

GENERAL NOTES

- All construction shall be in accordance with the latest standards and specifications of Howard County plus MSHA standards and specifications if applicable.
- The contractor shall notify the Department of Public Works/Construction Inspection Division at (410) 313-1800 at least five (5) working days prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7177 at least 48 hours prior to any excavation work.
- The contractor shall notify the Howard County Department of Public Works, Bureau of Utilities at (410) 313-4900 at least five working days prior to starting any excavation work.
- Area of parcel: 1.79 Ac. Disturbed area: 2.25 Ac.
- Traffic control devices, markings, and signing shall be in accordance with the latest edition of the manual on uniform traffic control devices (MUTCD). All street and regulatory signs shall be in place prior to the placement of any asphalt.
- All plan dimensions are to face of curb unless otherwise noted.
- Existing topography was determined by F-2-D-N NORTH A/E & F-2-D-N NORTH A/E.
- Coordinates and bearings are based upon the MD State plan system. (MAD 08)
- Water and sewer storm is public.
- Stormwater management for this site is existing on Open Space Lot 141. Department of Planning and Zoning File No. 1-96-89.
- All existing water and sewer is per Contract 34-3528-0.
- All existing public storm drain is per SDP 96-110.
- All curb radii is 5' unless noted otherwise.
- Utility information taken from approved final construction plans for development.
- Sidewalks adjacent to perpendicular parking shall be 6' wide. All other sidewalks shall be 5' wide except where dimensioned otherwise. Provide 3' radius rounding at all angle breaks and intersections.
- Contractor shall utilize PVC pipe for all sewer house connections. Contractor shall utilize D.I.P. (CL 30) for 4" and 6" water house connections and D.I.P. (CL 30) for 8" water house connections.
- For all storm drain connections at existing stubs, the contractor shall remove the existing blocking and maintain the same grade and alignment.
- Use trench bedding class "C" for storm drains.
- Paved areas indicated are private except as noted.
- Project background: See Dept. of Planning & Zoning File Numbers: S-93-121, P-95-10, F-96-89, SDP-96-110, F-96-222, Part II.
- Recording reference: Plot No. 12421.
- All proposed ramps shall be in accordance with current A.D.A. standards. Maximum sidewalk cross slope shall be two percent. Provide a five-foot by five-foot level (2 percent max.) landing at the top and bottom of all ramps and building entrances and exits.
- All water meters shall be located inside buildings.
- The limits of public maintenance for waterhouse connections shall be 7' from the face of curb.
- The proposed water and sewer house connection alignments indicated on the plans from the existing utilities to the building are to be constructed by the building plumber and are approximate. The proposed stubs are located 5' from building face.
- The proposed roof drain alignment connections indicated on the plans from the stubs to the building are to be constructed by the building plumber and are approximate. The proposed stubs are located 5' from building face.
- Maintain 2% cross-slopes on sidewalks, per standard details. Where sidewalk is adjacent to building, slope away from building, and utilize expansion joint material and seal in the joint between the sidewalk and the building wall.
- Sufficient sight distance per Howard County Design Manual must be provided at all access points; any landscape that obstruct the line of sight must be relocated.
- There is no floodplain on the site.
- There are no wetlands on the site.
- All bulk requirements and setbacks are per FDP Phase 222, Part II.

SITE ANALYSIS

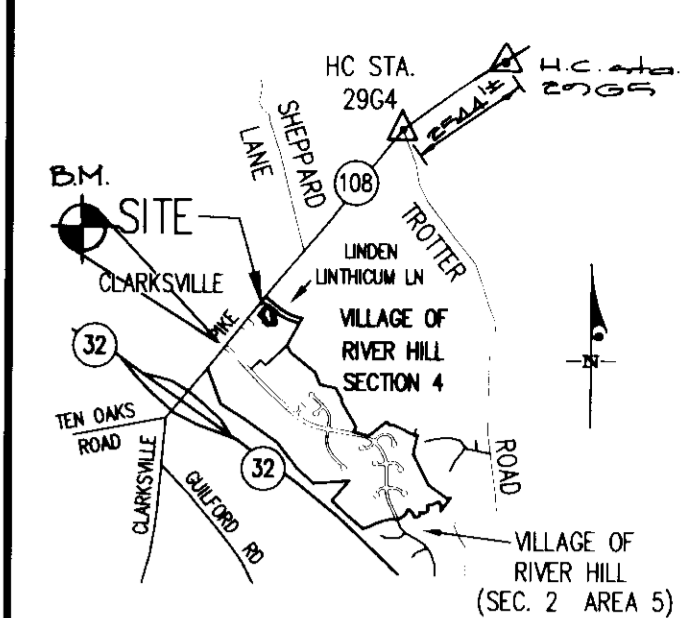
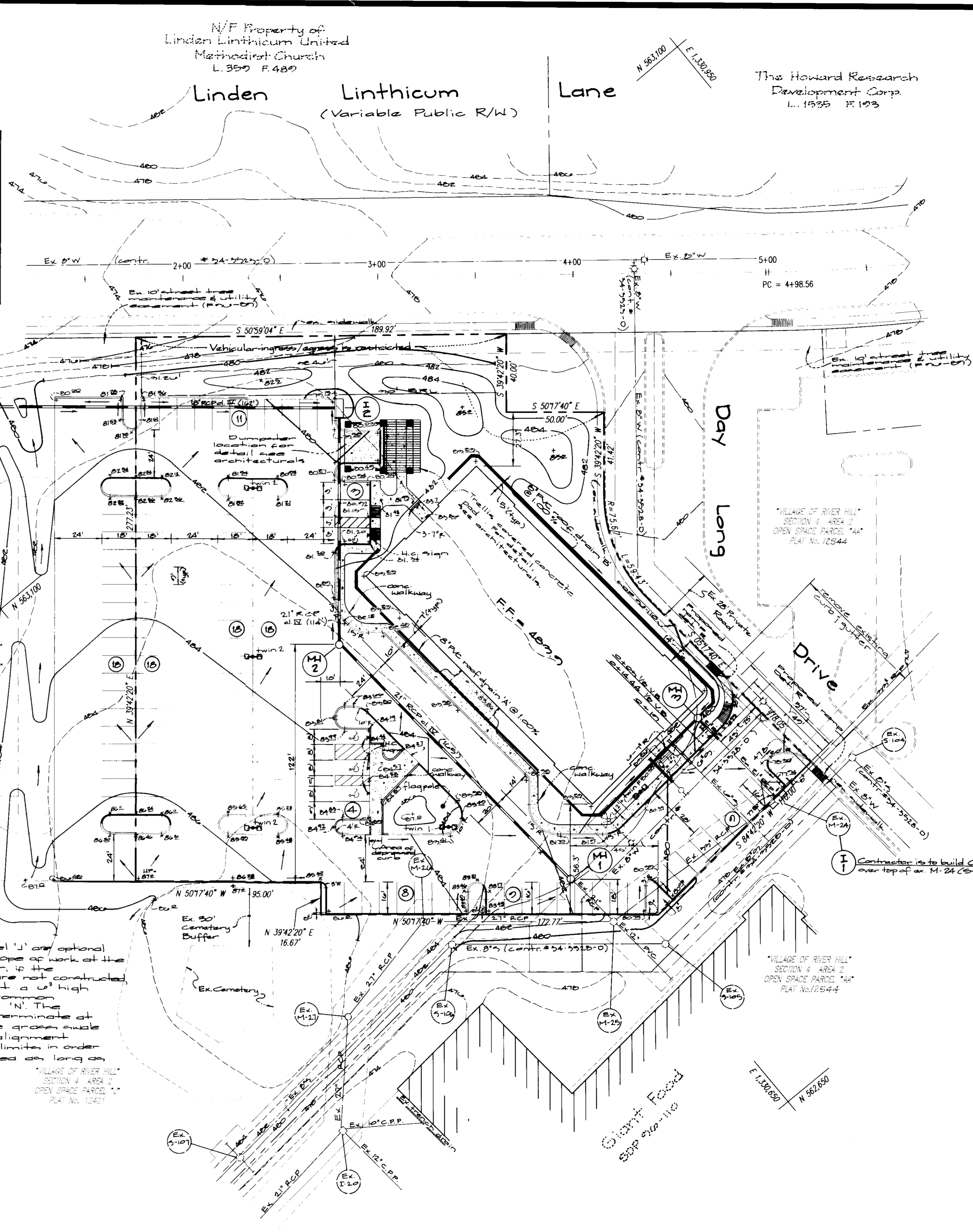
- AREA OF SITE: 1.79 AC. DISTURBED AREA: 2.25 AC. (LIMIT OF SUBMISSION)
- PRESENT ZONING: NEW TOWN
- PROPOSED USE: OFFICE BUILDING - 2 STORY
- FLOOR SPACE FOR EACH LEVEL: 10,000 sq. ft. NET LEASABLE (20,000 sq. ft. TOTAL)
- NUMBER OF PARKING SPACES REQUIRED: 44 SPACES (3 SPACES/1,000 SQ. FT. NET LEASABLE)
- NUMBER OF PARKING SPACES PROVIDED: 114 SPACES (114 SPACES ON SITE, 18 ON ADJACENT PARCEL 'J')
- NUMBER OF HANDICAP SPACES REQUIRED: 4 (1 triangular & 3 van accessible)
- NUMBER OF HANDICAP SPACES PROVIDED: 4 (1 triangular & 3 van accessible)
- PROPOSED PAVED AREA (BUILDING AND PARKING): 5,616 SQ. FT.
- BUILDING COVERAGE OF SITE: 11,000 SQ. FT.
- AREA OF LANDSCAPE ISLANDS: 4,400 SQ. FT.
- AREA OF PARKING LOT: 44,976 SQ. FT.

Notes

The improvements shown on parcel 'J' are optional & may be omitted from the scope of work at the developer's discretion. However, if the improvements within parcel 'J' are not constructed the contractor must construct a 6" high bituminous curb along the common property line to parcels 'J' and 'N'. The landscape islands within parcel 'J' also terminate at the common property line. The grass swale may also be relocated to an alignment closer to the ultimate paving limits in order to minimize the disturbed area as long as it terminates at the pipe end shown on these plans.

Symbol	Description	Quantity
tw1 F □○	Luminaire: Emax Eca 16-17-2-400-Volt-BRP Lamp: M5 400/HOR Pole: L&L Industrial RTAP 30-08-110-BRZ-DM 5122-85	1
tw1 □○		1
tw2 □○		3

Lamp Specifications Provided By:
Site Illumination
(A10) 02-03-08



VICINITY MAP
SCALE: 1"=4000'

Sheet No.	Title
1.	Site Development Plan
2.	Landscaping Plan
3.	Drainage Area Map/ Sediment Control Plan
4.	Storm Drain Profiles/Details
5.	Sediment Control Notes & Details
6.	Landscaping Notes & Details

Benchmarks
Top of fire hydrant in front of Zimmermann's Hardware near utility poles # 278821
Elev. = 486.97

Curb & Gutter Legend
 - Reversed 6" Conc. curb & gutter
 - Standard 6" Conc. curb & gutter

Lot/Parcel #	Street Address
Parcel 'N'	6100 Day Long Drive

PERMIT INFORMATION					
SUBDIVISION NAME	VILLAGE OF RIVER HILL	SECTION/AREA	4/2	LOT/PARCEL #	"N"
PLAT # OR LA BLOCK	12421	ZONE	NT	TAX/ZONE MAP/ELECT DISTRICT	34 5
WATER CODE	I-10	SEWER CODE	6605500	CENSUS TRACT	00555

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 2/26/97
 [Signatures]

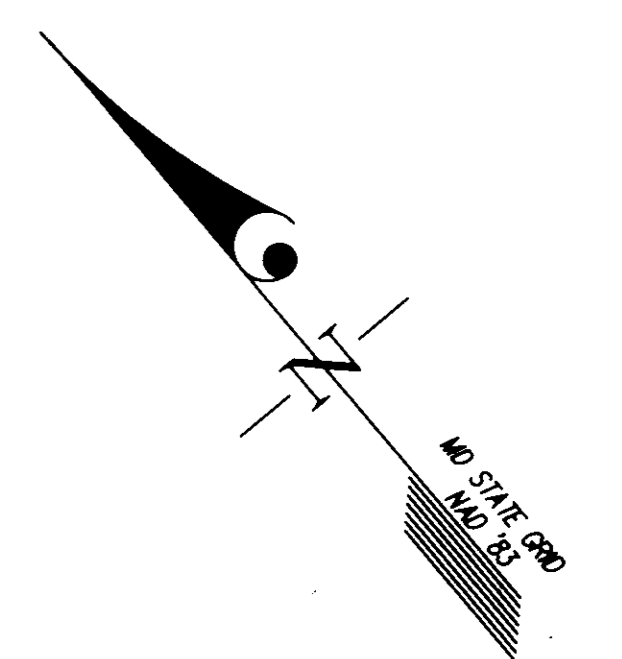
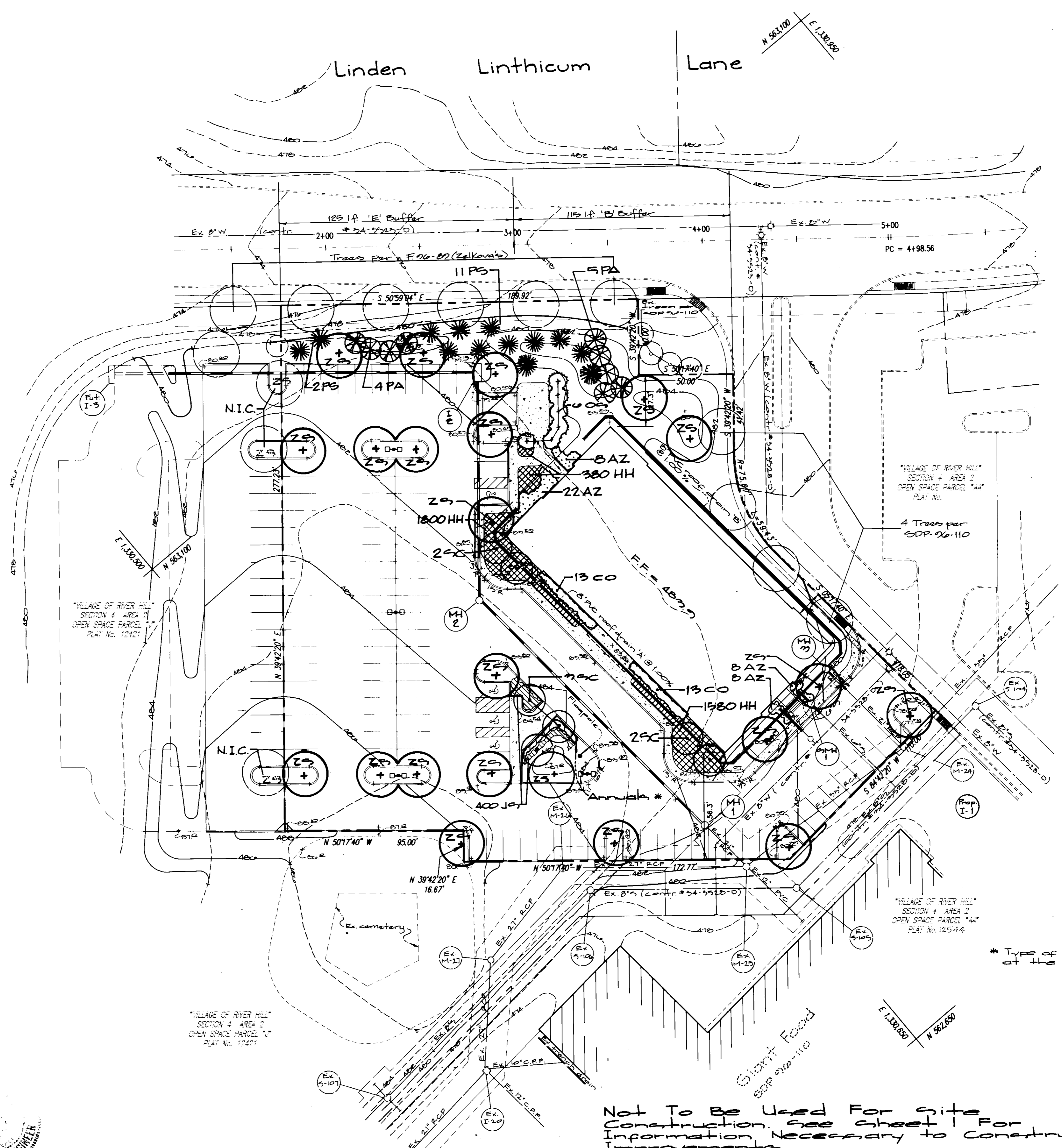
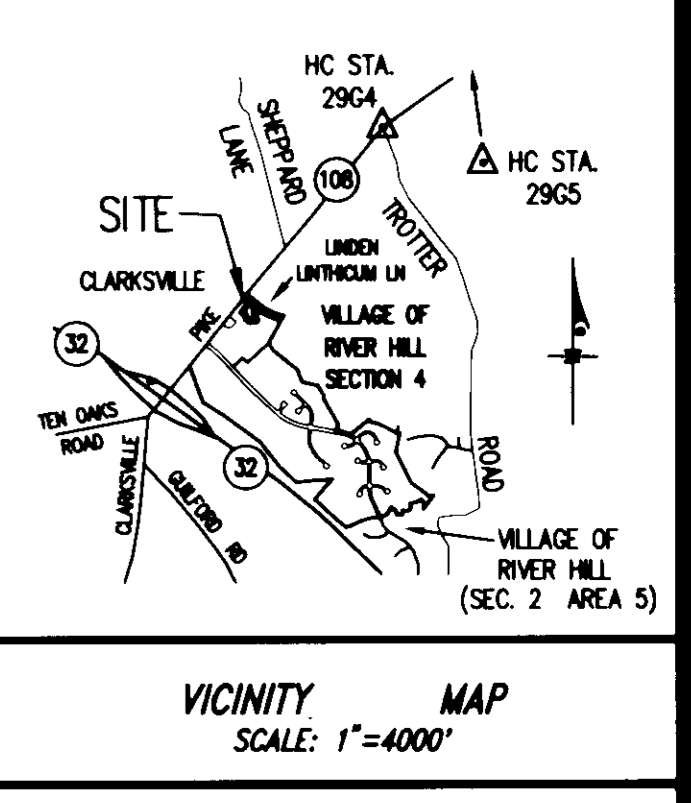
GW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20866
 TEL: (301) 421-4024 NO. VA.: (301) 989-2524 BALT. (410) 880-1820 FAX: (301) 421-4186

DATE	REVISION	BY	APPR.

PREPARED FOR:
 Troutman Companies
 8815 Center Park Drive
 Suite 104
 Columbia Md 21045
 (410) 730-1065
 Attn: Chuck Rigert

SITE DEVELOPMENT PLAN
VILLAGE OF RIVER HILL
 SECTION 4 AREA 2
 PARCEL "N"
 CLARKSVILLE ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=30'	NT	96089
DATE	TAX MAP No.	SHEET
June, 1997	34	1 OF 6



APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE 2/26/97
GH

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: [Signature] Date: 7/2/97
Chief, Division of Land Development: [Signature] Date: 7/13/97
Chief, Development Engineering Division: [Signature] Date: 7/2/97



Not To Be Used For site Construction. See sheet 1 For Information Necessary to Construct Improvements.

For Landscaping Notes, schedules & Planting Details see sheet O.

* Type of annulars used will be at the contractor's discretion.

GLW GUTSCHICK LITTLE & WEBER, P.A.
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TEL: (301) 421-4024 NO. VA: (301) 980-2524 BAL: (410) 880-1820 FAX: (301) 421-4186

REVISION	DATE	BY	APPR.

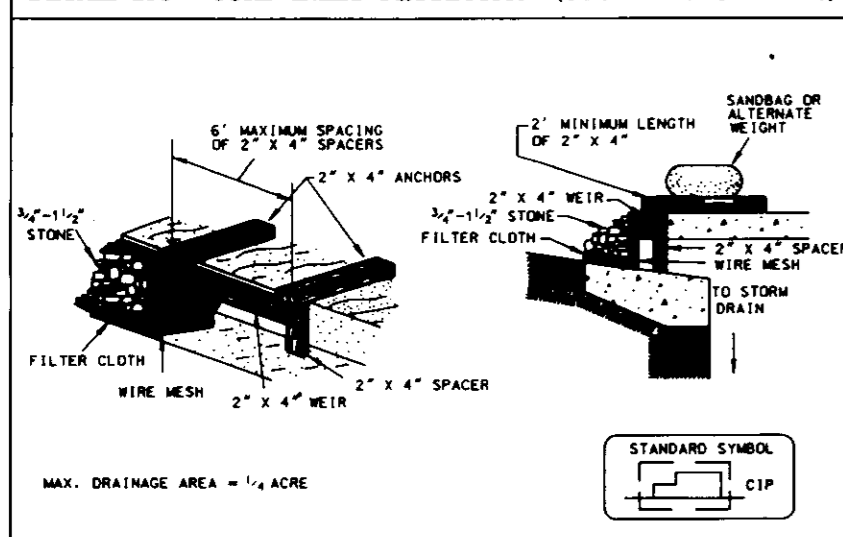
PREPARED FOR:
Treatman Companies
6615 Center Park Drive
Suite 104
Columbia, Md 21045
(410) 790-7000
Attn: Chuck Riegert

Landscaping Plan
VILLAGE OF RIVER HILL
SECTION 4 AREA 2
PARCEL "N"
CLARKSVILLE ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

PERMIT INFORMATION			
SUBMISSION NAME	VILLAGE OF RIVER HILL	SECTION/TAB	4/2
LOT/PROJECT #	12421	LOT/PROJECT #	"N"
DATE	June, 1997	TAX MAP No.	34
ZONE	NT	SECTION	5
SCALE	1"=30'	G. L. W. FILE No.	96089
ZONING	NT	SHEET	2 OF 6

SDP 97-76

DETAIL 23C - CURB INLET PROTECTION (COO OR COS INLETS)

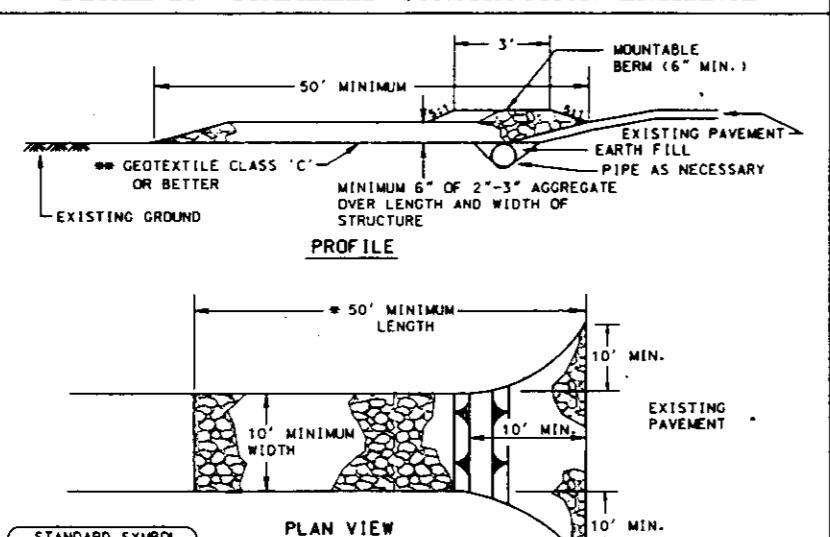


Construction Specifications

1. Attach a continuous piece of wire mesh (30" minimum width by throat length plus 4") to the 2' x 4' weir (requiring throat length plus 2") as shown on the standard drawing.
2. Place a continuous piece of geotextile fabric (the same dimensions as the wire mesh over the wire mesh and securely attach it to the 2' x 4' weir.
3. Securely nail the 2' x 4' weir to a 3" long vertical spacer to be located between the weir and the inlet curb (4" apart).
4. Place the assembly against the inlet throat and nail (minimum 2" lengths of 2" x 4" to the top of the weir at spacer locations). These 2' x 4" anchors shall extend across the inlet top and be held in place by anchors or staples with nail.
5. The assembly shall be placed so that the end anchors are a minimum 1" beyond both ends of the throat opening.
6. Form the 1/2" x 1/2" wire mesh and the geotextile fabric to the concrete gutter and against the face of the curb on both sides of the inlet. Place clean 1/2" x 1/2" stone over the wire mesh and geotextile in such a manner to prevent water from entering the inlet area or around the perimeter.
7. This type of protection must be inspected frequently and the filter cloth and stone replaced when clogged with sediment.
8. Assure that storm flow does not bypass the inlet by installing a temporary earth or gravel dike to direct the flow to the inlet.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 2-3-83 MARYLAND DEPARTMENT OF ENVIRONMENT & WATER MANAGEMENT ADMINISTRATION

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE

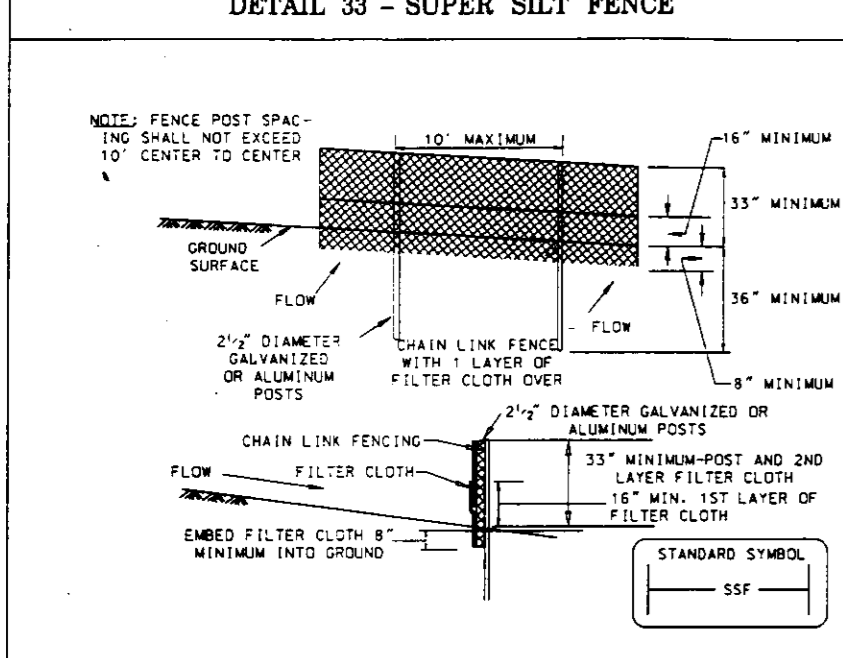


Construction Specifications

1. Length - minimum of 50' (60' for single residence lots).
2. Width - 10' minimum, should be flared at the existing road to provide a turning radius.
3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. After plan approval authority may not require a final residence to use geotextile.
4. Stone or crushed aggregate (2" to 3" or reclaimed or recycled concrete equivalent) shall be placed at least 6" deep over the length and width of the entrance.
5. Surface water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a geotextile fabric with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe flow to be sized according to the drainage. When the SCL is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
6. Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 2-3-1 MARYLAND DEPARTMENT OF ENVIRONMENT & WATER MANAGEMENT ADMINISTRATION

DETAIL 33 - SUPER SILT FENCE



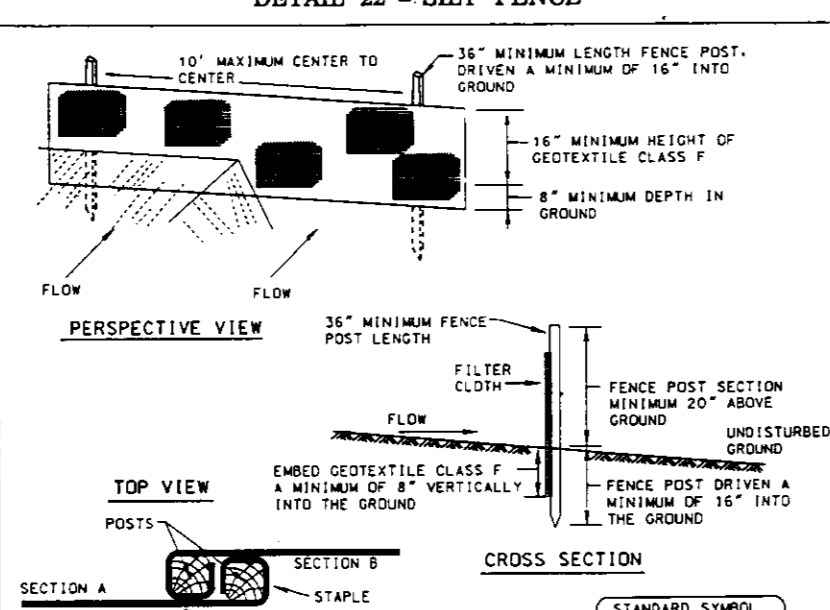
Construction Specifications

Fencing shall be 42 inches in height and constructed in accordance with the latest Maryland State Highway details for Chain Link Fencing. The specification for a 6 foot fence shall be used, substituting 42 inch fabric and 6 foot length posts.

1. The posts do not need to be set in concrete.
2. Chain link fence shall be fastened securely to the fence posts with wire ties or staples.
3. Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
4. Filter cloth shall be embedded a minimum of 6" into the ground.
5. When two sections of filter cloth join each other, they shall be overlapped by 6" and folded.
6. Maintenance shall be performed as needed and silt bulges removed when "bulges" develop in the silt fence.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 2-3-3 MARYLAND DEPARTMENT OF ENVIRONMENT & WATER MANAGEMENT ADMINISTRATION

DETAIL 22 - SILT FENCE

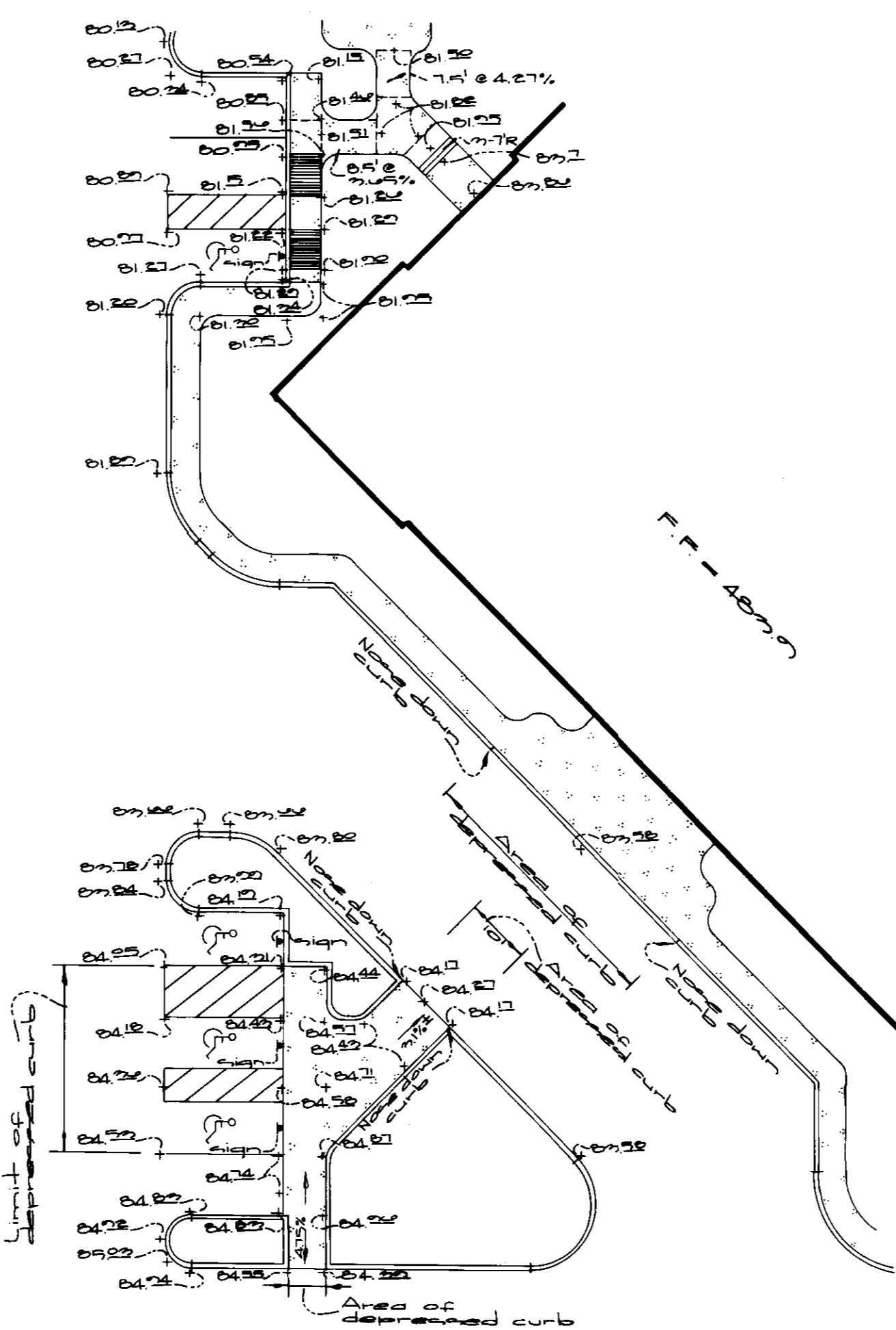


Construction Specifications

1. Fence posts shall be a minimum of 16" long driven 16" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) cut to 1 1/2" diameter (minimum) and shall be of sound quality hardwood. Steel posts will be standard T or U section weighing not less than 1.00 pound per linear foot.
2. Geotextile shall be fastened securely to both fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/ft (min.)	Test: MSMT 509
Tensile Modulus	20 lbs/ft (min.)	Test: MSMT 509
Flow Rate	0.3 gal/ft ² /minute (max.)	Test: MSMT 322
Filtering Efficiency	75% (min.)	Test: MSMT 322
3. Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
4. Silt Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reaches 50% of the fabric height.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 2-3-3 MARYLAND DEPARTMENT OF ENVIRONMENT & WATER MANAGEMENT ADMINISTRATION



SEDIMENT CONTROL NOTES

1. A minimum of 48 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (4/0) 3/3-18/55
2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto.
3. Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes and perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding, sod, temporary seeding, and mulching. (Sec. G) Temporary stabilization, with mulch alone, shall only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
7. Site Analysis:

Total Area of Site	: 1.70	Acres
Area Disturbed	: 2.25	Acres
Area to be roofed or paved	: 1.41	Acres
Area to be vegetatively stabilized	: 0.84	Acres
Total Cut	: 2310	Cu. Yds.
Total Fill	: 2310	Cu. Yds.

Off-site waste/borrow area location: N/A
8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
9. Additional sediment control must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
11. Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back filled and stabilized within one working day, whichever is shorter.

PERMANENT SEEDING NOTES

Apply to graded or cleared area not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

Soil Amendments: In lieu of soil test recommendations, use one of the following schedules

- 1) Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 square feet) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq ft).
- 2) Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.

Seeding: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs/1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, protect site by Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted, weed-free, small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

Maintenance: Inspect all seeded areas and make needed repairs, replacements and reseeding.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

Soil Amendments: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft).

Seeding: For periods March 1 thru April 30 and from August 15 thru October 15, seed with 2-1/2 bushel per acre of annual rye (3.2 lbs./1000 sq.ft.). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (.07 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted, weed-free, small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes, 8 ft or higher, use 348 gal per acre (8 gal/1000 sq ft) for anchoring.

Refer to the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

ENGINEER'S CERTIFICATE

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature: [Signature] Date: 1-21-97

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.

Signature: [Signature] Date: [Date]

Natural Resources Conservation Service

DEVELOPER'S/BUILDER'S CERTIFICATE

I/We certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD.

Signature: [Signature] Date: 1/21/97

Howard S.C.D. Date: [Date]

APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

County Health Officer: [Signature] Date: [Date]

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: [Signature] Date: 7/13/97

Chief, Division of Land Development: [Signature] Date: 7/26/97

Chief, Development Engineering Division: [Signature] Date: [Date]

GLW GUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS

3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20866

TEL: (301) 421-4024 NO. VA: (301) 989-2524 BALT: (410) 880-1820 FAX: (301) 421-4186 DES. CHK. DATE REVISION BY APPR.

PREPARED FOR:

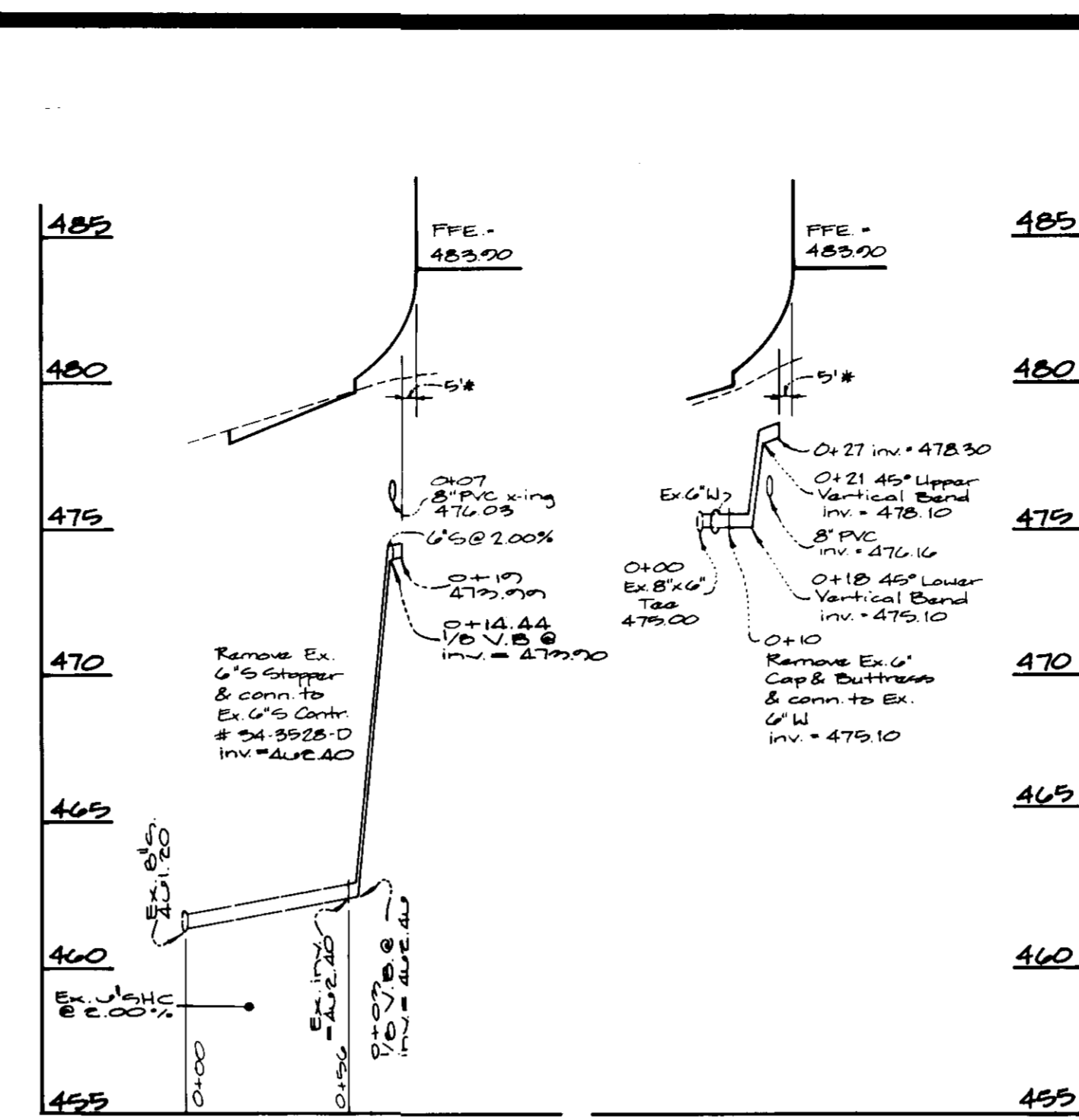
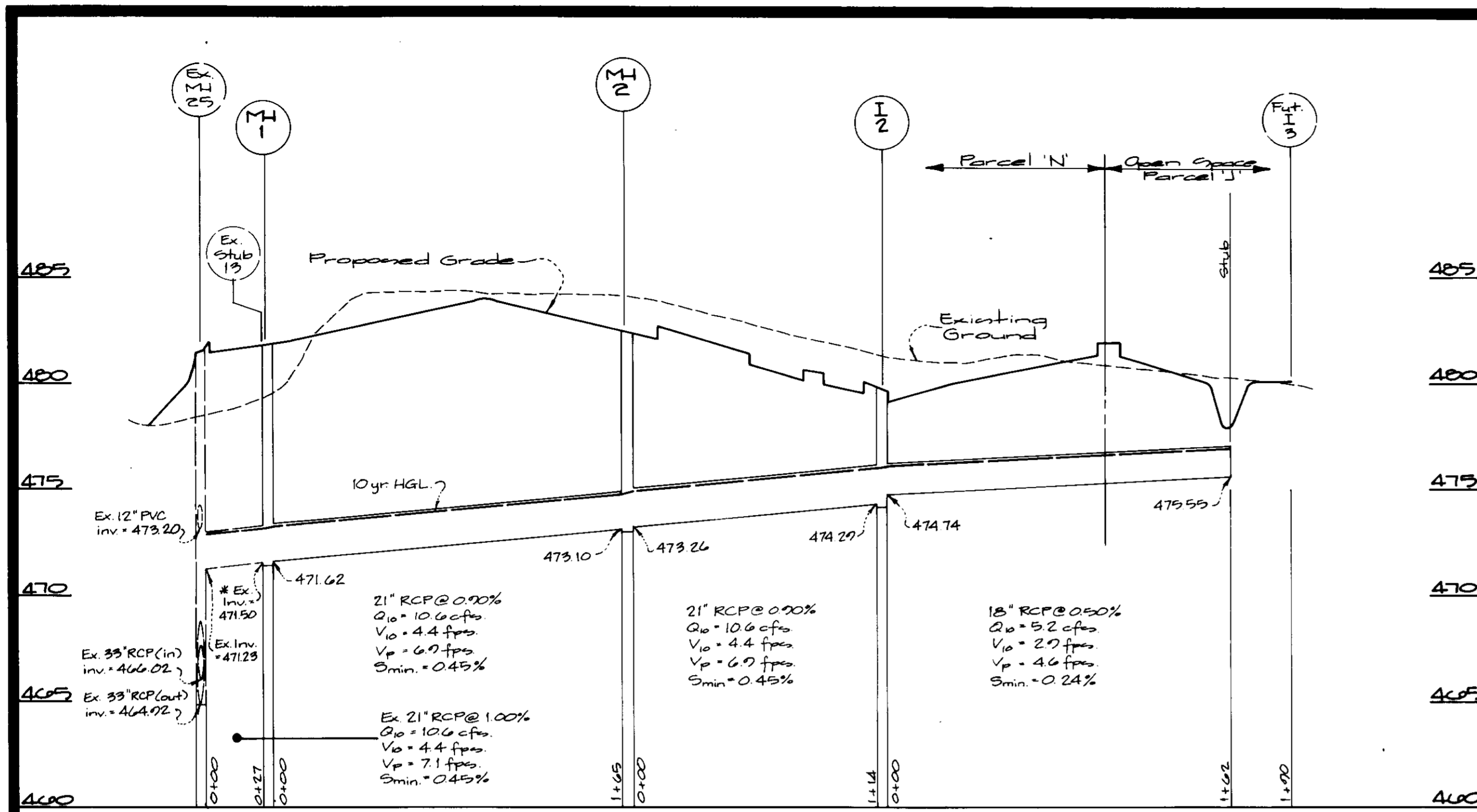
Sediment Control Details & Notes

VILLAGE OF RIVER HILL
SECTION 4 AREA 2
PARCEL N

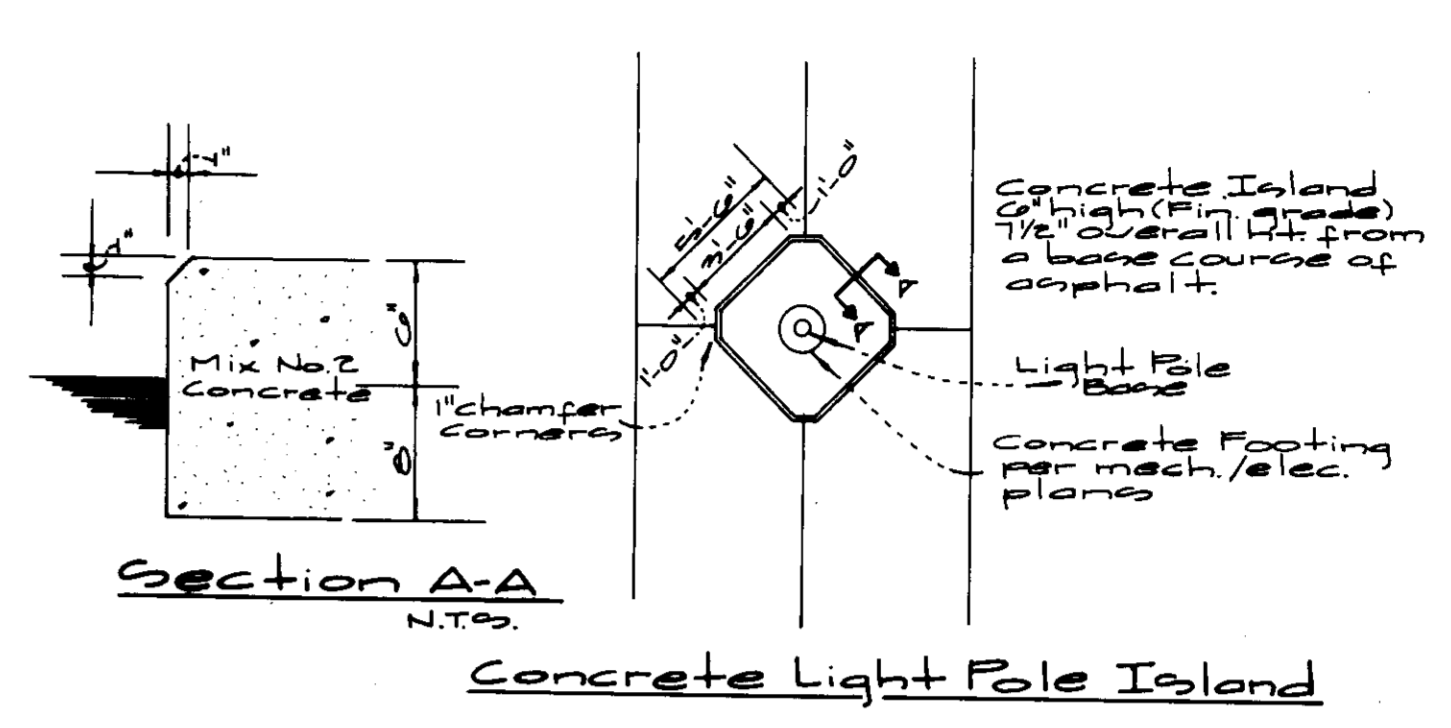
SCALE	ZONING	G. L. W. FILE NO.
1"=30'	NT	96089
DATE	TAX MAP No.	SHEET
June, 1997	34	5 OF 6

HOWARD COUNTY, MARYLAND

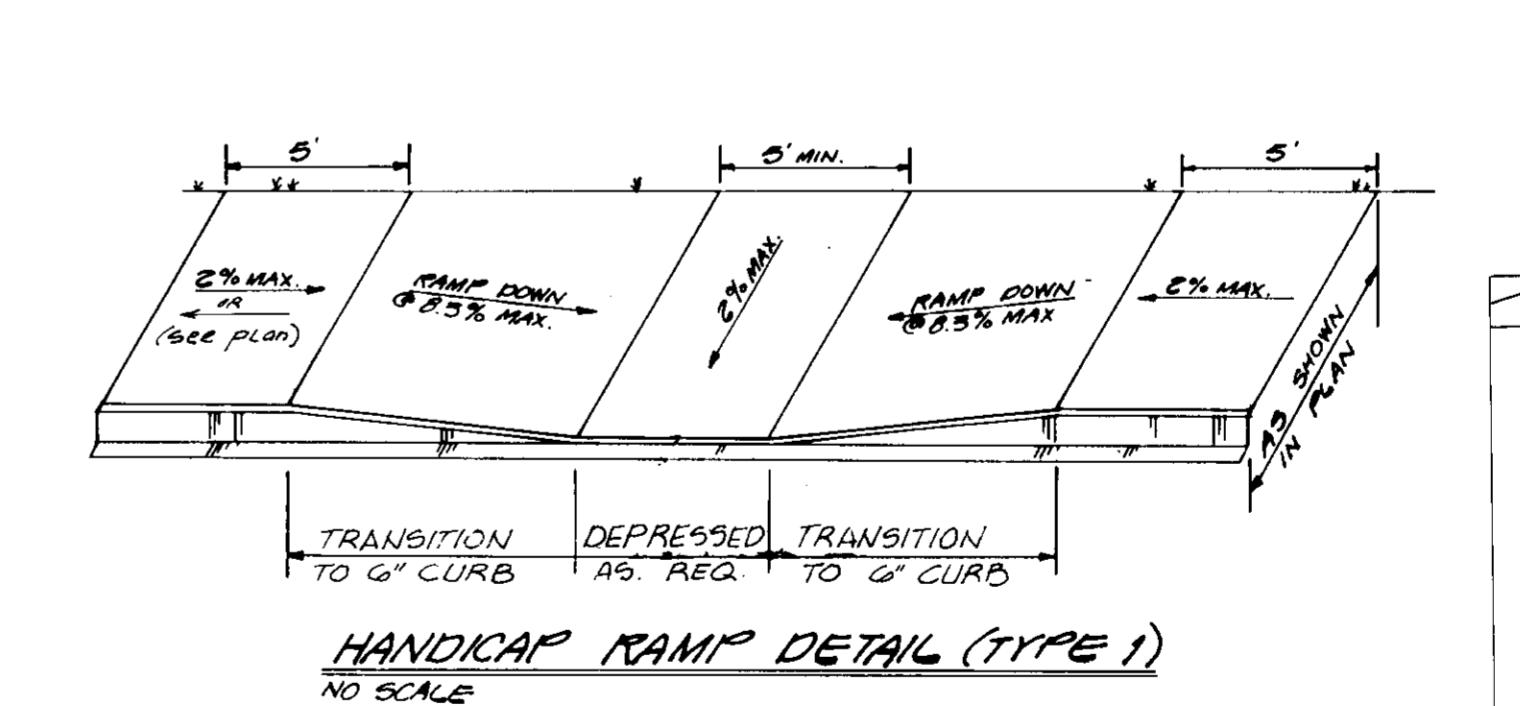
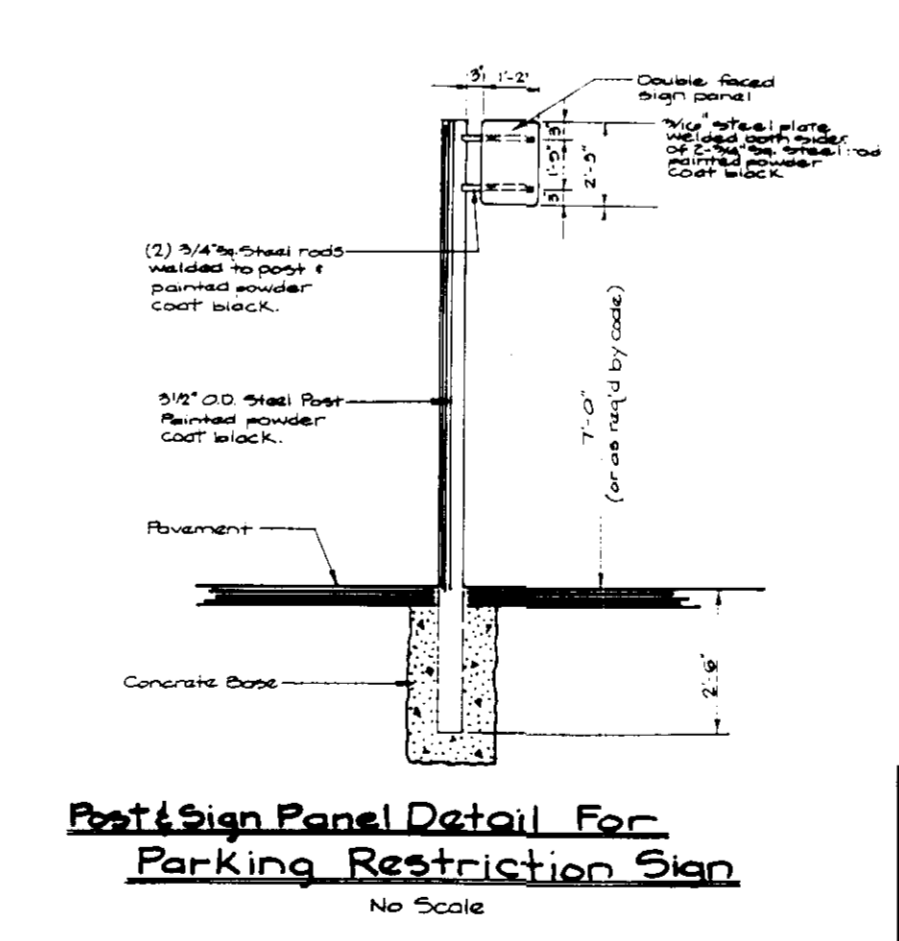
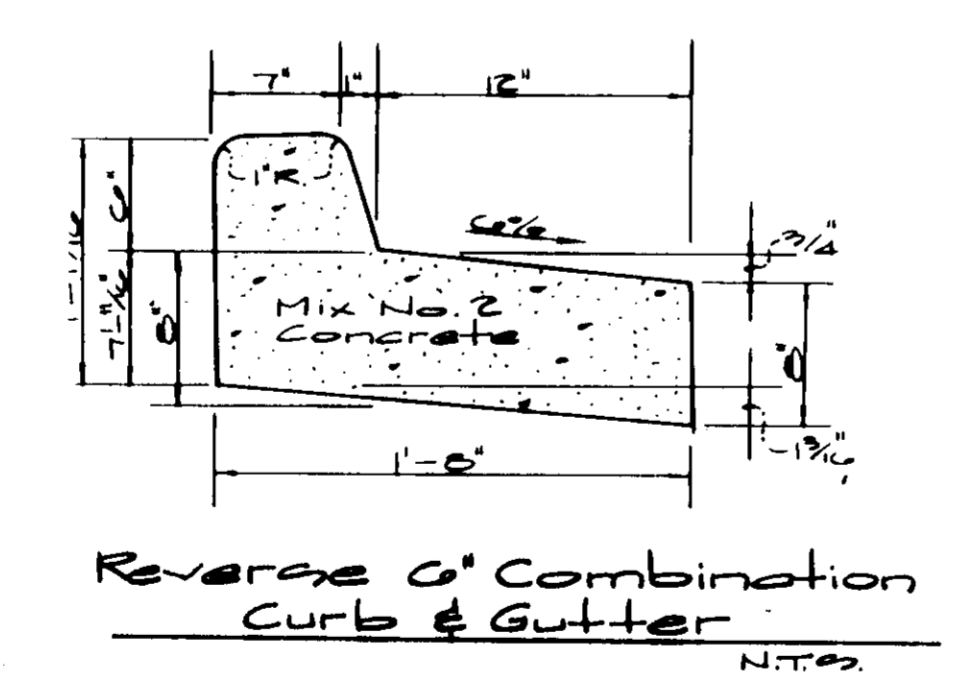
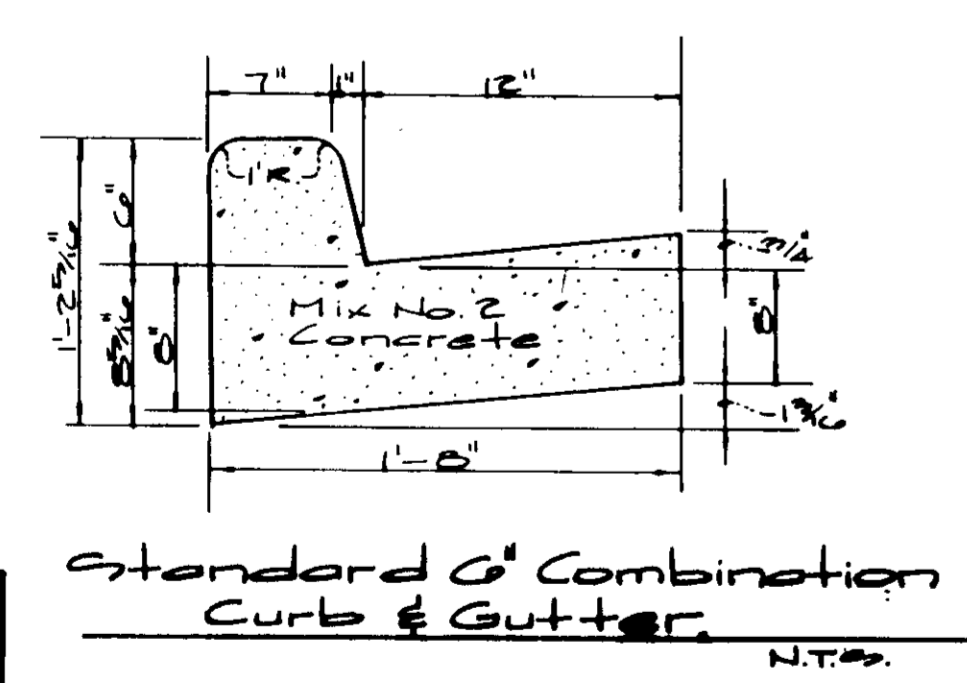
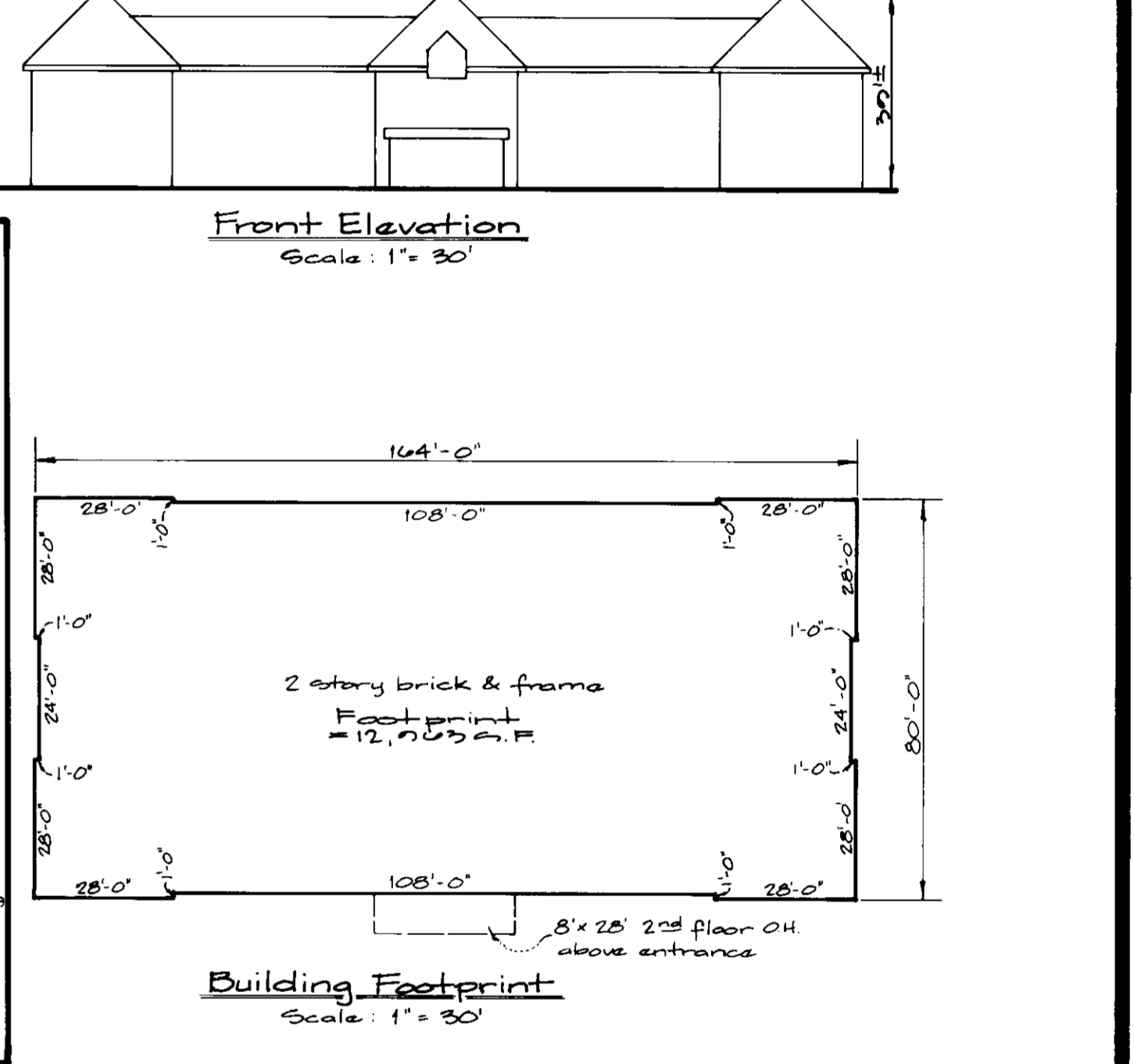
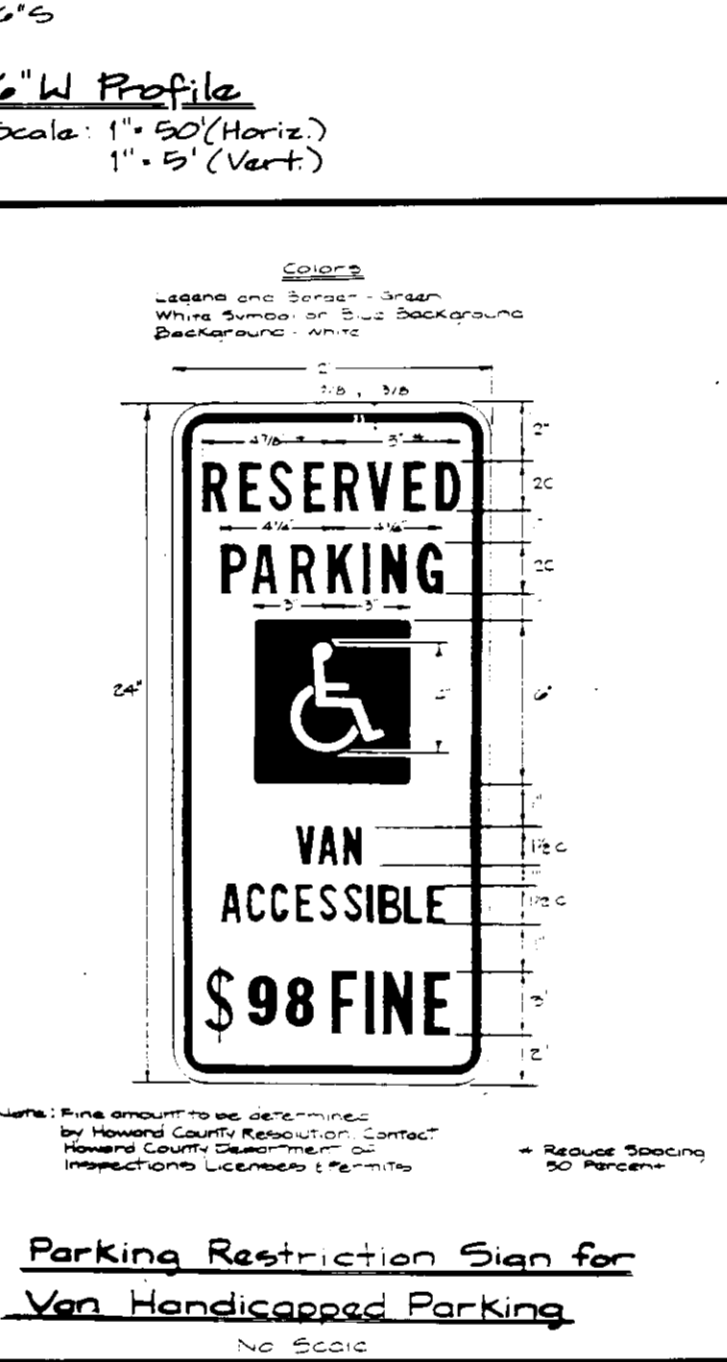
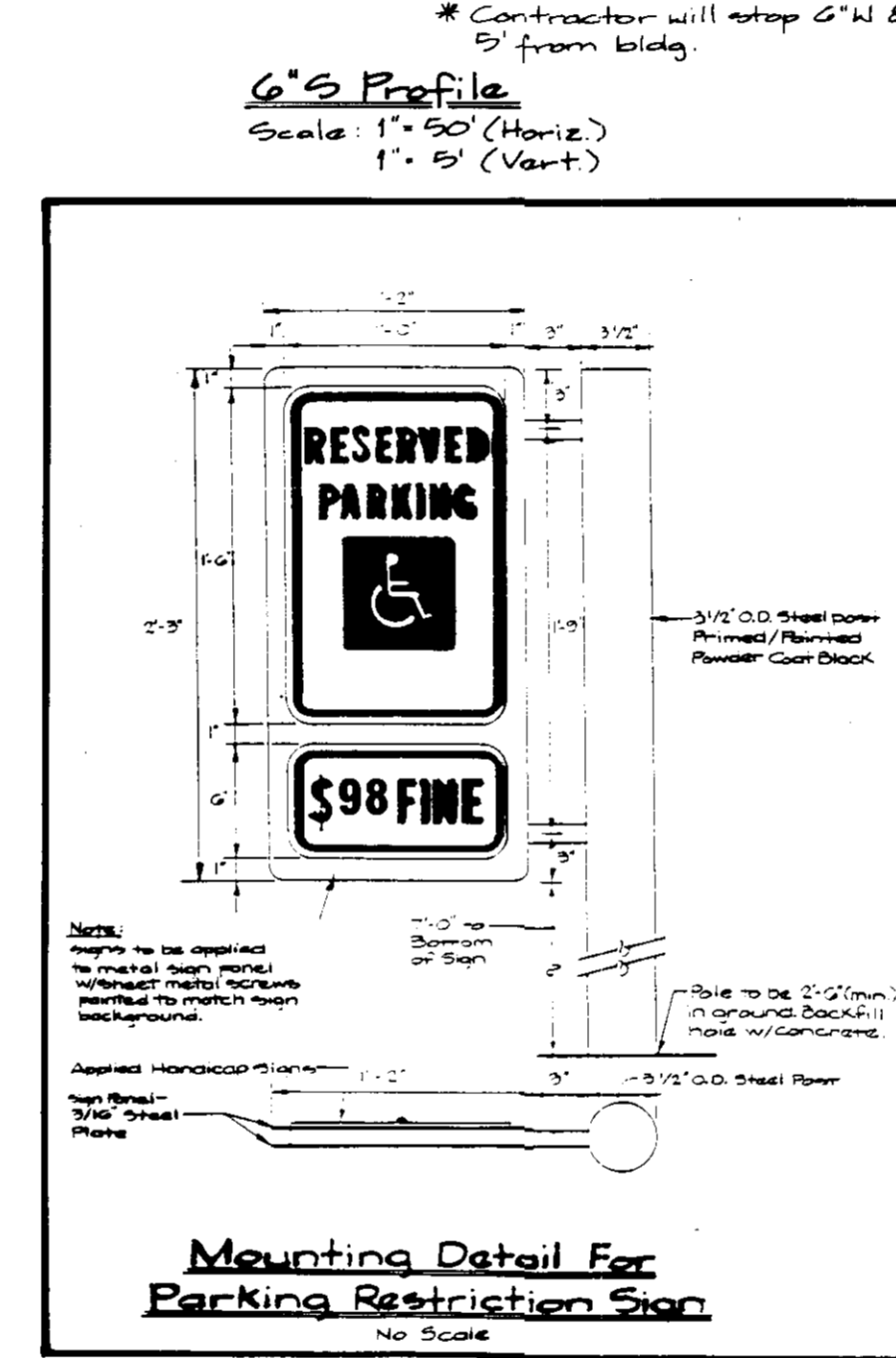
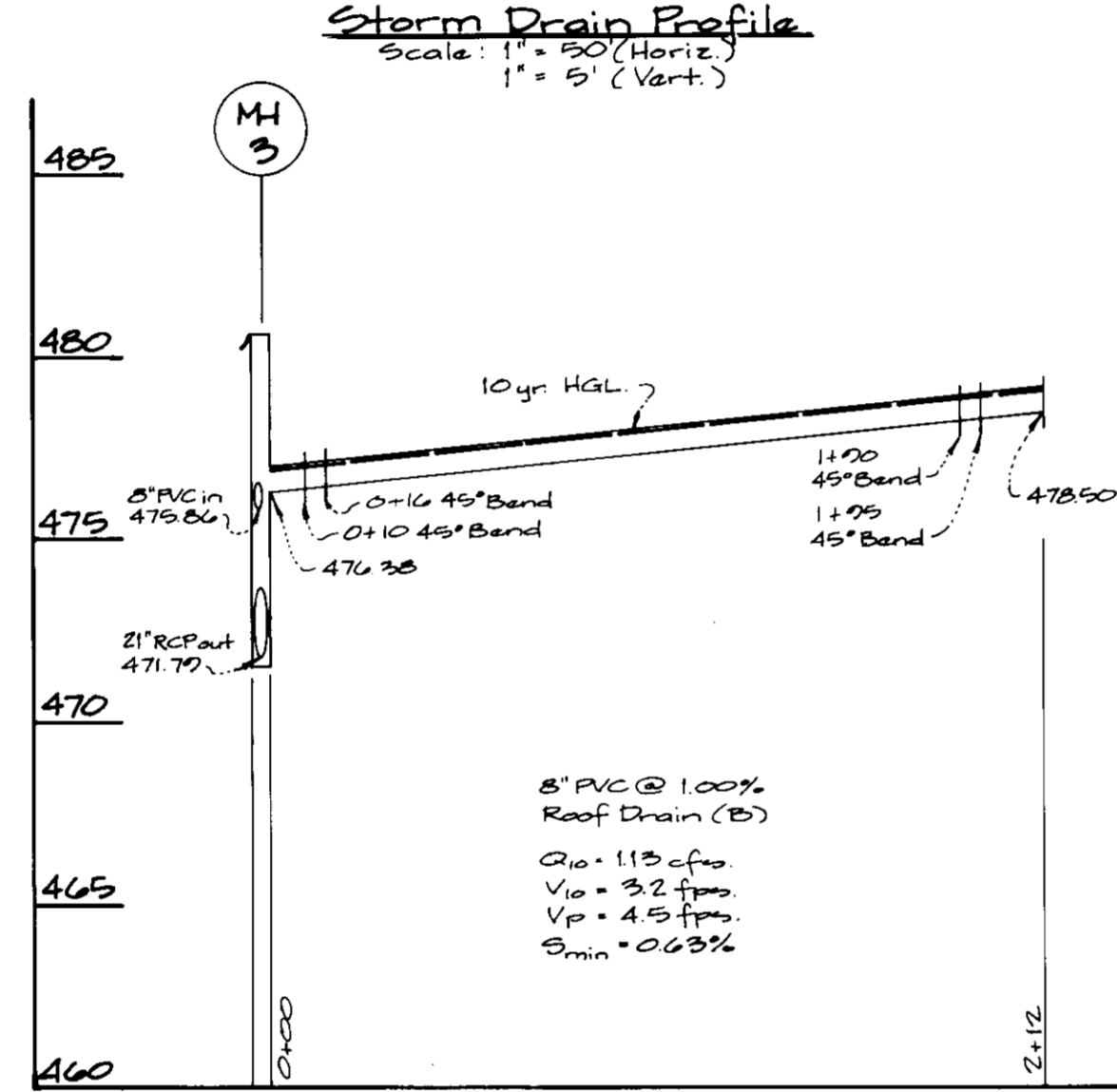
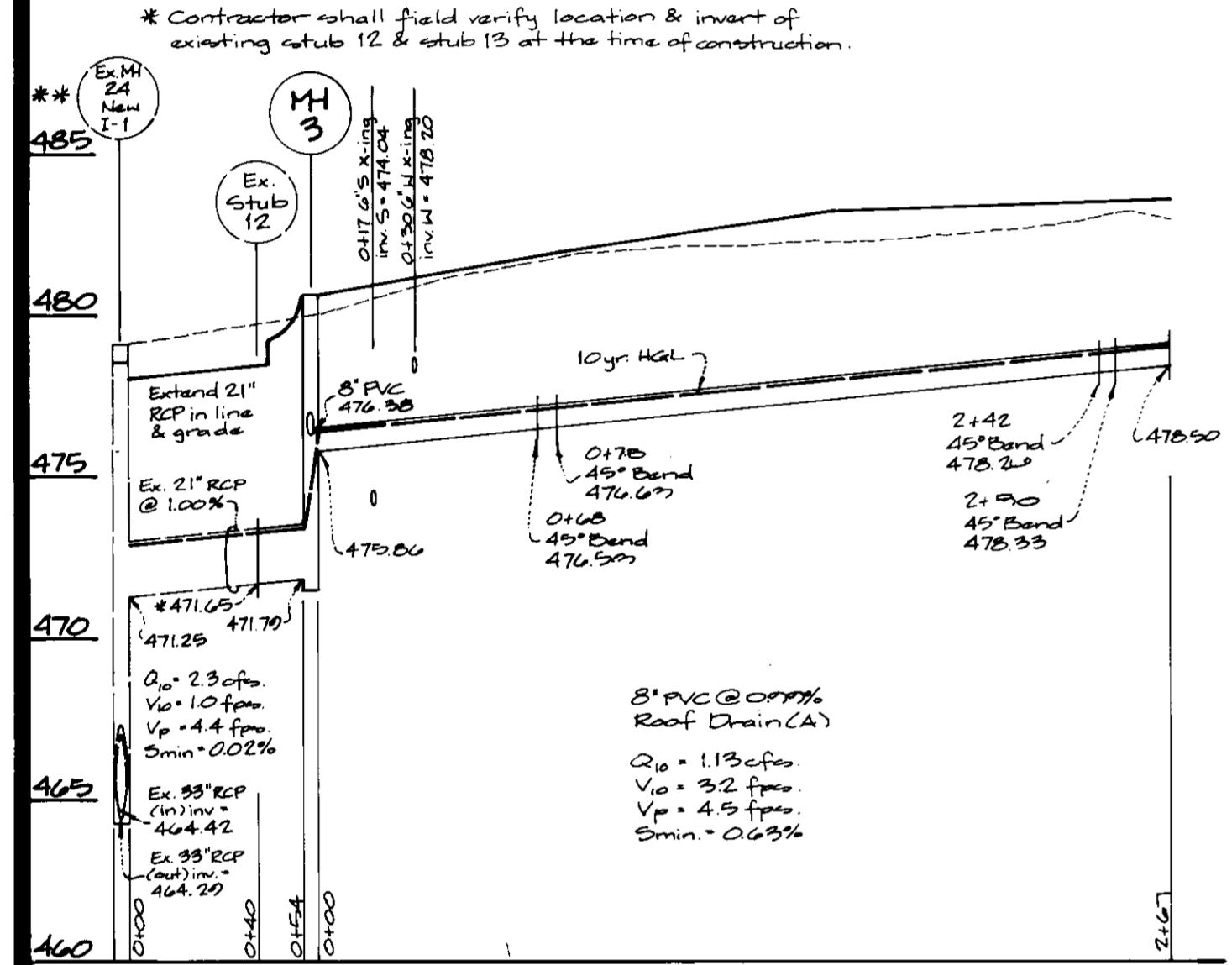
SDP 97-76



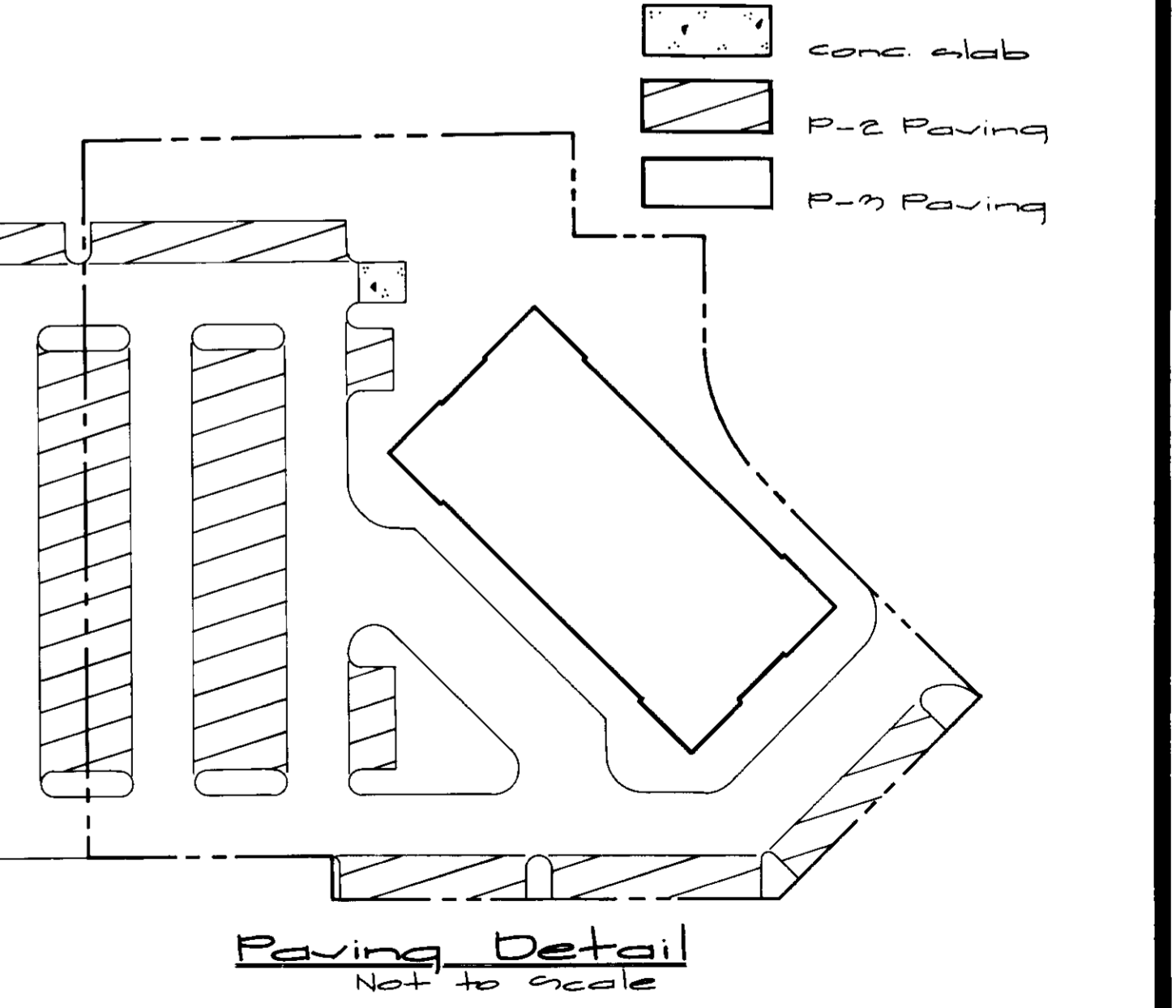
No	Type	Width (inside)	Top Elevation	Upper Layer Elevation	Lower Layer Elevation	Std. Detail	Locations	Remarks
I-1	COG-10	3'-0"	478.90	471.75	464.20	SD-4.41	See plan	
I-2	A-10	3'-0"	479.65	474.74	474.20		See plan	
MH-1	Standard Manhole	4'-0"	481.80	473.26	473.10	G-5.12	See plan	
MH-2	Standard Manhole	4'-0"	482.50	471.62	471.50	G-5.12	See plan	
MH-3	Standard Manhole	4'-0"	480.70	471.79	471.70	G-5.12	See plan	



Type	Class	Length
18" RCP	IS	162 L.F.
21" RCP	IS	233 L.F.
8" PVC	ched. 40	470 L.F.



Zone	Surface	Base
P-2	1 1/2" BIT. CONC. SURFACE	5" BIT. CONC. BASE
P-3	1 1/2" BIT. CONC. SURFACE	5" BIT. CONC. BASE



APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE: 2/26/97
COT

Approved: Howard County Dept. of Planning & Zoning
Director: [Signature] 2/7/97
Chief Development Engineer: [Signature] 2/24/97
Chief, Development Engineering Div.: [Signature] 2/2/97

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MD 20866
TELEPHONE (301)421-4024 NO. VA. (301)989-2524 BALTO. (301)880-1820 FAX (301)421-4186

DATE	REVISION	BY	APP'R.

PREPARED FOR:
Trautman Companies
2015 Center Park Drive
Suite 104
Columbia, Maryland 21045
(410) 730-7205
Attn: Chuck Riepert

Storm Drain Profiles & Details
Village of River Hill
Section 4 Area 2
Parcel 'N'
Clarksville Election District No. 5
Howard County, Maryland

DES.	SCALE	ZONING	G.L.W. FILE NO.
As shown	NT	NT	20089
DRN.	DATE	TAX MAP NO.	SHEET
	June, 1997	24	4 of 6

SOP 97-76

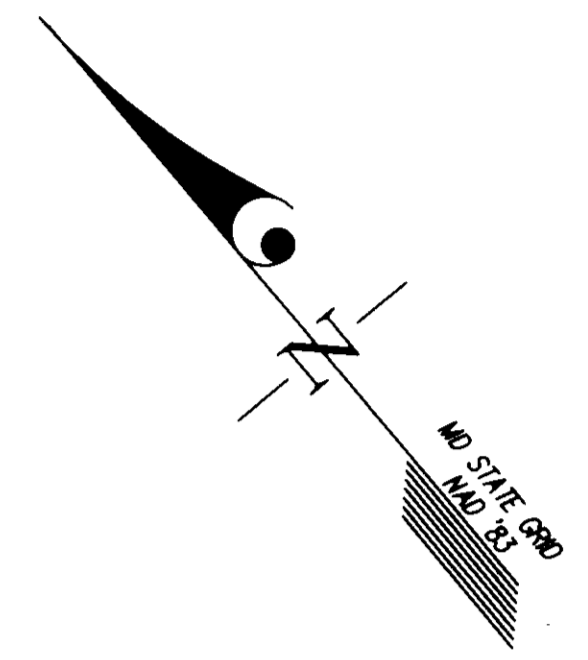
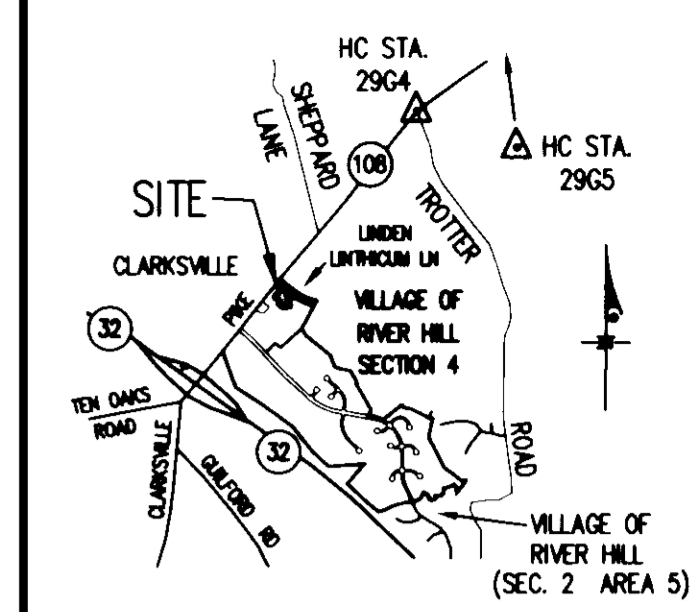
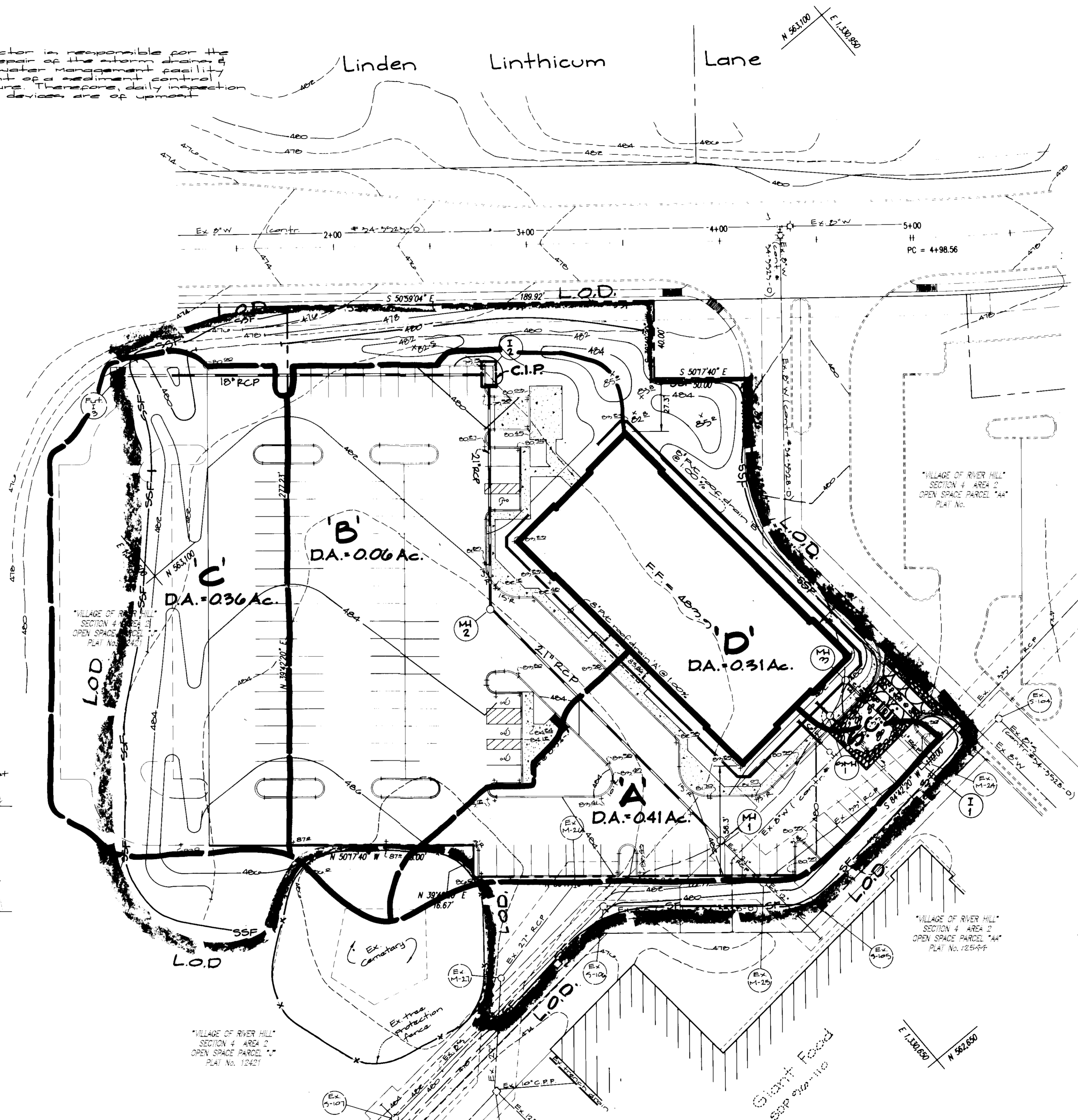
Sequence of Construction

1. Obtain grading permit. (1 day)
2. Arrange for an on-site pre-construction meeting with the sediment control inspector. (1 day)
3. Install storm construction entrance. (1 day)
4. Wrap site with silt fence & super silt fence as shown on sediment control plan. (2 days)
5. Construct storm drains. (1 week)
6. Construct water & sewer from existing stubs to within 5' of building. (2 days)
7. Fine grade site. (Note that no disturbance is permitted within 30' cemetery buffer). (5 days)
8. Construct building. (2 months)
9. Install curb & gutter, sidewalks, & base paving, stabilize remaining stream with grass, seed & mulch. (2 weeks)
10. Install surface paving. (2 weeks)
11. Install landscaping. (1 week)
12. With permission of the sediment control inspector, remove silt fence & super silt fence, & stabilize as necessary. (2 days)

Note

The contractor is responsible for the clean up & repair of the storm drains & the stormwater management capability in the event of a sediment control device failure. Therefore, daily inspection & repair of devices are of utmost importance.

Drainage Area	Inlet/Stub	Total Area	Area Paved	Area Grass	'C'
A	I-1	0.41	0.32	0.09	0.73
B	I-2	0.86	0.69	0.17	0.72
C	I-3	0.67	0.59	0.10	0.77
D	roof	0.31	0.31	-	0.83



Engineer's Certificate
 I certify that this plan for erosion & sediment control represents a practical & workable plan based on my personal knowledge of the site conditions & that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Date: 1-21-97

These plans have been reviewed for the Howard Soil Conservation District & meet the technical requirements.
 Natural Resources Conservation Service
 Date:

Developer's/Builder's Certificate
 I/We certify that all development &/or construction will be done according to this plan, & that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment & Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD.
 Date: 1/21/97

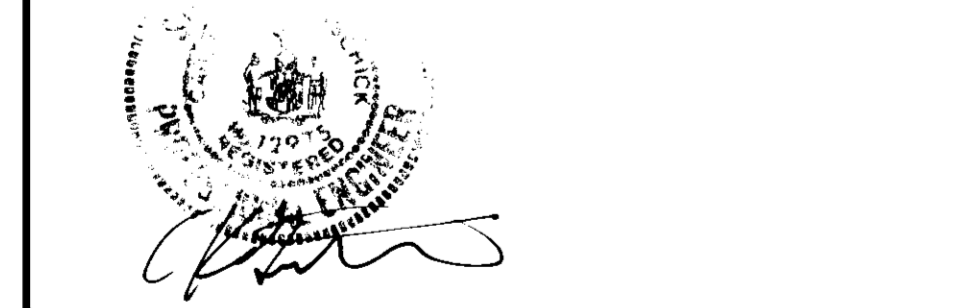
This Development Plan is approved for Soil Erosion & Sediment Control by the Howard Soil Conservation District.
 Howard S.C.D.
 Date:

Sediment Control Legend:

	Limit of Disturbance
	Silt Fence
	Super Silt Fence
	Curb Inlet Protection
	Stabilized Construction Entrance
	Drainage Divide

Not to be used for site construction. See sheet 1 for information necessary to construct improvements.

For sediment control Only!



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Date: 7/2/97
 Date: 7/2/97
 Date: 7/2/97

PERMIT INFORMATION

SUBDIVISION NAME	VILLAGE OF RIVER HILL	SECTION/AREA	4/2	LOT/PARCEL #	"N"
PLAT # OR L.P. BLOCK	12421	ZONE	NT	TAX/ZONE MAP/PLAT/BLK/STR	34 5
CENSUS TRACT					
SEWER CODE					

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20866
 TEL: (301) 421-4024 NO. VA: (301) 989-2524 BAL.T: (410) 880-1820 FAX: (301) 421-4185 DES. DRN. CHK.

DATE	REVISION	BY	APPR.

PREPARED FOR:
 Troutman Companies
 8815 Center Park Drive
 Suite 104
 Columbia, Md 21045
 (410) 760-1000
 Attn: Chuck Rigert

Sediment Control Plan/Drainage Area Map
VILLAGE OF RIVER HILL
 SECTION 4 AREA 2
 PARCEL "N"
 CLARKSVILLE ELECTRON DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SCALE	1"=30'	ZONING	NT	G. L. W. FILE No.	96089
DATE	JUNE, 1997	TAX MAP No.	34	SHEET	3 OF 6

SOP 97-76

PLANT MATERIALS AND PLANTING METHODS

A. Plant Materials

The landscape contractor shall furnish and install and/or dig, ball, burlap and transplant all of the plant materials called for on drawings and/or listed in the Plant Schedule.

1. Plant Names

Plant names used in the Plant Schedule shall conform with "Standardized Plant Names," latest edition.

2. Plant Standards

All plant material shall be equal to or better than the requirements of the "USA Standard for Nursery Stock" latest edition, as published by the American Association of Nurserymen...

All plants shall be nursery grown and shall have been grown under the same climate conditions as the location of this project for at least two years before planting.

3. Plant Measurements

All plants shall conform to the measurements specified in the Plant Schedule as approved by the ARC.

a. Caliper measurements shall be taken six inches (6") above grade for trees under four-inch (4") caliper and twelve (12") above grade for trees four inches (4") in caliper and over.

b. Minimum branching height for all trees shall be six feet (6'), maximum eight feet (8').

c. Minimum size for planting shade trees shall be 3-3 1/2" caliper, 14'-15' in height.

d. Minimum size for planting minor or intermediate focus trees (pines, crabapples, etc.) shall be 3"-3 1/2" caliper, 10'-12' in height.

e. Minimum size for planting shrubs shall be 18" - 24" spread unless noted otherwise.

f. Caliper, height, spread and size of ball shall be generally as follows:

Table with columns: CALIPER, HEIGHT, SPREAD, SIZE OF BALL. Rows include 3"-3 1/2", 3 1/2"-4", 4"-4 1/2", 4 1/2"-5", 5"-5 1/2", 5 1/2"-6".

All plant material shall generally average the median for the size ranges indicated above as indicated in the "AAN Standards".

4. Plant Identification

Legible labels shall be attached to all shade trees, minor trees, specimen shrubs and bundles or boxes of other plant material giving the botanical and common names, size and quantity of each.

5. Plant Inspection

The ARC may, upon request by the builder or developer, at least ten (10) days prior to the installation of any proposed plant material, inspect all proposed plant material at the source of origin.

B. Planting Methods

All proposed plant materials that meet the specifications in Section A are to be planted in accordance with the following methods during the proper planting seasons as described in the following:

1. Planting Seasons

The planting of deciduous trees, shrubs and vines shall be from March 1st to June 15th and from September 15th to December 15th.

The planting of evergreen material shall be from March 15th to June 15th and from August 15th to December 1st.

2. Digging

All plant material shall be dug, balled and burlapped (B&B) in accordance with the "AAN Standards".

3. Excavation of Plant Pits

The landscaping contractor shall excavate all plant pits, vine pits, hedge trenches and shrub beds in accordance with the following schedule:

a. Locations of all proposed plant material shall be staked and approved in the field by the landscape architect before any of the proposed plant material is installed...

b. All pits shall be generally circular in outline, vertical sides; depth shall not be less than 6" deeper than the root ball...

c. If areas are designated as shrub beds or hedge trenches, they shall be excavated to at least 18" depth minimum.

d. Diameter and depth of tree pits shall generally be as follows:

Table with columns: PLANT SIZE, ROOT BALL, PIT DIAMETER, PIT DEPTH. Rows include 3" - 3 1/2" cal., 3 1/2" - 4" cal., 4" - 4 1/2" cal., 4 1/2" - 5" cal., 5" - 5 1/2" cal., 5 1/2" - 6" cal.

A 20% compaction figure of the soil to be removed is assumed and will be allowed in calculation of extra topsoil.

4. Staking, Guying and Wrapping

All plant material shall be staked or guyed, and wrapped in accordance with the following specifications:

a. Stakes: Shall be sound wood 2" x 2" rough sawn oak or similar durable woods...

b. Wire and Cable: Wire shall be #10 ga. galvanized or bethanized annealed steel wire.

c. Hose: Shall be new, 2 ply reinforced rubber hose, minimum 1/2" I.D.

d. All trees under 3" in caliper are to be planted and staked in accordance with the attached "Typical Tree Staking Detail".

5. Plant Pruning, Edging and Mulching

a. Each tree, shrub or vine shall be pruned in an appropriate manner to its particular requirements...

b. All trenches and shrub beds shall be edged and cultivated to the lines shown on the drawing.

c. After cultivation, all plant materials shall be mulched with a 2" layer of fine, shredded pine bark...

6. Plant Inspection and Acceptance

The ARC shall be responsible for inspecting all planting projects on a periodic basis to assure that all work is proceeding in accordance with the approved plans and specifications.

7. Plant Guarantee

All plant material shall be guaranteed for the duration of one full growing season, after final inspection and acceptance of the work in the planting project.

a. For this purpose, the "growing season" shall be that period between the end of the "Spring" planting season...

b. Guarantee for planting performed after the specified end of the "Spring" planting season...

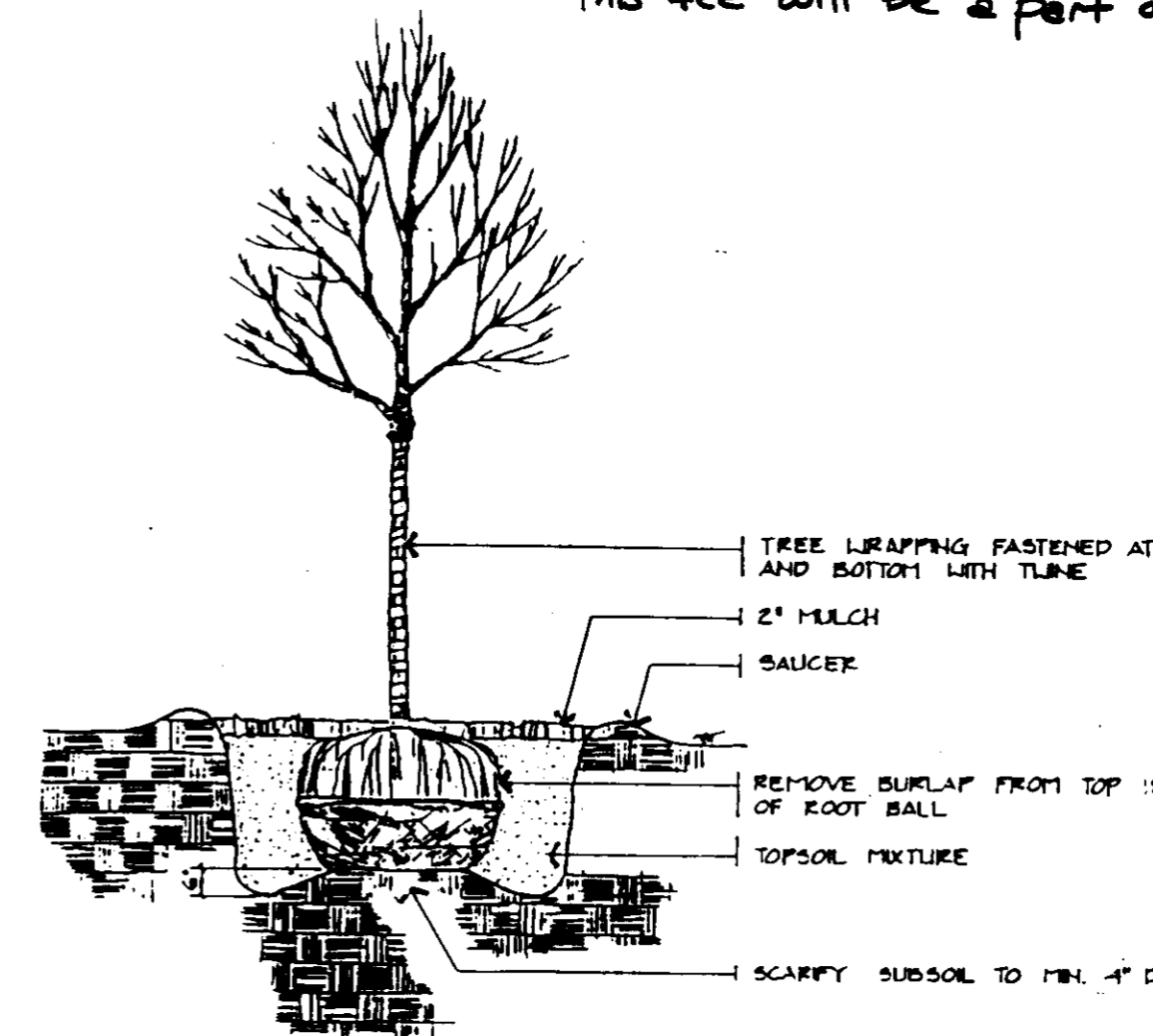
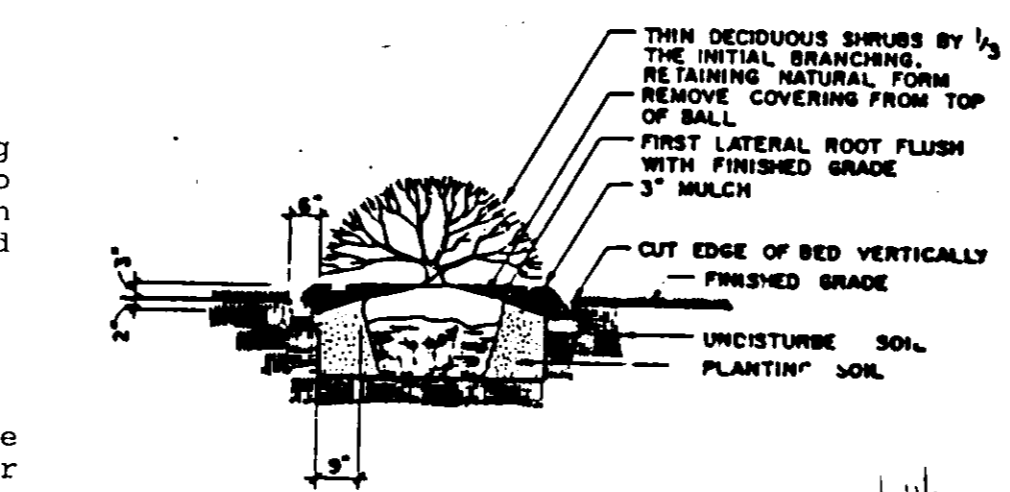
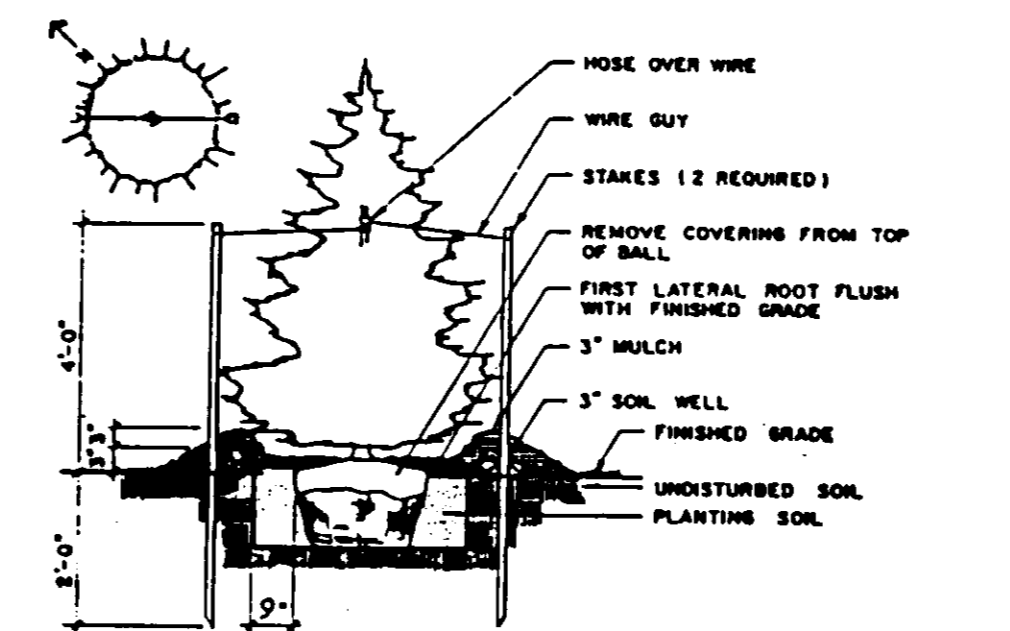
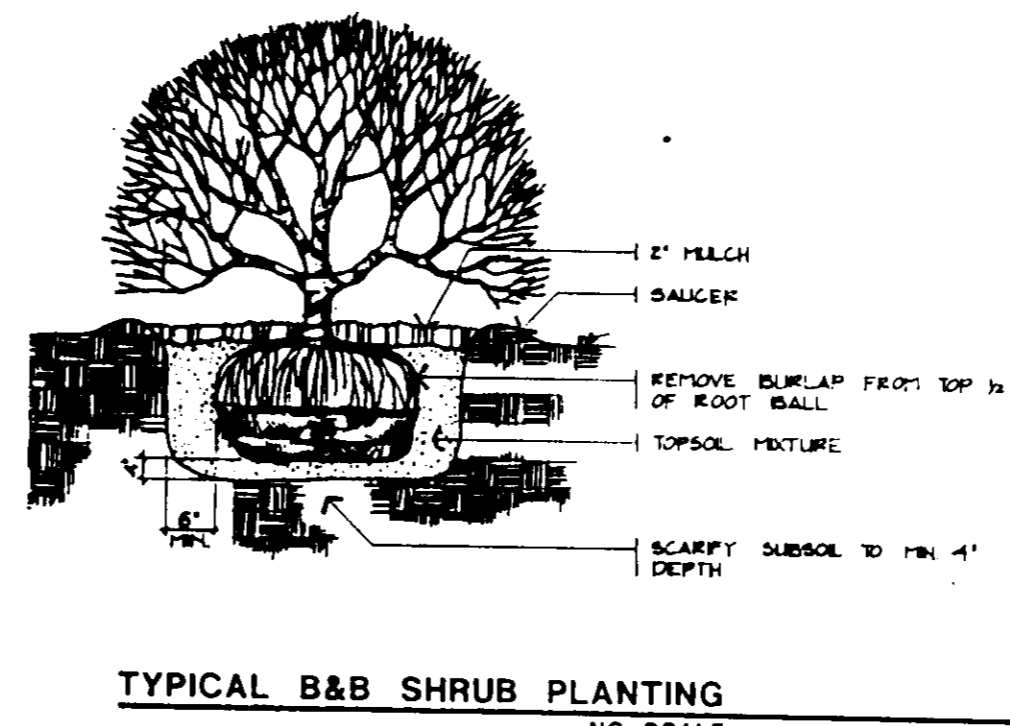
Sodding

All sodding shall be in accordance with the "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Areas" latest edition...

All sod shall be strongly rooted sod, not less than two years old and free of weeds and undesirable native grasses.

Plant Schedule

Plant Schedule table with columns: Quant, Symbol, Name, Size, Remarks. Lists various trees and shrubs like Zelkova, Prunus, Picea, etc.



Typical Deciduous Tree Planting

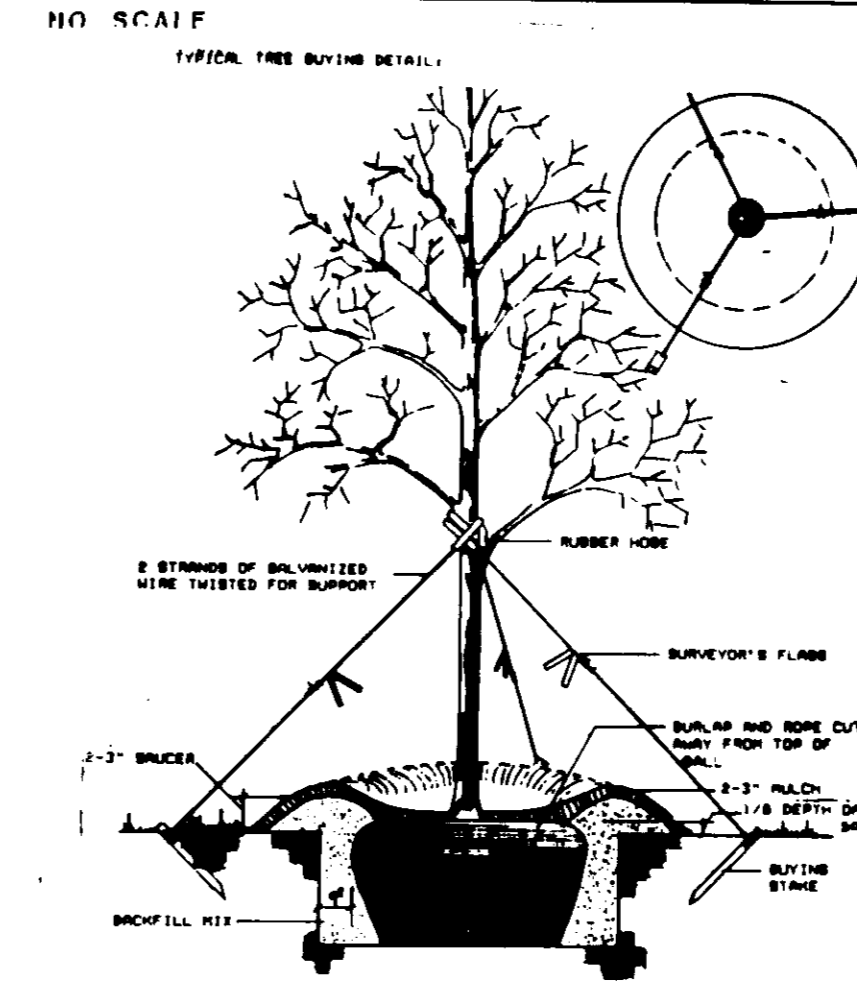


Table for Schedule A: Perimeter Landscape Edge. Columns: Category, Adjacent to Roadway, Adjacent to Perimeter Properties.

Table for Schedule B: Parking Lot Internal Landscaping. Columns: Number of Parking Spaces, Number of Trees Provided, etc.

Note: Schedules C & D are N/A.

Sche. A total equ. shade tree req. = 10

Planting Required by HUD

1.77 ac @ 24 shade trees/ac. = 47 shade trees (or equ. up to 80%)

Planting Provided

Shade trees (est) 31 (includes 9 trees per F-26-B2 & SDF-26-110)
Ornamental trees 7 (35 equ. est)
Evergreen trees 22 (11 equ. est)

Notes

- 1. The balance of the required shade trees is provided by proposed shrubs & ground covers.
2. The landscape plan has been prepared in accordance with the alternative compliance provisions of sect. 16.02A of the Howard County Code...
3. Landscape Schedule A and B is shown for purely purposes only. Financial necessity for the required landscaping is \$1,000.00. This fee will be a part of the grading permit application.

APPROVED PLANNING BOARD stamp and signatures from Howard County Department of Planning & Zoning, dated 7/2/97.

Professional title block for G.W. Gutschick Little & Weber, P.A., including project name 'Village of River Hill' and contact information.