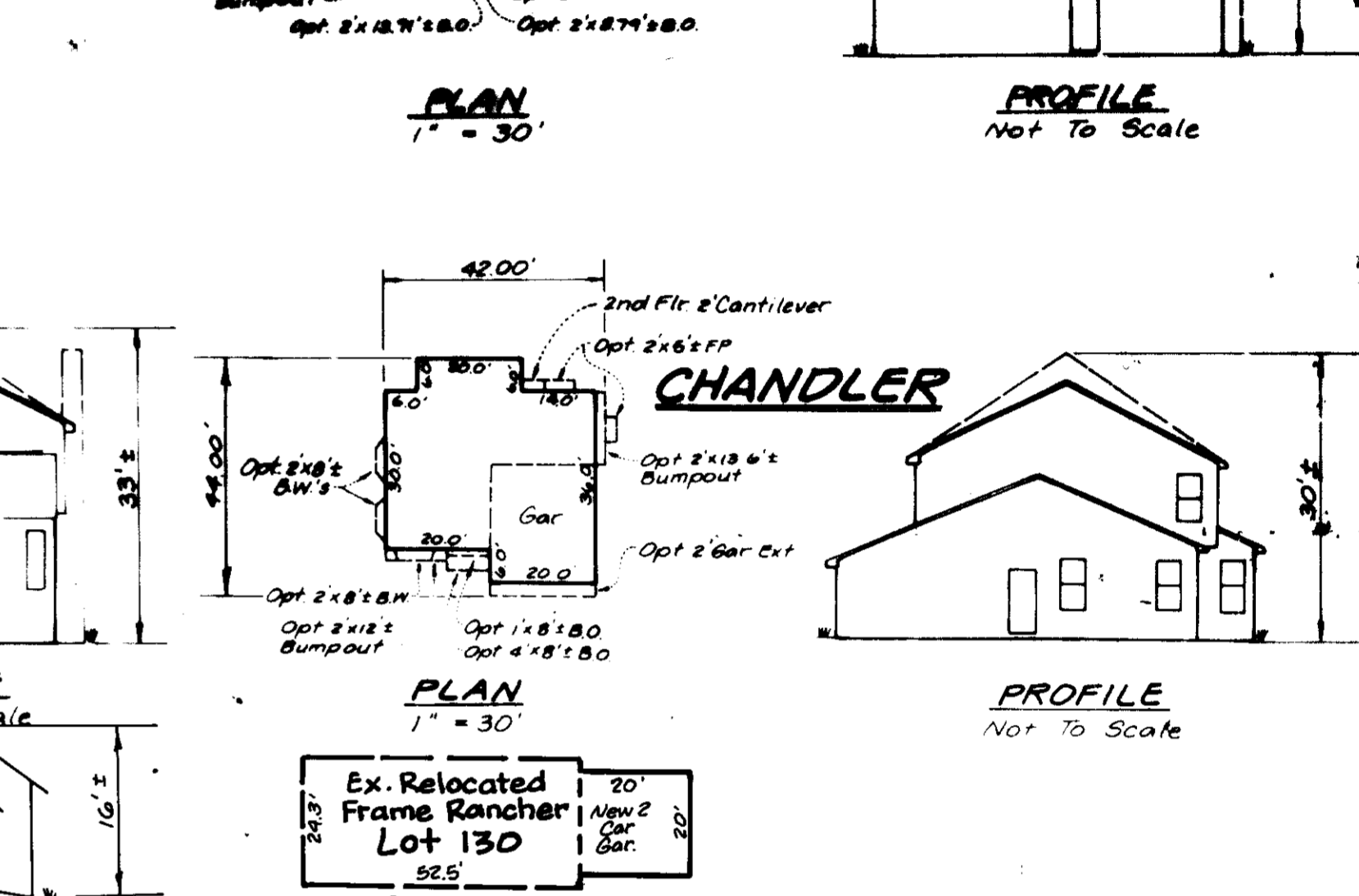
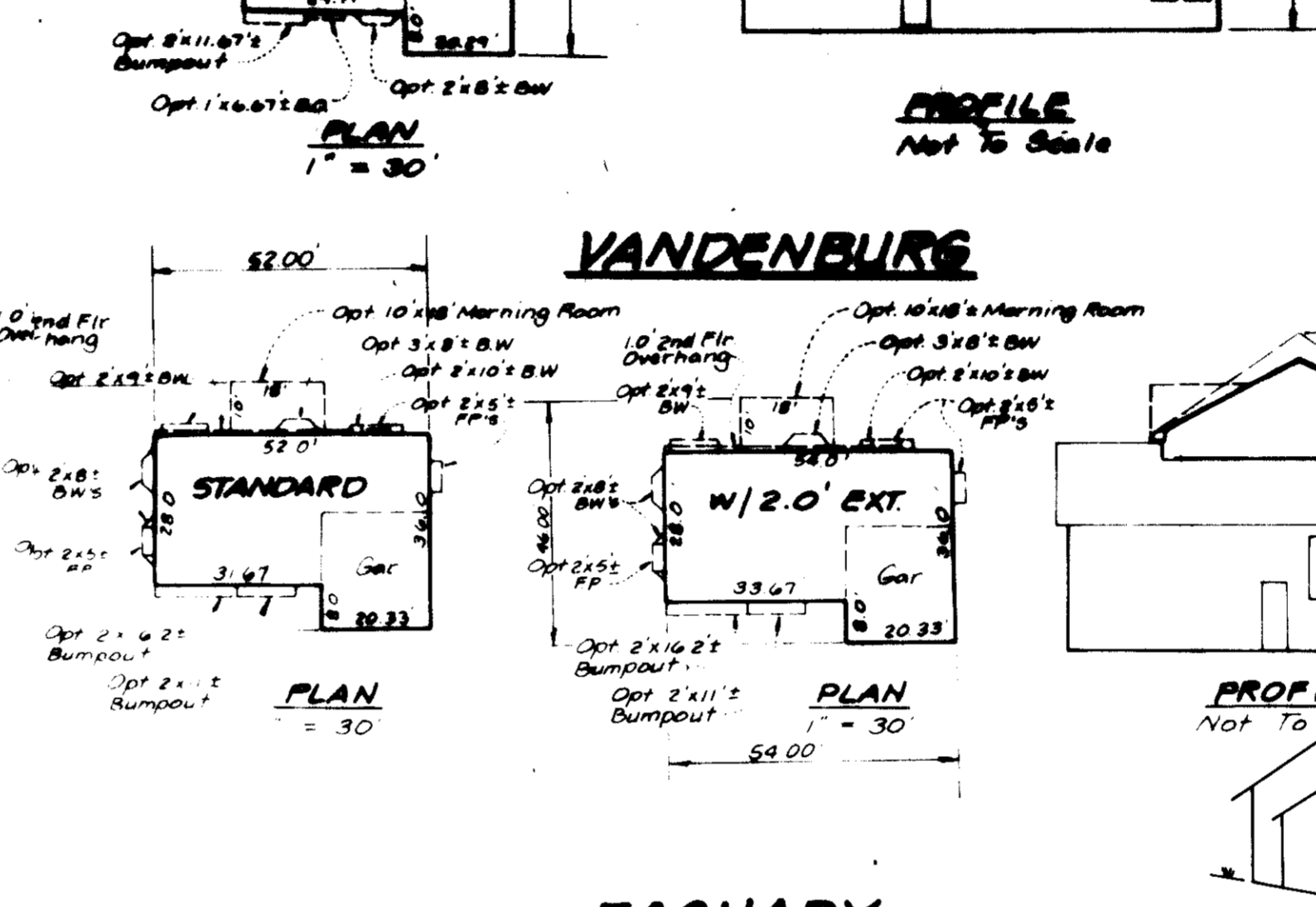
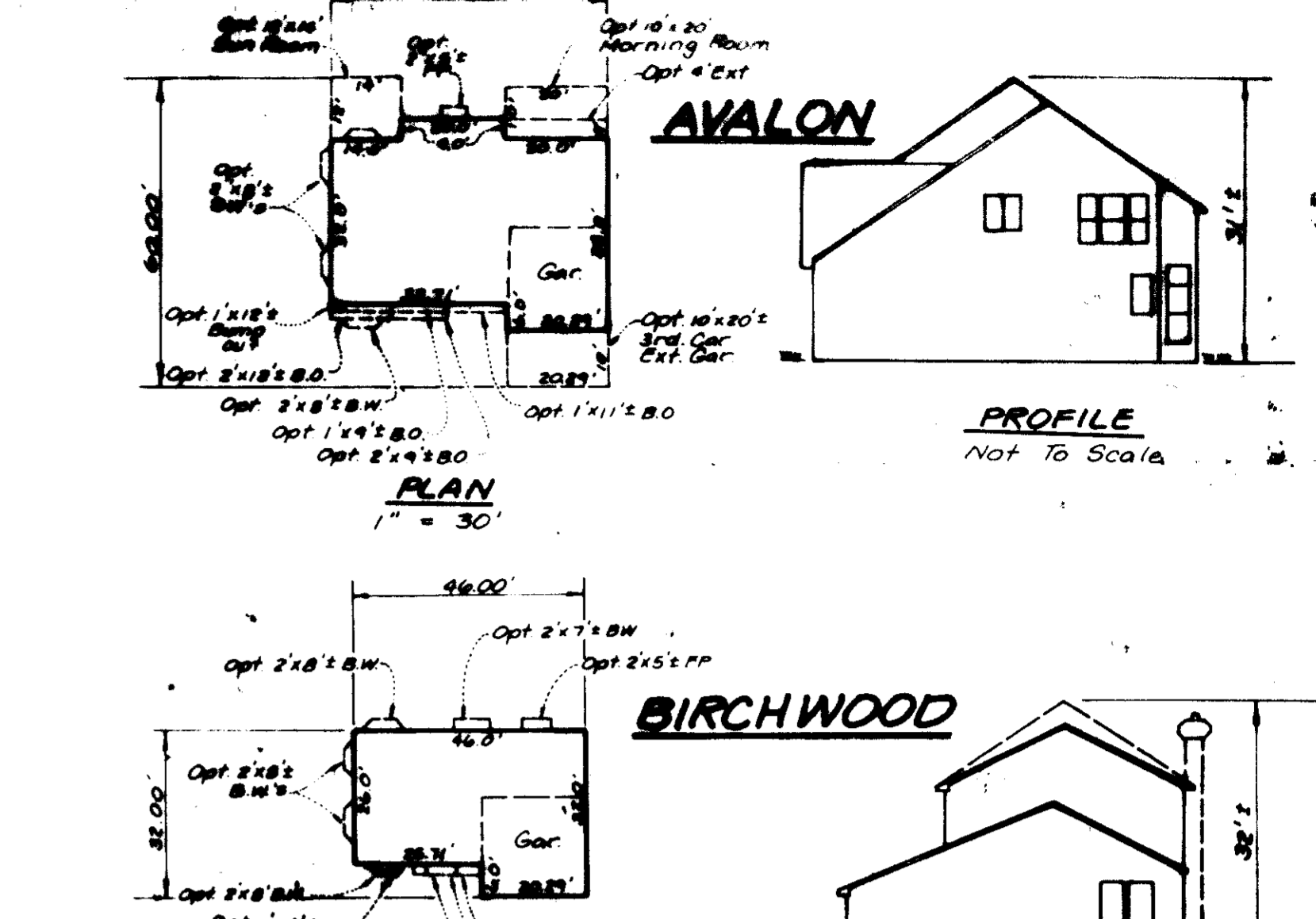
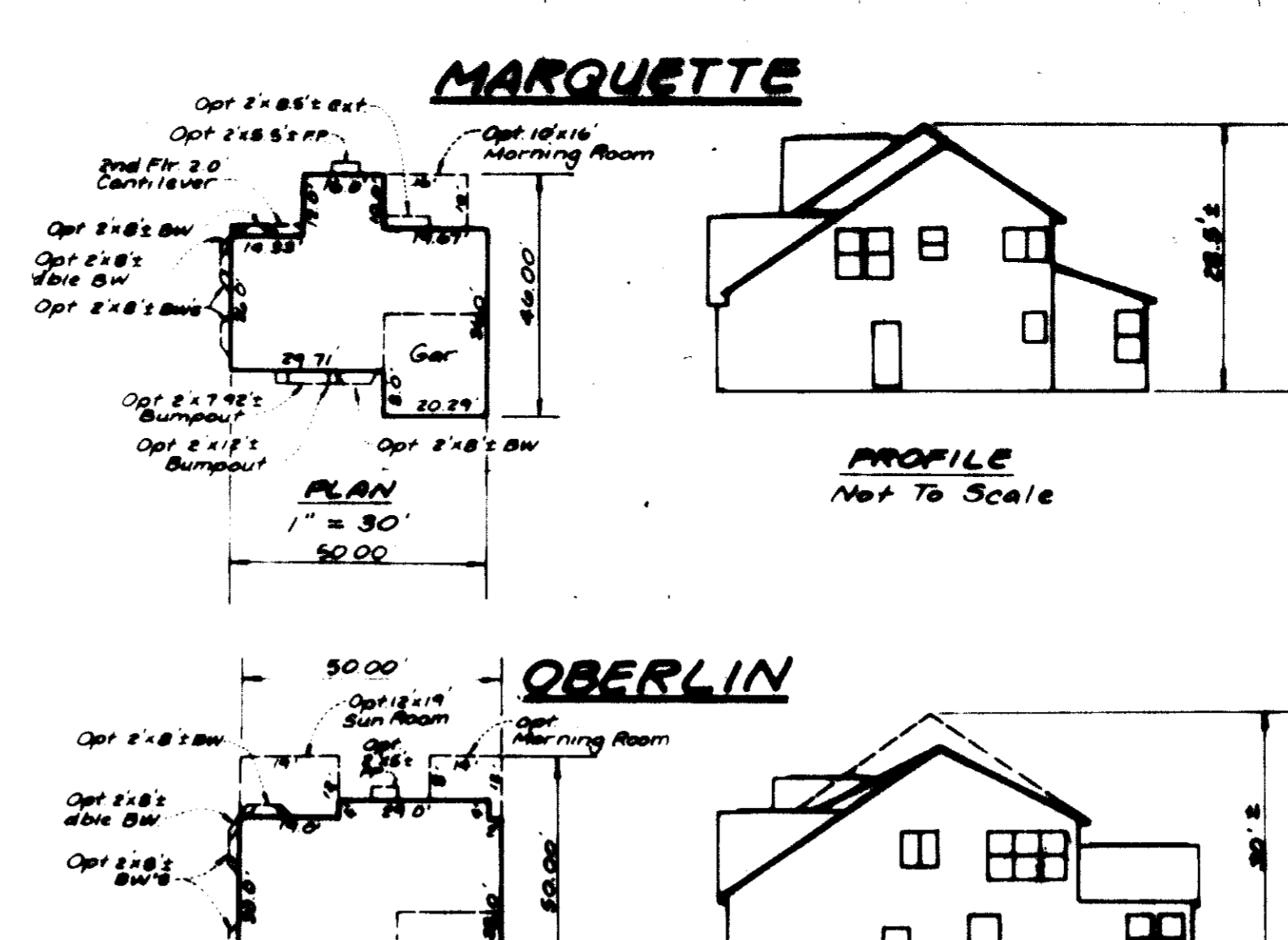
SEEDING -- For periods March 1 thru April 30, and from August 15 thru October 15 seed with 2-12 bushels per acre of annual rye (3.2 lbs/1000sq. ft.). For the period May thru August 14, seed with 3 lbs per acre of seeding lovegrass (0.7 lbs/1000sq. ft.). For the period November 15 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

MULCHING -- Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000sq. ft.) of unrotted weed free small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000sq. ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000sq. ft.) for anchoring.

Refer to the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for additional rates and methods not covered.



- SEQUENCE OF CONSTRUCTION:**
- Obtain grading permit (1 day)
  - Construct stabilized construction entrances (2 days)
  - Install silt fence/tree protection fence and sediment trap at existing inlet (5 days)
  - Clear and grub site to subgrade (5 days)
  - Sediment shall be removed from the sediment trap when the cleanout elevation has been reached (1 day)
  - Begin excavation for house foundations and begin house construction (60 days)
  - Install public water and public sewer house connections (See note below)
  - The contractor shall inspect and provide necessary maintenance on the sediment and erosion control structures shown hereon after each rainfall and on a daily basis.
  - The sediment trap shall be dewatered by pumping the accumulated sediment from the trap. The trap shall be placed up grade from the trap in such a manner as not to interfere with construction operations or cause erosion down grade from the trap (1 day)
  - Remove sediment from Marshalee Drive and dress stabilized construction entrance as required (daily)
  - After permission has been given by the Sediment Control Inspector, backfill trap, remove silt fence, and stabilize disturbed areas with permanent seeding mixture and straw mulch (2 days)
- Total Time: 77 Days
- NOTE: Lot 131 will be provided with a private sewer connection only. The existing septic system shall be abandoned and the existing private water system (well) will be existing (See note 12 sheet 1).



**FLOOR PLAN NOTES**

- Dimensions shown reflect normal foundation plan. No brick.
- Unless otherwise noted all bumpouts bay windows, etc. reflect first floor projections.
- The location of minor structures and minor architectural features including cornices, eaves, cantilevered building features, bay windows and window wells, oriels, vestibules, balconies, chimneys, heating or air conditioning units and exterior stairways and ramps (above or below grade) and open or enclosed porches are subject to Section 128 A.1 Supplementary Zoning District Regulations of the Howard County Zoning Regulations.

NO.	DATE	DESCRIPTION
1	9/16/97	Add Plan & Profile for Relocated House Lot 131

LOT 130 - DEVELOPER  
Marshalee Woods C.P.  
8835 Columbia 100 Parkway  
Columbia, MD 21045  
(410) 730

SUBDIVISION NAME	MARSHALEE WOODS	SECTION/AREA	2/5	LOT NO.	127-129, 130, 132, 133
PLAT NO.	12461-12463	BLOCK NO.	5	ZONE	R-20
TAX MAP NO.	37	ELECTION DISTRICT	157	CENSUS TRACT	601102
WATER CODE	D04	SEWER CODE	2152700		

LDE, INC.  
9250 Rumsey Road, Suite 106, Columbia, MD 21045  
(410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

DESIGNED: K.B.W.  
DRAWN: K.B.W.  
CHECKED: B.D.B.  
DATE: Feb. 1997

**SITE DEVELOPMENT PLAN  
SEDIMENT CONTROL NOTES AND DETAILS  
MARSHALEE WOODS  
SECTION TWO AREA FIVE  
Lots 127 - 129, 130, 132, & 133**

Tax Map #37 Parcel 593  
1ST Election District Howard County, Maryland  
Previous Submittals: S89-80, S89-19, P90-28, P92-17, S88-86, F93-36, WP91-190, WP94-89, F95-19, P94-07, F96-30

For: **Ryan**  
Orange Mills Commercial Center  
11888 Courtyard Drive, Suite 128  
Orange Mills, MD 21117  
410-634-8201 FAX 410-634-8888

SCALE: As Shown  
DRAWING: 6 of 6  
JOB NO.: 96-019.2  
FILE NO.: SDP97-103

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 8/6/97  
DATE

*[Signature]* 8/1/97  
DATE

*[Signature]* 7/2/97  
DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

NATURAL RESOURCE CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

**ENGINEER'S CERTIFICATE**

I HEREBY CERTIFY THAT THESE PLANS FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND FEASIBLE DESIGN AND THAT MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THE SOIL WAS OBTAINED IN ACCORDANCE WITH REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*[Signature]* 7/14/97  
SIGNATURE OF ENGINEER DATE

**DEVELOPER'S CERTIFICATE**

I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION REQUIRING THE PROJECT. I ALSO AUTHORIZE FEASIBILITY ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT ON THEIR AUTHORIZED AGENTS, AS NECESSARY.

*[Signature]* 4/1/97  
SIGNATURE OF DEVELOPER DATE