

79-SDP-DWG

ANDREW JOSEPH PAYNE
TAX MAP 38
PARCEL 487
L 3241 / F 350
ZONED M-2

ARCHITECTURAL DETAIL REFERENCE TABLE		
ITEM	ARCHITECTURAL PLAN SHEET NUMBER	ARCHITECTURAL DETAIL NUMBER
SECURITY GATE	A 1.9	1, 2 A-D
RETAINING WALL ELEVATION	A 2.1	7
RETAINING WALL SECTION (RE. DRAINAGE)	CIVIL ENGINEERING DRAWINGS SHEET 3/6	
RETAINING WALL SECTION (RE. REBAR CONSTRUCTION)	S 7.0	1,2,3
RETAINING WALL DATA	CIVIL ENGINEERING DRAWINGS SHEET 3/6	

SITE ANALYSIS DATA CHART

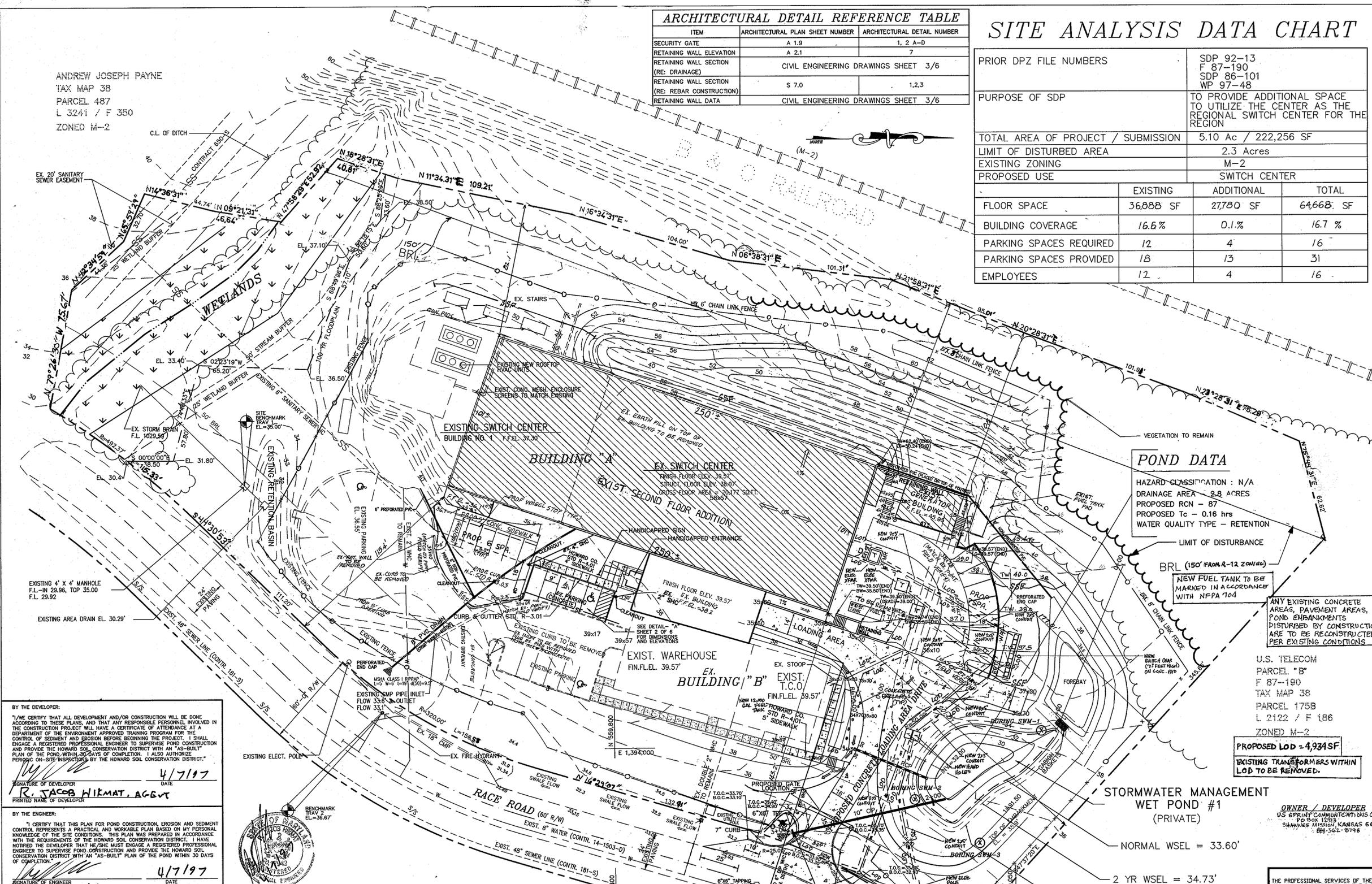
PRIOR DPZ FILE NUMBERS	SDP 92-13 F 87-190 SDP 86-101 WP 97-48		
PURPOSE OF SDP	TO PROVIDE ADDITIONAL SPACE TO UTILIZE THE CENTER AS THE REGIONAL SWITCH CENTER FOR THE REGION		
TOTAL AREA OF PROJECT / SUBMISSION	5.10 Ac / 222,256 SF		
LIMIT OF DISTURBED AREA	2.3 Acres		
EXISTING ZONING	M-2		
PROPOSED USE	SWITCH CENTER		
	EXISTING	ADDITIONAL	TOTAL
FLOOR SPACE	36,888 SF	2,780 SF	64,668 SF
BUILDING COVERAGE	16.6%	0.1%	16.7%
PARKING SPACES REQUIRED	12	4	16
PARKING SPACES PROVIDED	18	13	31
EMPLOYEES	12	4	16

REVISIONS			
ISSUE	DESCRIPTION	DATE/APPD	ENGR/APPD
1	RESUBMIT TO DEED & DLP		
2	ADD A SECOND FLOOR TO THE BUILDING WITH 200' OF CONCRETE DRIVEWAY	3/14/01	MBA
3	HOWARD CO. BENCHMARK 388A 2000' ± NORTH ALONG US 1 FROM BM 3849		
4	NEW RETAINING WALL ADD FUEL TANK, SWITCH CENTER AND CONDUIT. PROP. AREA 2017.77 SQ. FT.	3/6/04 4/30/13	MBA MBA



GENERAL NOTES:

- THIS PLAN SUBMITTED FOR REVIEW AND APPROVAL FOR THE CONSTRUCTION OF A RELAY SWITCH CENTER AND REQUIRED STORMWATER MANAGEMENT.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) DAYS PRIOR TO THE START OF WORK.
- COORDINATES BASED ON NAD '83, MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY CONTROL STATIONS NO. 3849 AND 388A
STA. No. 3849 N 561056.380
E 1389634.184
STA. No. 388A N 562553.304
E 139067.889
- VERTICAL DATUM BASED ON SDP 86-101, TO CONVERT TO MARYLAND DATUM SUBTRACT 1.40 FEET FROM ELEVATIONS STATED ON PLAN
- STORMWATER MANAGEMENT FACILITIES WILL BE PRIVATELY OWNED AND MAINTAINED.
- A WET POND WILL BE USED FOR STORMWATER MANAGEMENT QUALITY CONTROL.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE (5) DAYS PRIOR TO ANY EXCAVATION WORK:
MISS UTILITY 1-800-257-7777
CAP TELEPHONE COMPANY 725-9976
HOWARD COUNTY BUREAU OF UTILITIES 313-4900
AT&T CABLE LOCATION DIVISION 393-3533
BALTIMORE GAS & ELECTRIC COMPANY 685-0123
STATE HIGHWAY ADMINISTRATION 531-5533
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS/CONSTRUCTION INSPECTION DIVISION 313-1880
- NO DISTURBANCE OF WETLAND OR FLOODPLAIN AREAS IS PROPOSED. WETLANDS, FLOODPLAIN, AND STREAM DELINEATIONS BASED ON APPROVED SDP 92-13
- THIS PROJECT IS EXEMPT FROM FOREST CONSERVATION REQUIREMENTS AS PER SECTION 16.1202(b)(2)(i)(c) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. TOTAL FOREST CLEARING IS LESS THAN 40,000 SF
- THIS PROJECT IS SUBJECT TO WP 97-48 WHICH WAIVED SECTION 16.155(a) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WHICH PERTAINS TO OBTAINING A GRADING PERMIT FOR NEW NON-RESIDENTIAL DEVELOPMENT PRIOR TO OBTAINING COUNTY PLANNING AND ZONING APPROVAL OF A SITE DEVELOPMENT PLAN WAIVER GRANTED OCTOBER 21, 1996.
- WAIVER WAS AMENDED ON DECEMBER 31, 1996 TO INCLUDE THE ISSUANCE OF A PERMIT TO CONSTRUCT THE FOUNDATION OF THE PROPOSED SWITCH CENTER
- PRIOR DPZ FILE NUMBERS: SDP 92-13
F 87-190
SDP 86-101
WP 97-48
- BOUNDARY AND TOPOGRAPHY BASED ON SDP 86-101 AND LORA, SERRA & ASSOC. AND CARTER, GRADING PLAN 97-67 BY MILDENBERG, BOENDER AND ASSOCIATES SUPPLEMENTAL TOPOGRAPHIC SURVEY OF AREAS OF CONSTRUCTION PERFORMED BY MILDENBERG, BOENDER AND ASSOCIATES ON OR ABOUT OCTOBER 1996
- THERE ARE NO NATURALLY EXISTING STEEP SLOPES ON SITE. THE ENTIRE AREA OF CONSTRUCTION HAS BEEN PREVIOUSLY GRADED OR FILLED
- ADMINISTRATIVE ADJUSTMENT NO. 95 REQUEST FOR ADMINISTRATIVE ADJUSTMENT FROM SECTION 123.22 OF THE HOWARD COUNTY ZONING REGULATIONS TO REDUCE THE REQUIRED 50 FT STRUCTURE AND USE SETBACK FROM A RESIDENTIAL DISTRICT IN AN M-2 DISTRICT TO 30 FT FOR AN 8 FT HIGH FENCE.



BY THE DEVELOPER:
I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENTAL AND NATURAL RESOURCES TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I HAVE ENGAGED A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

4/7/97
R. JACOB HIKMAT, AGENT
PRINTED NAME OF DEVELOPER

BY THE ENGINEER:
I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL, REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

4/7/97
R. JACOB HIKMAT
PRINTED NAME OF ENGINEER

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

4/9/97
[Signature]
DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

4/16/97
[Signature]
DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
4/16/97
[Signature]
DATE

APPROVED BY: DEPARTMENT OF ENGINEERING DIVISION
4/16/97
[Signature]
DATE

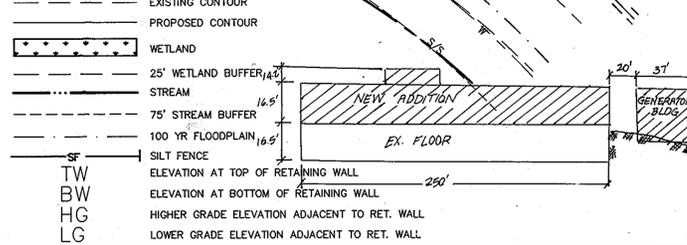
PERMIT INFORMATION BLOCK

SUBDIVISION NAME U.S. TELECOM	SECT./AREA (N/A)	PARCEL A
PLAT # 9113	BLOCK # 10	ZONE M-2
TAX/ZONE MAP M-2	ELECT. DIST 1ST	CENSUS TRK 6012
WATER CODE A01	SEWER CODE 2090000	

ADDRESS CHART

LOT NUMBER	STREET ADDRESS
PARCEL A, BLDG A	6050 RACE RD, RELAY, MD

LEGEND



SHEET INDEX

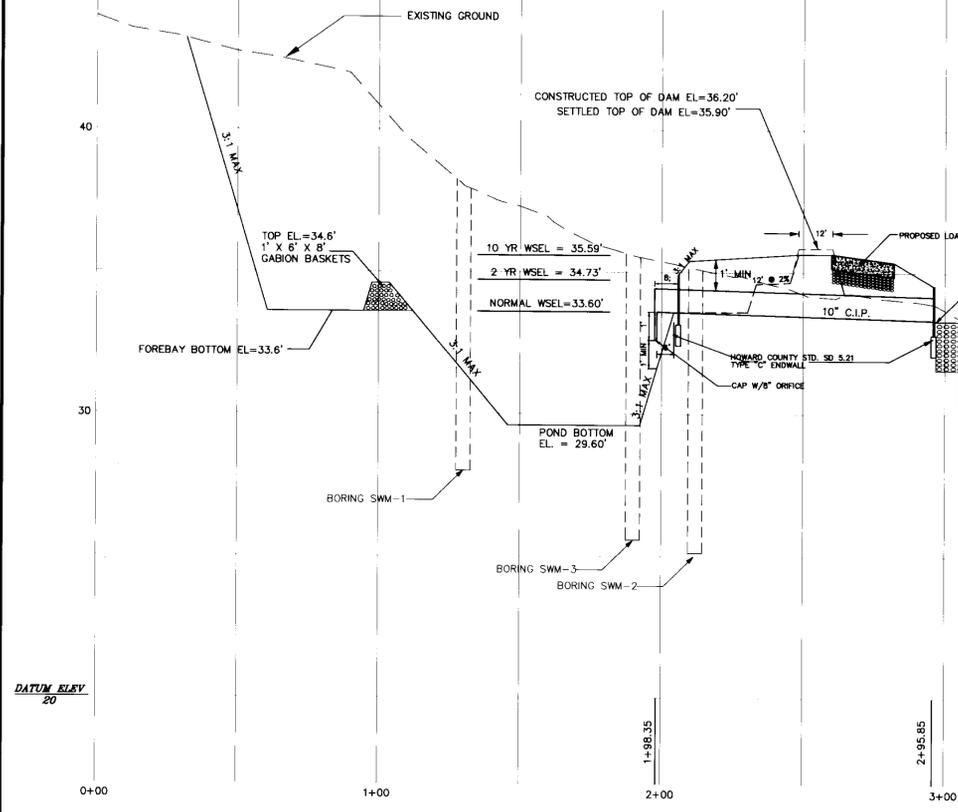
SITE, GRADING, AND SEDIMENT CONTROL PLAN	1
CONSTRUCTION DETAILS AND PROFILES	2
SEDIMENT CONTROL NOTES AND STANDARD DETAILS	3
POND SPECIFICATIONS	4
PROPOSED DRAINAGE AREA MAP	5
LANDSCAPE PLAN	6

10' CP DRIVEWAY PIPES TO BE FITTED WITH HOWARD COUNTY STD SD 5.51 CONCRETE END SECTIONS

10' CP DRIVEWAY PIPE TO BE FITTED WITH HOWARD COUNTY STD SD 5.21 TYPE 'C' ENDWALL

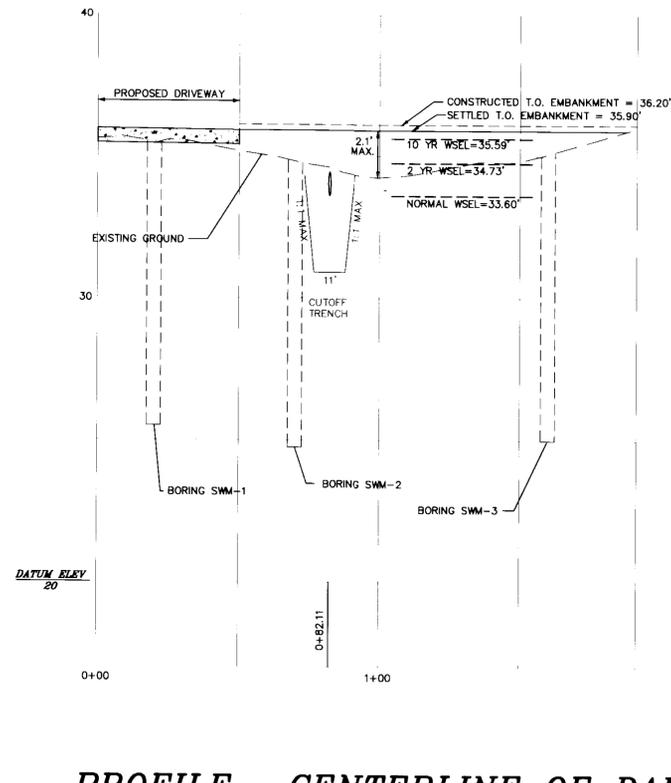
ALL RCP'S ARE CLASS IV UNLESS OTHERWISE NOTED

R H SWEERS ARCHITECTS 712 BROADWAY KANSAS CITY, MO 64105 816-472-6037 96160-45	OWNER/DEVELOPER 901 EAST 104th STREET KANSAS CITY, MISSOURI 64131	SHEET 1/6 CIVIL ENGINEER MILDENBERG, BOENDER & ASSOCIATES 6800 HANCOCK RD, SUITE 100 ELKRIE, MD, MARYLAND 20715 (410) 987-0296
DRAFTER: JS DATE: DEC 1996 CHKD BY: DATE ENGR: JS DATE: DEC 1996 APPROVED BY: RHJ DATE: DEC 1996 APPROVED BY: DATE	SITE, GRADING AND SEDIMENT CONTROL PLAN SWITCH CENTER ADDITION 6050 RACE ROAD FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND U.S. TELECOM PARCEL A, TAX MAP 38 BLOCK 10 PARCEL 175 A	SCALE: 1"=30' SHEET 1 OF 6 D



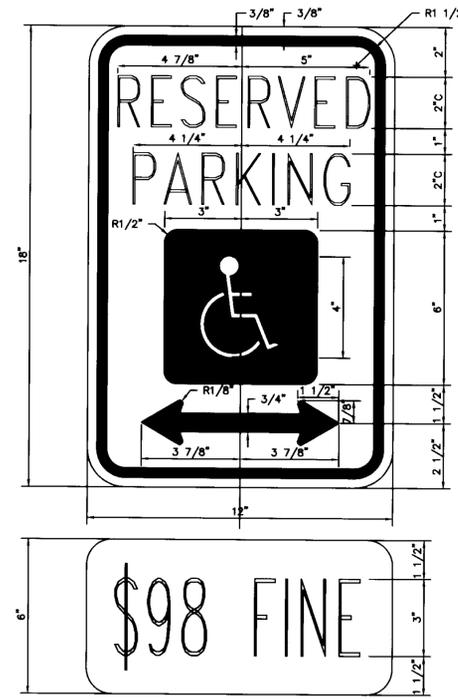
PROFILE--PRINCIPAL SPILLWAY

SCALE 1"=30' HOR
SCALE 1"=3' VER



PROFILE--CENTERLINE OF DAM

SCALE 1"=30' HOR
SCALE 1"=3' VER



ELEVATION

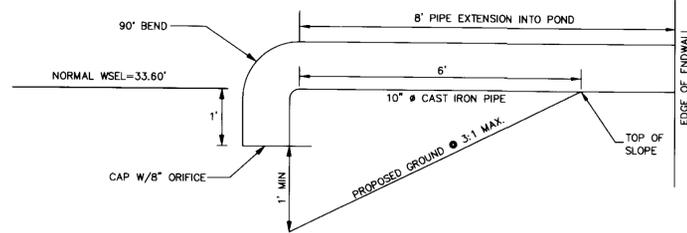
COLORS:
LEGEND AND BORDER - GREEN
WHITE SYMBOL ON BLUE BACKGROUND
BACKGROUND - WHITE

SECTION

NOTE: PROVIDE ONE SIGN AND POST PER HANDICAPPED PARKING SPACE, SEE PLAN.

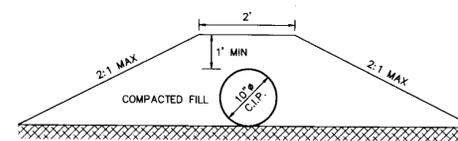
HANDICAPPED SIGN AND POST

NOT TO SCALE



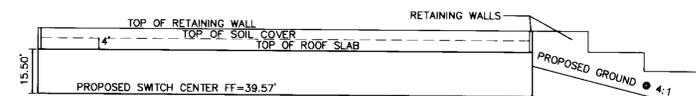
DETAIL - SIDE VIEW OF 10' CAST IRON PIPE

NOT TO SCALE



DETAIL - FILL FOR 10' CAST IRON PIPE

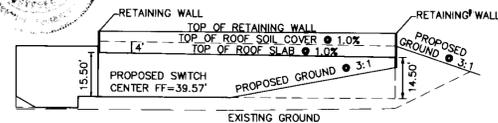
NOT TO SCALE



EAST BUILDING PROFILE

(LOOKING WEST)

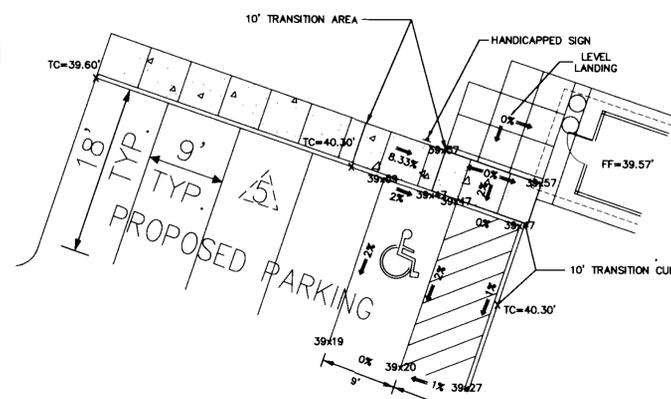
SCALE 1"=30'



NORTH BUILDING PROFILE

(LOOKING SOUTH)

SCALE 1"=30'

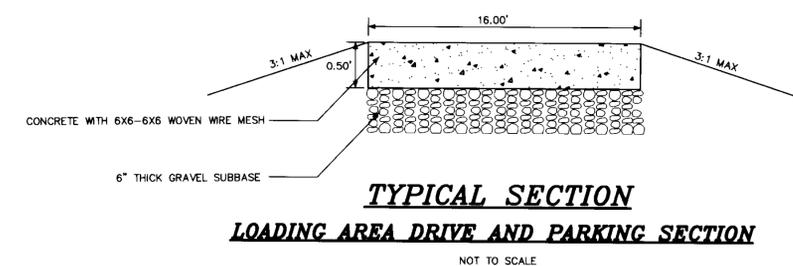


PARKING DETAIL

SCALE 1"=10'

SWM POND MAINTENANCE REQUIREMENTS

- SILT SHALL BE REMOVED WHEN ACCUMULATION EXCEEDS SIX (6) INCHES IN BASIN OR FOREBAY
- ACCUMULATED PAPER, TRASH AND DEBRIS SHALL BE REMOVED AS NECESSARY.
- ANNUAL INSPECTION AND REPAIR, IF REQUIRED, OF THE STRUCTURE SHALL BE PERFORMED.



TYPICAL SECTION

LOADING AREA DRIVE AND PARKING SECTION

NOT TO SCALE

BY THE DEVELOPER:
I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

4/17/97
R. JACOB HIKMAT, AGENT
PRINTED NAME OF DEVELOPER

BY THE ENGINEER:
I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

4/17/97
R. JACOB HIKMAT
PRINTED NAME OF ENGINEER

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

4/19/97
CHEL SIMMONS
NATURAL RESOURCES CONSERVATION SERVICE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

4/19/97
JIM POLYAKOV
HOWARD SOIL CONSERVATION DISTRICT

APPROVED: DEPARTMENT OF PLANNING AND ZONING
4/16/97
KIM BLOTT
CHIEF, DIVISION OF LAND DEVELOPMENT

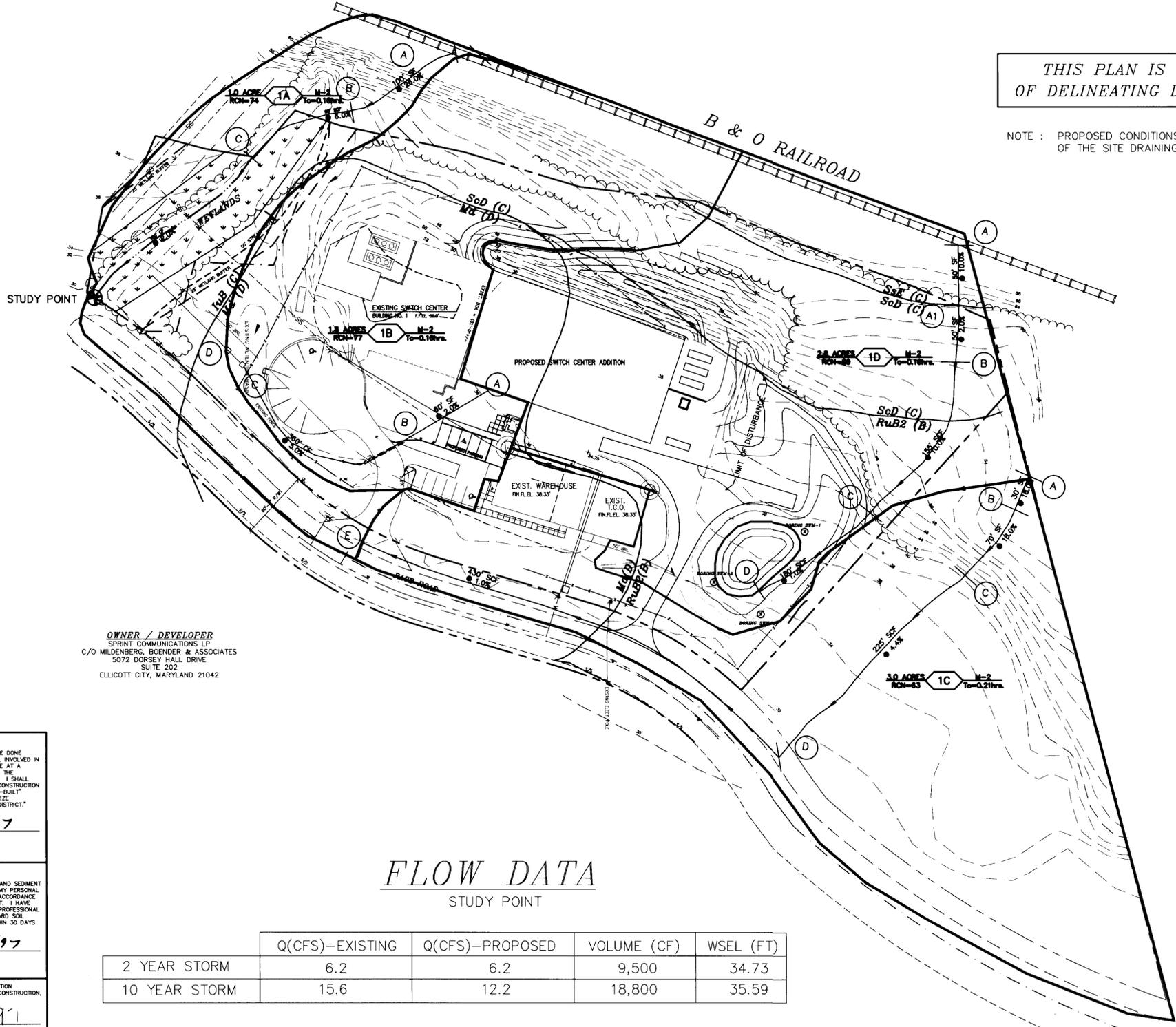
4/16/97
JIM POLYAKOV
CHIEF, DEVELOPMENT ENGINEERING DIVISION

THE PROFESSIONAL SERVICES OF THE ARCHITECT ARE UNDERTAKEN FOR AND ARE PERFORMED IN THE INTEREST OF U.S. SPRINT COMMUNICATIONS COMPANY. NO CONTRACTUAL OBLIGATION IS ASSUMED BY THE ARCHITECT FOR THE BENEFIT OF ANY OTHER PERSON INVOLVED IN THE PROJECT.		THIS DRAWING IS A SINGLE PART OF AN INTEGRATED SET OF CONSTRUCTION CONTRACT DOCUMENTS. THE GENERAL CONDITIONS OF THE CONTRACT, GENERAL REQUIREMENTS DIVISION 1 OF THE SPECIFICATIONS, APPLICABLE DIVISIONS 2 THROUGH DIVISION 15 OF THE SPECIFICATIONS, AND OTHER DRAWINGS MAY ALSO APPLY TO THE WORK DESCRIBED IN THIS DRAWING. FAILURE TO REVIEW OTHER DRAWINGS DOES NOT RELIEVE THE CONTRACTOR FROM PROVIDING A COMPLETE PROJECT.	
R H SWEERS ARCHITECTS 712 BROADWAY KANSAS CITY, MO 64105 816-472-6037 96160-45		OWNER/DEVELOPER Sprint 901 EAST 104 TH STREET KANSAS CITY, MISSOURI 64131	
SHEET 2/6		CIVIL ENGINEER MILDENBERG, BOENDER & ASSOCIATES 5072 DORSEY HALL DRIVE, SUITE 202 ELLCOTT CITY, MARYLAND 21042 (410)987-9295	
DRAFTER JS DATE DEC 1996	DATE DEC 1996	CONSTRUCTION DETAILS AND PROFILES SWITCH CENTER ADDITION 8050 RACE ROAD RELAY, MARYLAND FFB1 ELECTION DISTRICT HOWARD COUNTY, MARYLAND TAX MAP 38 BLOCK 10 PARCEL 175 A	
CHKD BY DATE	DATE DEC 1996	U.S. TELECOM PARCELA SHEET 2 OF 6 D	
ENGR JS DATE DEC 1996	DATE DEC 1996	U.S. TELECOM PARCELA SHEET 2 OF 6 D	
APPROVED BY R.H.	DATE DEC 1996	U.S. TELECOM PARCELA SHEET 2 OF 6 D	
APPROVED BY DATE	DATE	U.S. TELECOM PARCELA SHEET 2 OF 6 D	
ISSUE SCALE SHOWN	SCALE SHOWN	U.S. TELECOM PARCELA SHEET 2 OF 6 D	
RELEASE NUMBER	RELEASE NUMBER	U.S. TELECOM PARCELA SHEET 2 OF 6 D	

REVISIONS			
ISSUE	DESCRIPTION	DRAFTING/APPD	ENGR/APPD

THIS PLAN IS FOR THE PURPOSE
OF DELINEATING DRAINAGE AREAS ONLY

NOTE: PROPOSED CONDITIONS REFLECT ULTIMATE DEVELOPMENT
OF THE SITE DRAINING TO THE POND.



WARD SOIL CONSERVATION DISTRICT

PERMANENT SEEDING NOTES

GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-TERM VEGETATIVE COVER IS NEEDED.

PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING. IF NOT PREVIOUSLY LOOSENED.

AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES. PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS./1000 SQ.FT.)...

SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS. PER ACRE OF KENTUCKY 31 TALL FESCUE...

MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQ.FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING...

INSPECTION - INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

TEMPORARY SEEDING NOTES

GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING...

AMENDMENTS: APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ.FT.)

SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU OCTOBER 15, SEED WITH 2-1/2 TONS PER ACRE OF ANNUAL RYE...

MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQ.FT.) OF UNROTTED WEED FREE SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING...

REFER TO THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR ADDITIONAL RATES AND METHODS NOT COVERED.

STANDARD SEDIMENT CONTROL NOTES

1. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION...

2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL...

3. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERMETER SEDIMENT CONTROL STRUCTURES...

4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL...

5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1991 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL...

SEQUENCE OF CONSTRUCTION

- 1. OBTAIN BUILDING PERMIT (1 DAY)
2. CONSTRUCT SEDIMENT CONTROL MEASURES AS SHOWN (1 DAY)
3. CONSTRUCT BUILDING AS SHOWN ON ARCHITECTURAL DRAWINGS (30 DAYS)
4. CONSTRUCT LOW FLOW RISER STRUCTURE (3 DAYS)
5. EXCAVATE POND TO FINAL GRADE (3 DAYS)
6. STABILIZE SITE (1 DAY)
7. AFTER APPROVAL BY THE INSPECTOR, REMOVE SEDIMENT CONTROL MEASURES

STANDARD NOTES AND SPECIFICATIONS FOR TOPSOIL

Definition: Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose: To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies: 1. This practice is limited to areas where 2:1 or flatter slopes are graded.

- a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
b. The soil material is so shallow that the rooting zone is not deep enough to support plants or to prevent the continuing supplies of moisture and plant nutrients.
c. The original soil to be vegetated contains material toxic to plant growth.
d. The soil is so acidic that treatment with limestone is not feasible.

Alternative for Permanent Seeding - Instead of applying the full amount of lime and commercial fertilizer, computerized design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

1. Topsoil salvaged from the existing site may be used provided that it meets the standards set forth in these specifications. Typically the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experiment Station.

2. Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that adding or seeding compound stabilization structures, earth dams, slope silt fence and sediment traps and basins.

3. Topsoil shall be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seed preparation.

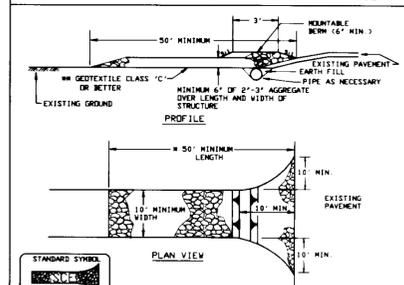
4. Alternative for Permanent Seeding - Instead of applying the full amount of lime and commercial fertilizer, computerized design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

5. Topsoil must be of plants or plant parts such as bermuda grass, quackgrass, johnsongrass, nutgrass, poison ivy, thistle, or others as specified.

6. Where the subsoil is either highly acidic or composed of heavy clay, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Limestone shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

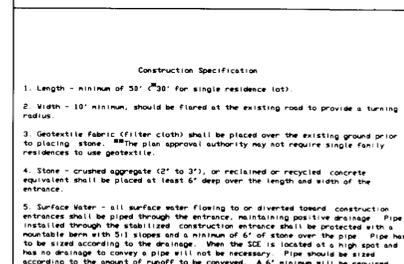
7. For sites having disturbed areas under 5 acres: Place topsoil (if required) and add soil amendments as specified in 20:0 Vegetative Stabilization Section 1 - Vegetative Stabilization Methods and Materials

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



- 1. Length - minimum of 30' (30' for single residence lots)
2. Width - 10' minimum, should be flared at the existing road to provide a turning radius.
3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone.
4. Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equipment shall be placed at least 6" deep over the length and width of the entrance.

STABILIZED CONSTRUCTION ENTRANCE



- 1. Length - minimum of 30' (30' for single residence lots)
2. Width - 10' minimum, should be flared at the existing road to provide a turning radius.
3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone.
4. Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equipment shall be placed at least 6" deep over the length and width of the entrance.

Table with columns for parameters like Concrete Strength, Concrete Density, Reinforcing Steel, etc., and their respective values.

THE DEVELOPER certifies that all development and/or construction will be done according to these plans and that any responsible personnel involved in the construction project will have a certificate of attendance...

BY THE ENGINEER: I HEREBY CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS...

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

DATE: 4/19/97

DATE: 4/19/97

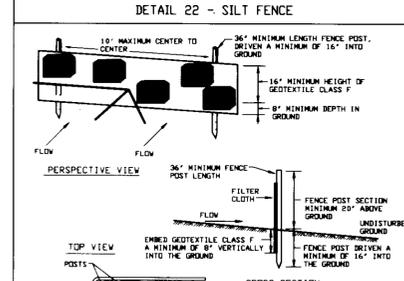
DATE: 4/19/97

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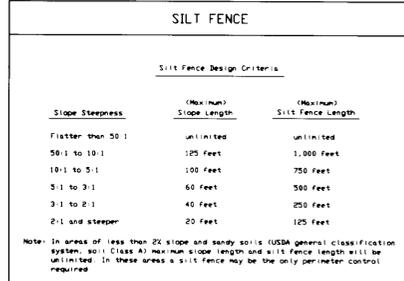
DATE: 4/19/97

DETAIL 22 - SILT FENCE



- 1. Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be 11/2" x 11/2" square (minimum) and 12" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighing not less than 1.00 pound per linear foot.
2. Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F.
3. Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.

SILT FENCE

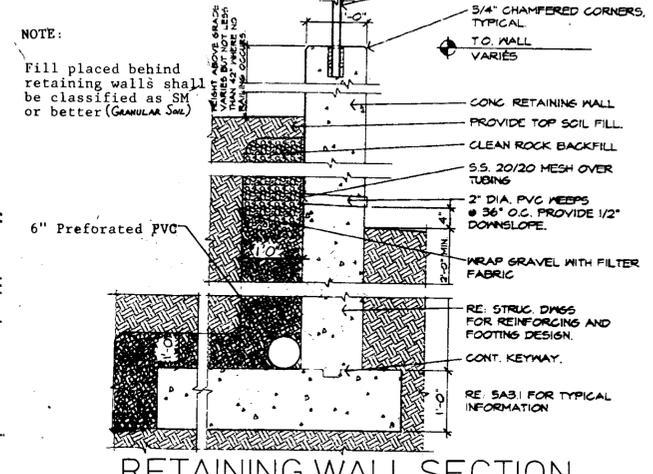


- 1. Length - minimum of 30' (30' for single residence lots)
2. Width - 10' minimum, should be flared at the existing road to provide a turning radius.
3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone.
4. Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equipment shall be placed at least 6" deep over the length and width of the entrance.

OWNER / DEVELOPER: SPRINT COMMUNICATIONS LP, C/O MILDENBERG, BOENDER & ASSOCIATES, 5072 DORSEY HALL DRIVE, SUITE 202, ELLICOTT CITY, MARYLAND 21042

RETAINING WALL DATA

Table with columns for parameters like Concrete Strength, Concrete Density, Reinforcing Steel, etc., and their respective values.



RETAINING WALL SECTION (DRAINAGE) X T S. RAILINGS AS INDICATED ON PLANS. RE: 2A3.4 FOR BASE. 3/4" CHAMFERED CORNERS, TYPICAL TO WALL VARIES. CONC. RETAINING WALL PROVIDE TOP SOIL FILL. CLEAN ROCK BACKFILL. S.S. 20/20 MESH OVER TUBING. 2" DIA. PVC PIPES @ 36" O.C. PROVIDE 1/2" DOWNFLOW. WRAP GRAVEL WITH FILTER FABRIC. RE: STIC DINGS FOR REINFORCING AND FOOTING DESIGN. CONT. KEYWAY. RE: 5A3 FOR TYPICAL INFORMATION.

R H SWEERS ARCHITECTS, 712 BROADWAY, KANSAS CITY, MO 64105, 816-472-6037, 96160-45. OWNER/DEVELOPER: Sprint, 901 EAST 104 TH STREET, KANSAS CITY, MISSOURI 64131. SHEET 3/6.

DATE: DEC 1996. CIVIL ENGINEER: MILDENBERG, BOENDER & ASSOCIATES, 5072 DORSEY HALL DRIVE, SUITE 202, ELLICOTT CITY, MARYLAND 21042, (410)997-0286.

SEDIMENT CONTROL NOTES AND RETAINING WALL DATA SWITCH CENTER ADDITION, 6030 RACE ROAD, RELAY, MARYLAND. U.S. TELECOM PARCELA TAX MAP 38 BLOCK D PARCEL 175 A. SHEET 3 OF 6.

SDP-97-60

ANDREW JOSEPH PAYNE
TAX MAP 38
PARCEL 487
L 3241 / F 350
ZONED M-2

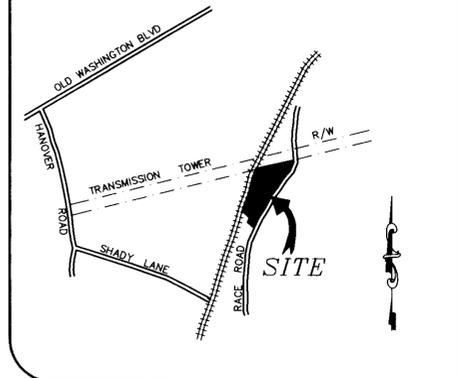
LANDSCAPE REQUIREMENT PLANTING SCHEDULE

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
14		ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	2 1/2" - 3" CAL.
14		PINUS STROBUS	EASTERN WHITE PINE	6' - 8' HT.
TOTAL				
28 TREES (14 SHADE TREES, 14 EVERGREEN TREES)				

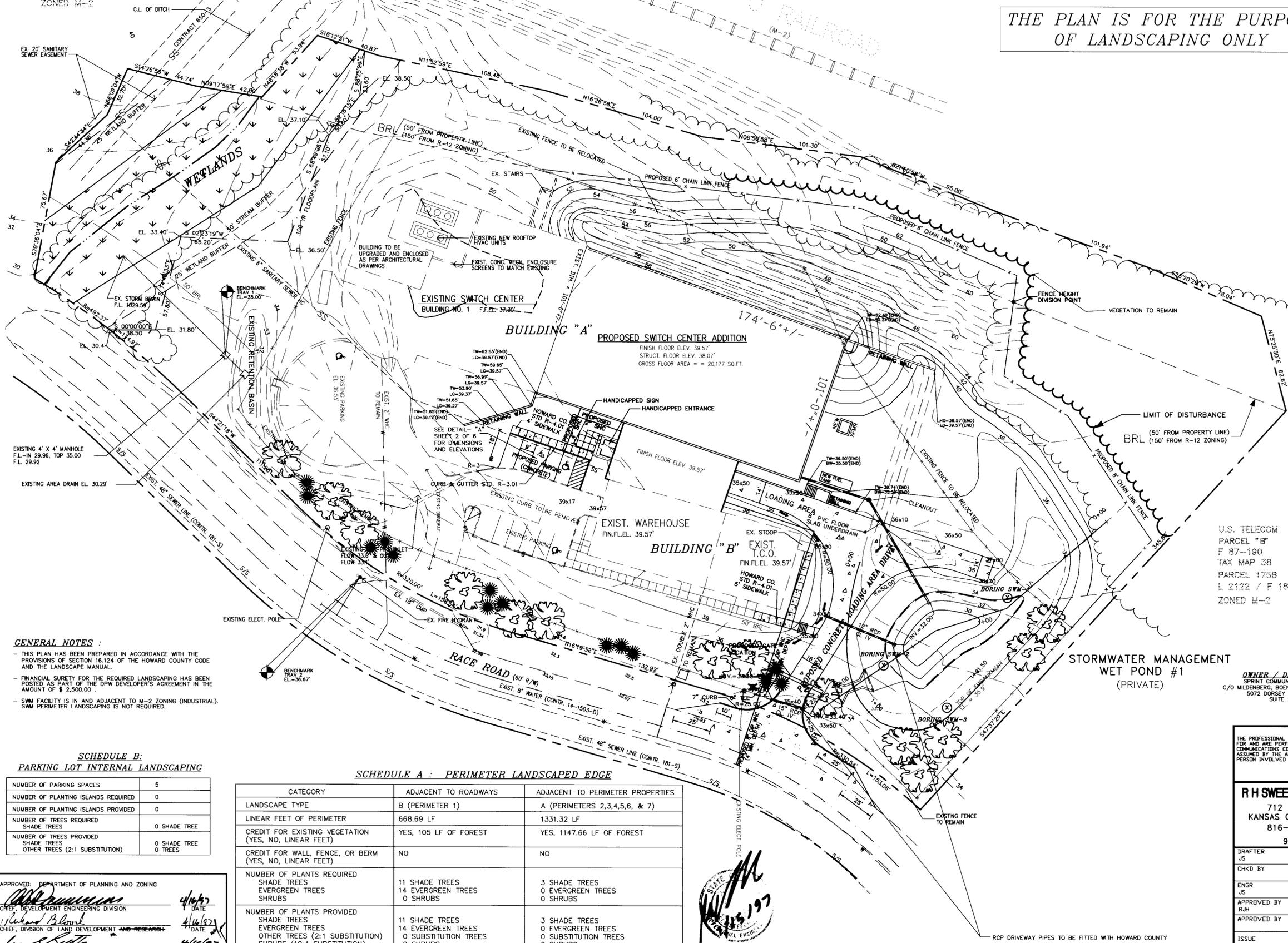
THE PLAN IS FOR THE PURPOSE
OF LANDSCAPING ONLY

REVISIONS

ISSUE	DESCRIPTION	DRAFTING/APPD	ENGR/APPD
		RELEASE NUMBER	



VICINITY MAP
SCALE: 1" = 1200'



PERIMETER LANDSCAPED EDGE REQUIREMENTS

PERIMETER	EDGE TYPE
PERIMETER 1	INDUSTRIAL TO ROAD - 105 LF EXISTING TREES TO REMAIN
PERIMETER 2	INDUSTRIAL TO ROAD - 563.69 LF 1 SHADE TREE / 50 LF 1 EVERGREEN / 40 LF
PERIMETER 3	INDUSTRIAL TO INDUSTRIAL - 183.66 LF 1 SHADE TREE / 60 LF
PERIMETER 4	INDUSTRIAL TO INDUSTRIAL - 162 LF EXISTING TREES TO REMAIN
PERIMETER 5	INDUSTRIAL TO INDUSTRIAL - 629.63 LF EXISTING TREES TO REMAIN
PERIMETER 6	INDUSTRIAL TO INDUSTRIAL - 53.94 LF EXISTING TREES TO REMAIN
PERIMETER 7	INDUSTRIAL TO INDUSTRIAL - 86.74 LF EXISTING TREES TO REMAIN
TOTAL PLANTING OBLIGATION	
SHADE TREES	14
EVERGREEN TREES	14
SHRUBS	0

GENERAL NOTES :
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$ 2,500.00.
- SWM FACILITY IS IN AND ADJACENT TO M-2 ZONING (INDUSTRIAL). SWM PERIMETER LANDSCAPING IS NOT REQUIRED.

SCHEDULE B: PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES	5
NUMBER OF PLANTING ISLANDS REQUIRED	0
NUMBER OF PLANTING ISLANDS PROVIDED	0
NUMBER OF TREES REQUIRED	0 SHADE TREE
NUMBER OF TREES PROVIDED	0 SHADE TREE
NUMBER OF TREES PROVIDED	0 SHADE TREE
NUMBER OF TREES PROVIDED	0 OTHER TREES (2:1 SUBSTITUTION)

SCHEDULE A: PERIMETER LANDSCAPED EDGE

CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES
LANDSCAPE TYPE	B (PERIMETER 1)	A (PERIMETERS 2,3,4,5,6, & 7)
LINEAR FEET OF PERIMETER	668.69 LF	1,331.32 LF
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	YES, 105 LF OF FOREST	YES, 1,147.66 LF OF FOREST
CREDIT FOR WALL, FENCE, OR BERM (YES, NO, LINEAR FEET)	NO	NO
NUMBER OF PLANTS REQUIRED	11 SHADE TREES 14 EVERGREEN TREES 0 SHRUBS	3 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS
NUMBER OF PLANTS PROVIDED	11 SHADE TREES 14 EVERGREEN TREES 0 SUBSTITUTION TREES 0 SHRUBS (10:1 SUBSTITUTION)	3 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES 0 SHRUBS

U.S. TELECOM
PARCEL "B"
F 87-190
TAX MAP 38
PARCEL 175B
L 2122 / F 186
ZONED M-2

OWNER / DEVELOPER
SPRINT COMMUNICATIONS LP
C/O MILDENBERG, BOENDER & ASSOCIATES
5072 DORSEY HALL DRIVE
SUITE 202

OWNER / DEVELOPER
SPRINT COMMUNICATIONS LP
C/O MILDENBERG, BOENDER & ASSOCIATES
5072 DORSEY HALL DRIVE
SUITE 202

APPROVED: DEPARTMENT OF PLANNING AND ZONING
4/16/07
DATE
4/16/07
DATE
4/16/07
DATE



R H SWEERS ARCHITECTS 712 BROADWAY KANSAS CITY, MO 64105 816-472-6037 96160-45	OWNER/DEVELOPER 901 EAST 104 TH STREET KANSAS CITY, MISSOURI 64131	SHEET 6/6
DRAFTER CHKD BY ENGR APPROVED BY APPROVED BY	DATE DATE DATE DATE DATE	CIVIL ENGINEER MILDENBERG, BOENDER & ASSOCIATES 5072 DORSEY HALL DRIVE, SUITE 202 ELLICOTT CITY, MARYLAND 21042 (410)997-0296
LANDSCAPE PLAN SWITCH CENTER EXPANSION 0050 RACE ROAD FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND TAX MAP 38 BLOCK 10 PARCEL 175 A		U.S. TELECOM PARCEL A
ISSUE RELEASE NUMBER	SCALE 1"=30'	SHEET 6 OF 6 D

SDP-97-60

79-SDP1.DWG

ANDREW JOSEPH PAYNE
TAX MAP 38
PARCEL 487
L 3241 / F 350
ZONED M-2

ARCHITECTURAL DETAIL REFERENCE TABLE		
ITEM	ARCHITECTURAL PLAN SHEET NUMBER	ARCHITECTURAL DETAIL NUMBER
SECURITY GATE	A 1.9	1, 2 A-D
RETAINING WALL ELEVATION	A 2.1	7
RETAINING WALL SECTION (RE: DRAINAGE)	CIVIL ENGINEERING DRAWINGS SHEET	3/6
RETAINING WALL SECTION (RE: REBAR CONSTRUCTION)	S 7.0	1,2,3
RETAINING WALL DATA	CIVIL ENGINEERING DRAWINGS SHEET	3/6

SITE ANALYSIS DATA CHART

PRIOR DPZ FILE NUMBERS		SDP 92-13 F 87-190 SDP 86-101 WP 97-48		
PURPOSE OF SDP		TO PROVIDE ADDITIONAL SPACE TO UTILIZE THE CENTER AS THE REGIONAL SWITCH CENTER FOR THE REGION		
TOTAL AREA OF PROJECT / SUBMISSION		5.10 Ac / 222,256 SF		
LIMIT OF DISTURBED AREA		2.3 Acres		
EXISTING ZONING		M-2		
PROPOSED USE		SWITCH CENTER		
		EXISTING	ADDITIONAL	TOTAL
FLOOR SPACE		36,888 SF	27,780 SF	64,668 SF
BUILDING COVERAGE		16.6%	0.1%	16.7%
PARKING SPACES REQUIRED		12	4	16
PARKING SPACES PROVIDED		18	13	31
EMPLOYEES		12	4	16

REVISIONS

ISSUE	DESCRIPTION	DRAFTING/APPD	ENGR/APPD
1	RESUBMIT TO DEED & DILP		
2	RESUBMIT TO DEED (W/NEW POND OUTLET)		
3	ADD A SECOND FLOOR TO THE BUILDING WITH ADDITIONAL PARKING & REBAR CONSTRUCTION	3/14/01	MBA

HOWARD CO. BENCHMARK 38A
2000' ± NORTH ALONG US 1
FROM BM 38A9

NEW RETAINING WALL

3/6/04

MBA

VICINITY MAP

SCALE: 1" = 1200'

GENERAL NOTES:

- THIS PLAN SUBMITTED FOR REVIEW AND APPROVAL FOR THE CONSTRUCTION OF A RELAY SWITCH CENTER AND REQUIRED STORMWATER MANAGEMENT.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) DAYS PRIOR TO THE START OF WORK.
- COORDINATES BASED ON NAD '83, MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY CONTROL STATIONS No. 38A9 AND 38BA
STA. No. 38A9 N 561056.380 E 1389634.184
STA. No. 38BA N 562553.304 E 1389673.889
- VERTICAL DATUM BASED ON SDP 86-101. TO CONVERT TO MARYLAND DATUM SUBTRACT 1.40 FEET FROM ELEVATIONS STATED ON PLAN
- STORMWATER MANAGEMENT FACILITIES WILL BE PRIVATELY OWNED AND MAINTAINED.
- A WET POND WILL BE USED FOR STORMWATER MANAGEMENT QUALITY CONTROL.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE (5) DAYS PRIOR TO ANY EXCAVATION WORK:
MISS UTILITY 1-800-257-7777
CAP TELEPHONE COMPANY 725-9976
HOWARD COUNTY BUREAU OF UTILITIES 313-4900
AT&T CABLE LOCATION DIVISION 393-3533
BALTIMORE GAS & ELECTRIC COMPANY 685-0123
STATE HIGHWAY ADMINISTRATION 531-5533
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS/ CONSTRUCTION INSPECTION DIVISION 313-1880
- NO DISTURBANCE OF WETLAND OR FLOODPLAIN AREAS IS PROPOSED. WETLANDS, FLOODPLAIN, AND STREAM DELINEATIONS BASED ON APPROVED SDP 92-13
- THIS PROJECT IS EXEMPT FROM FOREST CONSERVATION REQUIREMENTS AS PER SECTION 16.102(b)(2)(i)(c) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. TOTAL FOREST CLEARING IS LESS THAN 40,000 SF
- THIS PROJECT IS SUBJECT TO WP 97-48 WHICH WAIVED SECTION 16.155(d) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WHICH PERTAINS TO OBTAINING A GRADING PERMIT FOR NEW NON-RESIDENTIAL DEVELOPMENT PRIOR TO OBTAINING COUNTY PLANNING AND ZONING APPROVAL OF A SITE DEVELOPMENT PLAN WAIVER GRANTED OCTOBER 21, 1996.
- WAIVER WAS AMENDED ON DECEMBER 31, 1996 TO INCLUDE THE ISSUANCE OF A PERMIT TO CONSTRUCT THE FOUNDATION OF THE PROPOSED SWITCH CENTER
- PRIOR DPZ FILE NUMBERS: SDP 92-13
F 87-190
SDP 86-101
WP 97-48
- BOUNDARY AND TOPOGRAPHY BASED ON SDP 86-101 BY FISHER, COLLINS AND CARTER. GRADING PLAN 97-87 BY MILDBERG, BOENDER AND ASSOCIATES SUPPLEMENTAL TOPOGRAPHIC SURVEY OF AREAS OF CONSTRUCTION PERFORMED BY MILDBERG, BOENDER AND ASSOCIATES ON OR ABOUT OCTOBER 1996
- THERE ARE NO NATURALLY EXISTING STEEP SLOPES ON SITE. THE ENTIRE AREA OF CONSTRUCTION HAS BEEN PREVIOUSLY GRADED OR FILLED
- ADMINISTRATIVE ADJUSTMENT NO. 97-05 REQUEST FOR ADMINISTRATIVE ADJUSTMENT FROM SECTION 103.22a OF THE HOWARD COUNTY ZONING REGULATIONS TO REDUCE THE REQUIRED 50 FT STRUCTURE AND USE SETBACK FROM A RESIDENTIAL DISTRICT IN AN M-2 DISTRICT TO 10 FT FOR AN 8 FT HIGH FENCE.
GRANTED APRIL 8, 1997

POND DATA

HAZARD CLASSIFICATION: N/A
DRAINAGE AREA: 2.8 ACRES
PROPOSED RCN - 87
PROPOSED Tc - 0.16 hrs
WATER QUALITY TYPE - RETENTION

VEGETATION TO REMAIN

BRL (150' FROM R-12 ZONING)

U.S. TELECOM
PARCEL "B"
F 87-190
TAX MAP 38
PARCEL 175B
L 2122 / F 186
ZONED M-2

OWNER / DEVELOPER
SPRINT COMMUNICATIONS LP
C/O MILDBERG, BOENDER & ASSOCIATES
5072 DORSEY HALL DRIVE
SUITE 202

STORMWATER MANAGEMENT
WET POND #1
(PRIVATE)

NORMAL WSEL = 33.60'

2 YR WSEL = 34.73'

10 YR WSEL = 35.59'

SHEET INDEX

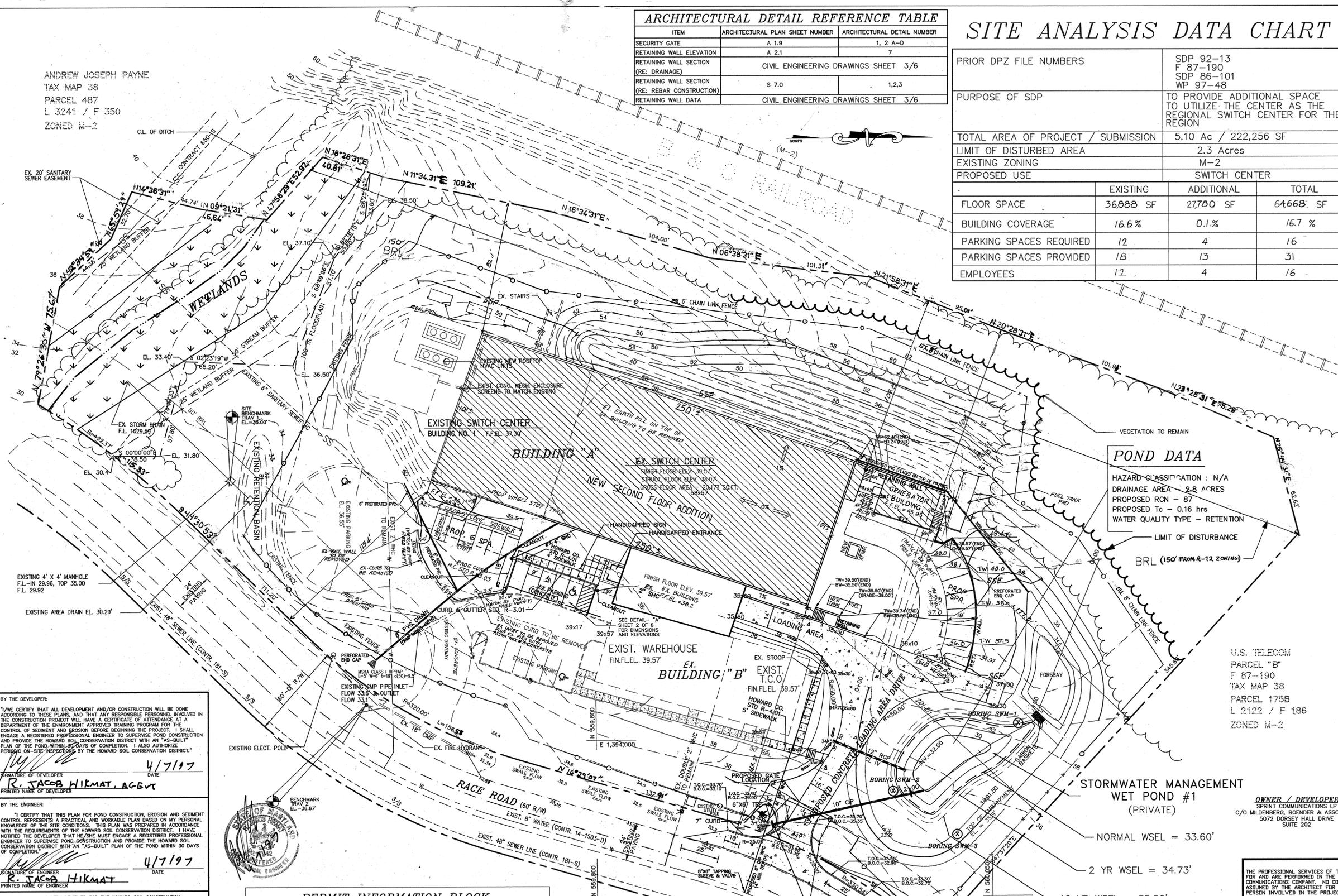
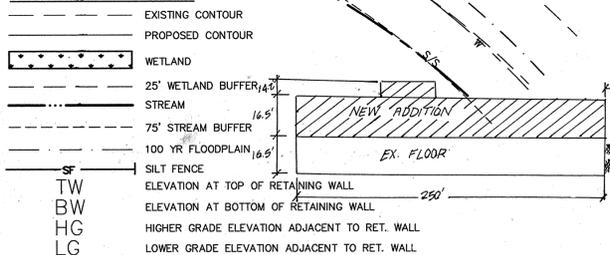
SITE, GRADING, AND SEDIMENT CONTROL PLAN	1
CONSTRUCTION DETAILS AND PROFILES	2
SEDIMENT CONTROL NOTES AND STANDARD DETAILS	3
POND SPECIFICATIONS	4
PROPOSED DRAINAGE AREA MAP	5
LANDSCAPE PLAN	6

RCF DRIVEWAY PIPES TO BE FITTED WITH HOWARD COUNTY STD SD 5.21 CONCRETE END SECTIONS

10" CIP DRIVEWAY PIPE TO BE FITTED WITH HOWARD COUNTY STD SD 5.21 TYPE "C" ENDWALL

ALL RCFs ARE CLASS IV UNLESS OTHERWISE NOTED

LEGEND



BY THE DEVELOPER:
I, R. JACOB HIKMAT, AGENT, certify that all development and/or construction will be done according to these plans and that any responsible personnel involved in the construction project will have a certificate of attendance at a department of the environment approved training program for the control of sediment and erosion before beginning the project. I shall engage a registered professional engineer to supervise pond construction and provide the HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERSONS ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

4/7/97

R. JACOB HIKMAT, AGENT

BY THE ENGINEER:
I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

4/7/97

R. JACOB HIKMAT

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

4/9/97

APPROVED: DEPARTMENT OF PLANNING AND ZONING
4/16/97

APPROVED: DEPARTMENT OF DEVELOPMENT AND CONSTRUCTION DIVISION
4/16/97

PERMIT INFORMATION BLOCK

SUBDIVISION NAME	U.S. TELECOM	SECT./AREA (N/A)	PARCEL A
PLAT #	10	ZONE	M-2
TAX/ZONE MAP	M-2	ELECT. DIST	1ST
CENSUS TRK	6012		
WATER CODE	A01	SEWER CODE	2090000

ADDRESS CHART

LOT NUMBER	STREET ADDRESS
PARCEL A, BLDG A	6050 RACE RD, RELAY, MD