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NO	DESCRIPTION
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3	SEDIMENT CONTROL AND DRAINAGE AREA MAP
4	NOTES AND DETAILS
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6	LANDSCAPING PLAN
7	LANDSCAPING DETAILS

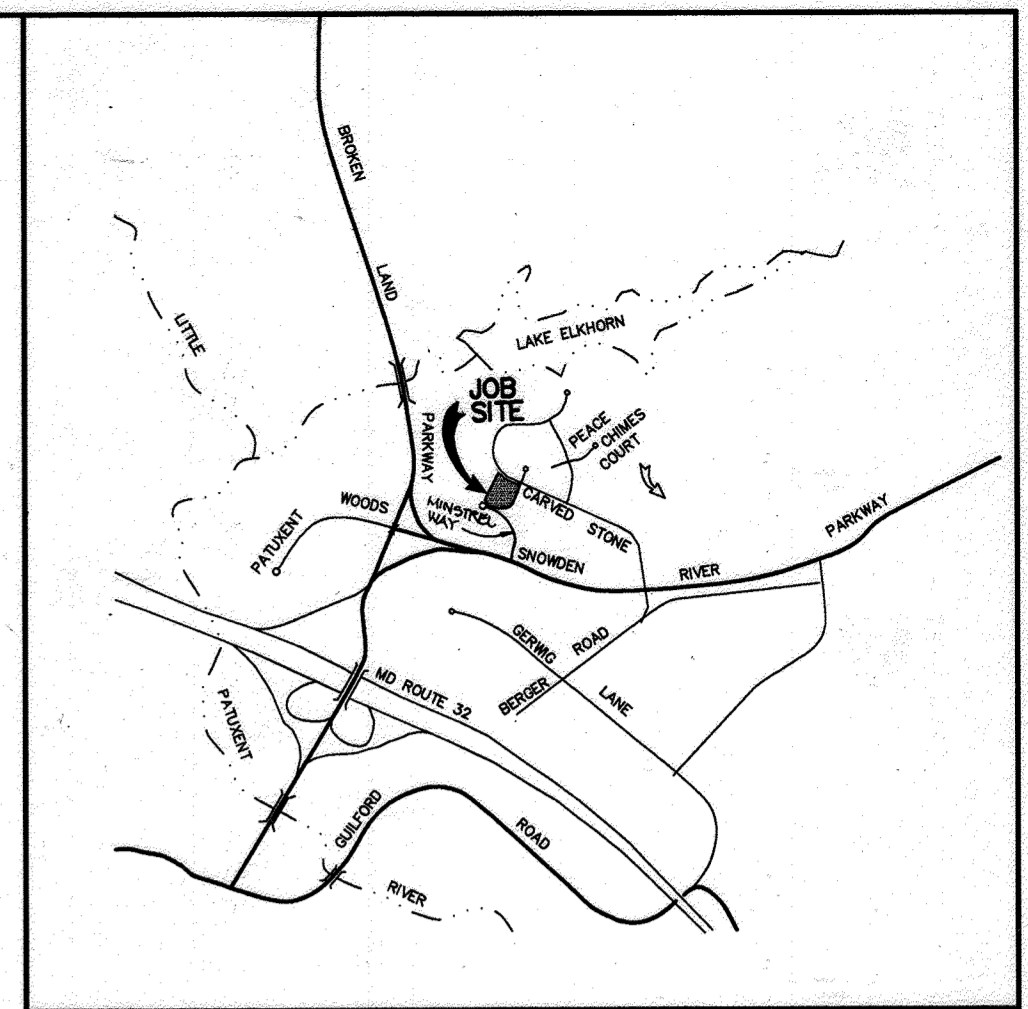
# SITE DEVELOPMENT PLAN

## OWEN BROWN

### ASSISTED LIVING FACILITY

#### 6th ELECTION DISTRICT

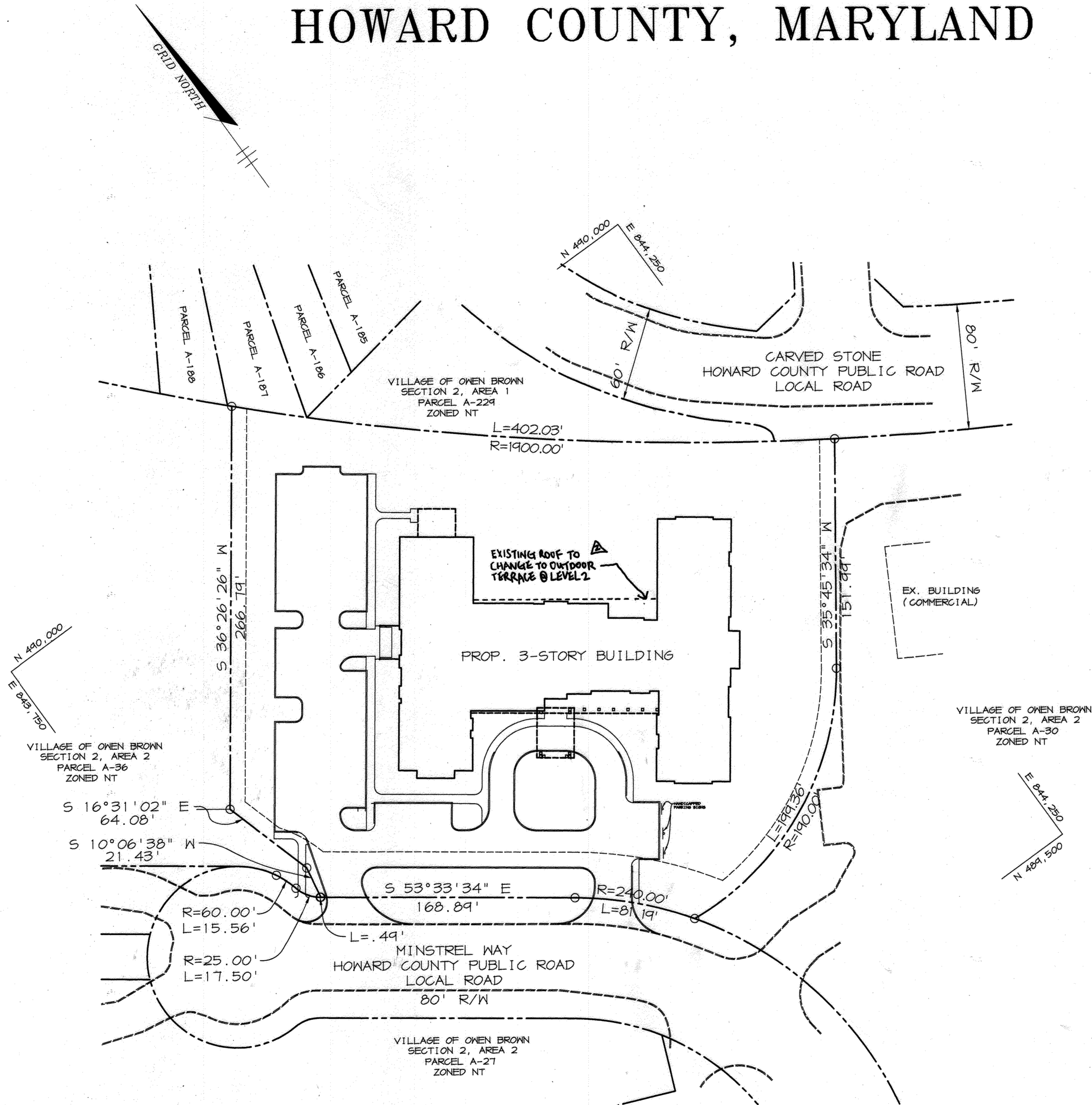
#### HOWARD COUNTY, MARYLAND



**VICINITY MAP**  
SCALE: 1" = 2000'

### GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB AND FACE OF BUILDING UNLESS OTHERWISE NOTED.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD SURVEY WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY RIEMER MUEGGE & ASSOC. DATED OCTOBER, 1996.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM.
- WATER IS PUBLIC, CONTRACT NO. C-2616-D.
- SEWER IS PUBLIC, SEWER DRAINAGE AREA: PATUXENT. TREATMENT PLANT: LITTLE PATUXENT CONTRACT NO. C-2616-D.
- THE STORMWATER MANAGEMENT QUANTITY FACILITY IS OFF-SITE UNDER F-82-96. WATER QUALITY IS PROVIDED BY AN ON-SITE, PRIVATELY MAINTAINED ISOLATER.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
- A 100-YEAR FLOODPLAIN STUDY IS NOT REQUIRED FOR THIS PROJECT.
- A TRAFFIC STUDY IS NOT REQUIRED FOR THIS PROJECT.
- A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
- THE GEOTECHNICAL STUDY FOR THIS PROJECT WAS PREPARED BY HILLIS CARNES CO. DATED DEC 1996.
- THE BOUNDARY FOR THIS PROJECT IS BASED ON PREVIOUSLY RECORDED PLAT NO. 12685.
- SUBJECT PROPERTY ZONED NEW TOWN PER 10-18-93 COMPREHENSIVE ZONING PLAN.
- ALL ELEVATIONS SHOWN ARE BASED ON THE U.S.C. AND G.S. MEAN SEA LEVEL DATUM, 1929.
- SEE DEPARTMENT OF PLANNING AND ZONING FILE NO'S FDP 118A-III-PART II, F-90-29, F-82-96, F-97-140 & F-97-170.
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
- PIPE SHALL NOT BE INSTALLED BY THE CONTRACTOR UNTIL THE LENGTH CALLED FOR AT EACH STATION HAS BEEN APPROVED BY THE ENGINEER IN THE FIELD.
- NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT WITHIN 6" OF FINISHED GRADE.
- ALL STORM DRAIN PIPE BEDDING SHALL BE CLASS 'C' AS SHOWN IN FIG. 11.4, VOLUME 1 OF HOWARD COUNTY DESIGN MANUAL UNLESS OTHERWISE NOTED.
- ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- STORM DRAIN TRENCHES WITHIN ROAD RIGHT OF WAY SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, I.E., STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, LATEST AMENDMENTS.
- PROFILES STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
- ALL FILL AREAS WITHIN ROADWAY AND UNDER STRUCTURES TO BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO T180.
- LANDSCAPE ARCHITECTURE PROVIDED BY: ANSHEN AND ALLEN, 250 W. PRATT ST. BALTIMORE, MARYLAND 21201 PH: 410-528-7700
- REINFORCED CONCRETE CIRCULAR PIPE (RCCP) MAY BE USED AS AN ALTERNATE TO ADS N-12 PIPING FOR THE STORM DRAIN SYSTEM ONLY.



**BENCHMARKS**

BM#1	ELEV. 397.37
N 495745.30	E 833423.67
PIN & CAP	
BM#2	ELEV. 391.45
N 495919.21	E 833573.14
PIN & CAP	

### SITE ANALYSIS

AREA OF PARCEL	2.74 ACRES (119,354 SF)
DISTURBED AREA	2.77 ACRES (120,775 SF)
PRESENT ZONING	NT (EMPLOYMENT CENTER COMMERCIAL)
PROPOSED USE	FDP PHASE 118A-III-PART II ASSISTED LIVING FACILITY (102 BEDS)
MAXIMUM HEIGHT	52'
BUILDING COVERAGE	29,931 SF (21.4% OF SITE)
# OF PARKING SPACES REQUIRED @ 1 SP./2 BEDS*	51 SPACES
# OF PARKING SPACES PROVIDED	51 SPACES (INCL. 3 HC)
PAVED PARKING LOT AREA	26,187 SF (21.9% OF SITE)
ON-SITE GREEN AREA	69,281 SF (58.0% OF SITE > 25.0% REQUIRED)**

\* PER HOWARD COUNTY ZONING REGULATIONS SECT. 133.D.7(f)  
\*\* PER OWEN BROWN SOUTH COMMERCIAL PARK DESIGN AND DEVELOPMENT CRITERIA

NOTE: PLANNING BOARD APPROVED BUILDING COVERAGE & HEIGHT AS THE FDP DOES NOT IMPOSE ANY LIMITS.

### OPERATION AND MAINTENANCE SCHEDULE FOR ISOLATER WATER QUALITY DEVICE

- Isolater water quality structures will require periodic inspection and cleaning to maintain operation and function. Owners will have the Isolater unit inspected yearly or as required by Howard County, utilizing the Isolater Inspection/Monitoring Form. Inspections can be done by using a clear Plexiglas tube ("sludge judge") to extract a water column sample. When sediment depths exceed the specified level (Table V of Technical Manual), then cleaning of the unit is required.
- Isolater water quality structures must be checked and cleaned immediately after petroleum spills. Contact appropriate regulatory agencies.
- Maintenance of Isolater units should be done by a vacuum truck which will remove the water, sediment, debris, floating hydrocarbons, and other materials in the unit. The proper cleaning and disposal of the removed materials and liquid must be followed.
- Inlet and outlet pipes must be checked for any obstructions and if any obstructions are found they must be removed. Structural parts of the Isolater will be repaired as needed.
- Owners shall retain and make Isolater Inspection/Monitoring Forms available to Howard County officials upon their request.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

<i>James M. Wright</i>	11/5/97
DIRECTOR	DATE
<i>W. D. ...</i>	10/29/97
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
<i>Candy Hamilton</i>	11/3/97
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE

1-10-00 TO CHANGE PARTIAL EXISTING LEVEL 2 RAMP INTO AN OUTDOOR TERRACE  
REV. OF ALL SCHEDULE & GEN. NOTE 10 PER ISOLATER ADDITION

DATE	NO.	REVISION
------	-----	----------

OWNER/DEVELOPER:

MARRIOTT SENIOR LIVING SERVICES, INC.  
MARRIOTT DRIVE  
WASHINGTON, D.C. 20058  
(301) 380-5915

PROJECT: OWEN BROWN ASSISTED LIVING FACILITY

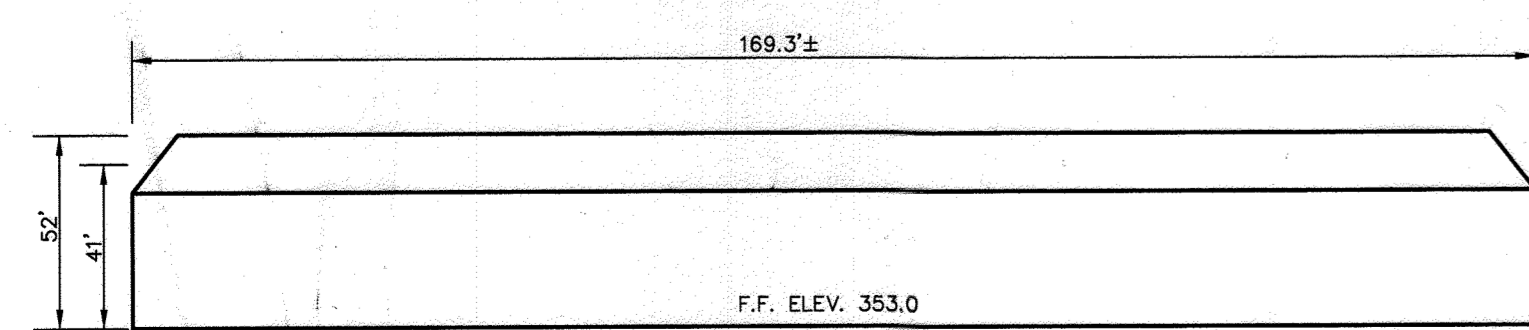
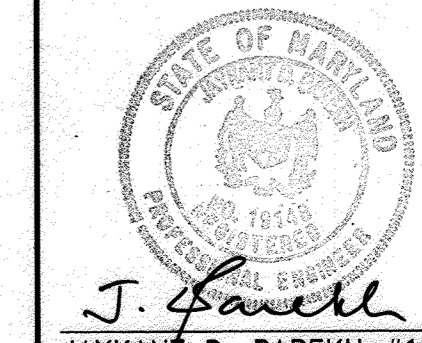
AREA: VILLAGE OF OWEN BROWN SOUTH SECTION 2, AREA 2, PART 11, PARCEL A-37  
TAX MAP 42, BLOCK 3  
ZONED NT 6th ELECTION DISTRICT

TITLE: TITLE SHEET

RIEMER MUEGGE & ASSOCIATES, INC.  
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING  
8818 Centre Park Drive, Columbia, Maryland 21045  
tel 410.997.8900 fax 410.997.9282

10-17-97  
DATE

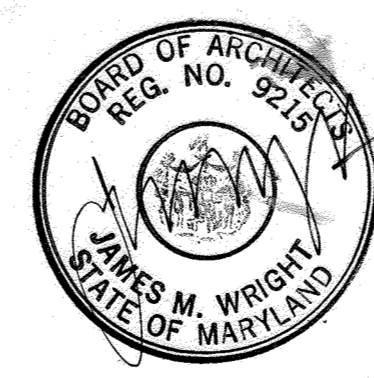
DESIGNED BY: CJR  
DRAWN BY: RPP/DAM  
PROJECT NO: 96082  
SDP1.DWG  
DATE: OCTOBER 17, 1997  
SCALE: AS SHOWN  
DRAWING NO. 1 OF 7



NOTE: SEE ARCHITECTURAL DRAWINGS FOR COMPLETE BUILDING DETAILS AND ELEVATIONS.  
**EAST BUILDING ELEVATION**  
NO SCALE

PLAN  
SCALE: 1" = 50'

FOR REDLINE REVISION PROCESS



22 MAR 2023  
JAMES WRIGHT #9215

### ADDRESS CHART

PARCEL	STREET ADDRESS
A-37	7110 MINSTREL WAY

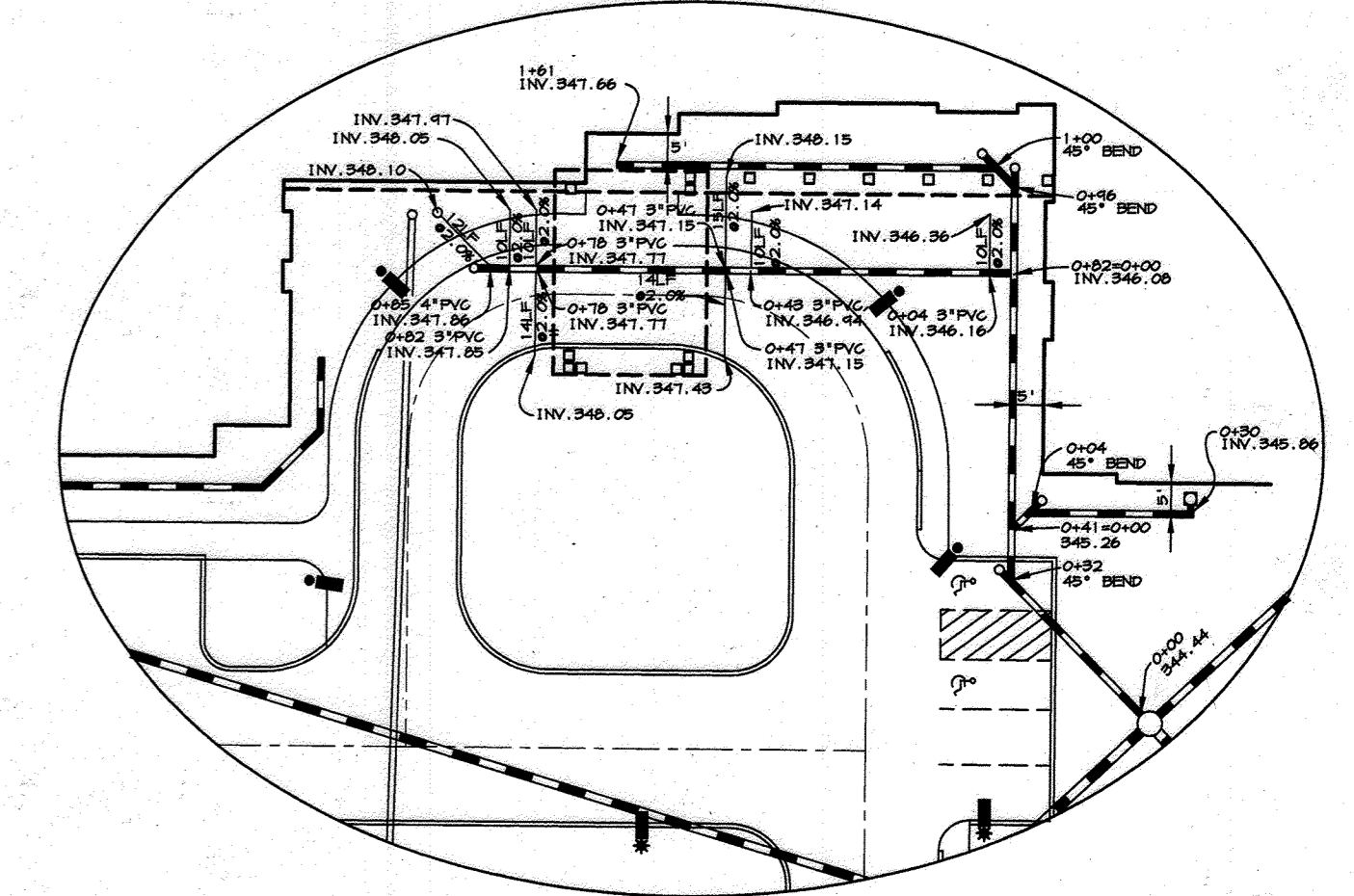
SUBDIVISION NAME - VILLAGE OF OWEN BROWN	SECT./AREA - 2/2	PARCEL - A-37
PLAT # - 12800	BLOCK # - 3	ZONING - NT
TAX MAP NO. - 42	ELECT. DIST. - 6th	CENSUS TRACT - 6067.02
WATER CODE - E12	SEWER CODE - 5272200	

APPROVED  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE 13 March 97

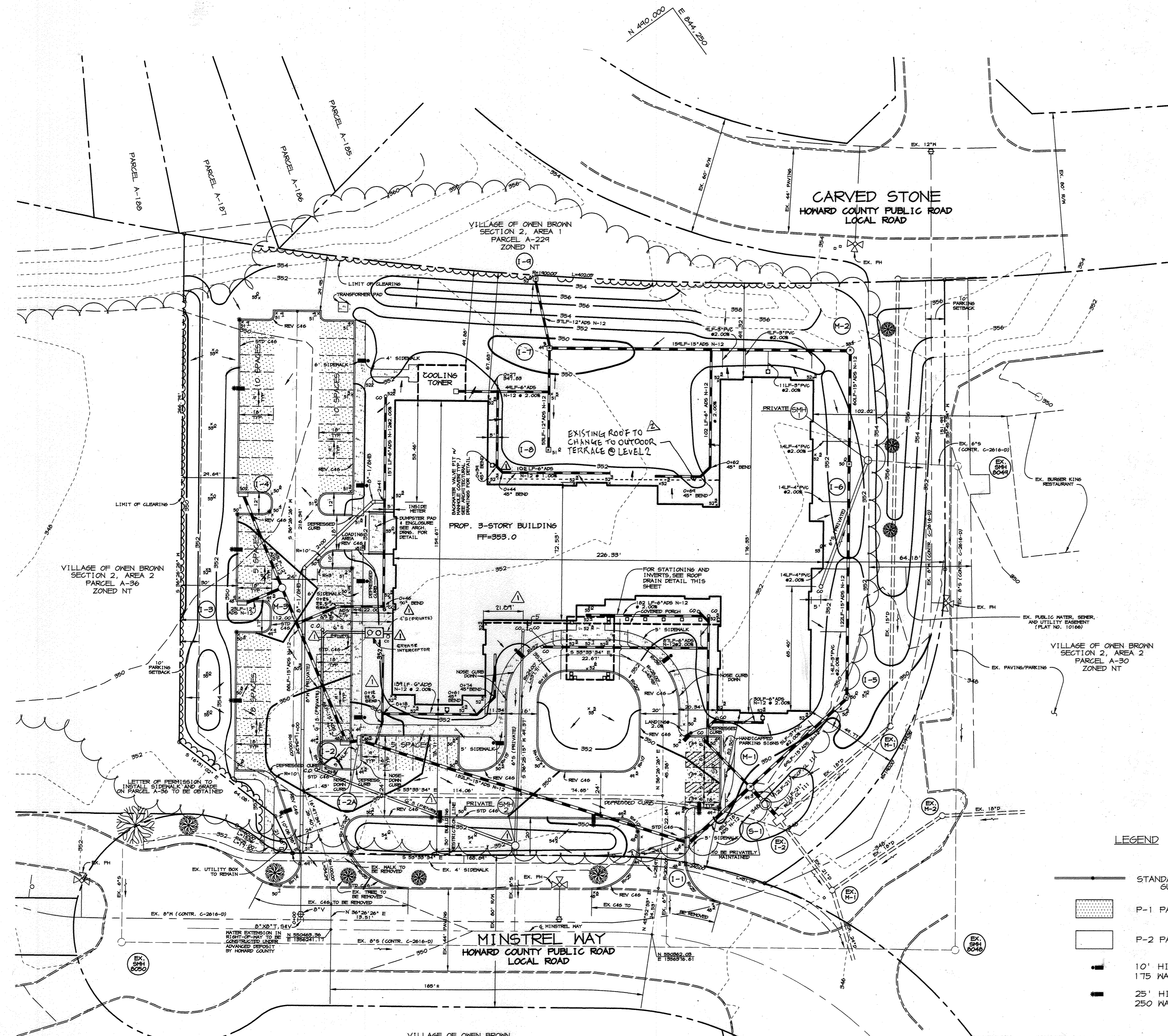


NOTES

1. ALL CURB RADII ARE 5' UNLESS OTHERWISE LABELED.
2. ALL SITE LIGHTINGS TO BE DIRECTED/REFLECTED AWAY FROM ADJACENT RESIDENTIALLY ZONED PROPERTIES AND PUBLIC ROADS.
3. ALL ON-SITE ROADS ARE PRIVATE.
4. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB OR BUILDING FACE UNLESS OTHERWISE NOTED.
5. THIS BUILDING WILL HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM.
6. SETBACKS AS SHOWN ARE PER FDP 118A-III, PART II.
7. THE STORM DRAIN SYSTEM SHALL BE BUILT ACCORDING TO THE CRITERIA IN SECTION 900 OF THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV: "NONMETALLIC PIPES AND DRAINAGE TILES".



ROOF DRAIN DETAIL  
SCALE: 1"=30'



LEGEND

- STANDARD/REVERSE CURB AND GUTTER TRANSITION
- ▨ P-1 PAVING
- P-2 PAVING
- 10' HIGH LIGHT POST WITH 175 WATT LAMP
- 25' HIGH LIGHT POST WITH 250 WATT LAMP

PLAN  
SCALE: 1" = 30'

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 11/5/97  
DIRECTOR DATE  
*[Signature]* 10/29/97  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE  
*[Signature]* 11/3/97  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

14 MAR 2023 TO CHANGE PARTIAL EXISTING LEVEL 2 ROOF INTO AN OUTDOOR TERRACE  
1 1/2" 10' RELOCATED GREASE INTERCEPTOR, MOD. G'S LINE LOCATION,  
MODIFIED ADD. SD LINES FOR ROOF DRAINING

DATE NO. REVISION

OWNER/DEVELOPER:

MARRIOTT SENIOR LIVING SERVICES, INC.  
MARRIOTT DRIVE  
WASHINGTON, D.C. 20058  
(301) 380-5515

PROJECT OMEN BROWN ASSISTED LIVING FACILITY

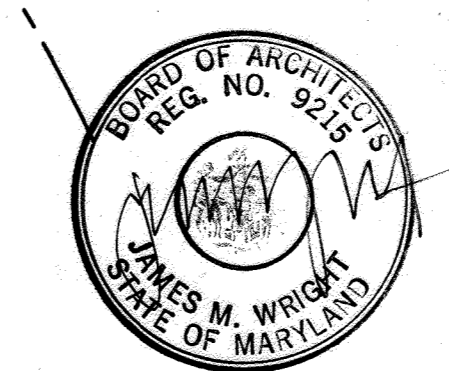
AREA VILLAGE OF OMEN BROWN SOUTH SECTION 2, AREA 2, PART II, PARCEL A-37  
TAX MAP 42, BLOCK 3  
ZONED NT 6th ELECTION DISTRICT

TITLE SITE DEVELOPMENT PLAN

**RIEMER MUEGGE & ASSOCIATES, INC.**  
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING  
8818 Centre Park Drive, Columbia, Maryland 21045  
tel 410.997.8900 fax 410.997.9282

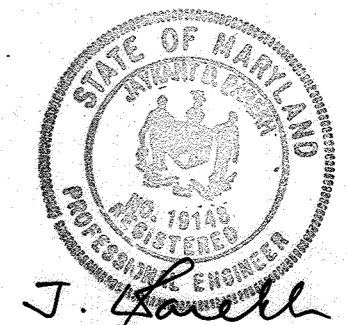
10-17-77  
DATE  
DESIGNED BY : CJR  
DRAWN BY: RPP/DAM  
PROJECT NO : 95082 SDP2.DWG  
DATE : OCTOBER 17, 1997  
SCALE : 1"=30'  
DRAWING NO. 2 OF 7

FOR REDLINE REVISION PROCESS



22 MAR 2023  
JAMES WRIGHT #9215

APPROVED  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE 13 March 97

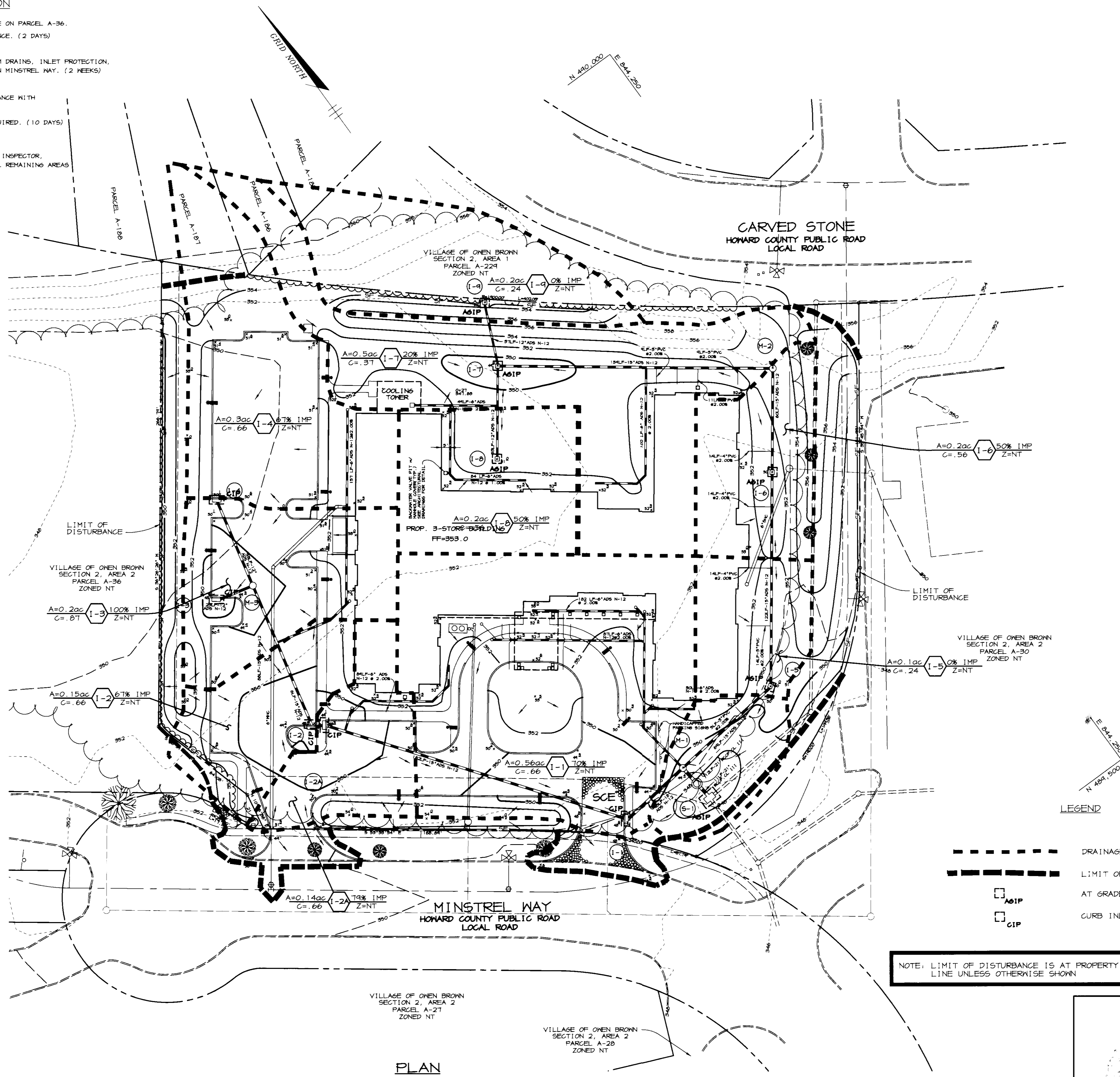


JAYKANT D. PAREKH #19148



SEQUENCE OF CONSTRUCTION

1. OBTAIN GRADING PERMIT AND PERMISSION TO GRADE OFFSITE ON PARCEL A-36.
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE AND SILT FENCE. (2 DAYS)
3. ROUGH GRADE SITE AND BEGIN BUILDING CONSTRUCTION.
4. AS SUBGRADE ELEVATIONS ARE ESTABLISHED, INSTALL STORM DRAINS, INLET PROTECTION, WATER, AND SEWER, HOWARD COUNTY TO INSTALL MHC WITHIN MINSTREL WAY. (2 WEEKS)
5. INSTALL CURB AND GUTTER AND PAVE ROADWAYS. (2 WEEKS)
6. FINE GRADE SITE. STABILIZE DISTURBED AREAS IN ACCORDANCE WITH PERMANENT SEEDING NOTES AS NECESSARY. (10 DAYS)
7. INSTALL LIGHTS, LANDSCAPING, WALKS, AND SIGNS AS REQUIRED. (10 DAYS)
8. COMPLETE REMAINING CONSTRUCTION. (16 WEEKS)
9. UPON APPROVAL OF HOWARD COUNTY DILP SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT CONTROL DEVICES AND STABILIZE ALL REMAINING AREAS IN ACCORDANCE WITH PERMANENT SEEDING NOTES. (2 DAYS)



PLAN  
SCALE: 1" = 30'

BY THE DEVELOPER :

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

*[Signature]*  
DEVELOPER 10/27/97  
DATE

BY THE ENGINEER :

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*[Signature]*  
ENGINEER 10-17-97  
DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

*[Signature]*  
NATURAL RESOURCES CONSERVATION SERVICE 10/27/97  
DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*[Signature]*  
HOWARD SOIL CONSERVATION DISTRICT 10/27/97  
DATE

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

*[Signature]*  
DIRECTOR 11/5/97  
DATE

*[Signature]*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION 10/29/97  
DATE

*[Signature]*  
CHIEF, DIVISION OF LAND DEVELOPMENT 11/3/97  
DATE

DATE NO. REVISION

OWNER/ DEVELOPER:

MARRIOTT SENIOR LIVING SERVICES, INC.  
MARRIOTT DRIVE  
WASHINGTON, D.C. 20058  
(301) 380-5515

PROJECT OWEN BROWN ASSISTED LIVING FACILITY

AREA VILLAGE OF OWEN BROWN SOUTH SECTION 2, AREA 2, PART II, PARCEL A-37 TAX MAP 42, BLOCK 3 ZONED NT 6th ELECTION DISTRICT

TITLE DRAINAGE AREA MAP AND SEDIMENT CONTROL PLAN

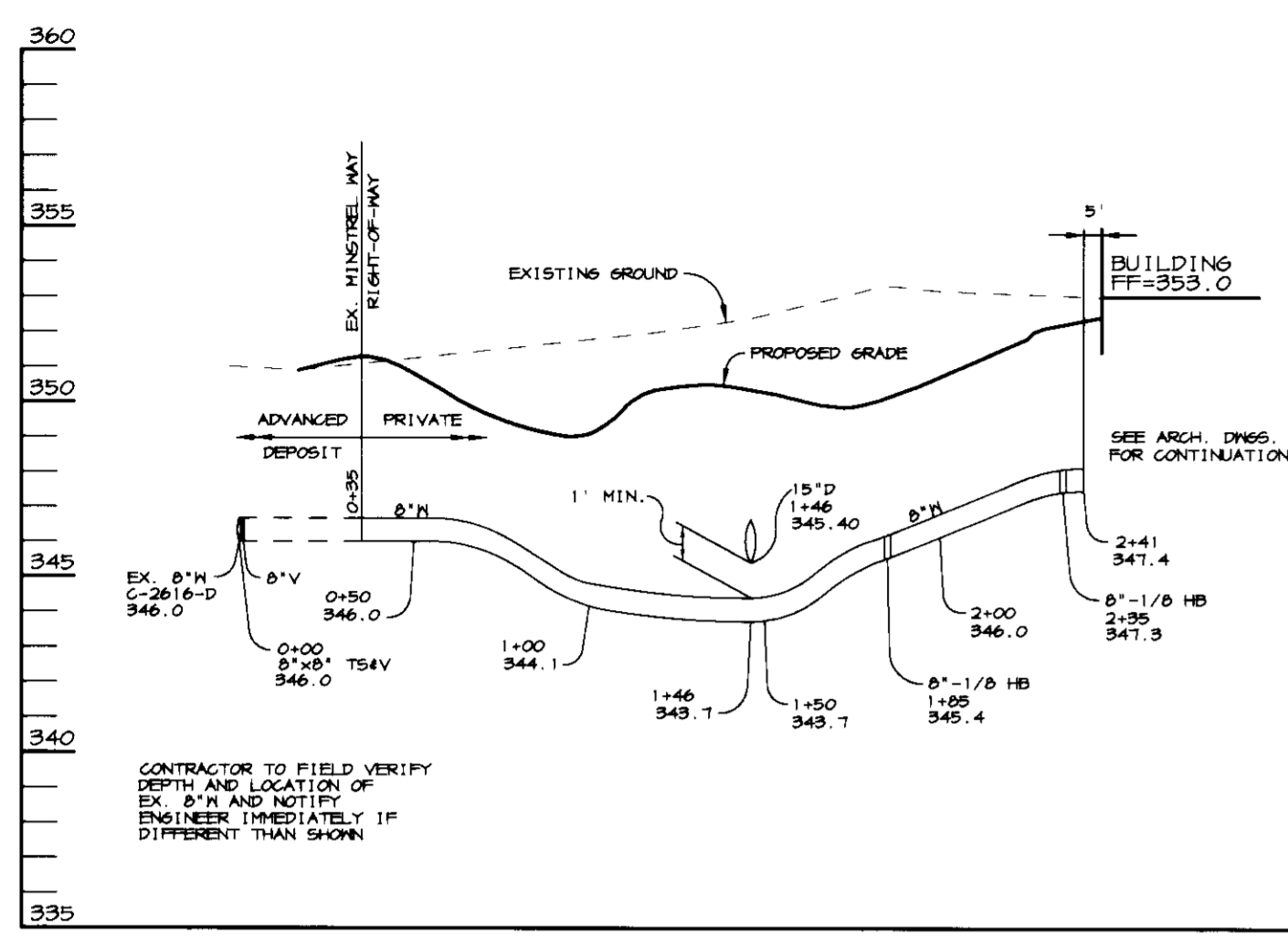
**RIEMER MUEGGE & ASSOCIATES, INC.**  
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING  
8818 Centre Park Drive, Columbia, Maryland 21045  
tel 410.997.8900 fax 410.997.9282

10-17-97  
DATE

DESIGNED BY : CJR  
DRAWN BY: RPP/DAM  
PROJECT NO .96082 SDP3.DWG  
DATE : OCTOBER 17, 1997  
SCALE : 1"=30'  
DRAWING NO. 3 OF 7

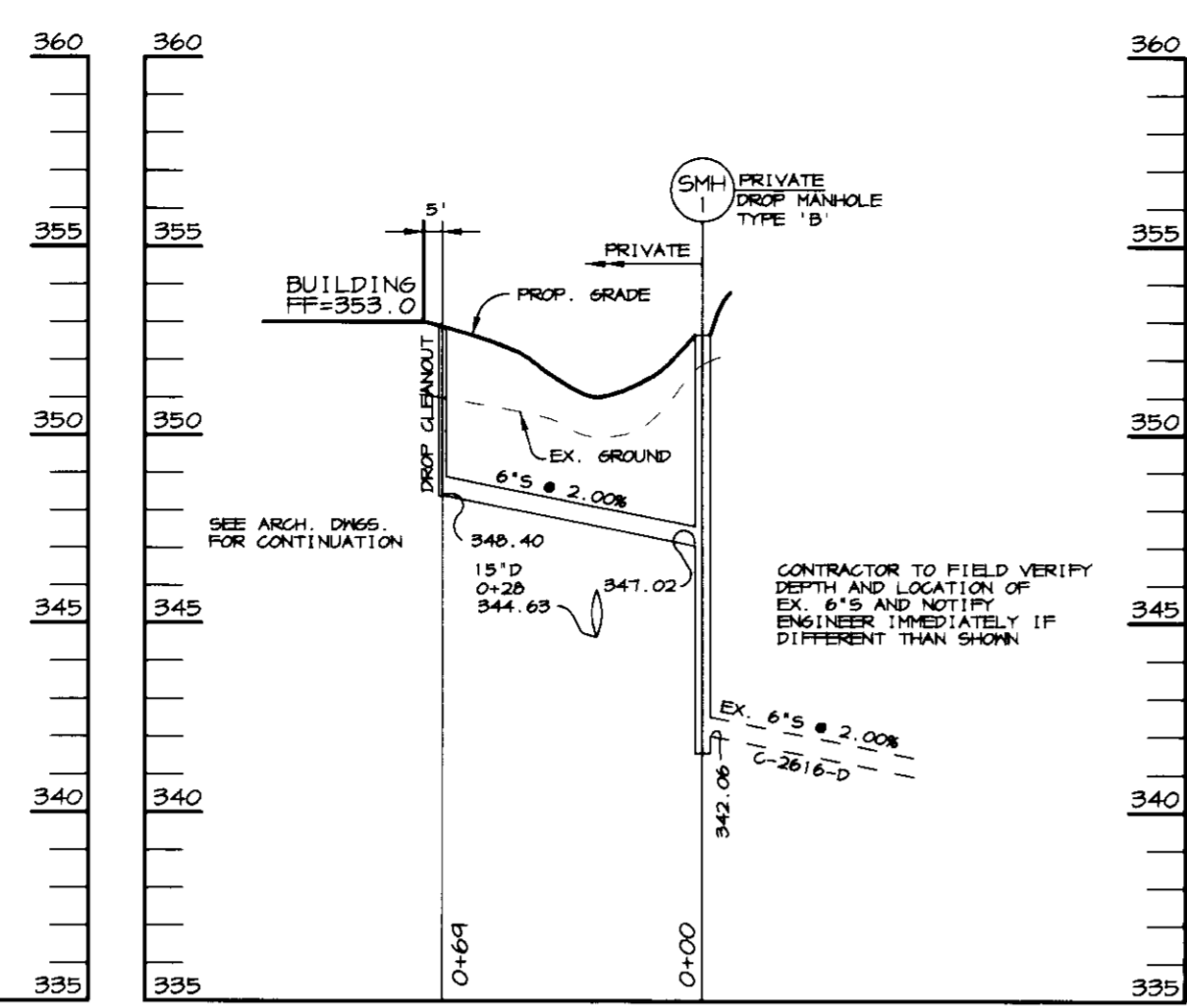
*[Signature]*  
JAYKANT D. PAREKH #19148

DATE: 13 March 97



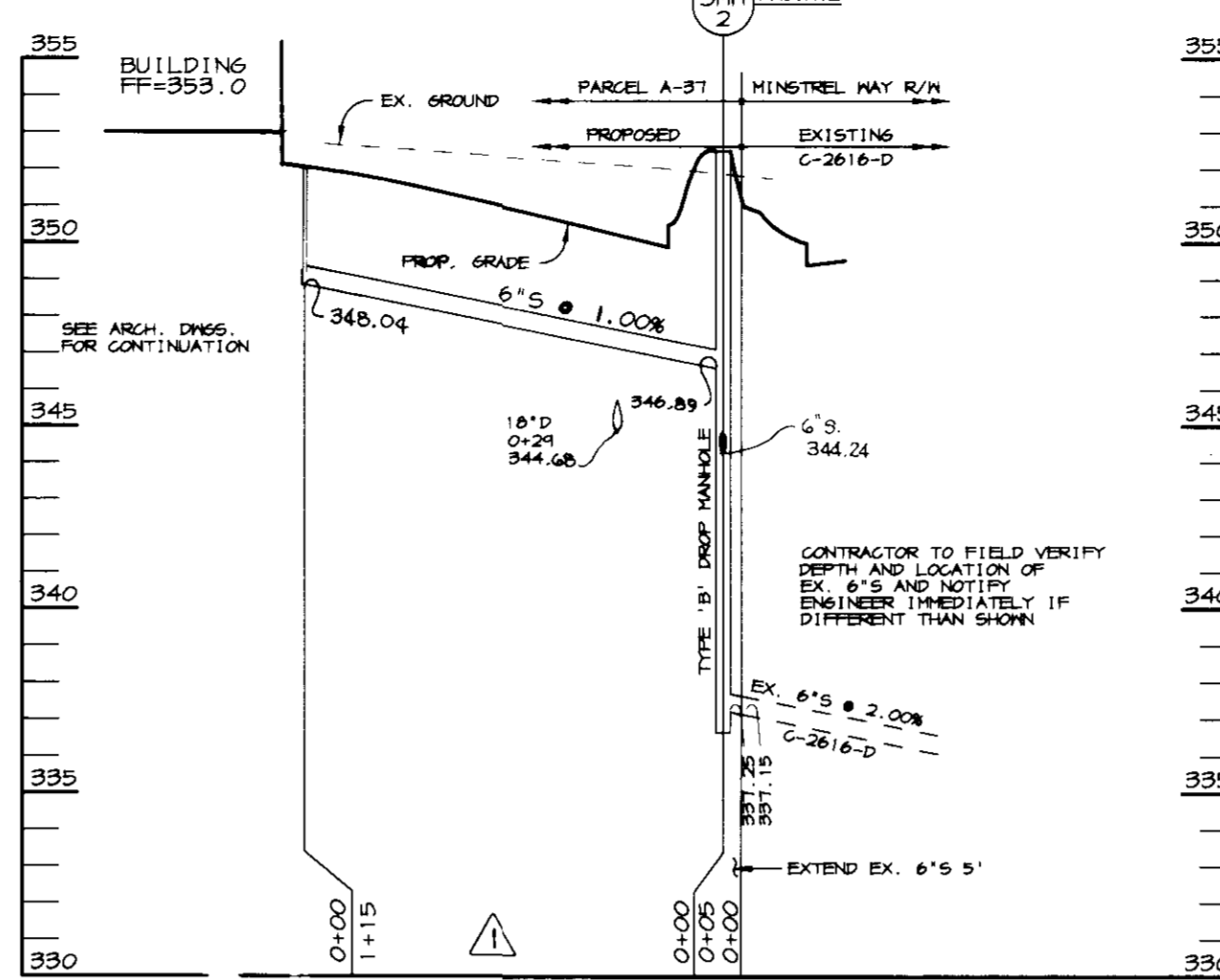
**WATER PROFILE**

SCALE:  
HOR. - 1" = 50'  
VERT. - 1" = 5'



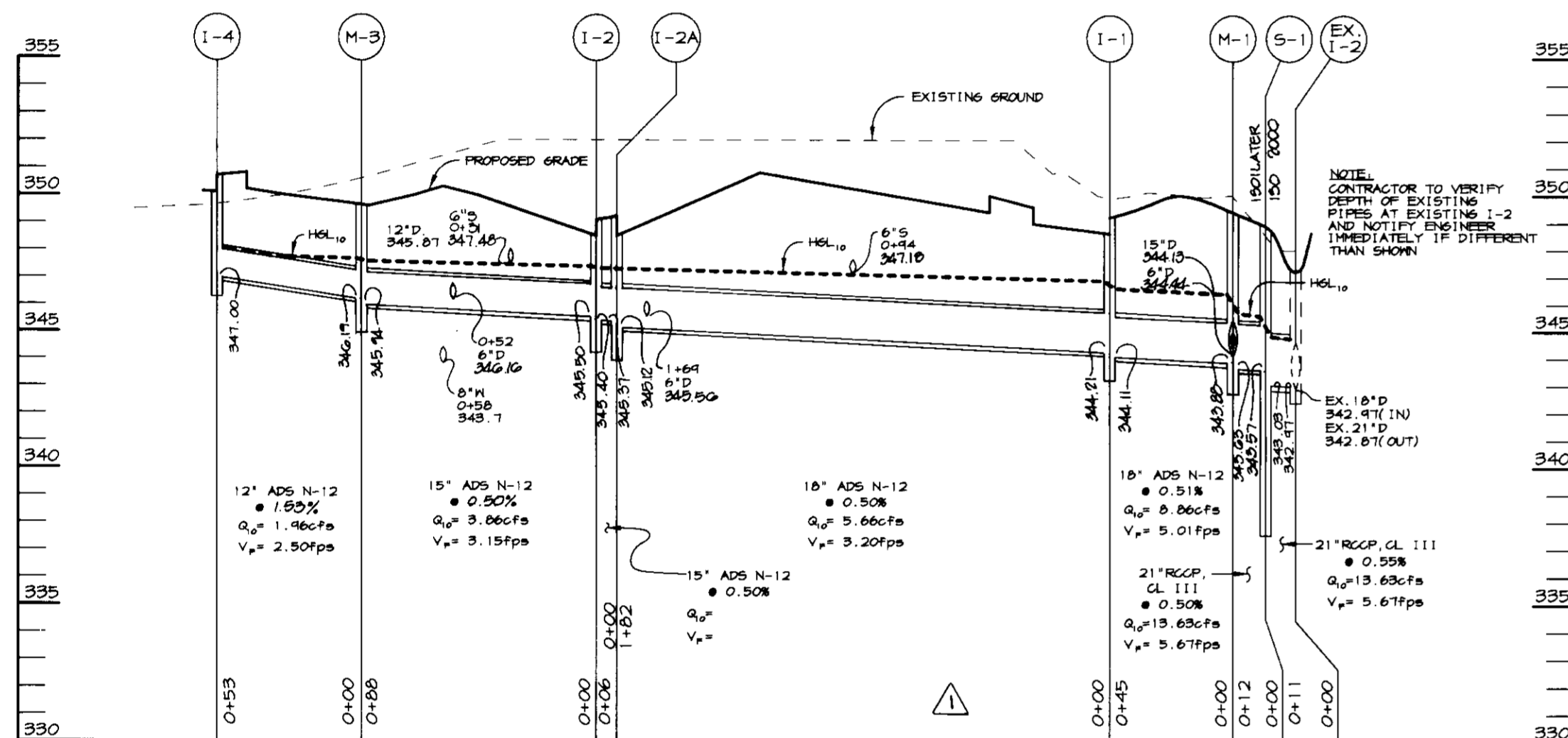
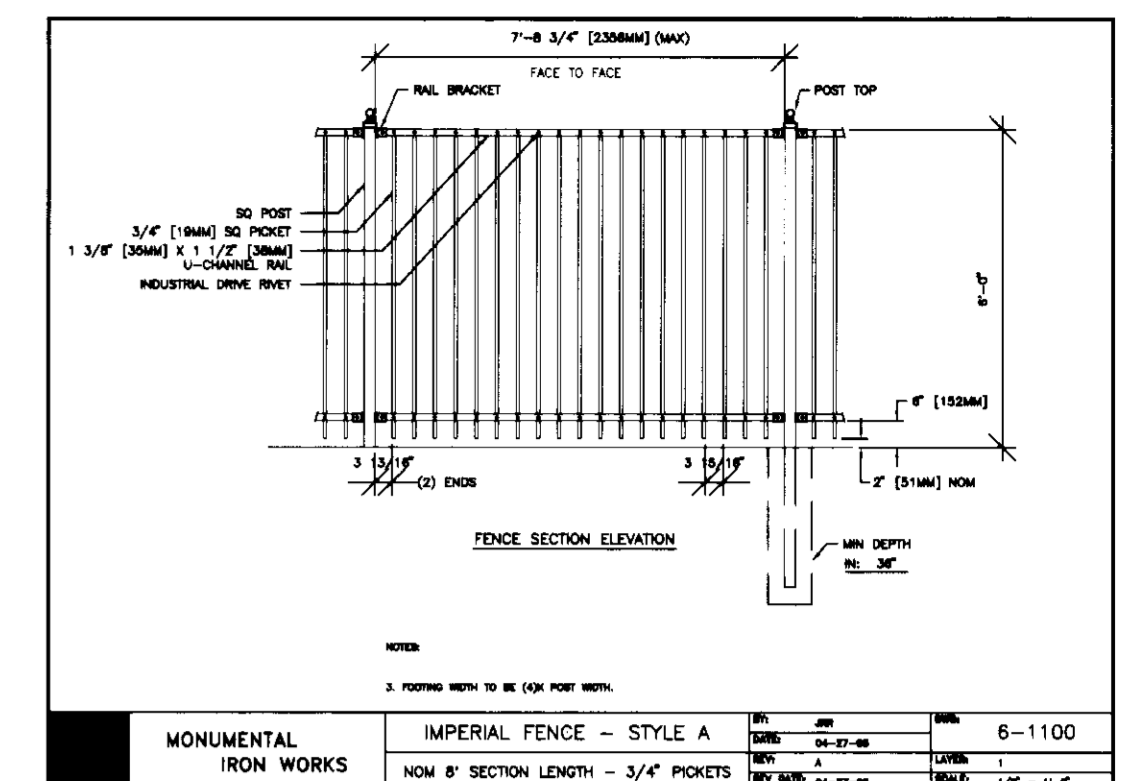
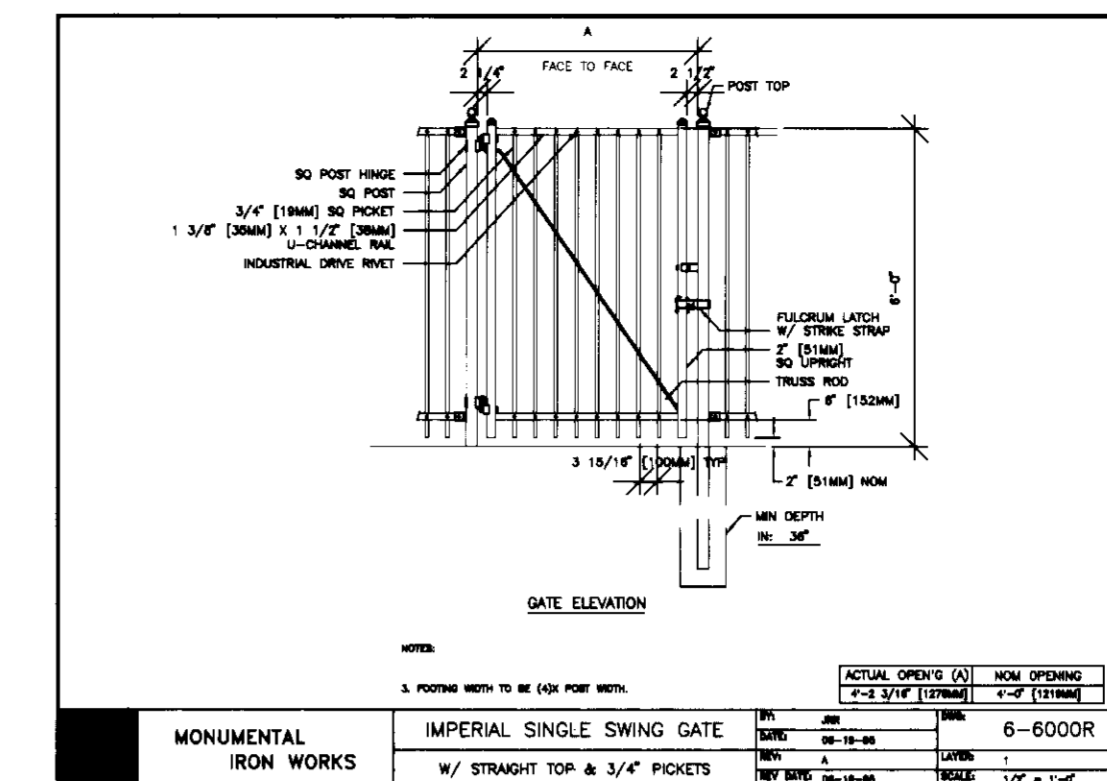
**SEWER PROFILE**

SCALE:  
HOR. - 1" = 50'  
VERT. - 1" = 5'



**SEWER PROFILE**

SCALE:  
HOR. - 1" = 50'  
VERT. - 1" = 5'



**STORM DRAIN PROFILE**

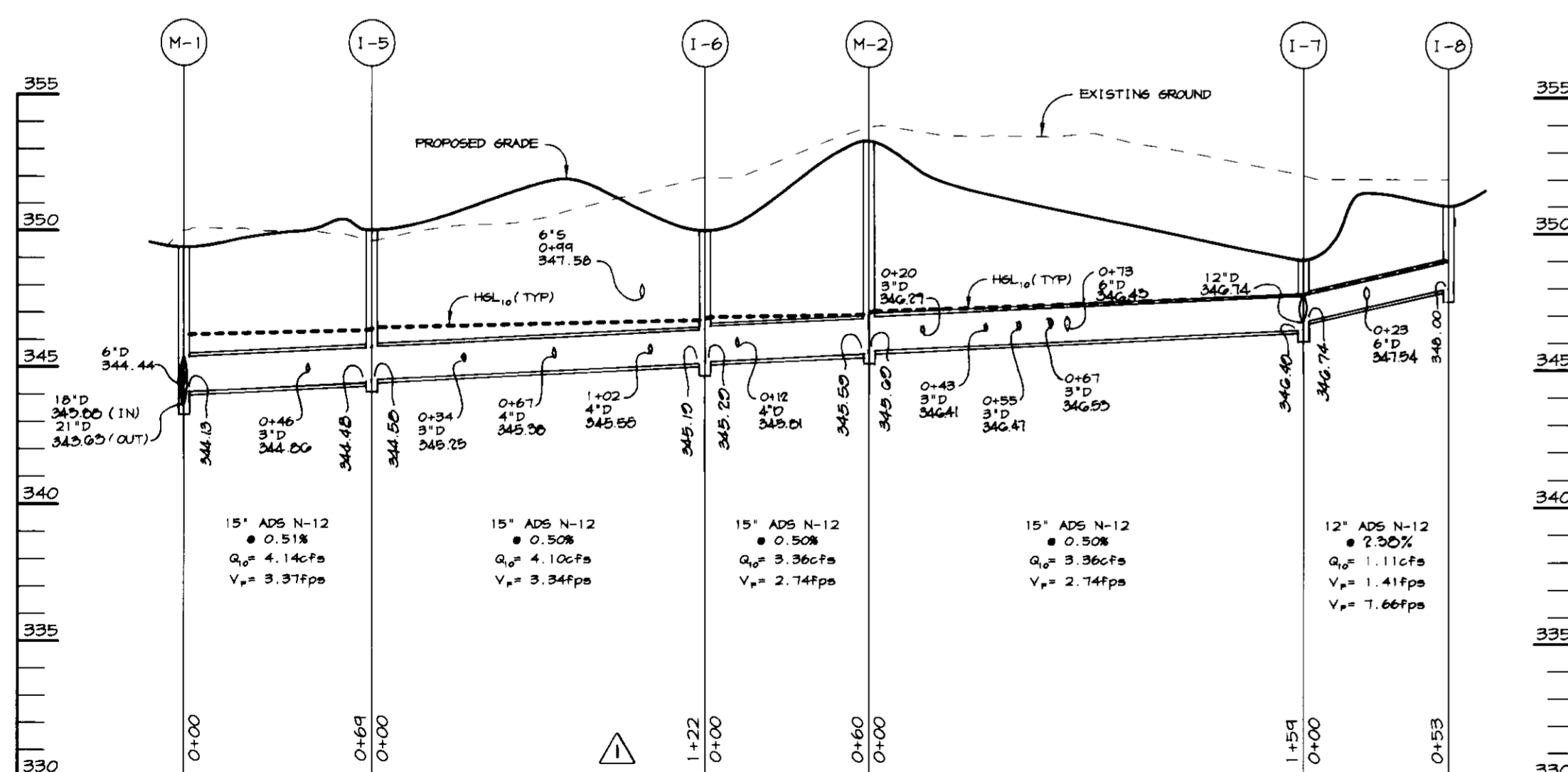
SCALE:  
HOR. - 1" = 50'  
VERT. - 1" = 5'

**STRUCTURE SCHEDULE**

STRUCTURE	TYPE	LOCATION	INV. IN	INV. OUT	TOP	REMARKS
I-1	A-5	N 409,641.21 E 043,998.44	344.21	344.11	349.2	HOCO. STD. DETAIL SD 4.01
I-2	A-5	N 409,709.70 E 045,004.97	345.50	345.40	349.1	HOCO. STD. DETAIL SD 4.01
I-2A	A-5	N 409,704.50 E 043,042.10	345.37	345.12	349.1	HOCO. STD. DETAIL SD 4.01
I-3	A-5	N 409,801.12 E 043,004.00	-	-	346.33	HOCO. STD. DETAIL SD 4.01
I-4	A-5	N 409,926.90 E 043,917.94	-	-	347.00	HOCO. STD. DETAIL SD 4.01
I-5	S IV/RET. GRATE	N 409,653.06 E 044,111.45	344.58	344.40	350.0	HOCO. STD. DETAIL SD 4.92 & 4.93
I-6	S IV/RET. GRATE	N 409,751.43 E 044,104.91	345.29	345.19	350.0	HOCO. STD. DETAIL SD 4.92 & 4.93
I-7	S IV/RET. GRATE	N 409,843.44 E 044,092.73	346.74 (2'-12")	346.49	349.8	HOCO. STD. DETAIL SD 4.92 & 4.93
I-8	S IV/RET. GRATE	N 409,850.59 E 044,061.07	-	-	346.00	HOCO. STD. DETAIL SD 4.92 & 4.93
I-9	S IV/RET. GRATE	N 409,927.30 E 044,106.13	-	-	349.26	HOCO. STD. DETAIL SD 4.92 & 4.93
M-1	4" MH	N 409,644.62 E 044,043.34	344.19 (15") 343.88 (18") 344.44 (6")	343.63	349.4	HOCO. STD. DETAIL 6 5.01
M-2	4" MH	N 409,799.36 E 044,220.20	345.69	345.59	353.4	HOCO. STD. DETAIL 6 5.01
M-3	4" MH	N 409,874.05 E 043,904.94	346.19 (12") 346.19 (12")	345.94	349.6	HOCO. STD. DETAIL 6 5.01
S-1	150 2000	N 409,602.70 E 044,044.70	343.57	343.03	347.9	SEE DETAIL, SHEET 4
SMH-1	TYPE B DROP 4" MH	N 409,747.28 E 044,144.13	347.02	342.06	352.7	HOCO. STD. DETAIL 6 5.01
SMH-2	TYPE B DROP 4" MH	N 409,642.34 E 043,925.12	344.24 346.39	337.25	352.5	HOCO. STD. DETAIL 6 5.01 & S 1.32

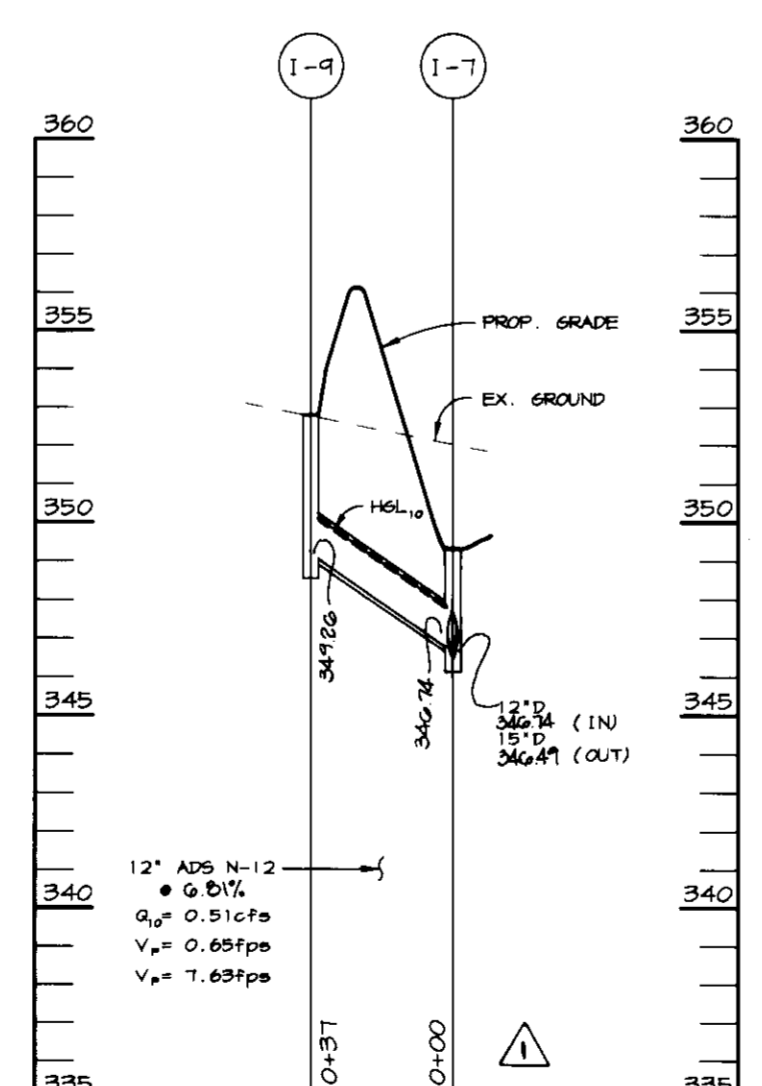
NOTES: LOCATION IS AT CENTER OF THROAT OPENING AT FACE OF CURB FOR CURB INLETS. TOP ELEVATION IS TOP OF CURB/GRATE.

PAVEMENT WIDTH INDICATED ON TYP. STREET SECTIONS TO BE MEASURED TO THIS POINT.



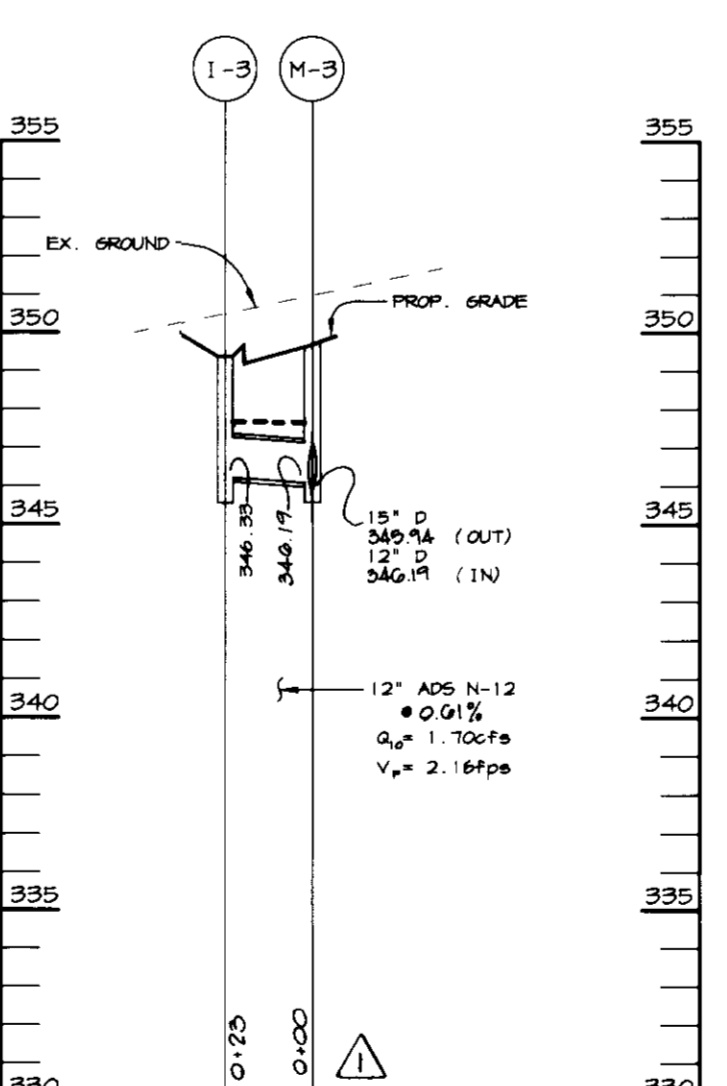
**STORM DRAIN PROFILE**

SCALE:  
HOR. - 1" = 50'  
VERT. - 1" = 5'



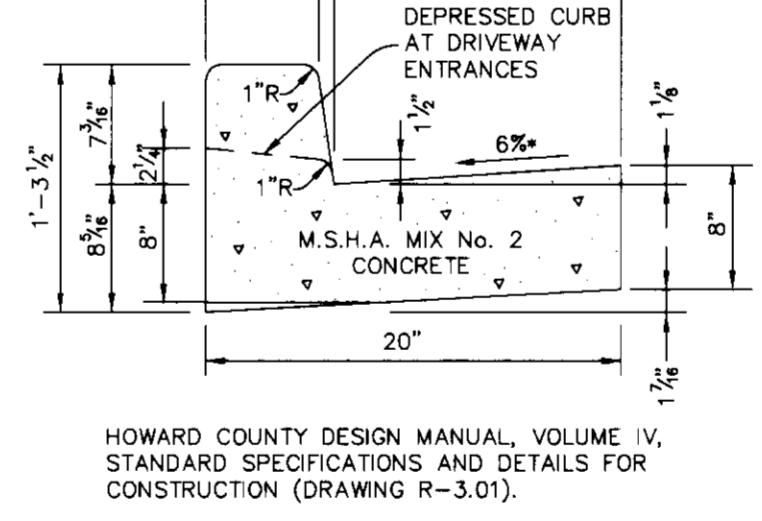
**STORM DRAIN PROFILE**

SCALE:  
HOR. - 1" = 50'  
VERT. - 1" = 5'



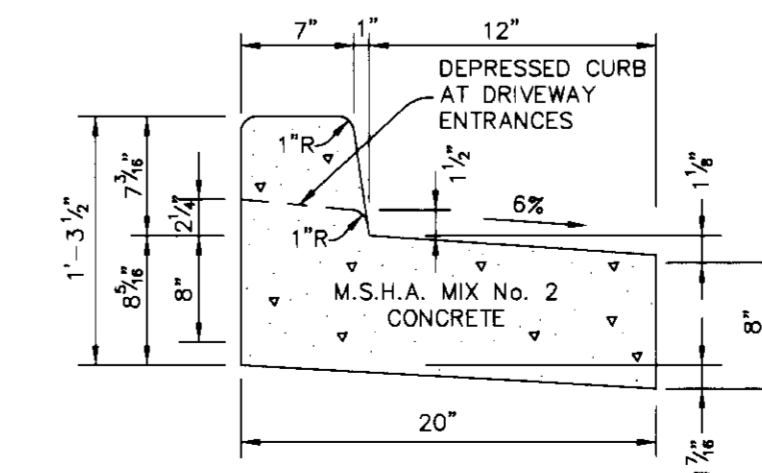
**STORM DRAIN PROFILE**

SCALE:  
HOR. - 1" = 50'  
VERT. - 1" = 5'



**STANDARD 7" COMBINATION CURB AND GUTTER**

NO SCALE



**REVERSE 7" COMBINATION CURB AND GUTTER**

NO SCALE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

*James R. Smith* 11/3/97  
DIRECTOR DATE

*William D. Williams* 10/29/97  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Condy Hamilton* 11/3/97  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

1-10-97 REVISED STRUCTURE SCHEDULE & MARKED PROFILES ADDED S. PROFILE ABOVE

DATE NO. REVISION

OWNER/DEVELOPER:

MARRIOTT SENIOR LIVING SERVICES, INC.  
MARRIOTT DRIVE  
WASHINGTON, D.C. 20058  
(301) 380-5519

PROJECT: OWEN BROWN ASSISTED LIVING FACILITY

AREA: VILLAGE OF OWEN BROWN SOUTH SECTION 2, AREA 2, PART 11, PARCEL A-37  
TAX MAP 42, BLOCK 3  
ZONED NT, 6th ELECTION DISTRICT

TITLE: PROFILES, NOTES, AND DETAILS

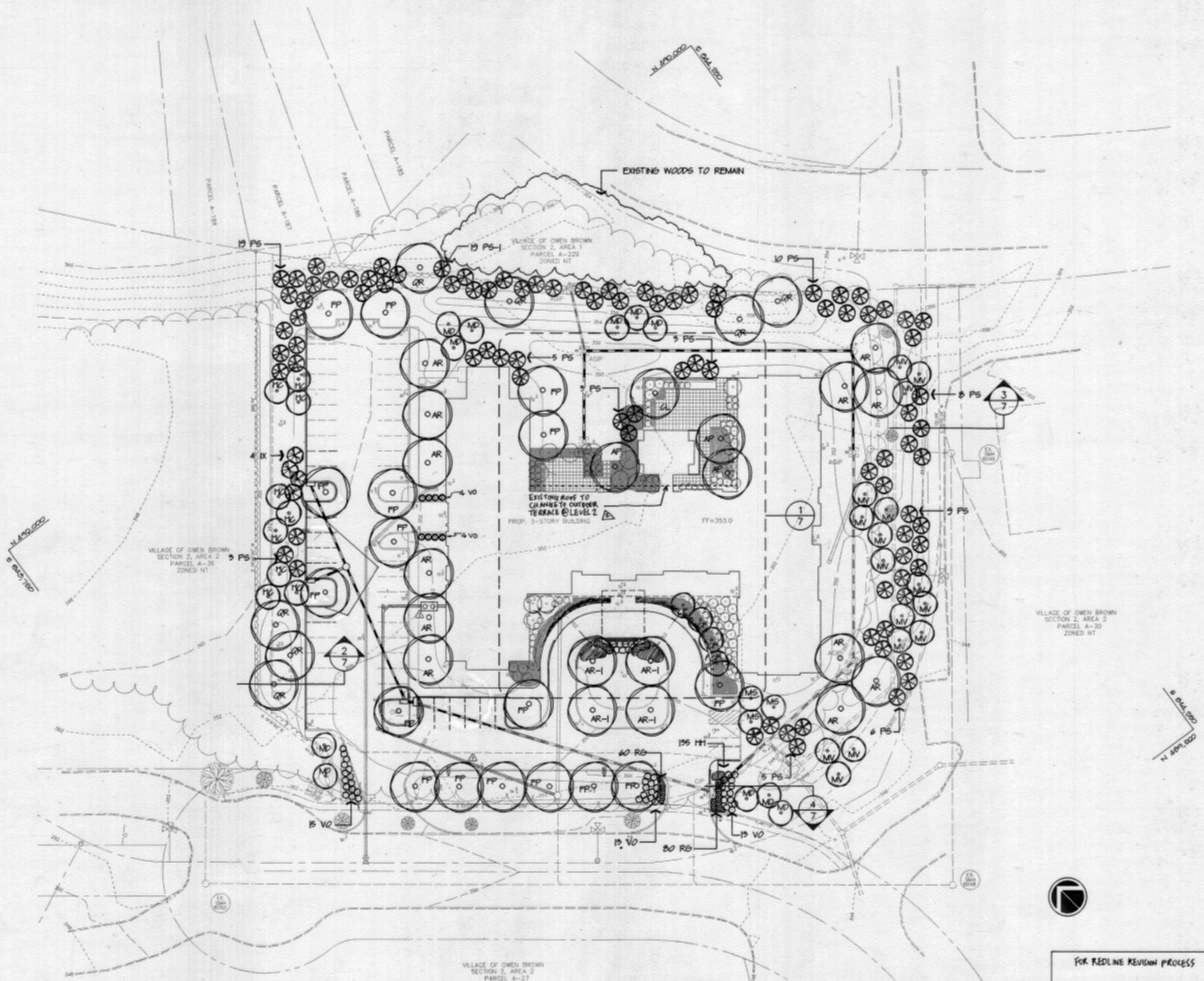
**RIEMER MUEGGE & ASSOCIATES, INC.**  
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING  
8818 Centre Park Drive, Columbia, Maryland 21045  
tel 410.997.8900 fax 410.997.9282

DATE: 10-17-97

DESIGNED BY: CJR  
DRAWN BY: RPP/DAM  
PROJECT NO: 96082 SDPS.DWG  
DATE: OCTOBER 17, 1997  
SCALE: AS SHOWN  
DRAWING NO. 5 OF 7

JAYKANT D. PAREKH #19148





PLAN  
SCALE: 1" = 30'

NOTE: PLANTS IDENTIFIED ON THIS SHEET ARE INCLUDED IN THE PLANT LIST ON SHEET 7  
THIS DRAWING FOR LANDSCAPE PURPOSES ONLY

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.  
 DIRECTOR: *[Signature]* DATE: 11/5/97  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION: *[Signature]* DATE: 10/29/97  
 CHIEF, DIVISION OF LAND DEVELOPMENT: *[Signature]* DATE: 11/3/97

REVISIONS TO CHANGE FINAL EXISTING LEVEL 2 INTO AN OUTDOOR TERRACE.  
 1-10-98 ADDED SEWER, RELOCATED GREASE INTERCEPTOR.  
 DATE NO. REVISION

OWNER/DEVELOPER:  
 MARRIOTT SENIOR LIVING SERVICES, INC.  
 MARRIOTT DRIVE  
 WASHINGTON, D.C. 20098  
 (301) 380-5515

PROJECT: OWEN BROWN ASSISTED LIVING FACILITY  
 AREA: VILLAGE OF OWEN BROWN SECTION 2, AREA 2, PARCEL A-37 TAX MAP 42, BLOCK 3 ZONED NT  
 TITLE: LANDSCAPE PLAN

RIEMER MUEGGE & ASSOCIATES, INC.  
 ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING  
 8818 Centre Park Drive, Columbia, Maryland 21045  
 tel 410.997.8900 fax 410.997.9282

DESIGNED BY: CDM  
 DRAWN BY: JRB  
 PROJECT NO: 96069.00  
 DATE:  
 SCALE: AS NOTED  
 DRAWING NO. 6 OF 7

ANSHEN + ALLEN

ARCHITECTURE  
 PLANNING  
 INTERIOR DESIGN  
 LANDSCAPE ARCHITECTURE  
 250 WEST PRATT STREET  
 BALTIMORE  
 MARYLAND 21201  
 410 528 7900

FOR REDLINE REVISION PROCESS



22 MAR 2003  
 JAMES WRIGHT #9215

APPROVED  
 PLANNING BOARD  
 of HOWARD COUNTY  
 DATE: 13 March '97



CAROL D. MACHT RLA-548



## TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

**Seeded Preparation:** Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

**Soil Amendments:** Apply 600 lbs. per acre 10-10-10 Fertilizer (14 lbs. per 1000 sq. ft.).

**Seeding:** For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2-1/2 bushels per acre of annual ryegrass (3.2 lbs. per 1000 sq. ft.). For the period May 1 thru August 14, seed with 3 lbs. per acre of creeping lovegrass (0.07 lbs. per 1000 sq. ft.). For the period November 16 thru February 29, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

**Mulching:** Apply 1-1/2 to 2 tons per acre (70 to 90 lbs. per 1000 sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 2 gal. per acre (5 gal. per 1000 sq. ft.) of emulsified asphalt on flat areas. On slopes, 8 ft. or higher, use 347 gal. per acre (8 gal. per 1000 sq. ft.) for anchoring.

Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

## PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

**Seeded Preparation:** Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

**Soil Amendments:** In lieu of soil test recommendations, use one of the following schedules:

- 1) Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs. per 1000 sq. ft.) and 600 lbs. per acre 10-10-10 Fertilizer (14 lbs. per 1000 sq. ft.) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (4 lbs. per 1000 sq. ft.).
- 2) Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs. per 1000 sq. ft.) and 1000 lbs. per acre 10-10-10 Fertilizer (23 lbs. per 1000 sq. ft.) before seeding. Harrow or disc into upper three inches of soil.

**Seeding:** For the period March 1 thru April 30 and from August 1 thru October 15, seed with 60 lbs. per acre (1.4 lbs. per 1000 sq. ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (0.05 lbs. per 1000 sq. ft.) of creeping lovegrass. During the period October 16 thru February 29, protect site by one of the following options:

- 1) 2 tons per acre of well-anchored mulch straw and seed as soon as possible in the spring.
- 2) Use sod.
- 3) Seed with 60 lbs. per acre Kentucky 31 Tall Fescue and mulch with 2 tons per acre well anchored straw.

**Mulching:** Apply 1-1/2 to 2 tons per acre (70 to 90 lbs. per 1000 sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 2 gal. per acre (5 gal. per 1000 sq. ft.) of emulsified asphalt on flat areas. On slopes, 8 ft. or higher, use 347 gal. per acre (8 gal. per 1000 sq. ft.) for anchoring.

**Maintenance:** Inspect all seeded areas and make needed repairs, replacements and reseeding.

## SEDIMENT CONTROL NOTES

1. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION (313-1955).
2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL AND EROSION CONTROL, AND REVISIONS THEREOF.
3. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES AND ALL SLOPES GREATER THAN 3:1. BY 14 DAYS AS TO OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THE PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1981 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL AND EROSION CONTROL FOR PERMANENT SEEDINGS (SEC. 51), SOD (SEC. 54), TEMPORARY SEEDING (SEC. 50) AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
7. SITE ANALYSIS:
 

TOTAL AREA OF SITE	2.14 ACRES
AREA TO BE ROOFED OR PAVED	2.17 ACRES
AREA TO BE VEGETATIVELY STABILIZED	1.49 ACRES
TOTAL CUT	4000 CU. YARDS
TOTAL FILL	4000 CU. YARDS
8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
9. ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
10. SITE GRADINGS WILL BEGIN ONLY AFTER ALL PERIMETER SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED AND ARE IN A FUNCTIONING CONDITION.
11. SEDIMENT WILL BE REMOVED FROM TRAPS WHEN ITS DEPTH REACHES CLEAN OUT ELEVATION SHOWN ON THE PLANS.
12. CUT AND FILL QUANTITIES PROVIDED UNDER SITE ANALYSIS DO NOT REPRESENT BID QUANTITIES. THESE QUANTITIES DO NOT DISTINGUISH BETWEEN TOPSOIL, STRUCTURAL FILL OR EMBANKMENT MATERIAL, NOR DO THEY REFLECT CONSIDERATION OF UNDESIRABLE OR UNSUITABLE MATERIAL. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH SITE CONDITIONS WHICH MAY AFFECT THE WORK.
13. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 AC., APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVAL MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
14. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN BE BACKFILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

## 21.0 STANDARD AND SPECIFICATIONS

**TOPSOIL**  
**Definition:** Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.  
**Purpose:** To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

**Conditions These Practices Apply:**  
 1. This practice is limited to areas having 2:1 or flatter slopes where:  
 a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.  
 b. The soil material is so shallow that the rooting zone is not deep enough to support plants or  
 c. The soil is so acidic that treatment with limestone is not feasible.  
 d. The original soil to be vegetated contains material toxic to plant growth.  
 e. The soil is so acidic that treatment with limestone is not feasible.

**Construction and Material Specifications**  
 1. Topsoil salvaged from the existing site may be used provided that it meets the standards set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experiment Station.

2. Topsoil Specifications - Soil to be used as topsoil must meet the following:  
 1. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand, other soils may be used if recommended by soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 2% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, rocks, trash, or other materials larger than 1 1/2" in diameter.  
 2. Topsoil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnsongrass, nutgrass, poison ivy, bristle, or others as specified.

3. Where subsoil is either highly acidic or composed of heavy clay, ground limestone shall be spread at the rate of 4 lb. per acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Limestone shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedure.

4. For sites having disturbed areas under 5 acres:  
 1. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.  
 2. For sites having disturbed areas over 5 acres:  
 1. On soil meeting topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:  
 a. pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be added to raise the pH to 6.0 or higher.  
 b. Organic content of topsoil shall be not less than 1.5 percent by weight.  
 c. Topsoil having soluble salt content greater than 500 parts per million shall not be used.  
 d. No seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.

5. Note: Topsoil substitutes to amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority may be used in lieu of natural topsoil.

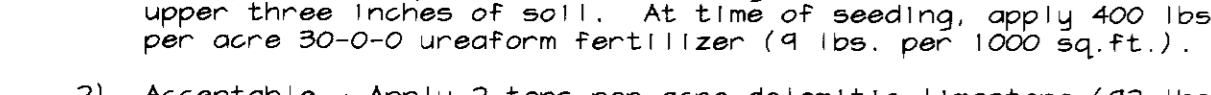
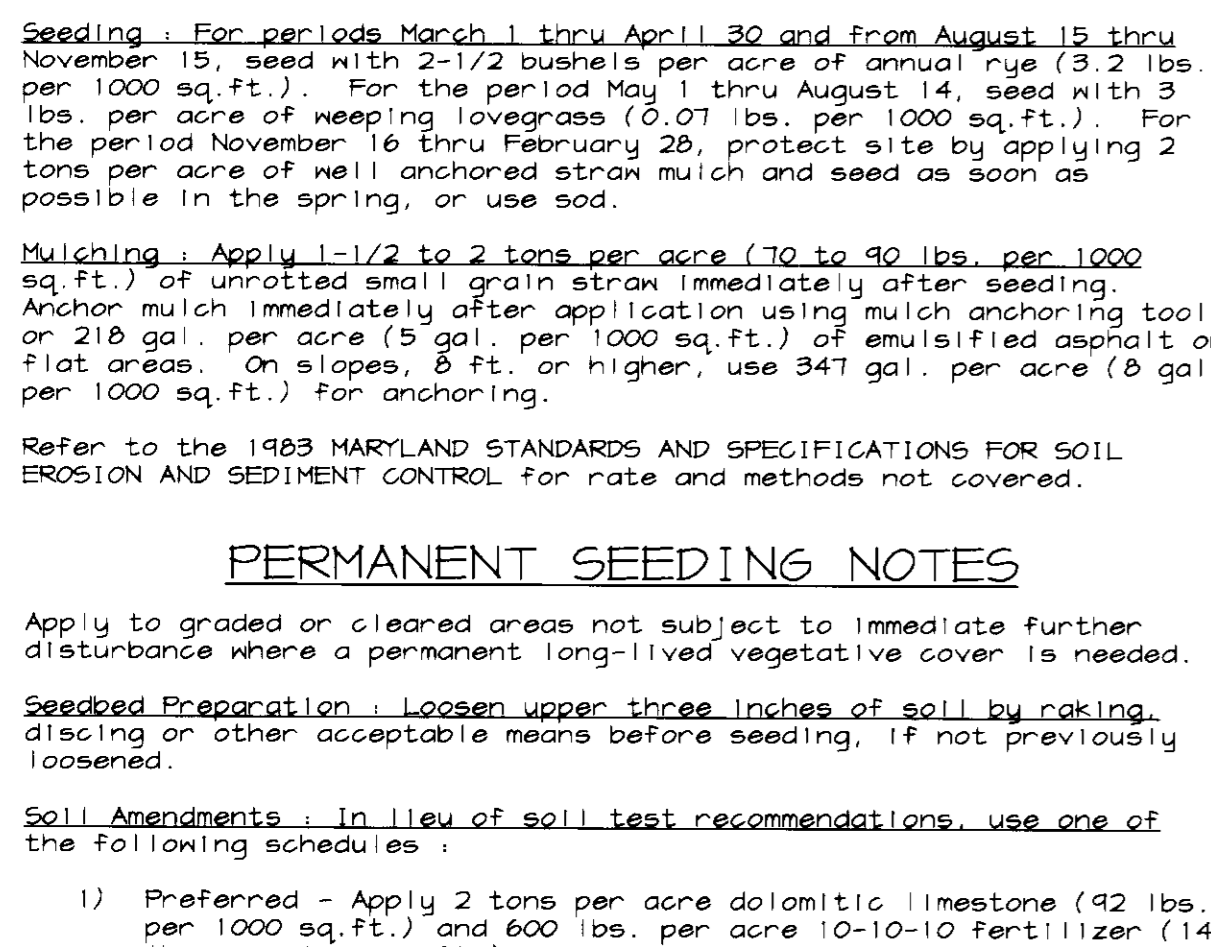
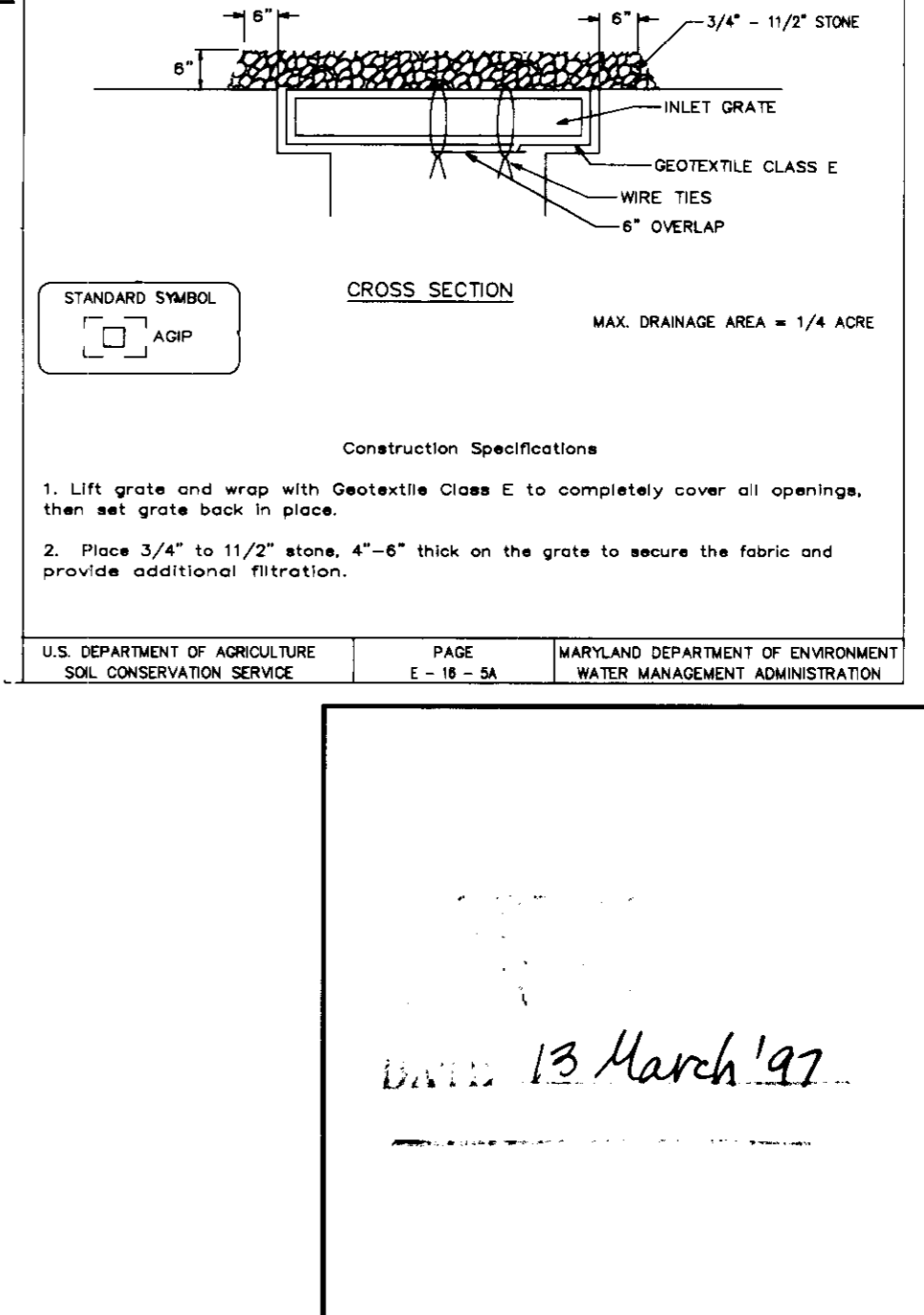
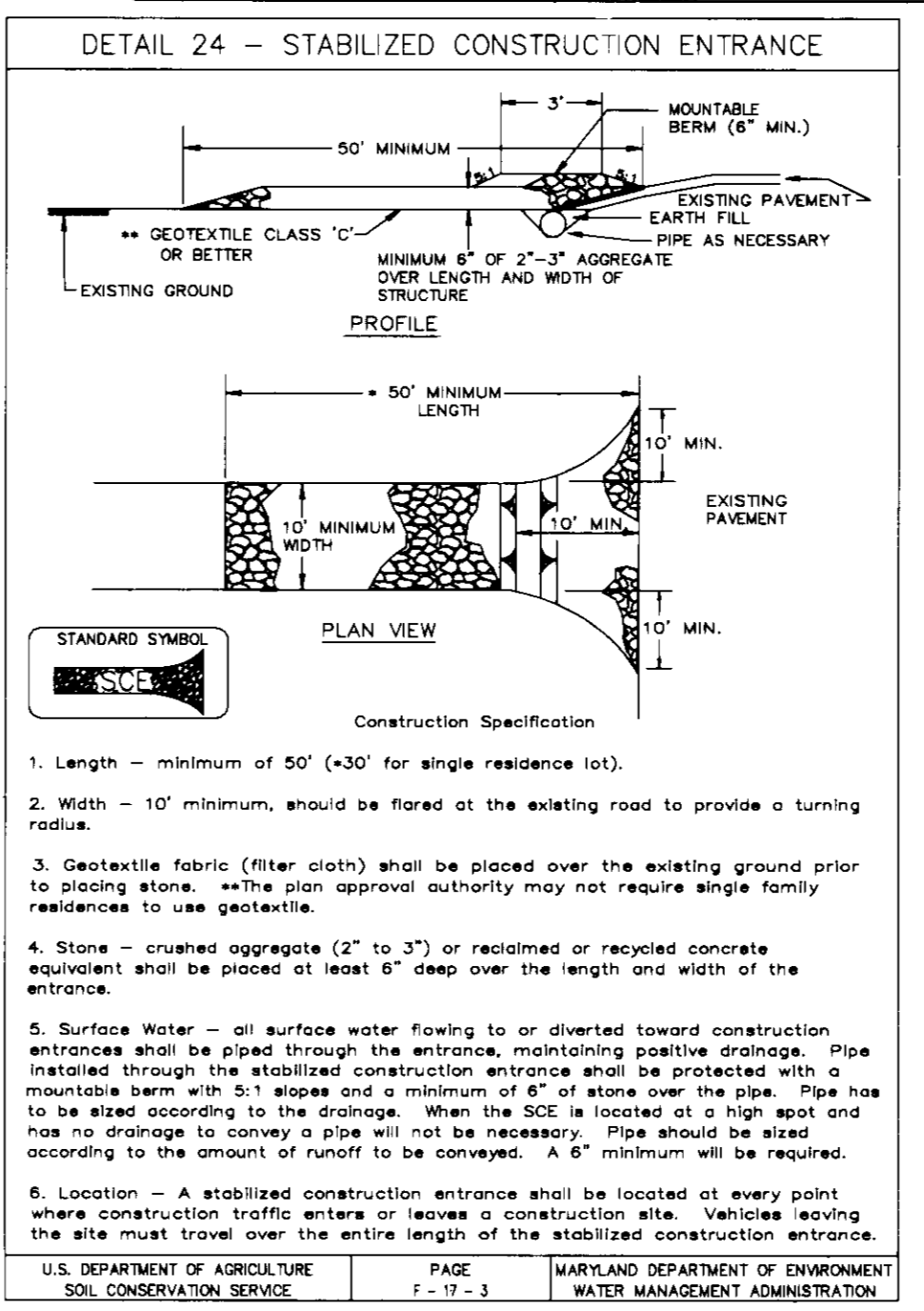
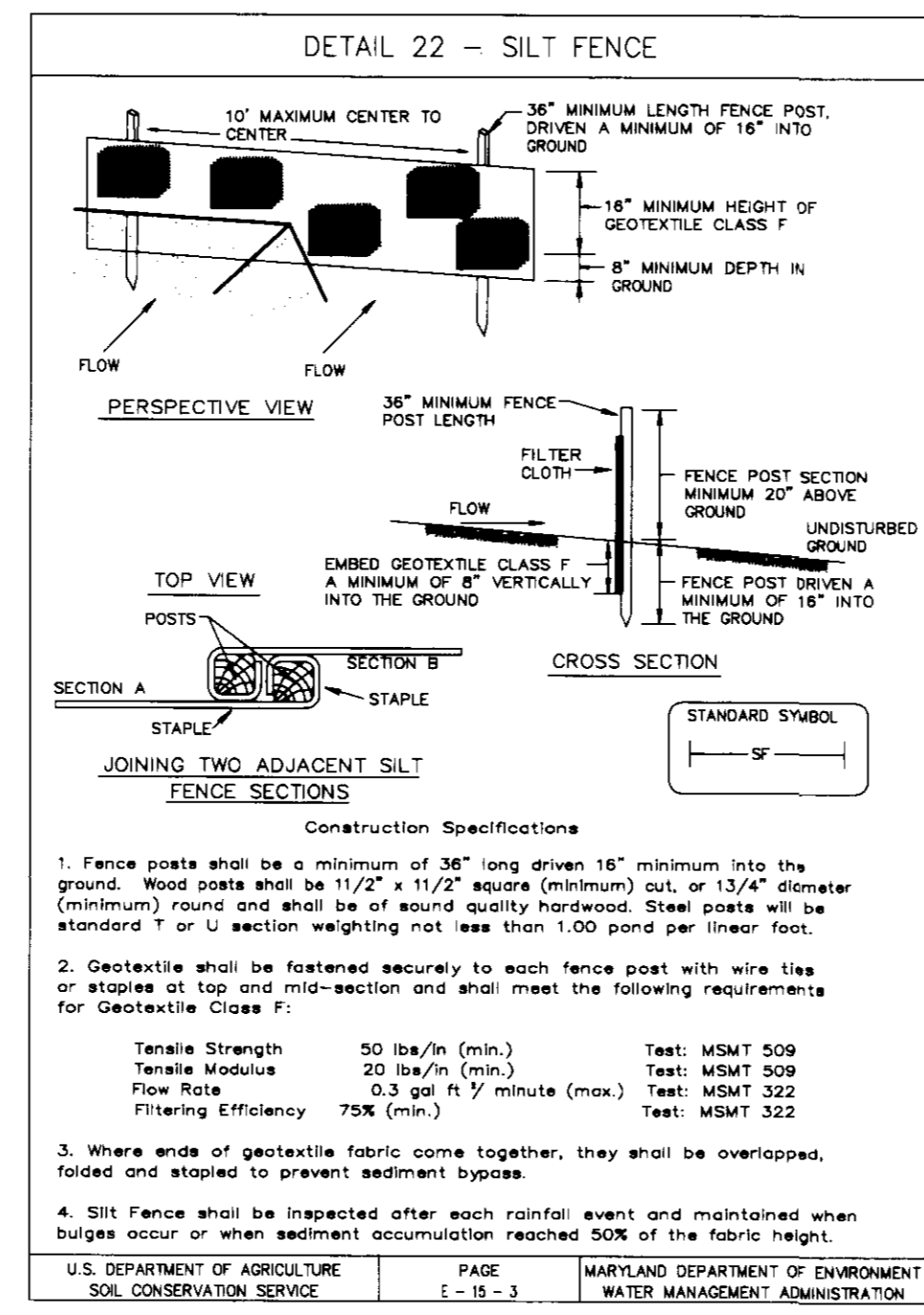
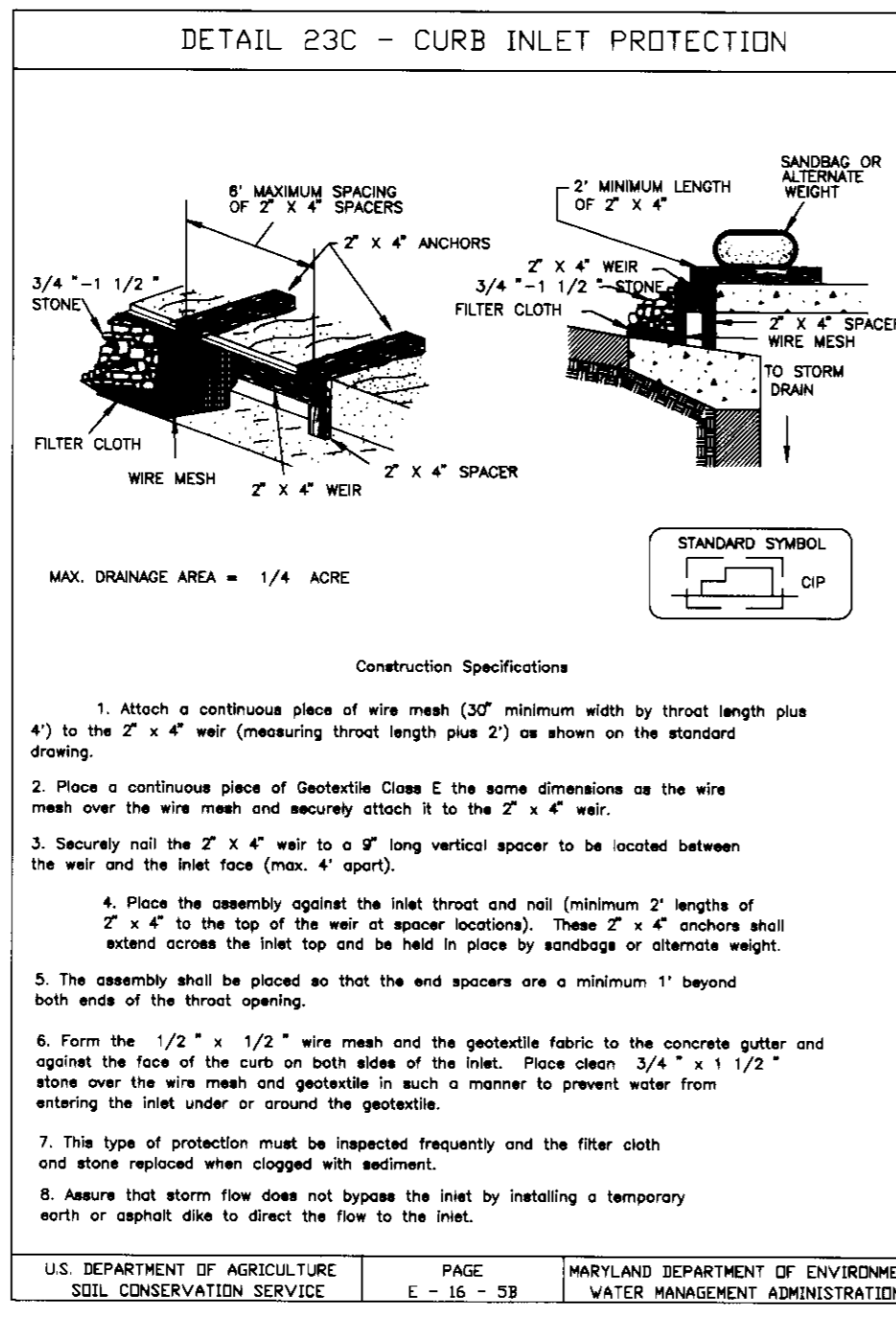
6. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.

**VI. Topsoil Application**  
 1. When topsoiling, maintain erosion and sediment control practices such as diversions, grade stabilization structures, earth dikes, slope silt fence and sediment traps and basins.  
 2. Grasses on the area to be topsoiled, which have been previously established, shall be maintained, albeit 4" - 8" higher in elevation.  
 3. Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that adding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.  
 4. Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seeded preparation.

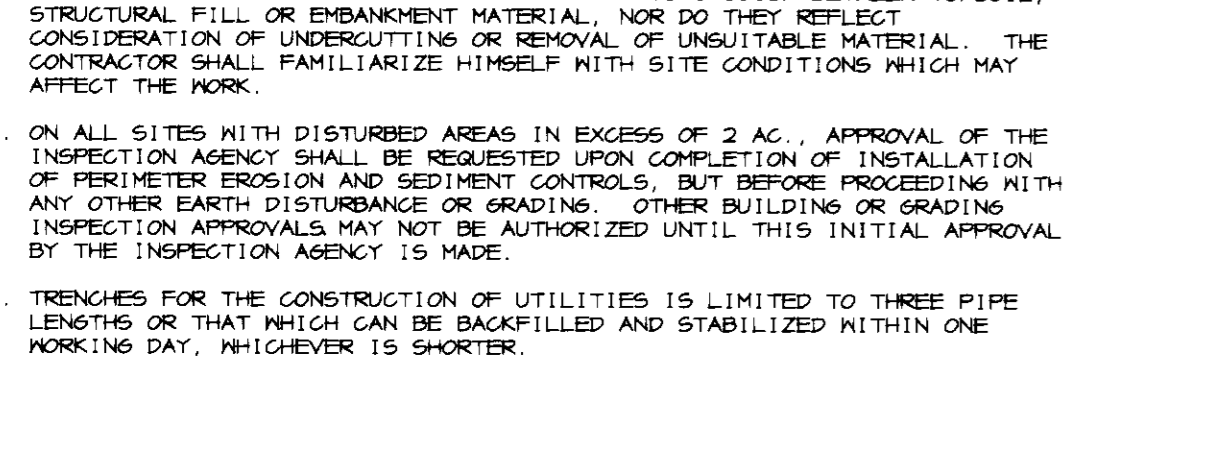
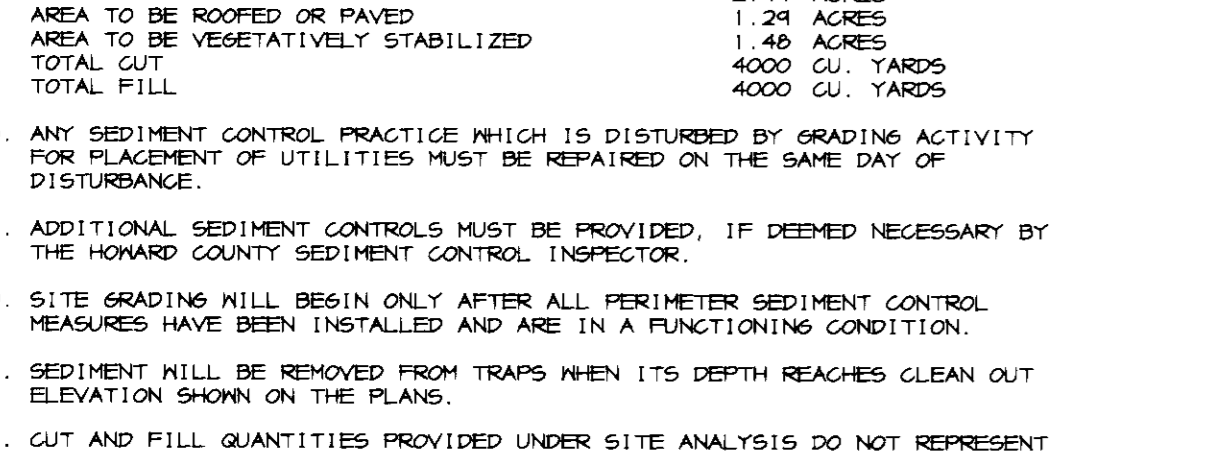
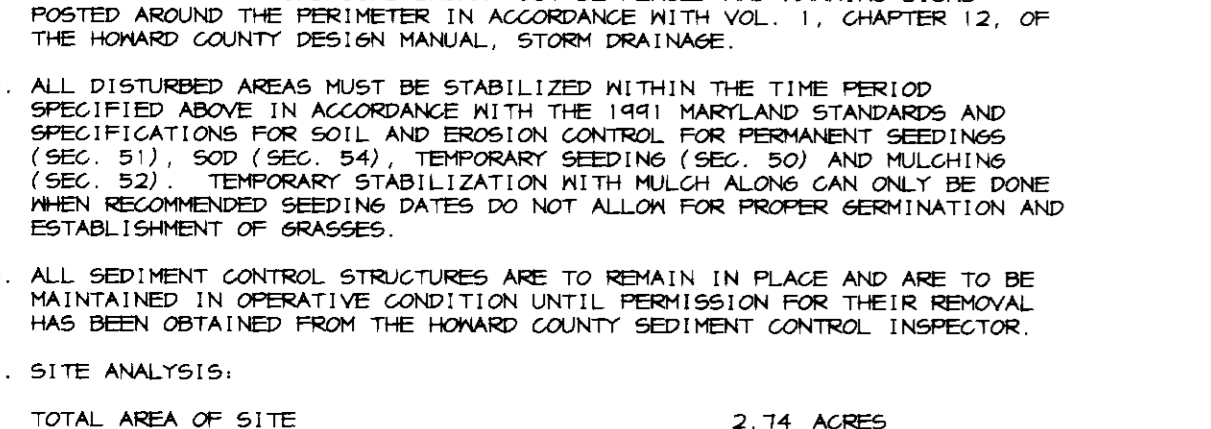
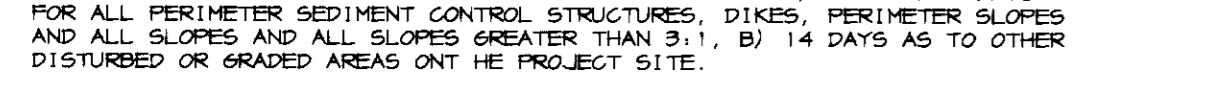
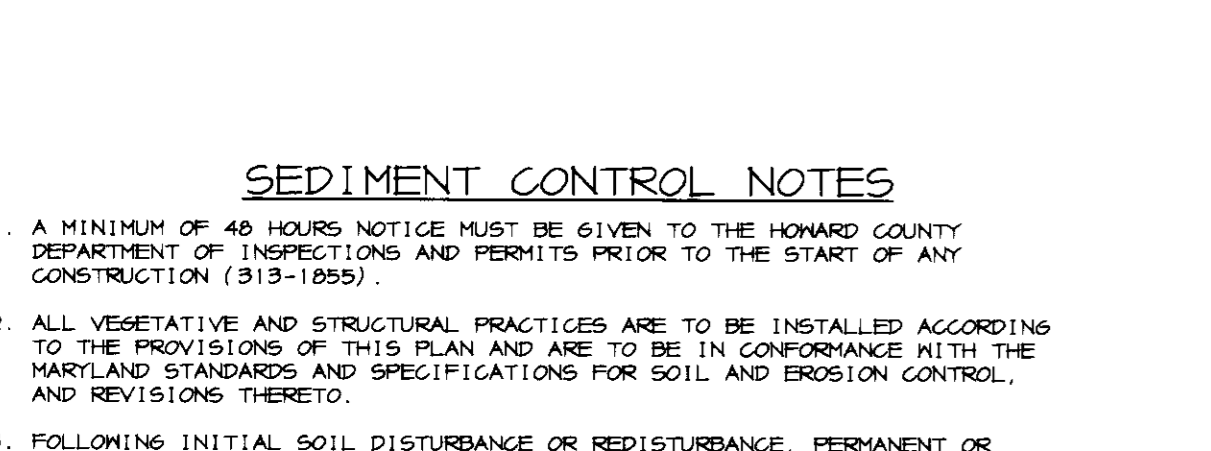
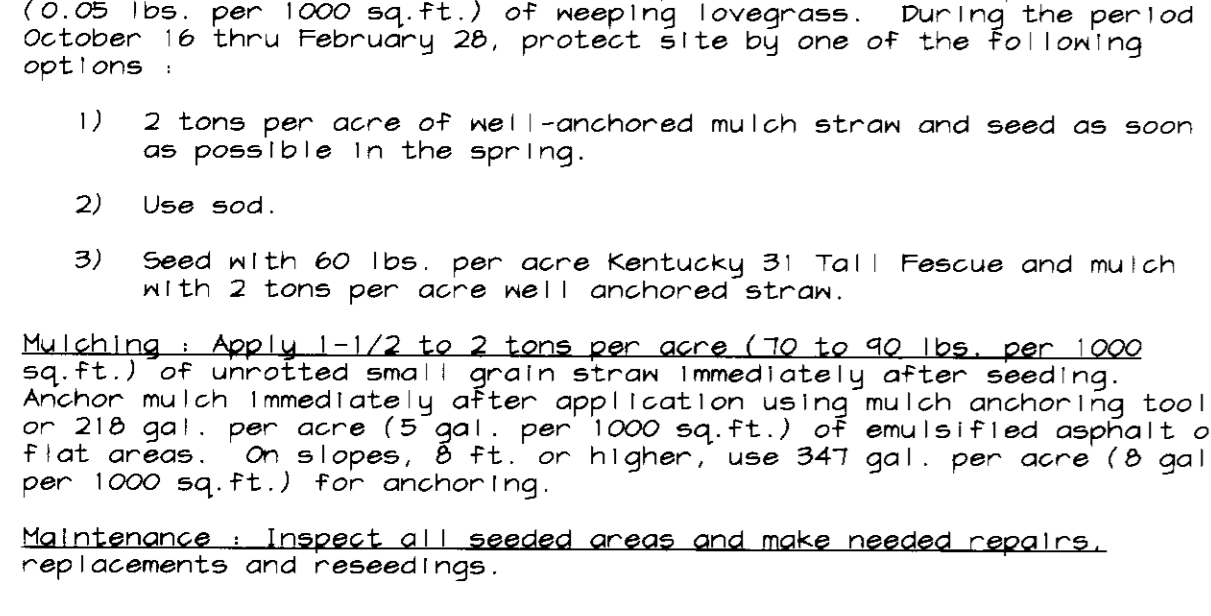
**VI. Alternative for Permanent Seeding - Instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:**

1. Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for site having disturbed areas under 5 acres shall conform to the following requirements:  
 a. Composted sludge shall be supplied by, or originate from, a person or persons that are certified (at the time of application of the compost) by the Maryland Department of the Environment under COMAR 26.04.06.  
 b. Composted sludge shall contain at least 1 percent nitrogen, 1.3 percent phosphorus, and 0.2 percent potassium and have a pH of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.  
 c. Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.  
 d. Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb./1,000 square feet, and 1/3 the normal lime application rate.

Reference: Guideline Specifications, Soil Preparation and Seeding, MD-VA, Pub. #1, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institute, Revised 1979.



PIPE TYPE	MAXIMUM PIPE SIZE	TOTAL CAPACITY	OLDEST INVENTORY	STANDARD HOLES	MIN. TRENCH WIDTH	MIN. TRENCH DEPTH	MIN. TRENCH SLOPE	MIN. TRENCH WIDTH	MIN. TRENCH DEPTH
1	24 (40)	2000 (1700)	500 (400)	174 (400)	1.50 (1.50)	1.50 (1.50)	1.50 (1.50)	1.50 (1.50)	1.50 (1.50)
2	24 (40)	2000 (1700)	500 (400)	174 (400)	1.50 (1.50)	1.50 (1.50)	1.50 (1.50)	1.50 (1.50)	1.50 (1.50)



**BITUMINOUS CONCRETE SURFACE**  
 BITUMINOUS CONCRETE BASE  
 5" CRUSHER RUN BASE COURSE  
 4" DENSE GRADED STABILIZED AGGREGATE BASE COURSE  
 (ALTERNATE)  
 BITUMINOUS CONCRETE SURFACE  
 BITUMINOUS CONCRETE BASE  
 8" CRUSHER RUN BASE COURSE (2 COURSES)  
 6" DENSE GRADED STABILIZED AGGREGATE BASE COURSE  
 (ALTERNATE)

**P-1 PAVING**  
 NO SCALE

**P-2 PAVING**  
 NO SCALE

HOWARD COUNTY DESIGN MANUAL VOLUME IV - STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (DRAWING R-201)

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HOWARD COUNTY DESIGN MANUAL VOLUME IV - STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (DRAWING R-201)

**CONSTRUCTION SPECIFICATIONS**  
 1. Length - minimum of 50' (+30' for single residence lot).  
 2. Width - 10' minimum, should be flared at the existing road to provide a turning radius.  
 3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. The plan approval authority may not require single family residences to use geotextile.  
 4. Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.  
 5. Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a manhole with 5" edges and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.  
 6. Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

**CONSTRUCTION SPECIFICATIONS**  
 1. Lift grate and wrap with Geotextile Class E to completely cover all openings, then set grate back in place.  
 2. Place 3/4" to 1 1/2" stone, 4"-6" thick on the grate to secure the fabric and provide additional filtration.

**CONSTRUCTION SPECIFICATIONS**  
 1. Fence posts shall be a minimum of 3\"/>

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 6. Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

**CONSTRUCTION SPECIFICATIONS**  
 1. Lift grate and wrap with Geotextile Class E to completely cover all openings, then set grate back in place.  
 2. Place 3/4" to 1 1/2" stone, 4"-6" thick on the grate to secure the fabric and provide additional filtration.

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**CONSTRUCTION SPECIFICATIONS**  
 1. Length - minimum of 50' (+30' for single residence lot).  
 2. Width - 10' minimum, should be flared at the existing road to provide a turning radius.  
 3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. The plan approval authority may not require single family residences to use geotextile.  
 4. Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.  
 5. Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a manhole with 5" edges and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.  
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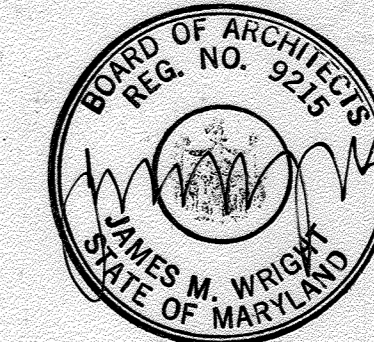
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**PLANT LIST FOR SHEETS 6 AND 7**

SYMBOL	QUANTITY	BOTANICAL NAME/COMMON NAME	SIZE	REMARKS
<b>SHADE &amp; FLOWERING TREES</b>				
AG	7	Amelanchier grandiflora 'Autumn Brilliance', Apple Serviceberry	8'-10' ht.	Specimen, heavy
AP	3	Acer platanoides, Japanese Maple	2" - 2 1/2" cal	Specimen, Green Color Leaf
AR	12	Acer rubrum, Red Maple	2 1/2" - 3" cal	Specimen, Street-tree Form
AR-1	4	Acer rubrum, Red Maple	12'-14' ht.	Clump form, heavy, specimens matched
CF	9	Cornus florida, Flowering Dogwood	2-2 1/2" cal.	Specimen
CL	1	Cladrastis lutea, American Yellowwood	3 - 3 1/2" cal.	Specimen
FP	18	Fraxinus pennsylvanica 'Marshall's', Marshall's Seedless Ash	3" - 3 1/2" cal.	Specimen
HC	9	Halesia carolina, Carolina Silverbell	2" - 2 1/2" cal.	Specimen
MD	11	Malus 'Donald Wyman', Donald Wyman Crabapple	2" - 2 1/2" cal.	Specimen
MS	3	Magnolia x souliana, Saucer Magnolia	2" - 2 1/2" cal.	Specimen
MV	16	Magnolia virginiana, Sweetbay Magnolia	2" - 2 1/2" cal.	Specimen
PS-1	19	Pinus strobus, White Pine	8' - 10' HT.	Specimen
PS	71	Pinus strobus, White Pine	6" - 7" HT.	Specimen, unshaded
QR	7	Quercus rubra, Red Oak	2 1/2" - 3" cal.	Specimen
IX	4	Ilex x 'Nellie R. Stevens', Nellie R. Stevens Holly	2" - 2 1/2" cal.	Specimen
<b>SHRUBS &amp; VINES</b>				
IM	43	Ilex x meserveae 'Blue Princess', Blue Holly	2 - 2 1/2" ht.	
PC	8	Pyracantha coccinea, Espalier Firethorn	4 - 5' ht.	Espalier, Red Berries Only
RB	9	Rosa 'Bonica', Bonica Shrub Rose	2" - 2 1/2" ht.	
RC	7	Rhododendron catawbiense 'Album Elegans', Album Elegans Rhododendron	2 - 2 1/2" ht.	
RD	16	Rhododendron 'Delaware Valley White', Azalea D.V.W.	2 - 2 1/2" ht.	
SJ	10	Spiraea japonica 'Little Princess', Little Princess Spiraea	2 - 2 1/2" ht.	
VC	37	Viburnum carlesii, Korean Spice Viburnum	2" - 2 1/2" ht.	
VO	49	Viburnum opulus 'Compactum', European Cranberrybush Viburnum	2" - 2 1/2" ht.	
<b>GROUND COVER &amp; PERENNIALS</b>				
AT	42	Astilbe taquetii 'Superba', Astilbe (Perennial Spiraea)	1 gal.	15" OC
HH	885	Hedera Helix, English Ivy	2.5" pot	8" OC
LM	832	Liriope muscari 'Border gem', Lily Turf	4" pot	8" OC
RG	236	Rudbeckia fulgida speciosa 'Goldsturm', Black Eyed Susan	1 gal.	15" - 18" OC
SS	50	Salvia superba 'Mainacht', Meadow Sage	1 gal.	15" OC
VPR	72	Veronica prostata (rupestris), Prostrate Speedwell	4" pot	12" OC

FOR REDLINE REVISION PROCESS

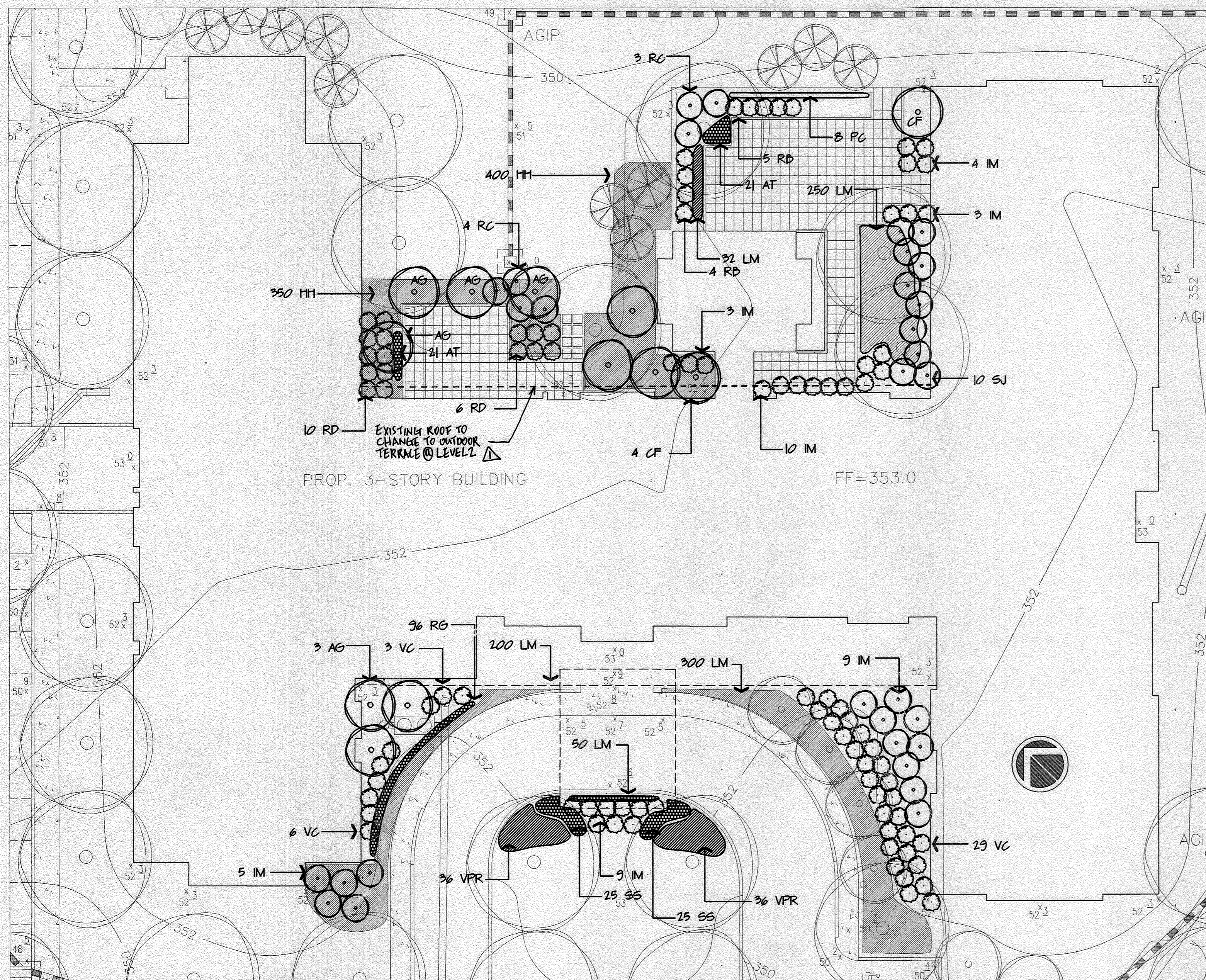


22 MAR 2023  
JAMES WRIGHT #9215

**GENERAL NOTES:**

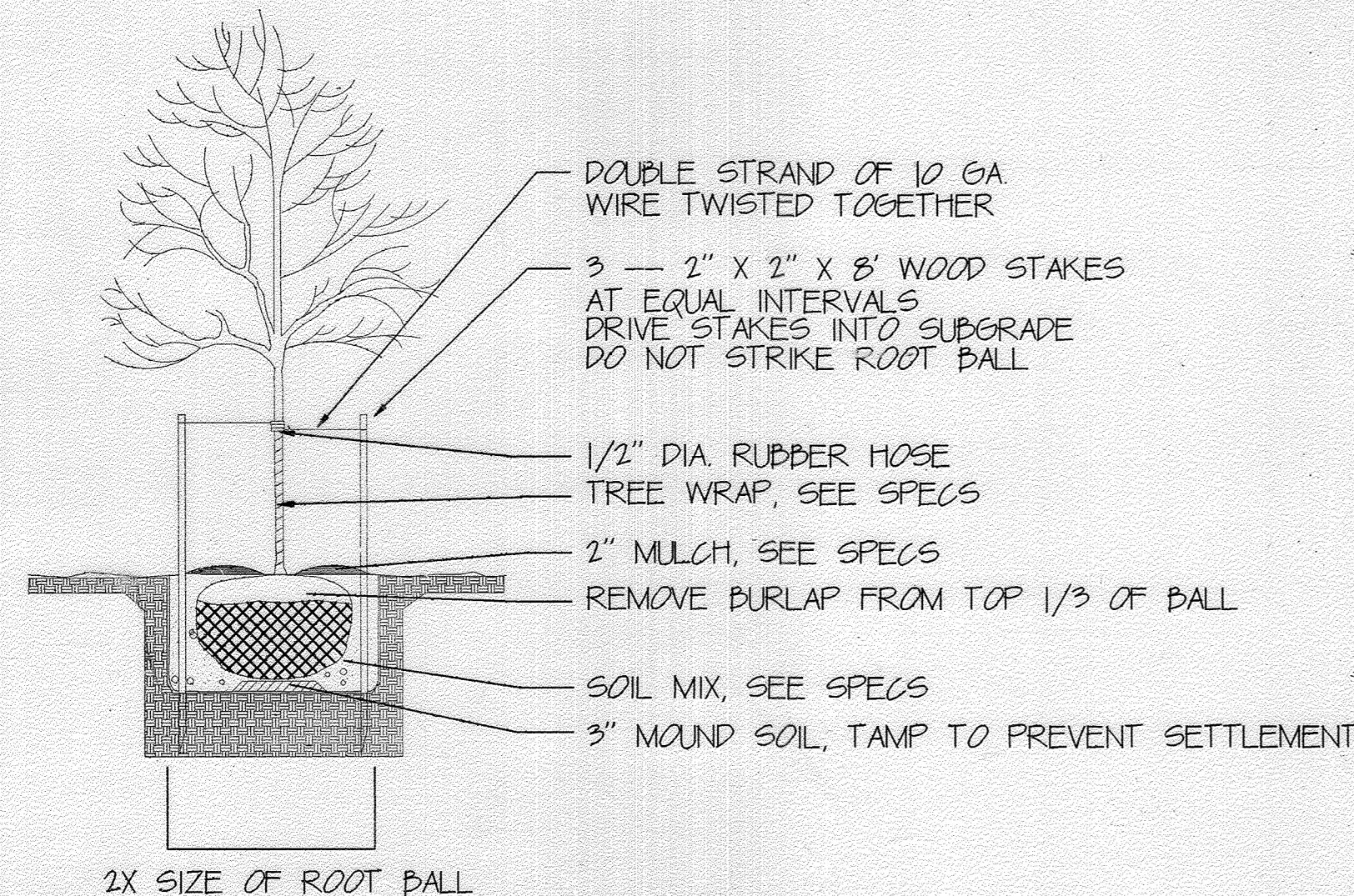
- HRD PLANTING REQUIREMENTS FOR A COMMERCIAL ACTIVITY FROM 0 - 3 ACRES IS:  
90 SHADE TREES  
ALL SHADE TREES TO BE NURSERY STOCK 2 1/2" - 3" MIN CAL, 12' - 14 MIN HT, W/ FULL HEADS, D & D  
THOSE PLANTS LISTED ABOVE WITH THE ASTERISK NEXT TO THEIR SYMBOL (\*\*) SHALL BE IN COMPLIANCE WITH THE HRD PLANTING SPECIFICATIONS.
- ALL PLANT QUANTITIES TO BE VERIFIED BY CONTRACTOR ON THE DRAWINGS.  
IF A DISCREPANCY OCCURS, NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY.  
PLANT LIST IS PROVIDED AS A CONVENIENCE ONLY.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 1612A OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPERS AGREEMENT IN THE AMOUNT OF \$19,400.00.

NOTE: THIS DRAWING FOR LANDSCAPE PURPOSES ONLY



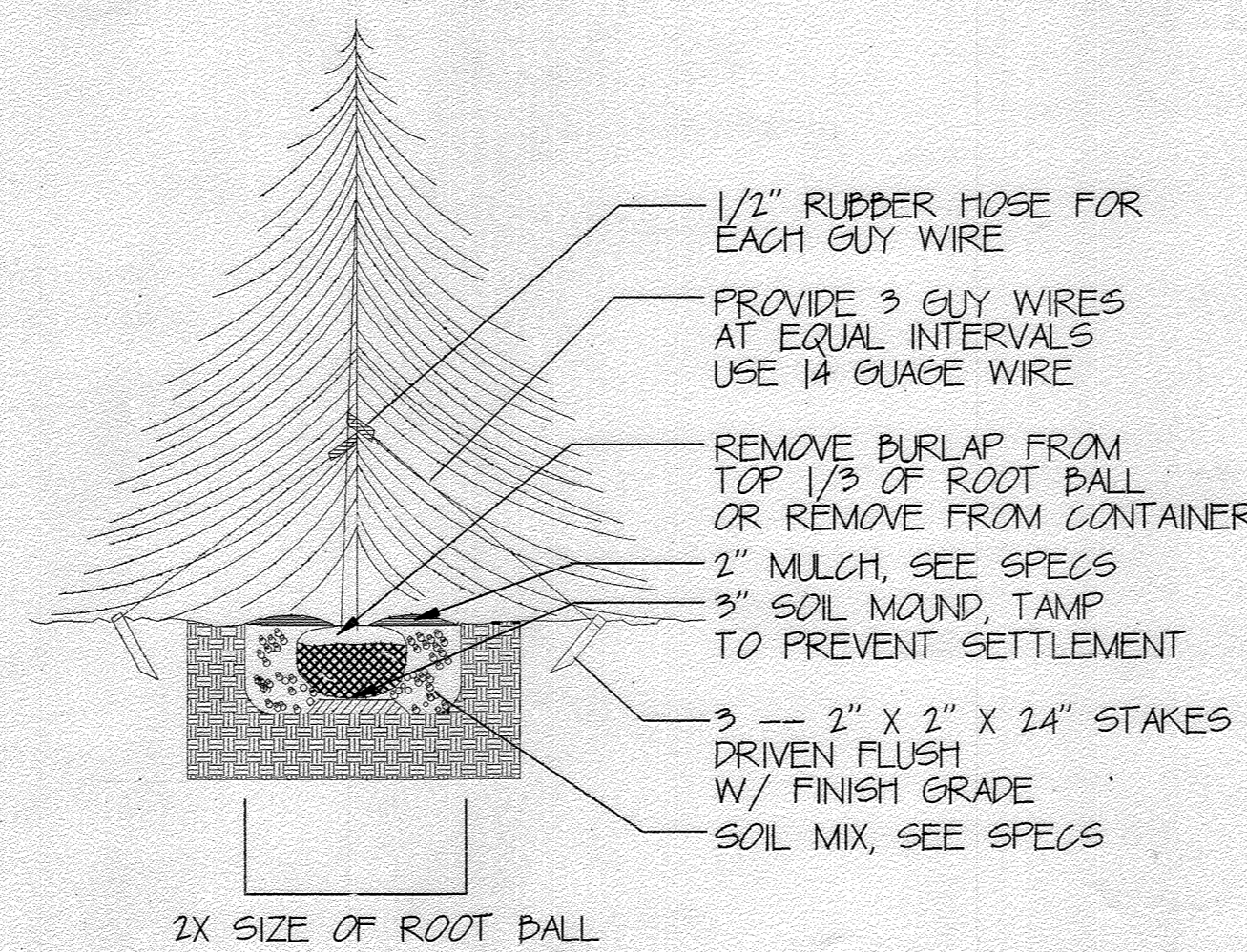
**DETAIL PLAN**

1/16" = 1' - 0"



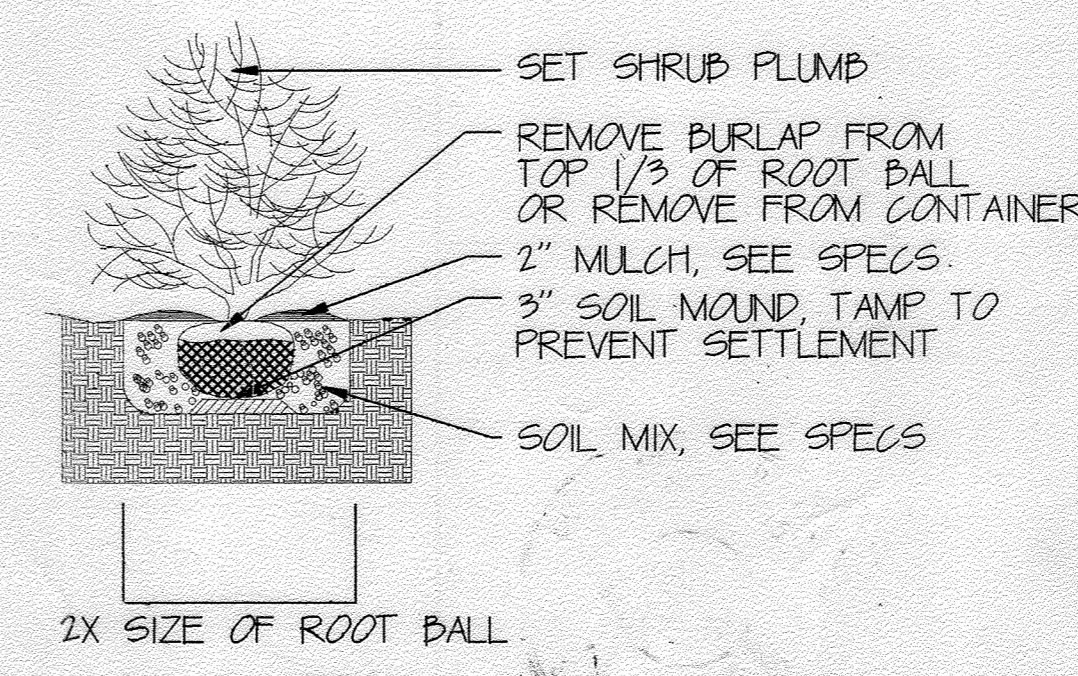
**DECIDUOUS TREE PLANTING DETAIL**

NTS



**EVERGREEN TREE PLANTING DETAIL**

NTS



**SHRUB PLANTING DETAIL**

NTS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.	
<i>James M. Wright</i> DIRECTOR	11/15/97 DATE
<i>W. D. ...</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	10/29/97 DATE
<i>Candy Hamilton</i> CHIEF, DIVISION OF LAND DEVELOPMENT	11/3/97 DATE

22 MAR 2023 TO CHANGE PARTIAL EXISTING LEVEL 2 ROOF INTO AN OUTDOOR TERRACE.

REVISION

OWNER/DEVELOPER:

MARRIOTT SENIOR LIVING SERVICES, INC.  
MARRIOTT DRIVE  
WASHINGTON, D.C. 20058  
(301) 380-5515

**ANSHEN + ALLEN**

ARCHITECTURE  
PLANNING  
INTERIOR DESIGN  
LANDSCAPE ARCHITECTURE  
250 WEST PRATT STREET  
BALTIMORE  
MARYLAND 21201  
410 528 7700

**RIEMER MUEGGE & ASSOCIATES, INC.**  
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING  
8818 Centre Park Drive, Columbia, Maryland 21045  
Tel 410.997.8900 fax 410.997.9282

APPROVED  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE 13 March '97

DESIGNED BY: CDM
DRAWN BY: JRB
PROJECT NO: 96069.00
DATE:
SCALE: AS NOTED
DRAWING NO. 7 OF 7

CAROL D. MACHT PLA-548