

LOT INFORMATION				
LOT NO.	LOT SIZE	STREET ADDRESS	MIN. CELLAR ELEV.	MIN. ELEV. @ PROPERTY LINE (3/8")
2	8,861 sq. ft.	9021 Old Scaggsville Rd.	300.30	301.08
3	7,824 sq. ft.	9017 " "	304.77	299.57
4	8,472 sq. ft.	9013 " "	299.77	294.77

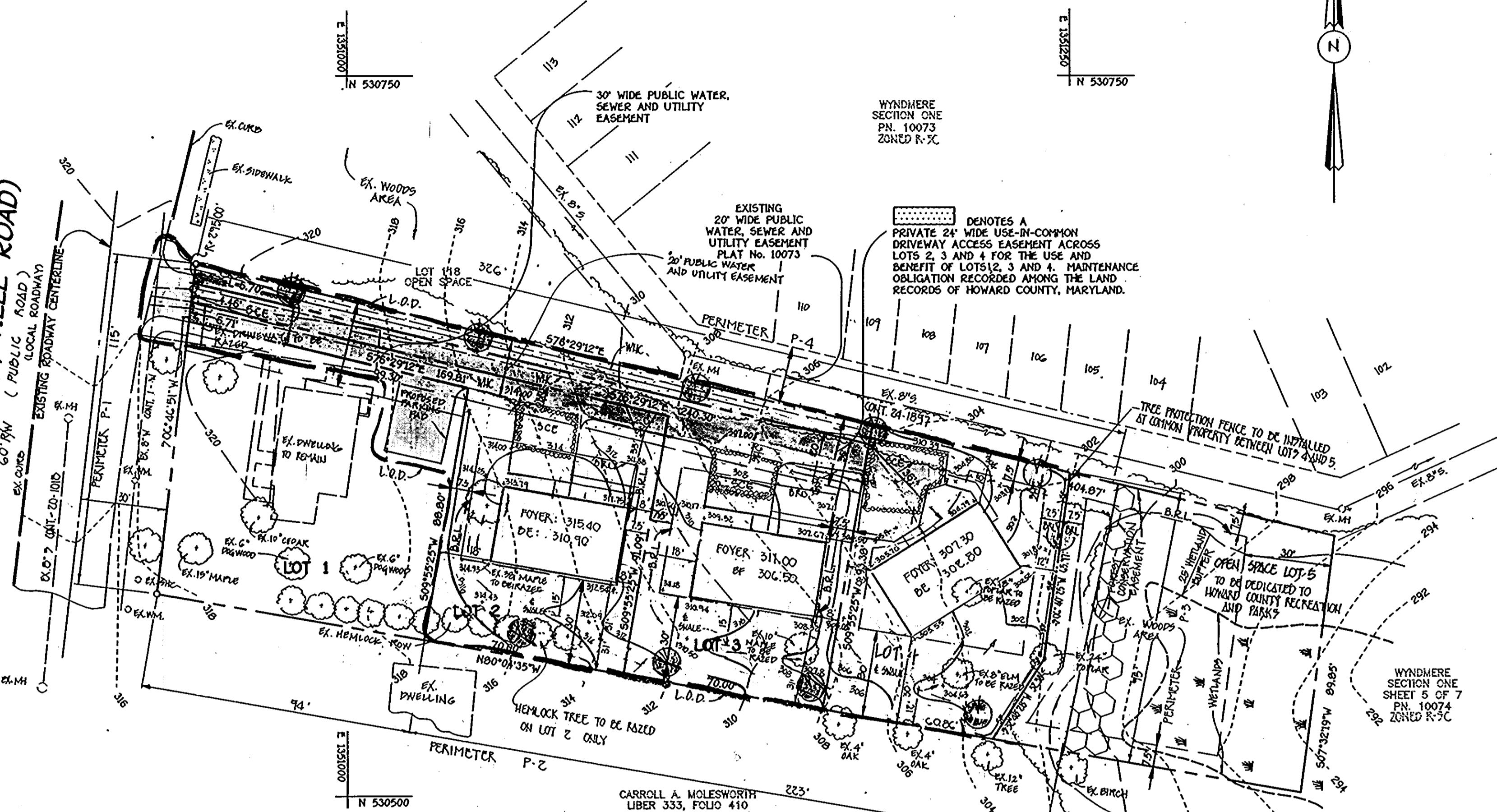
MINIMUM LOT SIZE CHART				
LOT NO.	GRASSY AREA	PERFORATED AREA	REMAINING AREA	MINIMUM LOT SIZE
2	7,193 sq. ft.	663 sq. ft.	6,530 sq. ft.	6,530 sq. ft.
3	7,824 sq. ft.	1,134 sq. ft.	6,690 sq. ft.	6,690 sq. ft.
4	8,472 sq. ft.	1,604 sq. ft.	6,868 sq. ft.	6,868 sq. ft.

LANDSCAPE SCHEDULE				
QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
10	(Symbol)	ACER RUBRUM OCTOBER GLORY	OCTOBER GLORY MAPLE	2 1/2" - 3"

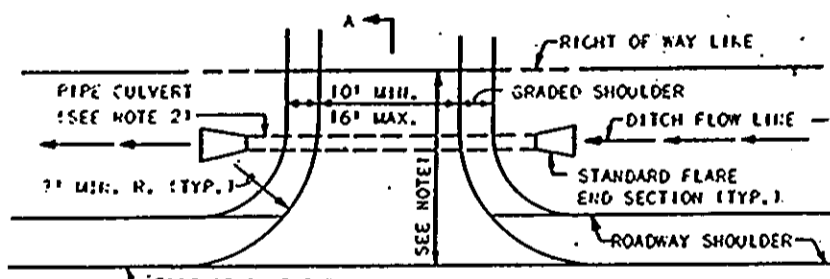
SCHEDULE 'A' - PERIMETER LANDSCAPE EDGE				
PERIMETER	1	2	3	4
CATEGORY	ADJACENT TO ROADWAY	ADJACENT TO PERIMETER PROPERTIES	ADJACENT TO PERIMETER PROPERTIES	ADJACENT TO PERIMETER PROPERTIES
LANDSCAPE TYPE	"A"	"A"	"A"	"A"
LARGEST FEET OF FRONTY PERIMETER	P-1 105 LF.	P-2 347 LF.	P-3 75 LF.	P-4 322 LF.
CREDIT FOR EXISTING VEGETATION (YES, NO, LIMITED)	NO	YES	NO	NO
DECREASE BELIEF IF NEEDED		34 LF.		
CREDIT FOR WALL, FENCE OR DECK (YES, NO, LIMITED)	NO	NO	NO	NO
DECREASE BELIEF IF NEEDED				
NUMBER OF PLANTS REQUIRED	N/A	225+60-4	95+60-1	30+60-5 TREES
EXISTING TREES		4		5
NUMBER OF PLANTS PROVIDED	0	4	1	5
EXISTING TREES				
OTHER TREES (2 1/2" TO 3")				
OTHER TREES (3 1/2" TO 4")				
DESCRIBE PLANT SUBSTITUTION (CREDIT BELIEF IF NEEDED)				

PERIMETER 1: CREDIT FOR EXISTING TREES ON LOT 1.
TWO (2) DOGWOOD, ONE (1) MAPLE AND EXISTING ROW OF HEMLOCK.
See note 13 for landscape survey

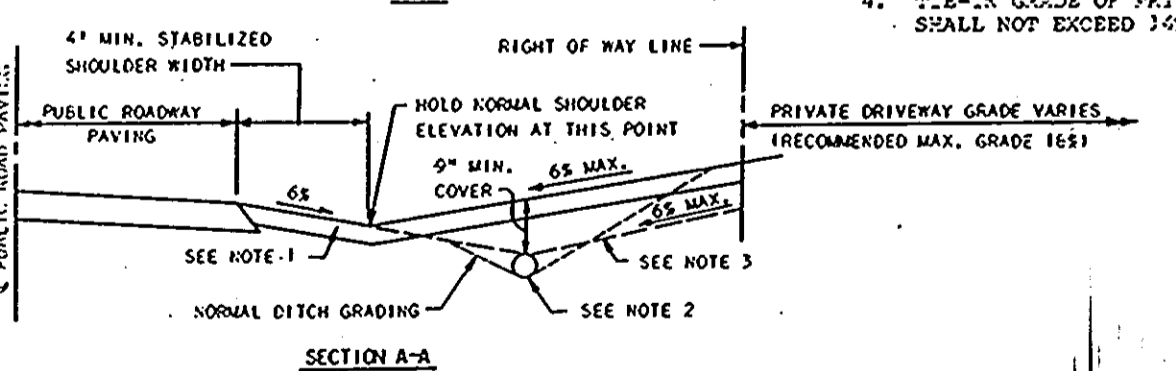
MARYLAND ROUTE 983
(OLD SCAGGSVILLE ROAD)



PLAN VIEW
SCALE: 1" = 30'



- NOTES:
- DRIVEWAY MUST BE PAVED FROM EDGE OF PUBLIC ROAD TO RIGHT OF WAY LINE USING STANDARD PAVING SECTION, P-1 AS SHOWN ON 5110, 100, OR ALTERNATE SECTION EQUAL TO OR BETTER THAN P-1, AS APPROVED BY D.P.W.
 - DRAINAGE CULVERT SHALL BE SIZED FOR A 10 YEAR FREQUENCY STORM AND THE MINIMUM SIZE SHALL BE 24" DIA. ROUND OR 14" x 9" ARCH PIPE IF LARGER PIPE IS REQUIRED, DITCH INVERT SHALL BE LOWER TO PROVIDE MIN. DITCH GRADIENT OF 0.5% AND CLEARANCE SHOWN.
 - SHALL FLOW MAY BE PROVIDED OVER DRIVEWAY LOCATED AT OR NEAR THE CREST OF VERTICAL CURVES ON THE PUBLIC ROAD WHERE QUANTITY OF FLOW IS SMALL, AS APPROVED BY D.P.W.
 - 2% IN GRADE OF PRIVATE DRIVEWAY SHALL NOT EXCEED 10%.



RESIDENTIAL DRIVEWAY ENTRANCE DETAIL
NOT TO SCALE

- LEGEND
- EXISTING CONTOUR, 2' INTERVAL
 - - - EXISTING CONTOUR, 10' INTERVAL
 - PROPOSED CONTOUR, 2' INTERVAL
 - PROPOSED CONTOUR, 10' INTERVAL
 - + 0.24 720' ELEVATION
 - X-X- 24" FENCE
 - X-X- 36" FENCE
 - FF FIRST FLOOR ELEVATION
 - BE BASEMENT ELEVATION
 - PROPOSED WALKOUT
 - X-X- TREE PROTECTION FENCE
 - EXISTING TREE LINE
 - EXISTING STREET TREE
 - L.O.D. LIMIT OF DISTURBANCE



- GENERAL NOTES:
- THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTION DIVISION AT (410) 313-1800 AT LEAST (5) FIVE WORKING DAYS PRIOR TO THE START OF WORK.
 - THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
 - THIS PROJECT IS SUBJECT TO HOWARD COUNTY FILES: LILLY PROPERTY II F71-72.
 - BOUNDARY AND TOPOGRAPHIC SURVEY PERFORMED BY FISHER COLLINS AND CARTER INC. ON OR ABOUT JULY, 1996.
 - HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON HOWARD COUNTY GEODETIC CONTROL STATIONS:
STA. 47GA N 162277.182 (FEET)
E 41976.8443 (FEET)
STA. 47GB N 161519.889 (FEET)
E 41255.7648 (FEET)
 - ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
 - SITE ANALYSIS:
A. THIS PROJECT IS ZONED R-3C
B. TOTAL AREA OF BUILDING LOT: 0.54 AC.
C. LIMIT OF SUBMISSION AREA: 0.54 AC.
D. TOTAL NUMBER OF BUILDABLE LOTS: 3
 - PROJECT BACKGROUND:
LOCATION: TAX MAP 47 PARCEL: 153
ZONED: R-3C
ELECTION DISTRICT: SIXTH
TOTAL TRACT AREA: 1.02 AC.
 - THIS PLAN IS FOR HOUSE SITING, LOT GRADING AND LANDSCAPING ONLY.
 - CONTRACTOR WILL CHECK SEWER HOUSE CONNECTION ELEVATION AT PROPERTY LINE PRIOR TO CONSTRUCTION.
 - THE EXISTING P.W.M. FACILITY ON WYNDHERE SECTION ONE F-90-41 SHALL BE UTILIZED FOR STORMWATER MANAGEMENT FOR THIS SITE.
 - SECTION 123 OF THE HOWARD COUNTY ZONING REGULATIONS ALLOW'S PORCHES OR DECKS OPEN OR ENCLOSED NOT TO PROJECT MORE THAN (07) TEN FEET INTO THE REQUIRED FRONT OR REAR YARD BUILDING RESTRICTION LINE(S).
 - FINANCIAL SURETY FOR THE REQUIRED 11 LANDSCAPE TREES MUST BE POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF \$11,000.00.
 - THIS SITE WILL UTILIZE PUBLIC WATER AND POWER, CONTRACTS I-W AND 24-18971.

- SEQUENCE OF CONSTRUCTION
- OBTAIN GRADING PERMIT
 - INSTALL TREE PROTECTION FENCE (2 DAYS)
 - INSTALL SEDIMENT AND EROSION CONTROL DEVICES PER PLAN. (3 DAYS)
 - CLEAR AND GRUB SITE. (7 DAYS)
 - EXCAVATE FOR FOUNDATIONS AND ROUGH GRADE. (4 DAYS)
 - CONSTRUCT DWELLINGS. (90 DAYS)
 - FINE GRADE SITE, INSTALL DRIVEWAYS. (5 DAYS)
 - INSTALL PERMANENT SEEDING. (2 DAYS)
 - REMOVE SEDIMENT CONTROL DEVICES AS PERMISSION IS GRANTED BY THE CONTROL INSPECTOR AND UPLAND AREAS HAVE BEEN STABILIZED. (2 DAYS)

SHEET INDEX

SHEET NO.	DESCRIPTION
SHEET 1 OF 2	PLAN VIEW
SHEET 2 OF 2	NOTES AND DETAILS

GENERIC

SITE DEVELOPMENT PLAN AND LANDSCAPE PLAN

LILLY PROPERTY II

LOTS 2 THRU 4
ZONED: R-3C

TAX MAP No: 47 PARCEL: 153 GRID 19
6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: DECEMBER 16, 1996

SHEET 1 OF 2

NO.	DATE	DESCRIPTION
1	7-29-90	REV. HSE. LOC. & GRDS. DRIVEWAYS

REVISION		
NO.	DATE	DESCRIPTION
1	7-29-90	REV. HSE. LOC. & GRDS. DRIVEWAYS

ENGINEER'S CERTIFICATE
"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
Signature of Engineer (Print name below signature) *Earl L. Lilly* 1/8/97 Date

DEVELOPER'S CERTIFICATE
"We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."
Signature of Developer (Print name below signature) *Norma S. Lilly* 1-8-97 Date

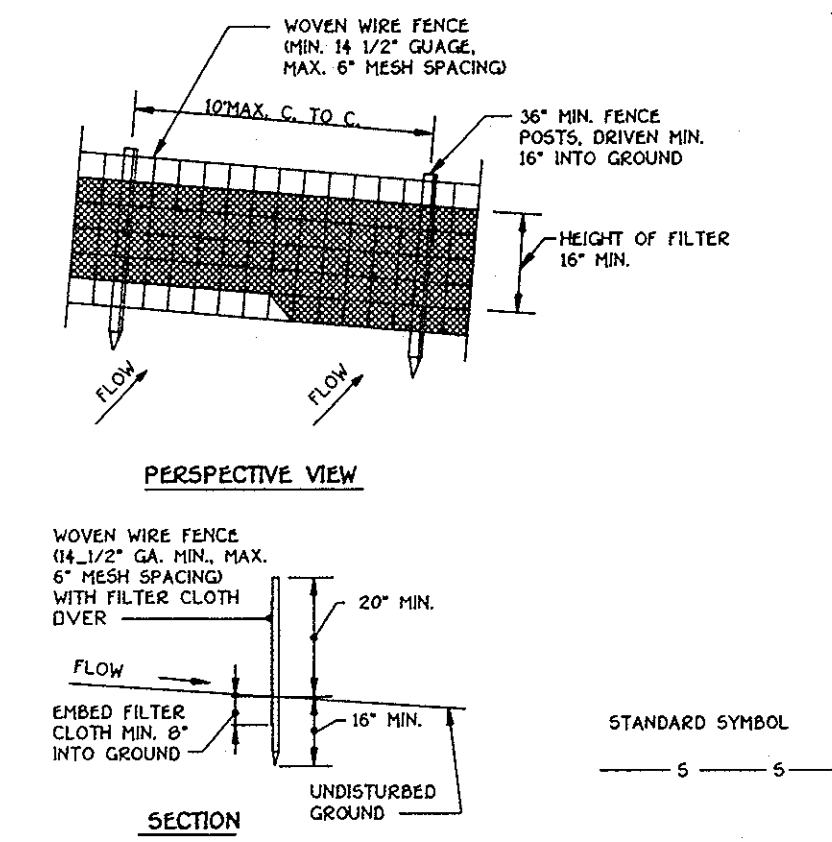
Reviewed for HOWARD SCD and meets Technical Requirements.
Clayton Simmons 8/29/97 Date
U.S.D.A.-Natural Resources Conservation Service
This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
John K. Robertson 8/29/97 Date
Howard SCD

OWNER AND DEVELOPER
EARL - LEE ENTERPRISES, LLC
BY: MR FLOYD LILLY
304 MONTGOMERY STREET
LAUREL, MARYLAND 20707

APPROVED: DEPARTMENT OF PLANNING AND ZONING					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

Subdivision: LILLY PROPERTY II Section/Area: 2 THRU 4
Plat No: 1289D Block No: 19 Zone: R-3C Tax/Zone: 41 Elec. Dist: SIXTH Census Tr: 6069.03
Water Code: E19 Sewer Code: 7172000

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PLACE - 10772 BALTIMORE NATIONAL FREE
ELKOTT CITY, MARYLAND 20642
4100 661 - 3000



CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OF STAPLES.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

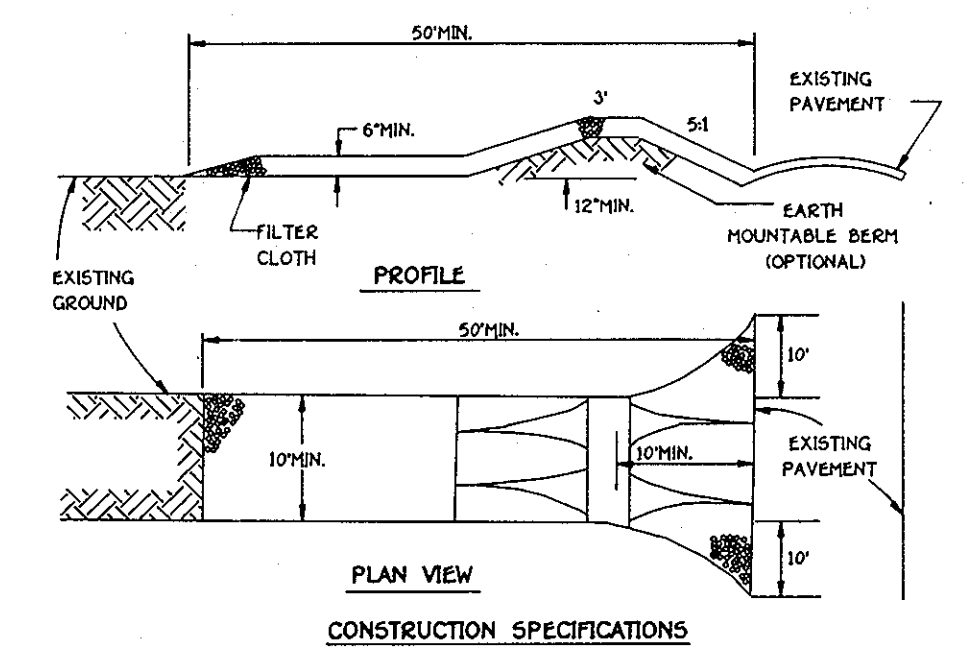
POSTS: STEEL EITHER T OR U TYPE OR 2" HARDWOOD

FENCE: WOVEN WIRE, 14 GA. 6" MAX. MESH SPACING

FILTER CLOTH: FILTER X, HIRAFI 100X, STABILINKA 14 ON OR APPROVED EQUAL

PREFABRICATED UNIT: GEOPAF, ENVIROFENCE, OR APPROVED EQUAL

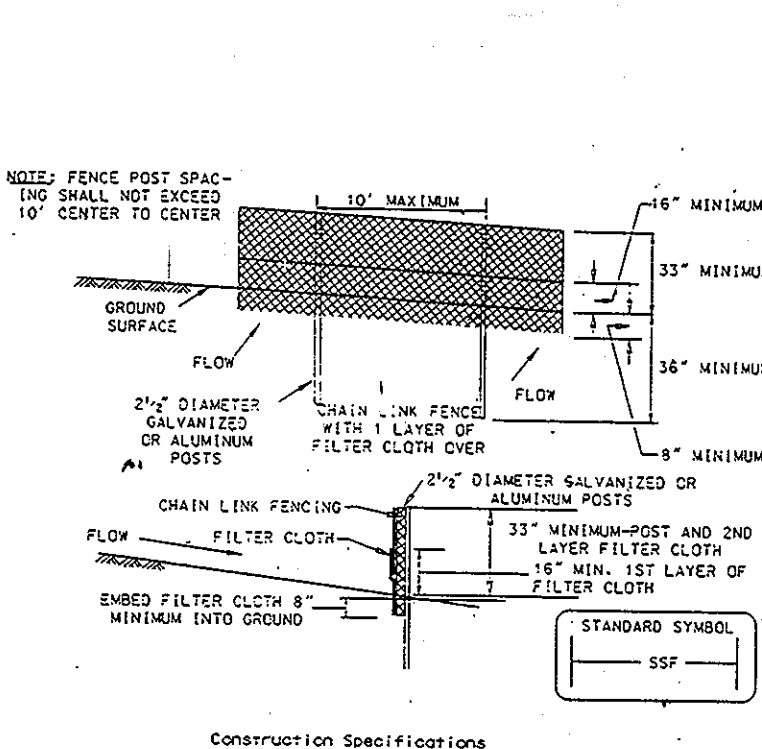
SILT FENCE
NOT TO SCALE



CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A HORIZONTAL BEAM WITH 5% SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WARNING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WASHING IS REQUIRED. IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE - 2
NOT TO SCALE

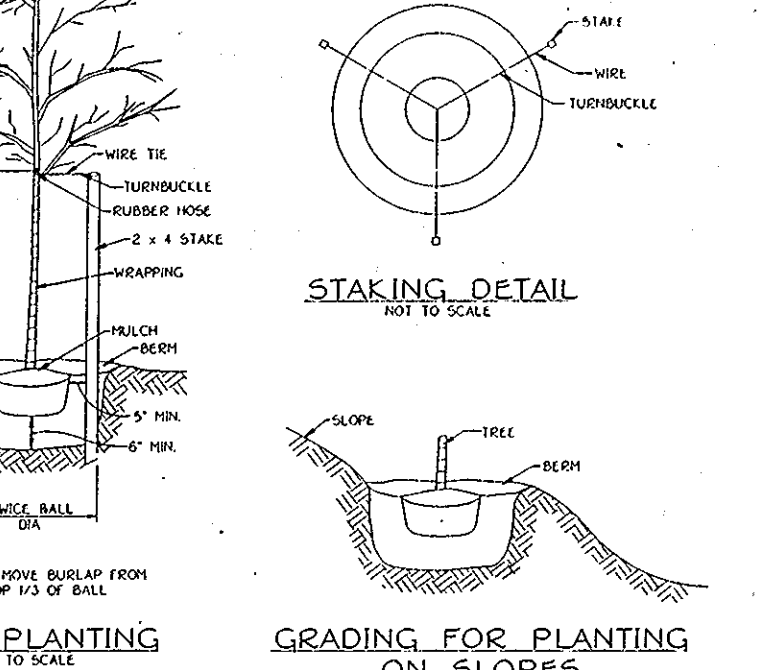


CONSTRUCTION SPECIFICATIONS

Fencing shall be 42 inches in height and constructed in accordance with the latest Maryland State Highway Design for Chain Link Fencing. The specification for a 6 foot fence shall be used, substituting 42 inch posts and 6 foot length posts.

- The poles do not need to set in concrete.
- Chain link fence shall be fastened securely to the fence posts with wire ties or staples.
- Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
- Filter cloth shall be embedded a minimum of 6" into the ground.
- When two sections of filter cloth adjoin each other, they shall be overlapped by 6" and folded.
- Maintenance shall be performed as needed and silt bulges removed when "bulges" develop in the silt fence.

SUPER SILT FENCE
NOT TO SCALE



TREE PLANTING
NOT TO SCALE

GRAVING FOR PLANTING ON SLOPES
NOT TO SCALE

TREE PLANTING DETAIL
NOT TO SCALE

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (03-1995).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: a) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DRES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1 b) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/RABBIT HOLES BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12 OF THE HOWARD COUNTY MANUAL SIGN DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, FOR PERMANENT SEEDING (SEC. 50, 500 (SEC. 54), TEMPORARY SEEDING (SEC. 50), AND MULCHING (SEC. 50). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:**
 - TOTAL AREA OF SITE: 1.02 ACRES
 - AREA DISTURBED: 0.54 ACRES
 - AREA TO BE ROOFED OR PAVED: 0.17 ACRES
 - AREA TO BE VEGETATIVELY STABILIZED: 0.31 ACRES
 - TOTAL CUT: 500 CUBIC YARDS
 - TOTAL FILL: 500 CUBIC YARDS
 - OUTLET WASTE/BORROW AREA LOCATION: CULYDS.
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

SEDIMENT CONTROL NOTES

ALL DISTURBED AREAS SHALL BE STABILIZED AS FOLLOWS:

SEEDING PREPARATION:
LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING.

SOIL AMENDMENTS:
APPLY TWO TONS PER ACRE DELOMITIC LIMESTONE (90 LBS./1000 SQ.FT.) AND 600 LBS. PER ACRE 0-20-20 FERTILIZER (14 LBS./1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS. PER ACRE 30-0-0 UREAFORM FERTILIZER (9 LBS./1000 SQ.FT.) AND 500 LBS. PER ACRE (115 LBS./1000 SQ.FT.) OF 10-20-20 FERTILIZER.

SEEDING:
FOR THE PERIODS MARCH 1 THROUGH APRIL 30, AND AUGUST 1 THROUGH OCTOBER 15, SEED WITH 100 LBS. PER ACRE (23 LBS./1000 SQ.FT.) OF KENTUCKY 31 TALL FESCUE FOR THE PERIOD MAY 1 THROUGH JULY 31, SEED WITH 80 LBS./ACRE (18 LBS./1000 SQ.FT.) OF KENTUCKY 31 TALL FESCUE AND 2 LBS. PER ACRE (0.05 LBS./1000 SQ.FT.) OF WEEDING LOVEGRASS. DURING THE PERIOD OF OCTOBER 15 THROUGH FEBRUARY 28, PROJECT SITE BY: OPTION (1) - TWO TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING (OPTION 2) - USE 500 SQ. FT. (3) - SEED WITH 100 LBS./ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH TWO TONS/ACRE WELL ANCHORED STRAW. ALL SLOPES SHOULD BE HYDROSEEDING.

MULCHING:
APPLY 1 TO 2 TONS PER ACRE (80 TO 90 LBS./1000 SQ.FT.) OF UNWEEDED SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING 200 GALLONS PER ACRE (5 GALLONS/SQ.FT.) OF ASPHALT ON FLAT AREAS, ON SLOPES 6 FEET OR HIGHER USE 340 GALLONS PER ACRE (8 GALLONS/SQ.FT.) FOR ANCHORING.

MAINTENANCE:
NEEDS AND ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

* FOR PUBLIC PONDS SUBSTITUTE CHEMUNG CROWNWEETH AT 15 LBS./ACRE AND KENTUCKY 31 TALL FESCUE AT 40 LBS./ACRE AS THE SEEDING EQUIVALENT. OPTIMUM SEEDING DATE FOR THIS MIXTURE IS MARCH 1 TO APRIL 30.

PERMANENT SEEDING NOTES

Using vegetation as cover for barren soil to protect it from erosion and grass growth.

DEFINITION:
Vegetative stabilization specifications are used to promote the establishment of vegetation on exposed soil. When soil is stabilized with vegetation, the soil is less likely to erode and more likely to allow infiltration of rainfall, thereby reducing sediment loads and run-off to downstream water bodies.

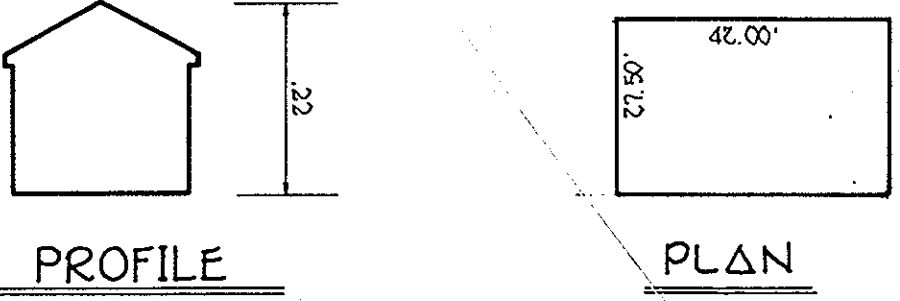
CONDITIONS WHERE PRACTICE APPLIES:
This practice shall be used on denuded areas as specified on the plans and may be used on highly erodible or critically eroding areas. This specification is divided into Temporary Seeding, to quickly establish vegetative cover for short duration due to one year and Permanent Seeding, for long term vegetative cover. Examples of applicable areas for Temporary Seeding are temporary soil stockpiles, cleared areas, bare soil between construction phases, steep areas, etc. and for Permanent Seeding are lawns, dunes, cut and fill areas and other areas at final grade, former stockpile and staging areas, etc.

EFFECTS ON WATER QUALITY AND QUANTITY:
Vegetation will help reduce the movement of sediment, nutrients, and other chemicals carried by runoff to receiving waters. Plants will also help protect groundwater supplies by assimilating those substances present within the root zone. Sediment control devices must remain in place during germination, seedling preparation, mulching and vegetative establishment to prevent large quantities of sediment, nutrients and other chemicals from washing into surface waters.

SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS

- Site Preparation**
 - Install erosion and sediment control structures (either temporary or permanent) such as diversions, grade stabilization structures, berms, waterways, or sediment control basins.
 - Perform all grading operations at right angles to the slope. Final grading and shaping is not usually necessary for temporary seeding.
 - Schedule required soil tests to determine soil amendment composition and application rates for sites having disturbed areas over 5 acres.
- Soil Amendment (Fertilizer and Lime Specifications)**
 - Soil tests must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas over 5 acres. Soil analysis may be performed by the University of Maryland or a recognized commercial laboratory. Soil samples taken for engineering purposes may also be used for chemical analysis.
 - Fertilizers shall be uniform in composition, free flowing and suitable for accurate application by approved equipment. Hazards may be substituted for fertilizer with prior approval from the appropriate approval authority. Fertilizers shall be delivered to the site fully labeled according to the applicable site fertilizer law and shall bear the name, trade name or trademark and warranty of the producer.
 - Lime materials shall be ground limestone (hydrated or burnt lime may be substituted) which contains at least 50% total oxide (calcium oxide plus magnesium oxide). Limestone shall be ground to such fineness that at least 50% will pass through a #100 mesh sieve and 90-100% will pass through a #20 mesh sieve.
- Seeding Preparation**
 - Temporary Seeding**
 - Seeding preparation shall consist of loosening soil to a depth of 3" to 5" by means of suitable agricultural or construction equipment, such as disc harrows or chisel plows or rippers mounted on construction equipment. After the soil is loosened it should not be rolled or dragged smooth, but left in the roughened and irregular shaped areas (greater than 3:1) should be tracked having the surface in an irregular condition with ridges running parallel to the contour of the slope.
 - Apply fertilizer and lime as prescribed on the plans.
 - Apply seed to the top 3-5" of soil by daling or other suitable means.
 - Permanent Seeding**
 - Minimum soil conditions required for permanent vegetative establishment:
 - Soil pH shall be between 6.0 and 7.0.
 - Soluble salts shall be less than 500 parts per million (ppm).
 - The soil shall contain less than 40% clay, but enough fine grained material (D50) will pass clay) to provide the capacity to hold a moderate amount of moisture. An exception is if loess or other soil is to be planted then a sandy soil (D50 will pass clay) would be acceptable.
 - Soil shall contain 1.5% minimum organic matter by weight.
 - Soil must contain sufficient pore space to permit adequate root penetration.
 - If these conditions cannot be met by soils on site, additional soil is required in accordance with Section 21 Standards and Specification for Topsoil.
 - Areas previously graded in conformance with the drawings shall be maintained in a true and even grade, then scarified or otherwise loosened to a depth of 3-5" to permit bonding of the topsoil to the surface area and to create horizontal erosion check slots to prevent topsoil from sliding down a slope.
 - Apply soil amendments as per soil test or as included on the plans.
 - Mix soil amendments into the top 3-5" of topsoil by daling or other suitable means. Lawn areas should be smoothed to surface, remove large objects like stones and branches, and ready the area for seed and application. Where site conditions will not permit normal seedling preparation, loosen surface soil by dragging with a heavy chain or other equipment to roughen the surface. Steep slopes (steeper than 3:1) should be tracked by a dicer leaving the soil in an irregular condition with ridges running parallel to the contour of the slope. The top 3-5" of soil should be loose and friable. Seeded loosening may not be necessary on newly disturbed areas.

STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION



PROFILE
PLAN

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PKWY
ELLSWOOD CITY, MARYLAND 21041
410.461.2355

ENGINEER'S CERTIFICATE
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Cheryl Simmons
Signature of Engineer (Print name below signature) Date: 8/29/97

DEVELOPER'S CERTIFICATE
I/We certify that all development and construction will be done according to this plan and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Norma R. Lilly
Signature of Developer (Print name below signature) Date: 1-8-97

Reviewed for HOWARD SCD and meets Technical Requirements.

Cheryl Simmons 8/29/97
John K. Rowland 8/29/97

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

OWNER AND DEVELOPER
EARL - LEE ENTERPRISES, LLC
BY: MR. FLOYD LILL
304 MONTGOMERY STREET
LAUREL, MARYLAND 20707

APPROVED DEPARTMENT OF PLANNING AND ZONING

James A. Smith 9/12/97
Director, Department of Planning and Zoning

Charles H. Smith 9/12/97
Chief, Division of Planning and Development

John D. Smith 9/12/97
Chief, Development Engineering Division

SUBDIVISION: LILLY PROPERTY II
SECTION/AREA: SECTION 2
LOT NO.: 2 THRU 4
PLAT NO.: 17890
BLOCK NO.: 19
ZONE: RSC
TAX/ZONE: 41
ELEC. DIST.: SIXTH
CENSUS TR.: GOC 7, 05
WATER CODE: E19
SEWER CODE: 7172000

NOTES AND DETAILS

LILLY PROPERTY II
LOTS 2 THRU 4
ZONED: RSC
TAX MAP No: 47 PARCEL: 153 GRID 19
6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: DECEMBER 16, 1996
SHEET 2 OF 2