

# SITE DEVELOPMENT PLAN

## LYNDWOOD SQUARE

### 1ST ELECTION DISTRICT

### HOWARD COUNTY, MARYLAND

#### GENERAL NOTES

- All construction shall be in accordance with the latest standards and specification of Howard County plus MSHA standards and specifications if applicable.
- The contractor shall notify the Bureau of Engineering/Construction Inspection Division at (410) 313-1880 at least five (5) days prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
- Project Background:
  - Location: Tax Map 37
  - Zoning: PEC & B-2
  - ZB/BA ref.: N/A
  - Election District: 1st
  - Site Area: 10.1268 AC
  - Final Plan ref.: F-96-115 Recorded on 2-22-96 as Plat No. 12330-12334
  - Other References: F-94-26 F-94-29 Cap. Project J4136 SDP-96-92 Appd. 6-14-96
- WP-96-87 Approved April 8, 1996
  - to allow direct access to non-residential lots from arterial highway (16.120 & 2)
  - to allow non-billable commercial parcels w/ less than 40' frontage (16.120 c.1)
  - to allow deviation from standard section for Marshalee Drive (16.132 a.3, i, b)
  - to waive the requirement of certain sidewalks on Marshalee Drive (16.134 a & 16.134 e.1)
- Traffic control devices, markings and signing shall be in accordance with the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD). All street and Regulatory Signs shall be in place prior to the placement of any asphalt.
- All plan dimensions are to the face of curb unless otherwise noted.
- Existing topography reflects mass grading plan (SDP-96-92) prepared by LDE, Inc.
- The coordinates shown hereon were based on the Maryland State Grid Systems (MAD '27) as projected by Howard County Geodetic Control Stations No. 2644004 and No. 2644005. (Per F-96-115)
- Public water and sewer is to be utilized. Contract No. 14-3527-D
- Stormwater management for this site is provided off site on Parcel A-6. See file #F-96-115 & SDP 96-92.
- The wetland delineation was prepared under F-94-96
- The Floodplain Study for this site was prepared under F-94-26
- The original Traffic Study was prepared under F-94-26. A letter updating the program was prepared January 29, 1996 by Lee Cunningham & Associates.
- The existing utilities were located from available plans & records. (F-94-29 C.P. 4-4136) The contractor must dig test pits, by hand, at all utility crossings and connection points to verify exact location.
- Handicap parking details shall be in accordance with the "Maryland Building Code for the Handicapped", Section 5.01-7.05.
- All on site driveways and parking areas to be privately maintained.
- All sidewalks shall be cross sloped at 1/4"/ft. away from the building unless otherwise indicated.
- Side walks adjacent to perpendicular parking are 6' wide. All others are 4' wide unless otherwise indicated on plan.
- Trench bedding for storm drainage structures shall be in accordance with Howard County Standard G2.01.
- Gutter of curbs shall be pitched to conform to adjacent drainage patterns.
- All curb fillet radii at parking lot islands to be 6' unless otherwise indicated on plan.
- Water and sewer house connections and roof drain connections from the on site utilities to the building are to be constructed by the building plumber.
- Waiver petition WP-08-094 approved April 30, 2008 to section 16.15G(f)(2) to reactivate SDP-96-100 to approved plan status and to grant 180 day extension to submit red-line revision for the revised bank bldg. and a one(1) year extension to apply for a building permit for its construction.

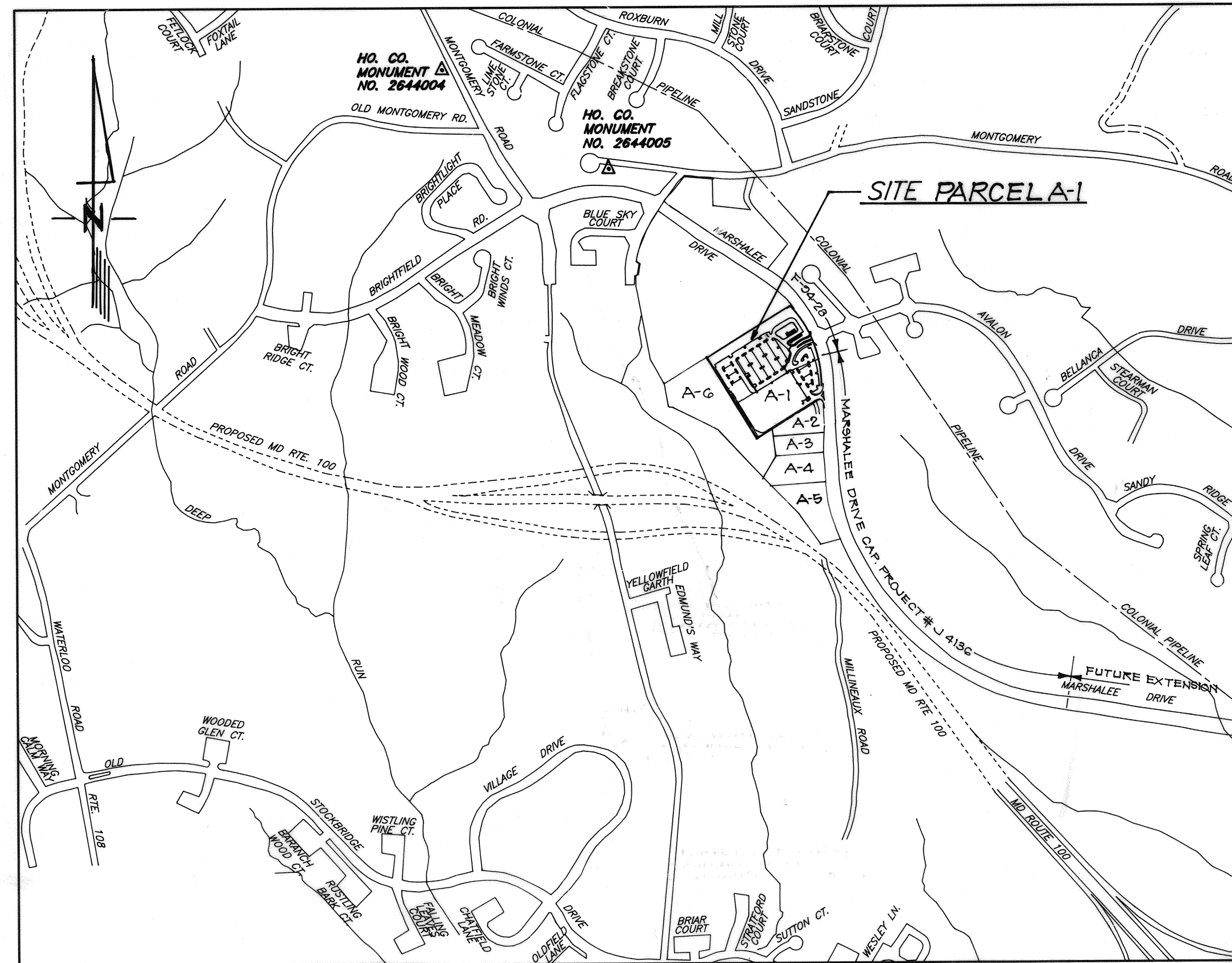
#### BENCH MARKS

HOWARD COUNTY MONUMENT NO. 2644004 ELEV. 402.135  
 HOWARD COUNTY MONUMENT NO. 2644005 ELEV. 416.931

#### DESCRIPTION

HOWARD COUNTY MONUMENT NO. 2644004: CONCRETE MONUMENT 1.0 FT. BELOW SURFACE S.W. CORNER OF INTERSECTION RTE. 103 AND OLD MONTGOMERY ROAD.

HOWARD COUNTY MONUMENT NO. 2644005: CONCRETE MONUMENT 2.0 FT. BELOW SURFACE SOUTH SIDE MONTGOMERY ROAD EAST OF MEADOWBRIDGE ROAD.



#### SITE ANALYSIS

- Area of Parcel: 10.1268 AC
- Present Zoning: PEC & B-2
- Proposed Use of Site/Structures: 3.44 ac, 3.7 Ac. Total area PEC District = 158.09 Ac.
- \* \* \* PEC Zone **AMBULATORY CARE FACILITY** = 3,250 SF Total = 11,720 SF = 0.27 Ac. = 0.17% of Gross PEC District  
 \* \* \* **CRAB FACILITY** = 8,470 SF  
 B-2 Zone Food Store = 62,205 SF  
 Retail Stores = 12,505 SF
- Floor area & Parking Tabulation:
 

Use/Building	Zone	Floor Area	Parking Required	Provided
Retail (B & C)	PEC & B-2	21,055 S.F.	5/K or 105	
Food Store (A)	B-2	62,205 S.F.	5/K or 313	
Sub Total		83,260 S.F.	5/K or 418	423
Total		86,564 S.F.	435	444
- Handicap Parking Tabulation:
 

Building	Parking Provided	HC Spaces Required	Provided
AB&C	423	9	12*
D	21	1	2

 \* Includes 2 van spaces.
- Site Area Tabulation:
 

a. Parcel Area	10.1268
b. Building Area	67,084 SF
c. Building Coverage	2.740 ac @ 19.7%
d. Proposed Paved Area	5.2 Ac +/-
e. Proposed green Area	2.9 AC +/-

#### \* \* \* 7. Per zoning regulations section 11G.5.2B :

The following commercial uses shall be allowed as a matter of right, but shall not occupy more than four percent of the gross area of the district. In addition, these commercial uses may be located within buildings on a lot used primarily for business or professional offices, or for research and development laboratories, provided that they occupy no more than 20 percent of the floor area of the building.

- Banks, savings and loan associations, investment companies, credit bureaus, brokers and similar financial institutions;
- Blueprinting, printing, duplicating and engraving services;
- Business machine sales, rental and service establishments;
- Convenience stores;
- Drug and cosmetic stores;
- Laundry and dry cleaning establishments without delivery services;
- Liquor stores;
- Museums, art galleries, and libraries;
- Personal service establishments such as barber and beauty shops, opticians, photographers, tailors;
- Restaurants, carryout, including incidental delivery services;
- Restaurants, standard and beverage establishments including those serving beer, wine and liquor for consumption on premises only;
- Service agencies, such as real estate agencies, insurance agencies, security services, messenger services, and travel agencies;
- Specialty stores selling or renting goods;
- The retail sale of products manufactured on the site or parts or accessories to products manufactured on the site.

#### VICINITY MAP

SCALE: 1"=600'

COVER SHEET	
No.	DESCRIPTION
1	COVER SHEET
2	SITE DEVELOPMENT PLAN
3	PAVING IMPROVEMENTS ON MARSHALLEE DRIVE
4	PAVING DETAILS
5	SITE DETAILS
6	SITE AND STORM DRAIN DETAILS
7	STORM DRAIN PROFILES
8	STORM DRAIN PROFILES
9	DRAINAGE AREA MAP
10	ONSITE WATER AND SEWER PROFILES
11	SEDIMENT AND EROSION CONTROL AND GRADING PLAN
12	SEDIMENT AND EROSION CONTROL DETAILS
13	LANDSCAPE PLANS AND DETAILS

ADDRESS CHART				
Building A	6020 Marshalee Drive			
Building B	6030 Marshalee Drive			
Building C	6010 Marshalee Drive			
Building D	6000 Marshalee Drive			
SUBDIVISION NAME:	LYNDWOOD SQUARE	SECT./AREA	N/A	PARCEL No. A-1
PLAT No. or L.P.	12330-12334	BLOCK No.	3	TAX/ZONE MAP 37
WATER CODE	D 04		SEWER CODE	2610000
ELECT. DIST.	1st			
CENSUS TR.	6011.01			

#### APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Richard Blood* 9/4/96 Date  
 Chief, Development Engineering Division  
*Richard Blood* 9/6/96 Date  
 Chief, Division of Land Development and Research  
*James South* 9/6/96 Date  
 Director

NO.	REVISION	DATE
1	REVISION TO CHANGE BANK USE TO AMBULATORY CARE FACILITY	12-15-2021
2	Rev. general notes and floor/parking tabulations	5-2-08
3	Site Analysis Rev'd. per prop. bank area rev. (Notes 3,4,5)	1-8-07



MORRIS & RITCHIE ASSOC. INC.  
 REVISION #7 ONLY

OWNER:  
 100 INVESTMENT LIMITED PARTNERSHIP  
 8855 N. COLUMBIA 100 PARKWAY  
 COLUMBIA, MARYLAND 21045  
 PHONE: (410) 257-7222

**CLARK • FINEFROCK & SACKETT, INC.**  
 ENGINEERS • PLANNERS • SURVEYORS  
 7135 MINSTREL WAY • COLUMBIA, MD. 21045 • (410) 381-7500 • BALTO. • (301) 621-8100 • WASH.

DESIGNED: *WJM*  
 DRAWN: *ZAH*  
 CHECKED: *KJ*  
 DATE: 6-14-96

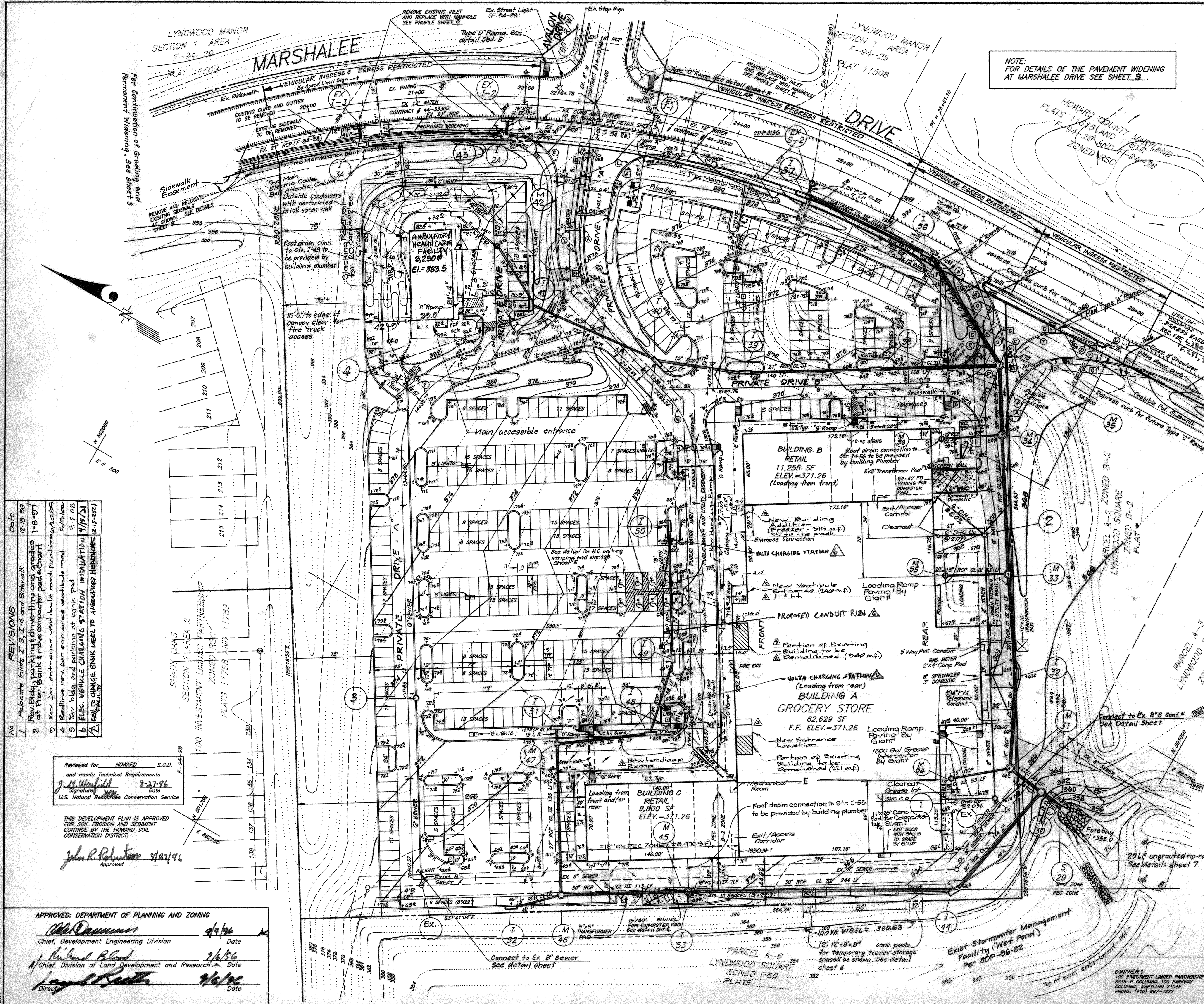
COVER SHEET  
**LYNDWOOD SQUARE**  
 PARCEL A-1  
 TAX MAP 37  
 1ST ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

SCALE: 1"=600'  
 DRAWING: 1 of 13  
 JOB NO.: 95-132  
 FILE NO.: 95-132-X

TALLES • ROBBINS DEV. CO., LLC  
 1133 GREENWOOD ROAD  
 PINEVILLE, MARYLAND 21208  
 DEVEL # 98R

PHONE: (410) 486-5350





**TRAFFIC CONTROL SIGNAGE**

KEY	DESCRIPTION	NO. REQUIRED
ⓐ	STOP SIGN R1-1	3
ⓑ	KEEP RIGHT R4-7	3
ⓒ	DO NOT ENTER R5-1	4
ⓓ	NO LEFT TURN R3-2	2

I, DURAK EURIM ERKAN, P.E. HAS MADE THE CHANGES TO THIS PLAN SHOWN WITH AND THIS CHANGE IS RELATED TO ADDING TWO VOLTA CHARGING STATIONS.  
 EMAIL: Eurim@Amperengineering.com  
 TEL: (201)-920-2899

**LEGEND**

Contour Interval	2 Ft.
Existing Contour	--- 360 ---
Proposed Contour	--- 360 ---
Spot Elevation	+0.00
Direction of Drainage	→
Curb & Sidewalk Ramps	▬▬▬▬▬▬
Existing Sewer Main	—+—+—+—+—
Existing Water Main	—+—+—+—+—
Existing Storm Drain	—+—+—+—+—

**CURVE DATA**

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
A	150.00'	132.52'	70.94'	128.25'	S51°53'11"W	50°37'14"
B	100.00'	72.74'	38.06'	71.15'	N47°28'35"E	41°40'42"
C	100.25'	92.60'	49.90'	89.34'	S51°57'23"W	52°55'18"
D	30.00'	47.12'	30.00'	42.43'	N66°41'04"W	90°00'00"
E	789.45'	248.81'	125.42'	242.81'	N01°59'30"W	17°49'56"
F	107.19'	62.81'	32.72'	62.72'	N71°14'03"W	74°53'58"
G	140.25'	140.25'	75.73'	135.20'	S53°25'20"W	53°34'22"
H	169.62'	58.53'	29.56'	58.24'	S67°22'23"W	19°46'12"
I	130.38'	62.08'	31.64'	61.50'	S67°37'00"W	27°16'56"
J	146.38'	46.27'	23.33'	46.08'	S67°15'31"W	18°08'43"
K	40.00'	61.11'	38.32'	58.34'	N27°30'41"E	87°32'23"
L	40.00'	66.25'	43.57'	58.53'	N55°17'47"W	94°53'30"
M	701.00'	215.21'	108.46'	214.37'	N01°38'03"W	17°35'26"
N	75.00'	41.42'	21.25'	40.89'	N26°41'59"E	31°38'28"
O	132.00'	39.15'	18.27'	39.01'	N60°42'24"E	16°22'20"
P	42.00'	102.91'	49.54'	84.08'	S71°23'45"E	89°25'23"
Q	130.00'	47.63'	24.08'	47.36'	N45°08'34"E	80°59'32"
R	30.00'	52.06'	35.39'	45.77'	S71°23'45"E	88°25'23"
S	4.50'	10.74'	11.35'	8.37'	S18°44'21"E	18°48'21"
T	45.00'	66.20'	31.67'	71.80'	N65°58'34"W	31°16'57"
U	2.00'	6.00'	28.35'	3.09'	N69°11'50"E	171°55'50"
V	285.00'	125.12'	62.58'	124.12'	N16°20'22"W	76°00'46"
W	55.00'	90.00'	50.74'	80.28'	N74°28'11"W	89°26'24"

**SYMBOL BEARING DISTANCE**

ⓐ	S34°30'48"W	10.33'
ⓑ	S48°53'34"W	2.85'
ⓒ	S81°07'02"E	5.43'
ⓓ	S10°50'15"E	31.61'

**GLW Gutachick Little & Weber, P.A.**  
 Civil Engineers, Land Surveyors, Land Planners, Landscape Arch.  
 3000 National Drive - Suite 250 - Burtonville Office Park  
 Burtonville, Maryland 20866  
 Tel: 301-421-4014 Fax: 301-421-4100

Note: There is no net increase in building area.  
 Revision 7 only is the responsibility of Gutachick, Little & Weber, P.A.

**DEVELOPER'S/BUILDER'S CERTIFICATE**

"We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

NAME: *Bernard M. Miller* DATE: 6/25/96

**ENGINEER'S CERTIFICATE**

I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

DATE: 6-12-96

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 ENGINEERS • PLANNERS • SURVEYORS  
 7135 MINSTREL WAY • COLUMBIA, MD. 21045 • (410) 381-7500 - BALTO. • (301) 621-8100 - WASH.

**SITE DEVELOPMENT PLAN**  
**LYNDWOOD SQUARE**  
 PARCEL A-1  
 TAX MAP 37 PARCEL  
 1ST ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

DESIGNED: WHI/KWM  
 DRAWN: ZAH  
 CHECKED: K7M  
 DATE: 6-14-96

SCALE: 1"=40'  
 DRAWING: 2 of 13  
 JOB NO.: 95-132  
 FILE NO.: 95132.X

**REVISIONS**

No	Date	Description
1	12-18-95	Allocate Interiors I-3, I-4 and Sidewalk
2	1-9-97	Rev. Bldg. parking drive thru and access at Prop. Bank & move compactor pad
3	1/19/98	Rev. for entrance vestibule modification
4	1/19/98	Reading rev. for entrance vestibule mod.
5	5-2-06	Rev. Bldg. and parking at bank pad
6	1/15/03	ELC. VEHICLE CHARGING STATION INSTALLATION
7	12-15-02	RELOCATE BANK LABEL TO AMBULATORY FACILITY

Reviewed for HOWARD S.C.D. and meets Technical Requirements  
 Signature: *J. H. Woodhill* Date: 9-27-96  
 U.S. Natural Resources Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
 Approved: *John R. Robertson* 9/27/96

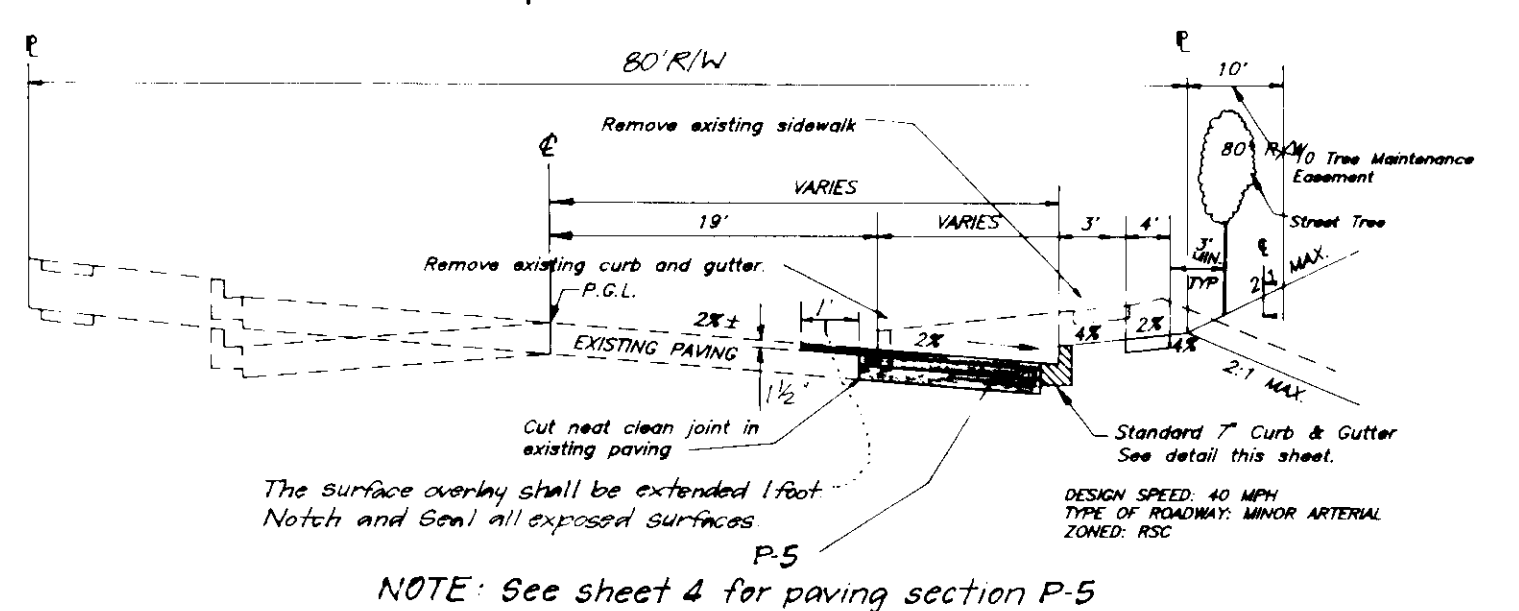
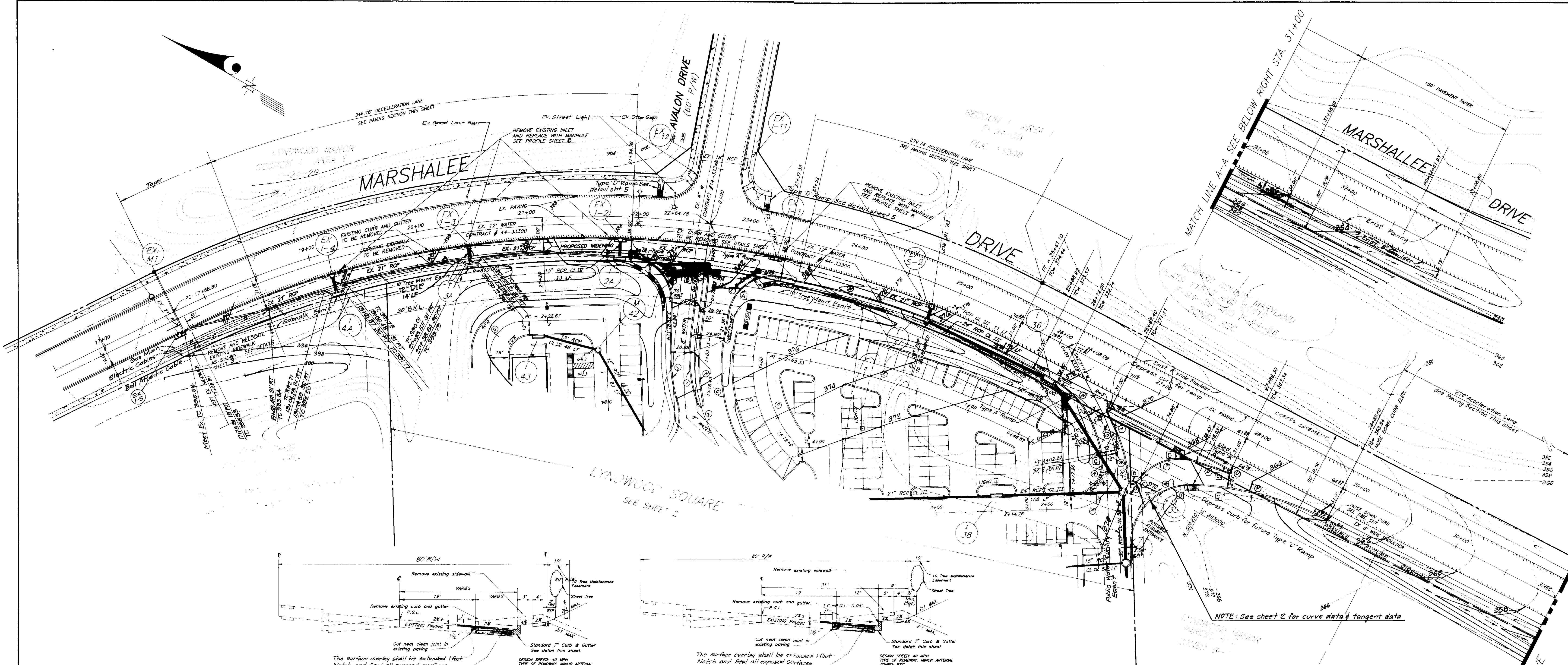
APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 Chief, Development Engineering Division: *Abel Danner* Date: 9/9/96  
 Chief, Division of Land Development and Research: *Richard Blood* Date: 9/6/96  
 Director: *James S. Keate* Date: 9/6/96

OWNER: INVESTMENT LIMITED PARTNERSHIP  
 8835-F COLUMBIA 100 PARKWAY  
 COLUMBIA, MARYLAND 21045  
 PHONE: (410) 957-7222

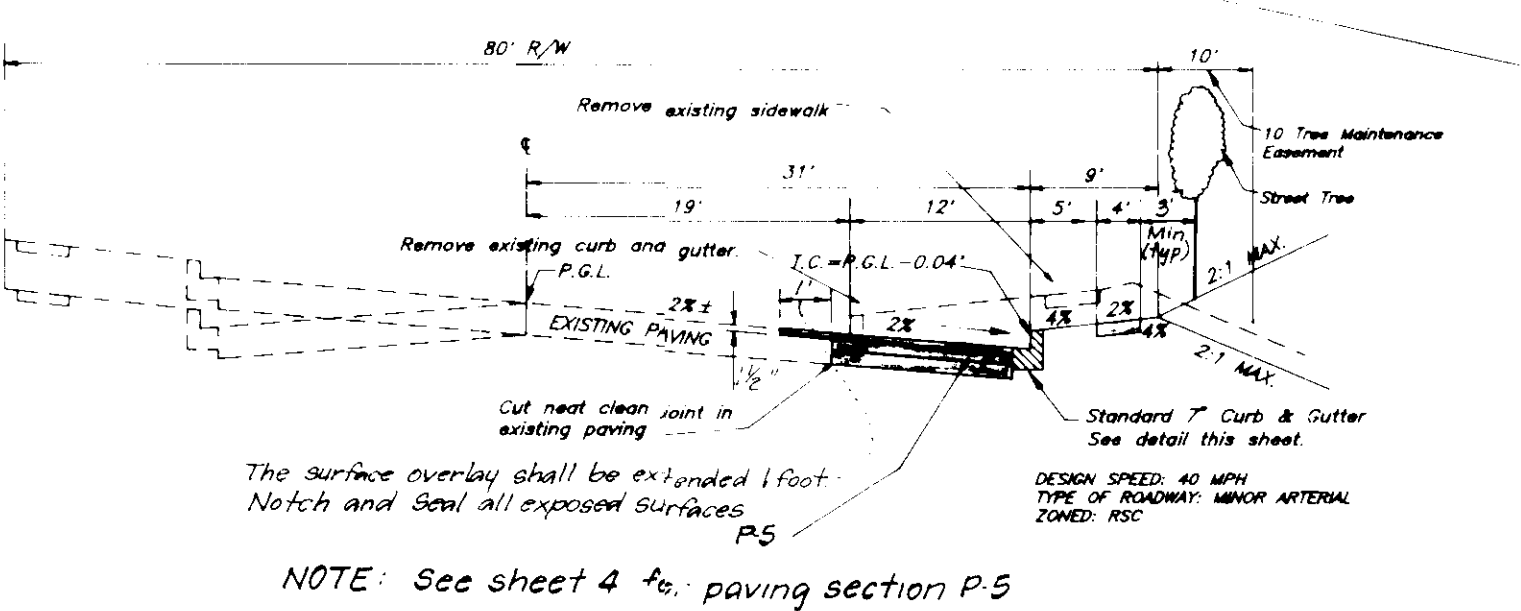




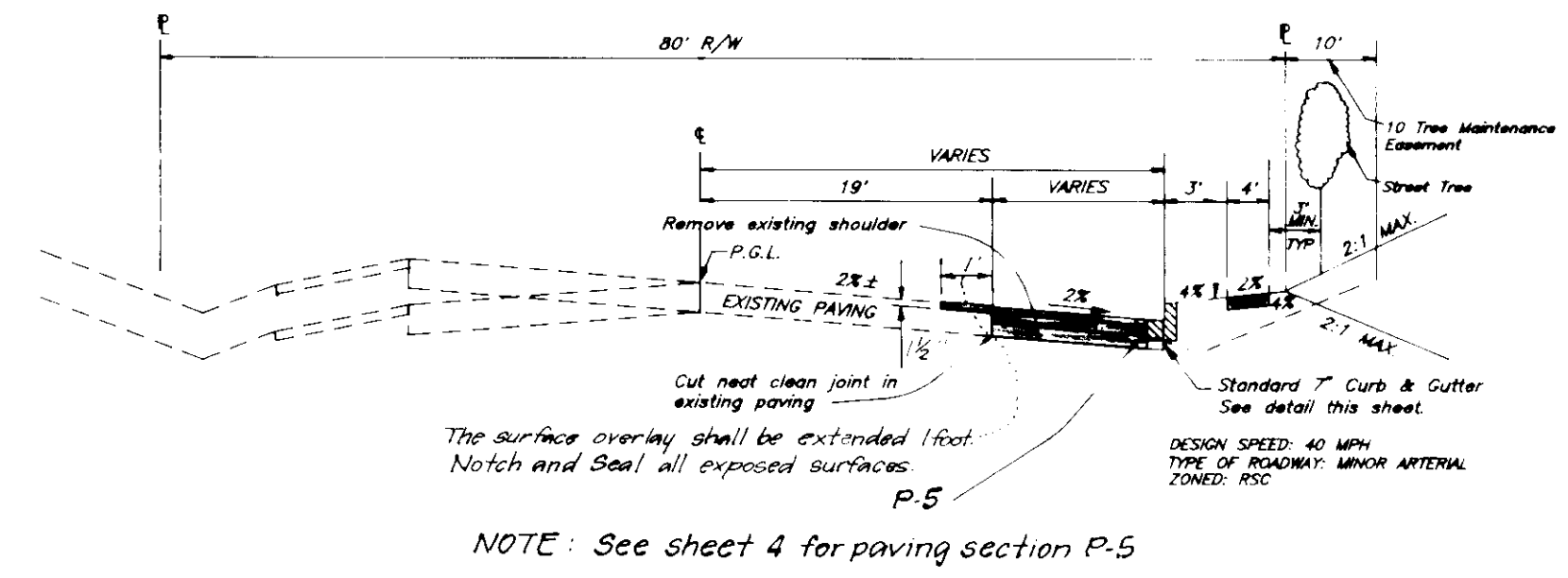




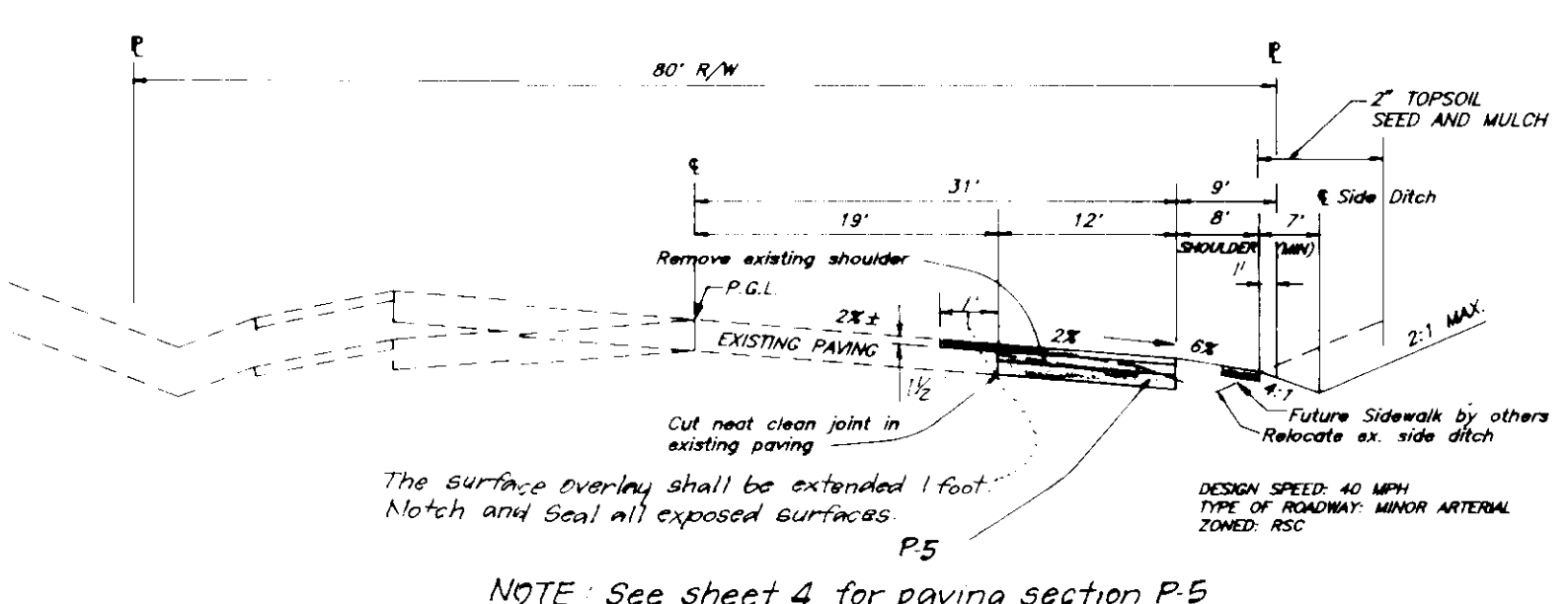
**TYPICAL PAVING SECTION  
PAVEMENT WIDENING MARSHALEE DRIVE  
STA. 21+20 TO STA. 23+52**  
NO SCALE



**TYPICAL PAVING SECTION  
PAVEMENT WIDENING MARSHALEE DRIVE  
STA. 18+48 TO STA. 21+20**  
NO SCALE

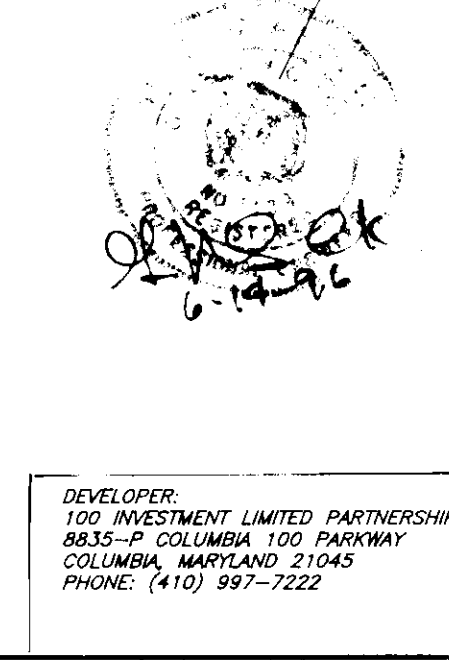


**TYPICAL PAVING SECTION  
PAVEMENT WIDENING MARSHALEE DRIVE  
STA. 23+52 TO STA. 28+85.80**  
NO SCALE  
NOTE: TRANSITION PAVING STA. 28+67.40 TP 28+17.40



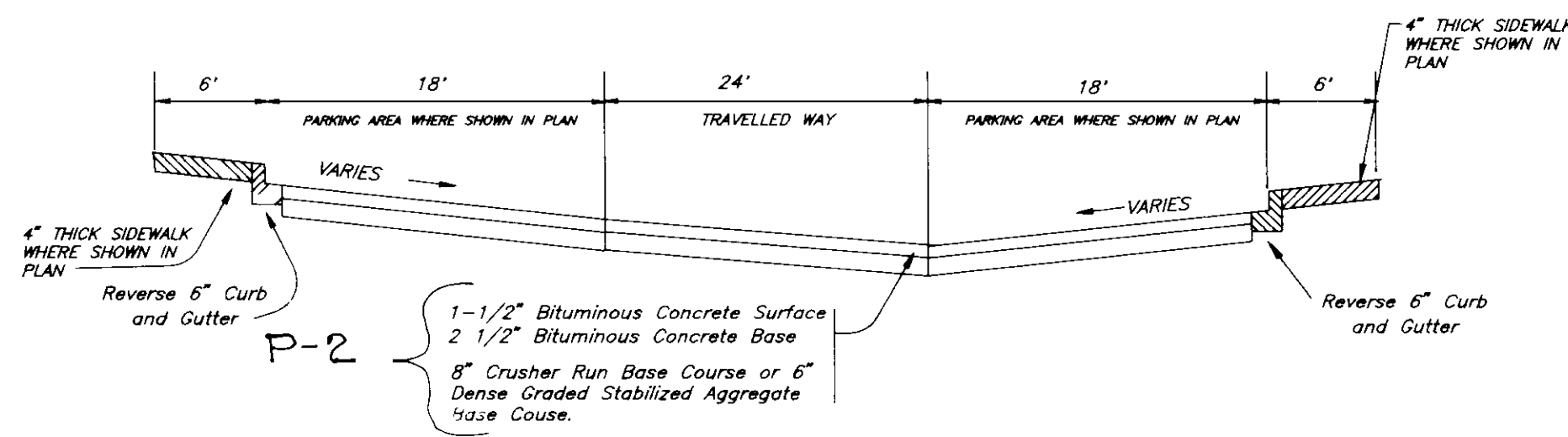
**TYPICAL PAVING SECTION  
PAVEMENT WIDENING MARSHALEE DRIVE  
STA. 28+85.80 TO STA. 31+55.80**  
NO SCALE  
NOTE: TRANSITION PAVING STA. 31+55.80 TO 33+05.80

2	Rev. Pipes from Str. Ex. I-3 to I-3A & Str. Ex. I-4 to I-4A	1-20-07
1	Rev. Plan View, Inlets I-3 and I-4, Curb and Gutter @ 17+00 to 22+00	12-18-06
<b>REVISIONS</b>		
APPROVED: DEPARTMENT OF PLANNING AND ZONING		
	9/4/06	AK
Chief, Development Engineering Division	Date	
	9/6/06	
Chief, Division of Land Development and Research	Date	
	9/6/06	
Director	Date	

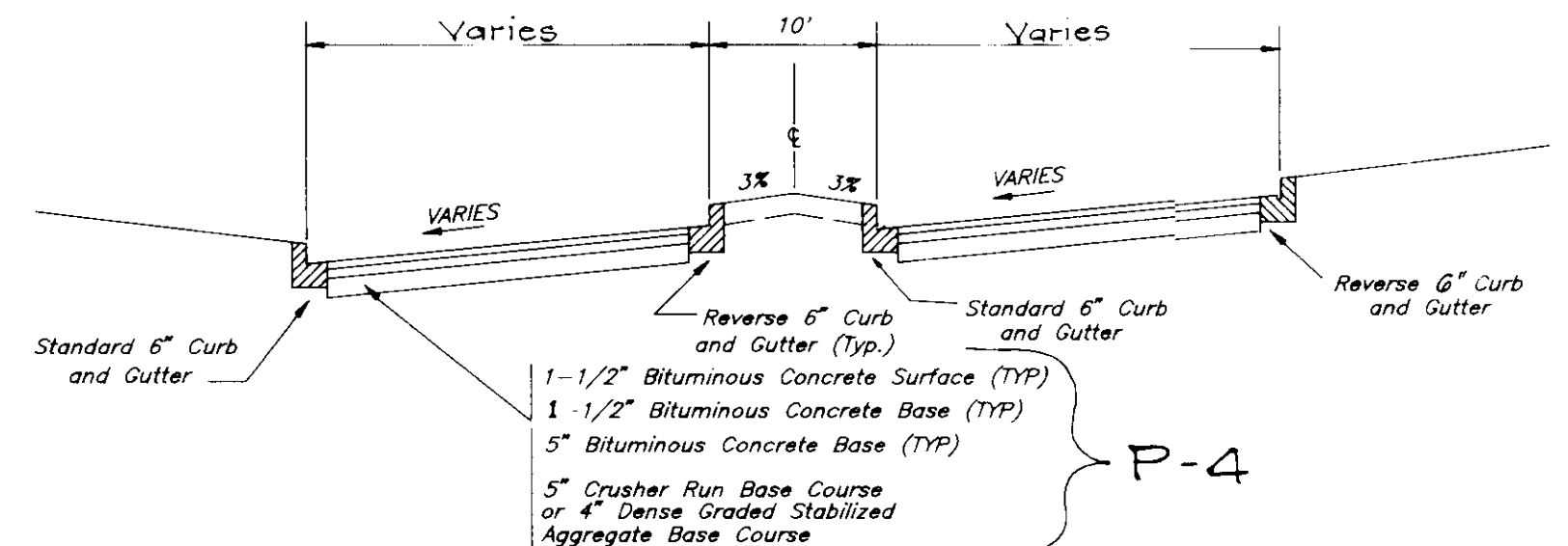


<b>CLARK • FINEFROCK &amp; SACKETT, INC.</b> ENGINEERS • PLANNERS • SURVEYORS		
7135 MINSTREL WAY • COLUMBIA MD 21045 • (410) 381-7500 BALTO • (301) 621-8100 WASH		
DESIGNED KIWM	<b>PAVEMENT WIDENING AT MARSHALEE DRIVE LYNDWOOD SQUARE PARCEL A-1</b> TAX MAP 37 PARCEL 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1"=40'
DRAWN ZAH		DRAWING 3 of 13
CHECKED KM		JOB NO. 05-132
DATE 6-14-06		FILE NO. 05-192-X
DEVELOPER: 100 INVESTMENT LIMITED PARTNERSHIP 8635-P COLUMBIA 100 PARKWAY COLUMBIA, MARYLAND 21045 PHONE: (410) 997-7222		OWNER: TALLAS, ROBBINS DEV. CO. INC. PHONE: (410)-486-5350 1133 GREENWOOD ROAD PRESHVILLE, MARYLAND 21208



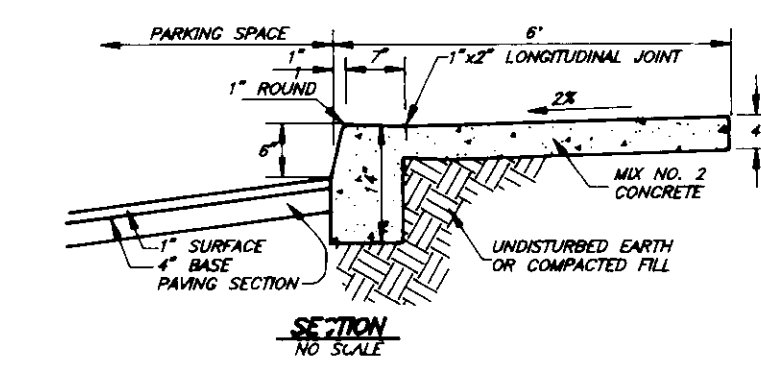


**TYPICAL PAVING SECTION PRIVATE PARKING AREAS**  
NO SCALE

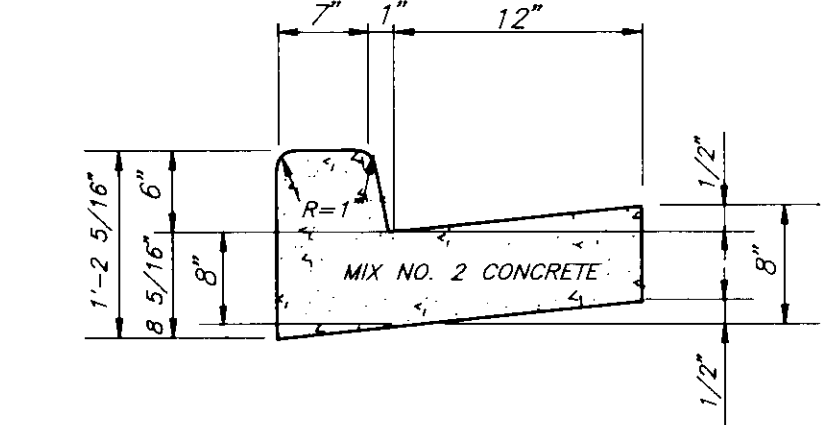


**TYPICAL PAVING SECTION MAIN ENTRANCE**  
NO SCALE

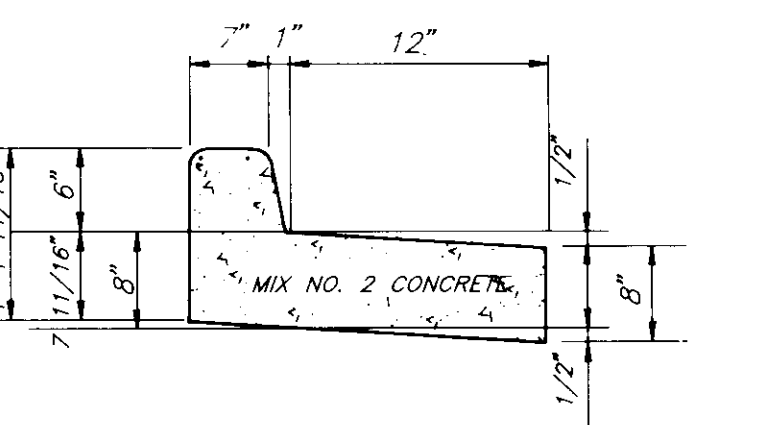
NOTES:  
1. LONGITUDINAL JOINT BETWEEN SIDEWALK AND CURB SHALL BE CONTINUOUS AND TO A DEPTH OF 1/4 THE SIDEWALK THICKNESS OR 1" MAX. LATERAL JOINTS SHALL RUN FROM BACK EDGE OF SIDEWALK CONTINUOUS TO THE BOTTOM FACE OF CURB TO A DEPTH OF 1/4" AND SPACED 5' APART.  
2. PROVIDE 1/2" EXPANSION JOINTS AT 15' INTERVALS. IN LATERAL JOINTS TO FULL CROSS-SECTION.



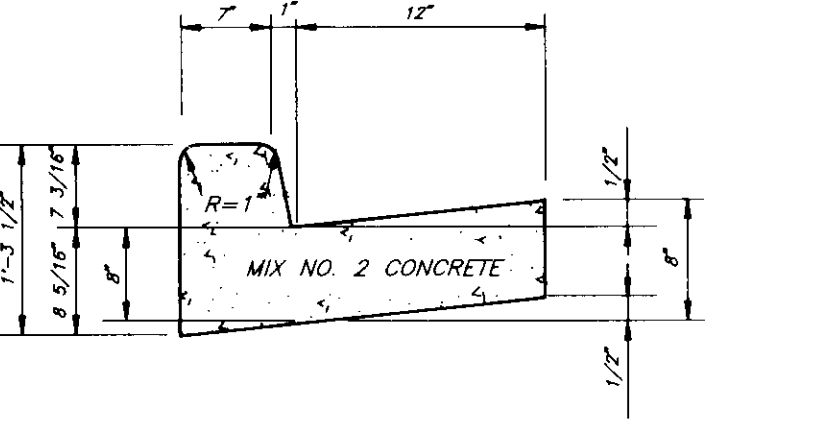
**MONOLITHIC CURB AND GUTTER PRIVATE PARKING AREA**  
NO SCALE



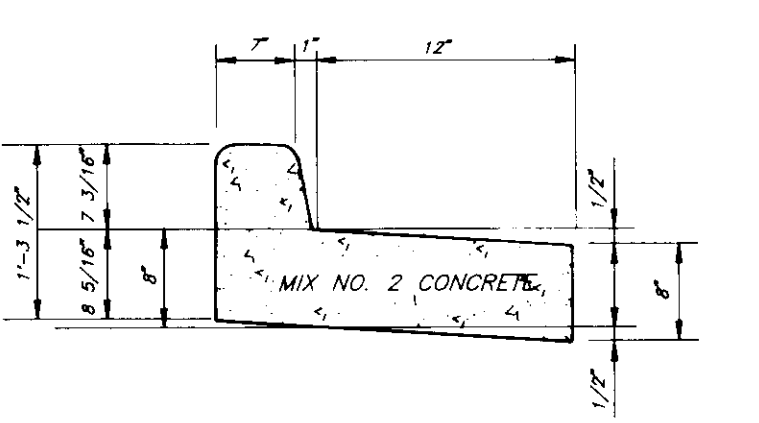
**STANDARD 6" COMBINATION CURB AND GUTTER**  
NO SCALE



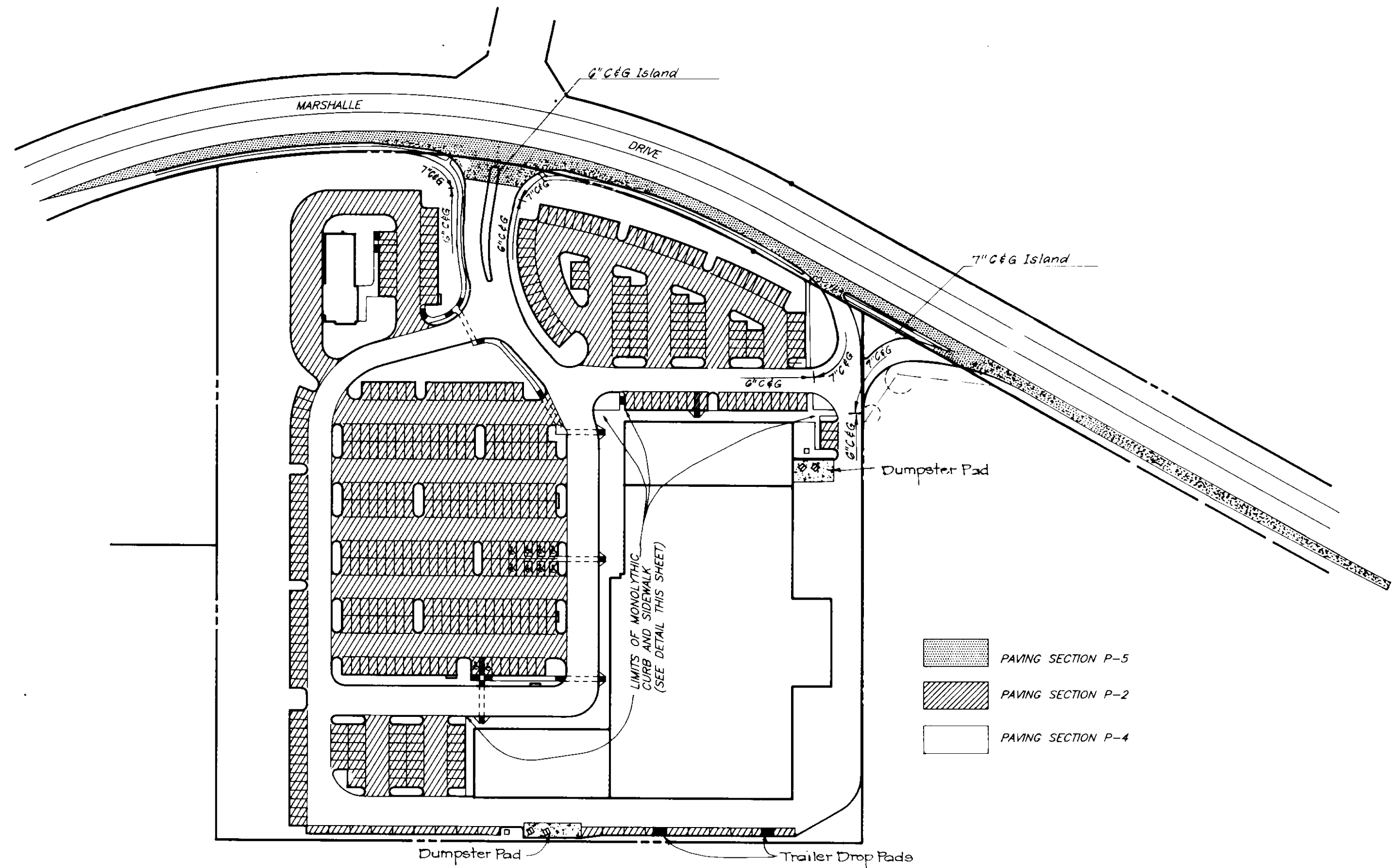
**REVERSE 6" COMBINATION CURB AND GUTTER**  
NO SCALE



**STANDARD 7" COMBINATION CURB AND GUTTER**  
NO SCALE

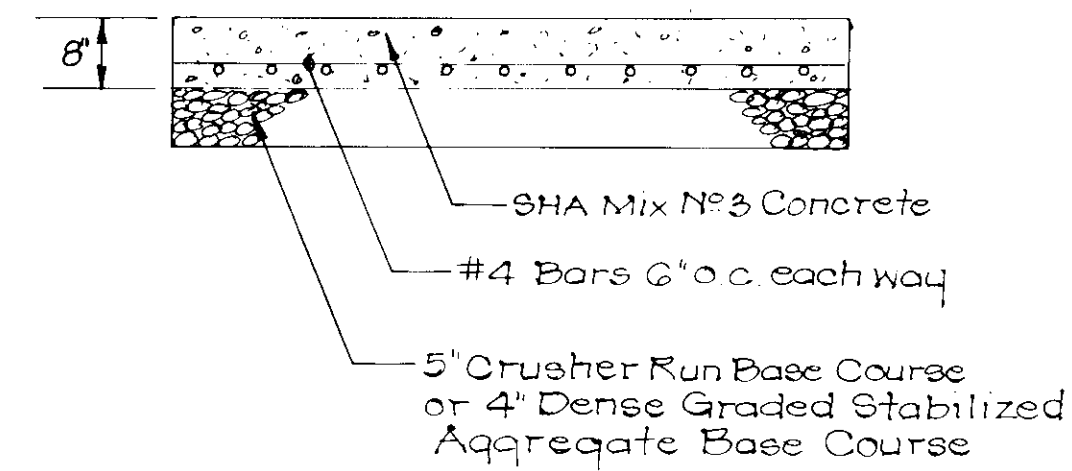


**REVERSE 7" COMBINATION CURB AND GUTTER**  
NO SCALE

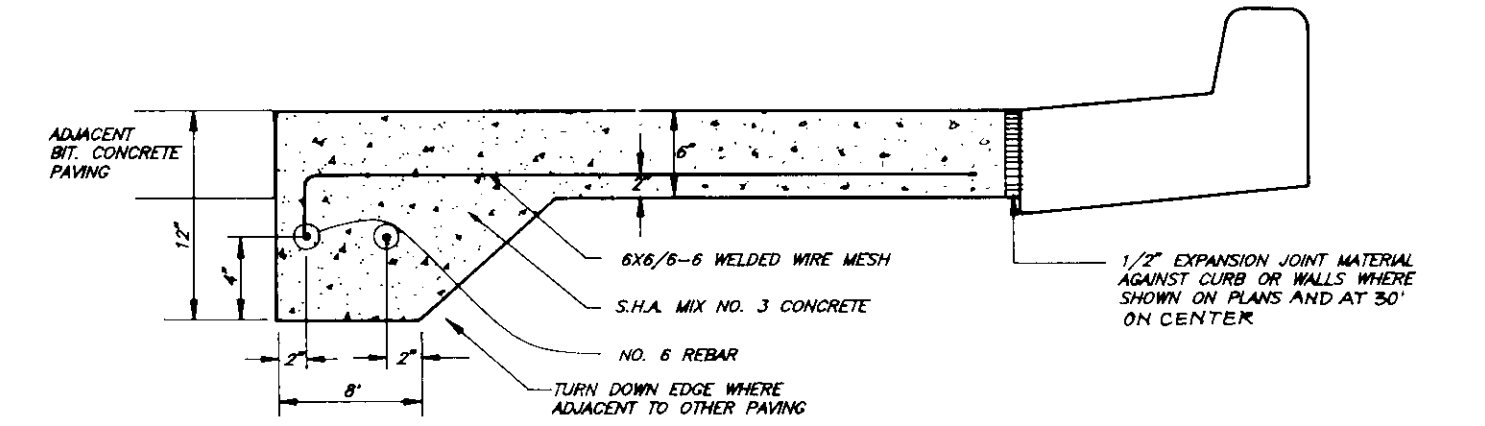


**SCHEMATIC PLAN SHOWING LIMITS OF PROPOSED PAVING SECTIONS**  
SCALE: 1"=100'

PAVING SECTION P-5  
PAVING SECTION P-2  
PAVING SECTION P-4



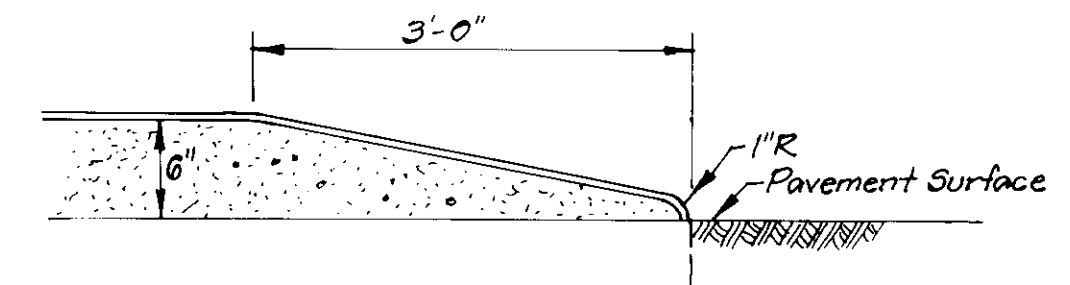
**TRAILER DROP PAD PAVING DETAIL**  
NO SCALE



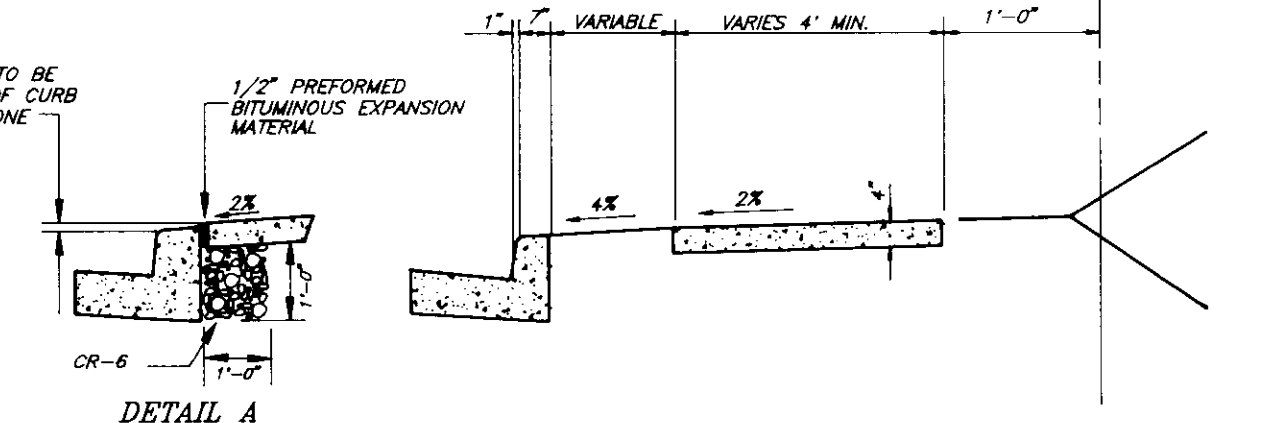
**DUMPSTER PAD AND PAVING DETAIL**  
NO SCALE

1-1/2" Bituminous Concrete Surface	1-1/2"	1-1/2" Bituminous Concrete Surface	1-1/2"	1-1/2" Bituminous Concrete Surface	1-1/2"
2-1/2" Bituminous Concrete Base	2-1/2"	1-1/2" Bituminous Concrete Base	1-1/2"	1-1/2" Bituminous Concrete Base	1-1/2"
8" Crusher Run Base Course or 6" Dense Graded Stabilized Aggregate Base Course	8"	5" Bituminous Concrete Base	5"	5" Bituminous Concrete Base	5"
		5" Crusher Run Base Course or 4" Dense Graded Stabilized Aggregate Base Course	5" OR 4"	5" Crusher Run Base Course (2" Course) or 6" Dense Graded Stabilized Aggregate Base Course	5" OR 6"

SECTION P-2      SECTION P-4      SECTION P-5



**NOSE DOWN CURB & GUTTER DETAIL**  
No Scale



**CONCRETE SIDEWALK DETAIL**  
NO SCALE

NOTES:  
1. SIDEWALK TO BE SCRIBED IN 5' MAXIMUM SQUARES.  
2. EXPANSION JOINTS ACROSS THE SIDEWALK NOT TO BE MORE THAN 15' APART.  
3. 1/2" PREFORMED BITUMINOUS EXPANSION MATERIAL IN EXPANSION JOINTS TO BE 1/4" BELOW SURFACE OF SIDEWALK.  
4. CONCRETE TO BE MIX NO. 2.  
5. WHEN SIDEWALK ABUTS CURB, WALK SHALL BE 1/4" ABOVE CURB WITH 1/2" PREFORMED BITUMINOUS EXPANSION MATERIAL BETWEEN SIDEWALK AND CURB AND RESTING ON A COMPACTED CRUSHED STONE BASE. SEE DETAIL A THIS SHEET.

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Richard Blood* 9/6/96  
 Chief, Development Engineering Division  
*Richard Blood* 9/6/96  
 Chief, Division of Land Development and Research  
*Joseph S. Smith* 9/6/96  
 Director

WKO/ek  
9-19-96

**CLARK • FINEFROCK & SACKETT, INC.**  
 ENGINEERS • PLANNERS • SURVEYORS  
 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALTO. • (301) 621-8100 WASH.

DESIGNED: K/W/M, WHT  
 DRAWN: ZAH  
 CHECKED: K77  
 DATE: 6-14-96

PAVING DETAILS  
**LYNDWOOD SQUARE**  
 PARCEL A-1  
 TAX MAP 37  
 1ST ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

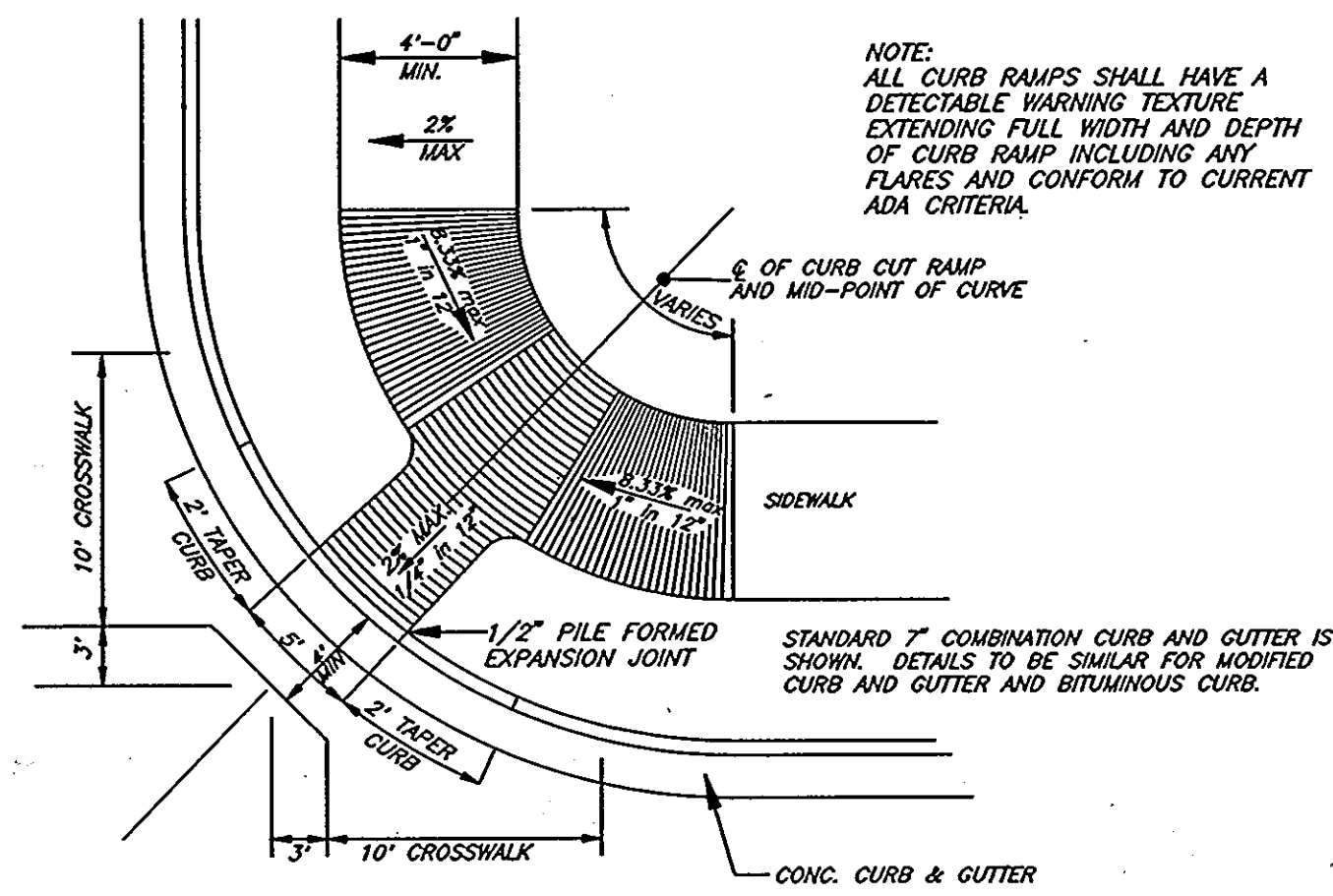
SCALE: As Shown  
 DRAWING: 4 of 13  
 JOB NO.: 95132  
 FILE NO.: 95132-X

OWNER: 100 INVESTMENT LIMITED PARTNERSHIP  
 8035-P COLUMBIA 100 PARKWAY  
 COLUMBIA, MARYLAND 21042  
 PHONE: (410) 997-7222

TALLER - ROSS/MS DEV CO., LLC PHONE: (410) 486-5350  
 1133 GREENWOOD ROAD  
 PICOVILLE, MARYLAND 21208  
 DEVELOPER

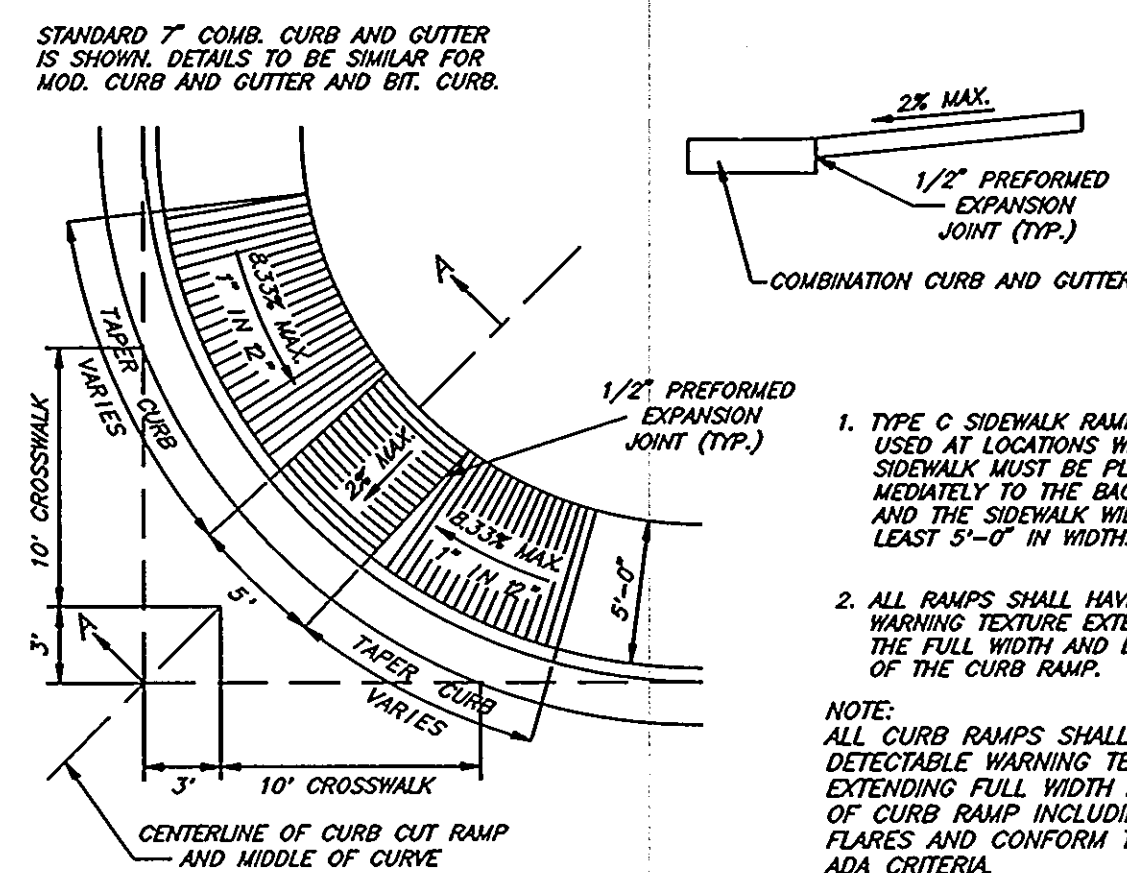
SDP-96-100





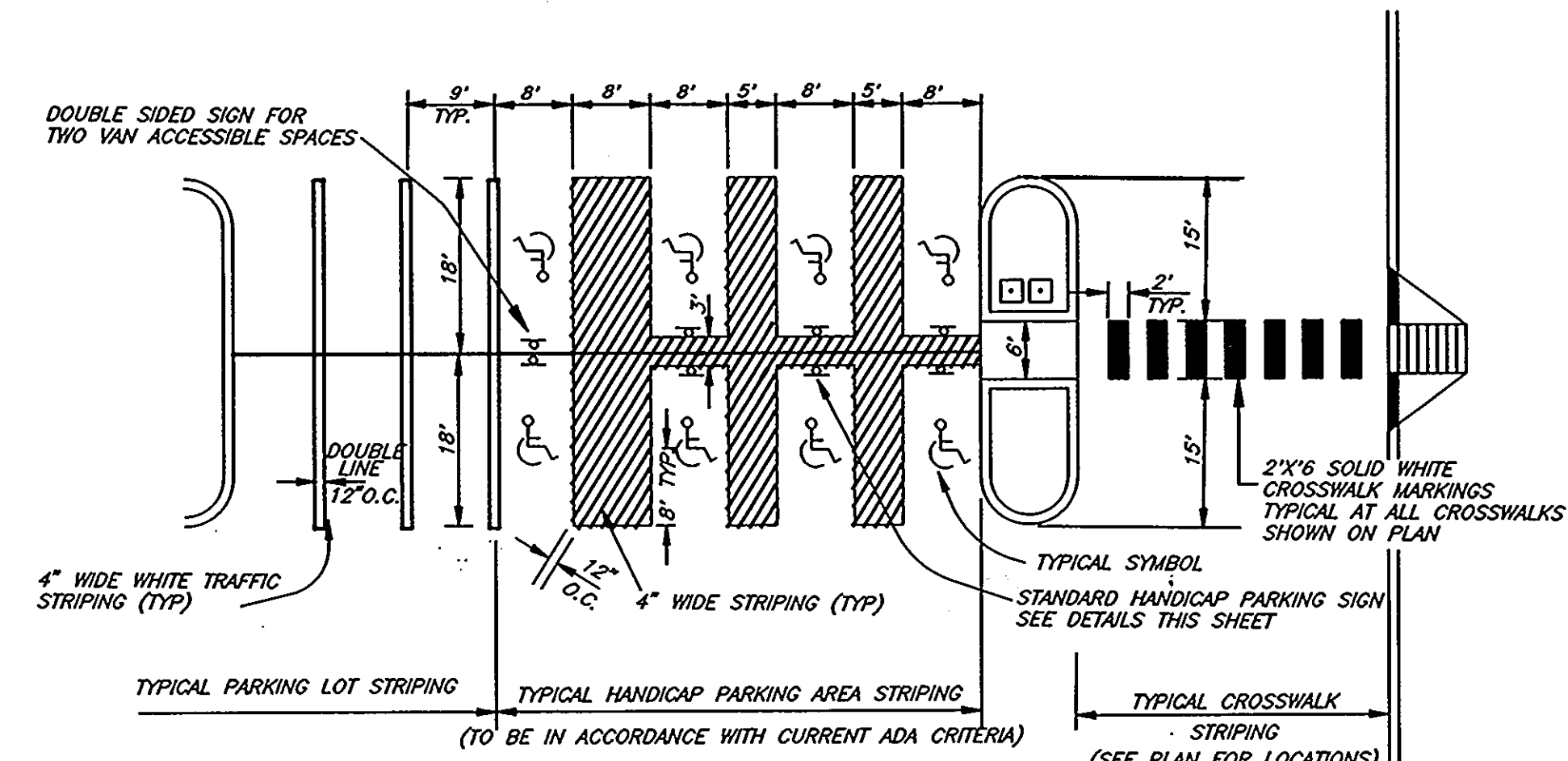
**CURB / SIDEWALK RAMP - HO. CO. STANDARD TYPE "A"**

(HO. CO. DETAIL R-4.03)  
NO SCALE



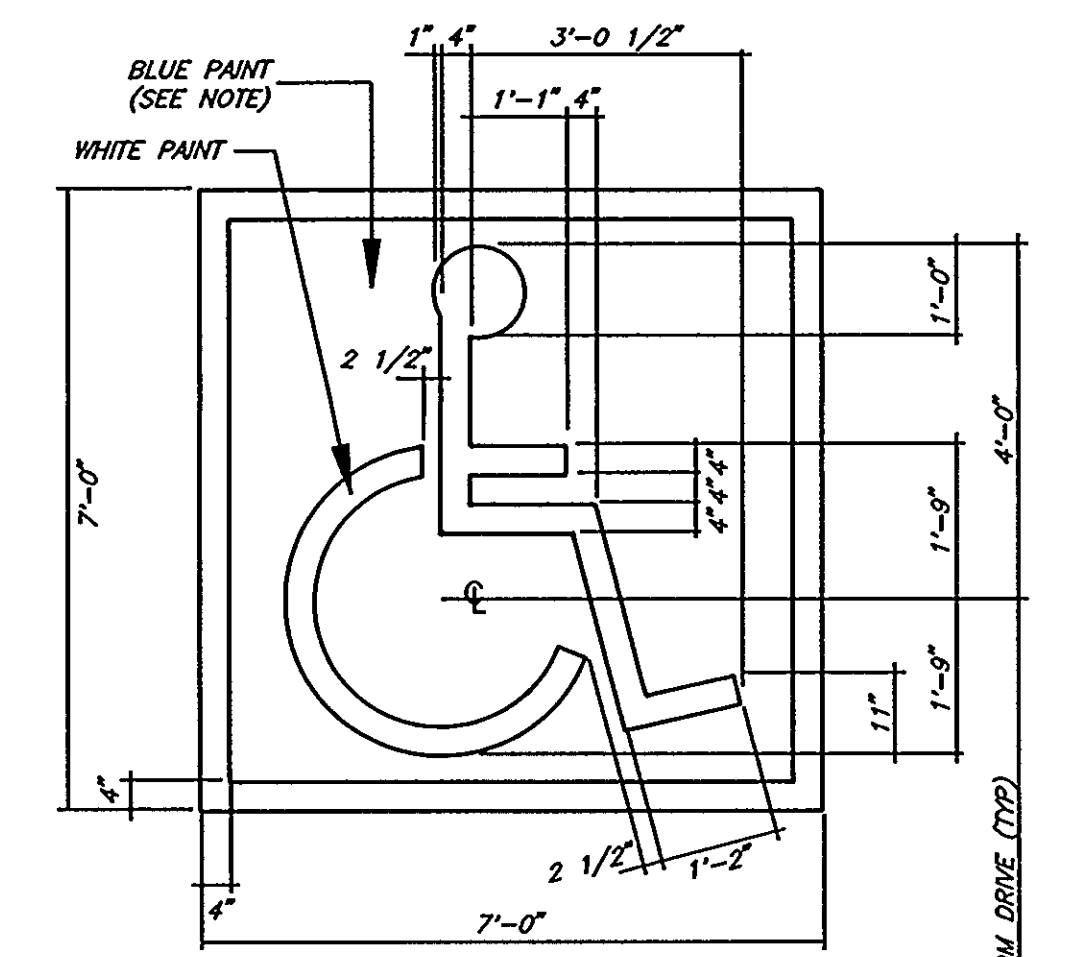
**CURB / SIDEWALK RAMP - HO. CO. STANDARD TYPE "C"**

(HO. CO. DETAIL R-4.03)  
NO SCALE



**TYPICAL STRIPING DETAILS FOR PARKING, HANDICAP SPACES AND CROSSWALKS**

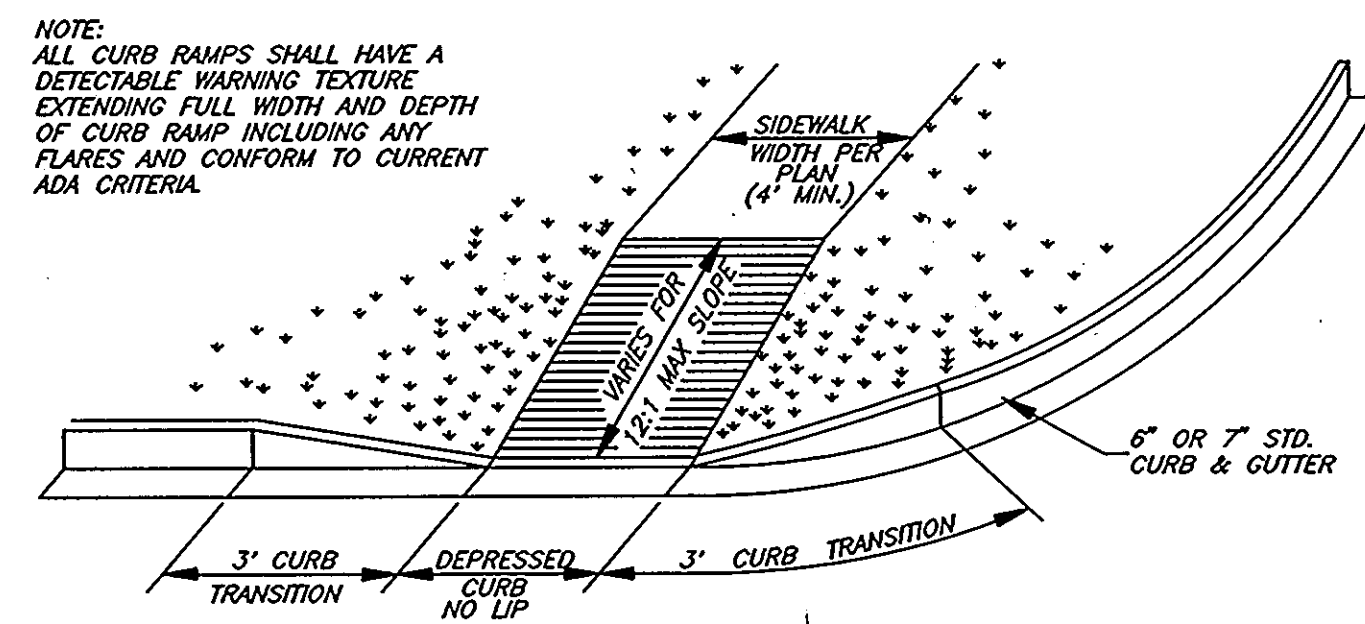
NO SCALE



NOTE: SYMBOL TO BE CENTERED ON WIDTH OF PARKING STALL. SYMBOL IS REQUIRED TO CONTRAST WITH BACKGROUND. WHITE ON BLUE (COLOR NO. 105090 IN FED. STANDARD 5952) DOUBLE COAT (TYP.).

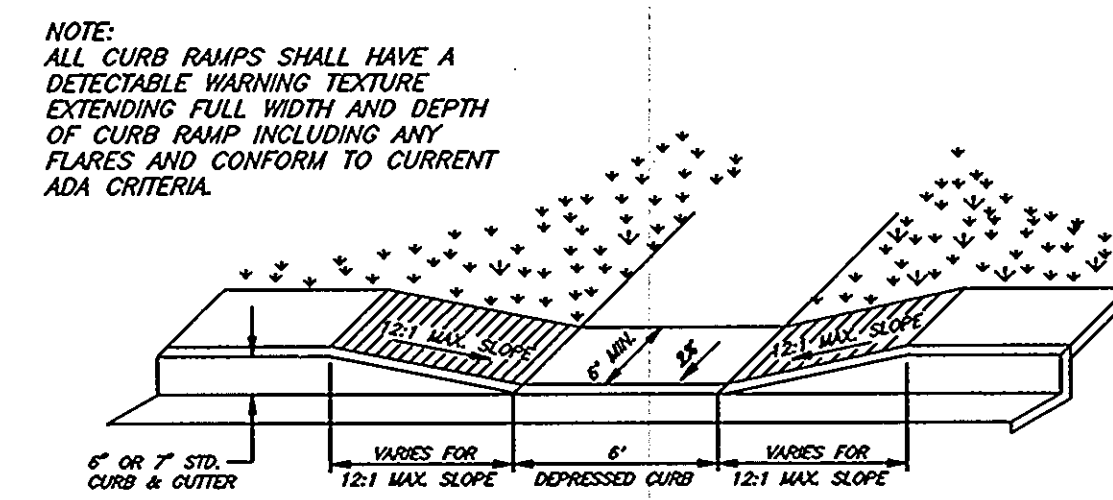
**PAINTED SYMBOL**

NO SCALE



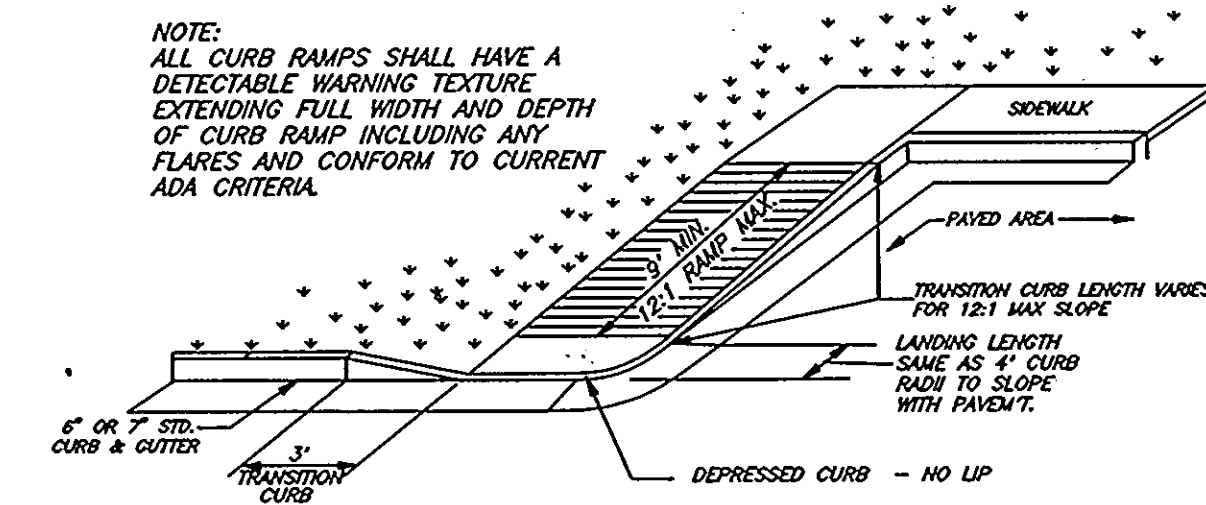
**CURB RAMP TYPE "D"**

NO SCALE



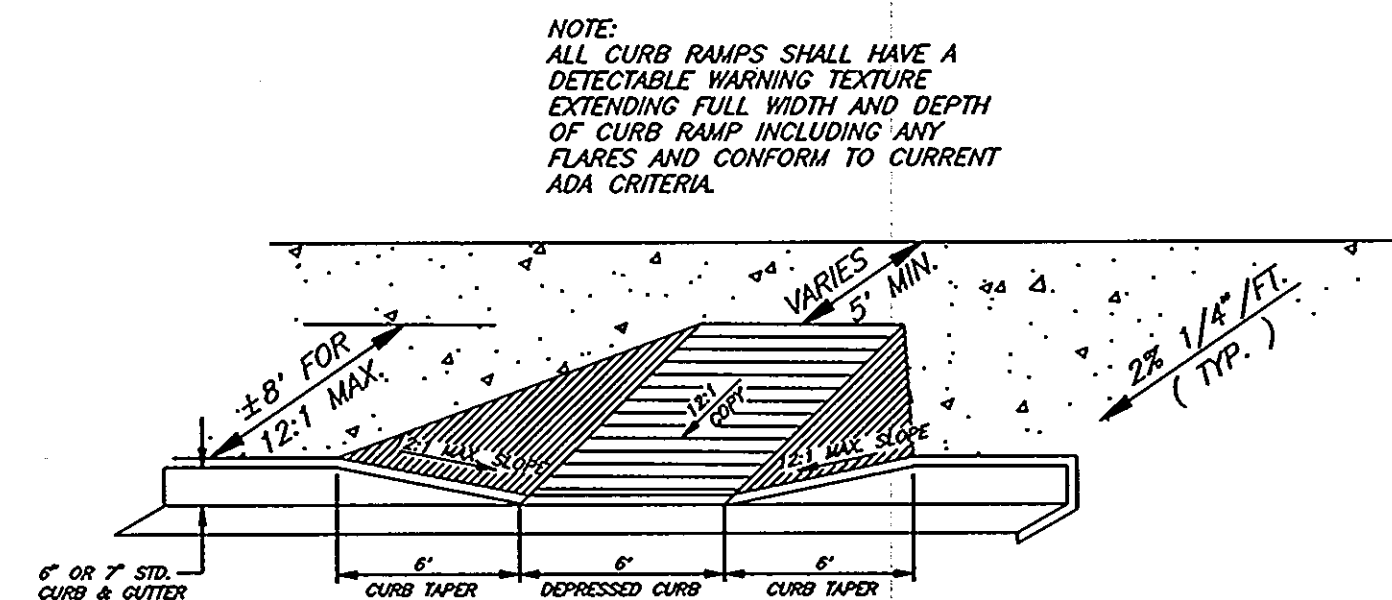
**CURB RAMP TYPE "E"**

NO SCALE



**CURB RAMP TYPE "F"**

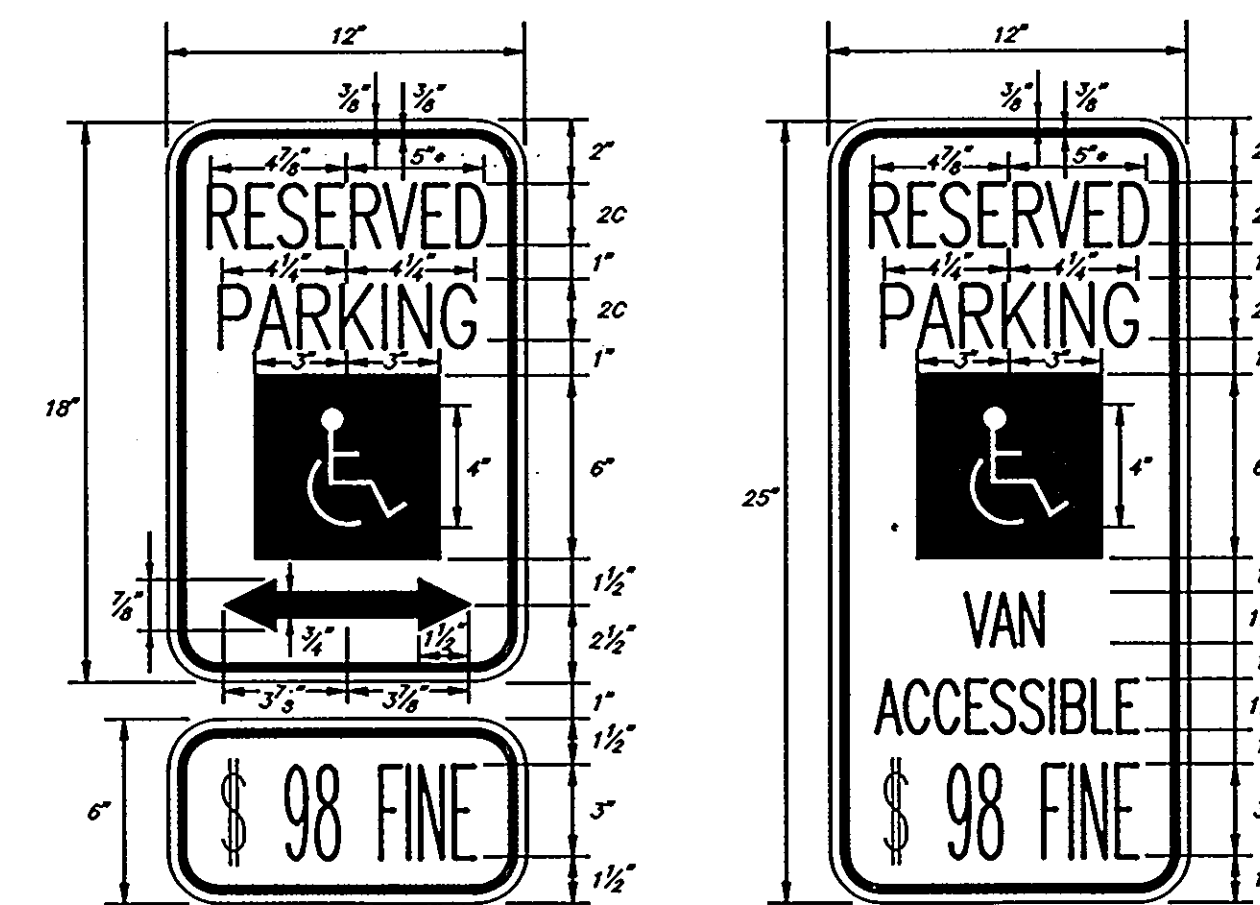
NO SCALE



**CURB RAMP TYPE "G"**

NO SCALE

**NOTE REGARDING CURB CUT RAMPS:**  
A FIVE FOOT (5') LEVEL LANDING IS REQUIRED AT THE TOP OF ALL CURB CUT RAMPS

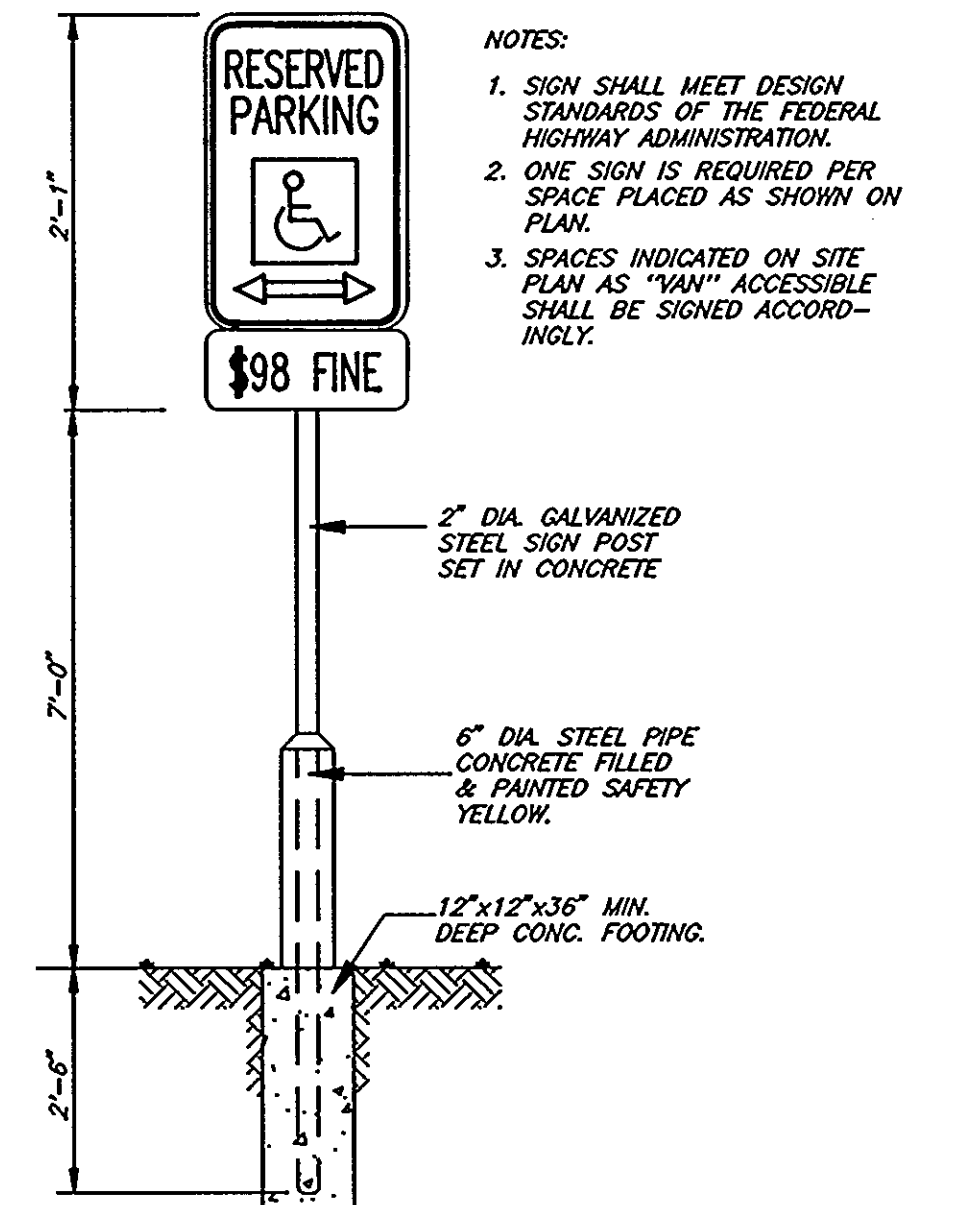


COLORS:  
LEGEND AND BORDER: GREEN  
SYMBOL WHITE ON BLUE BACKGROUND  
BACKGROUND: WHITE

DETAILS TO CONFORM TO THE STATE OF MARYLAND STANDARD HIGHWAY SIGN BOOKLET DETAIL R7-8

**HANDICAP PARKING RESTRICTION SIGN DETAIL**

NO SCALE



**HANDICAP PARKING SIGN DETAIL**

NO SCALE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Richard Blood* 9/4/96  
Chief, Development Engineering Division Date  
*Richard Blood* 9/6/96  
Chief, Division of Land Development and Research Date  
*Joseph Scate* 9/6/96  
Director Date

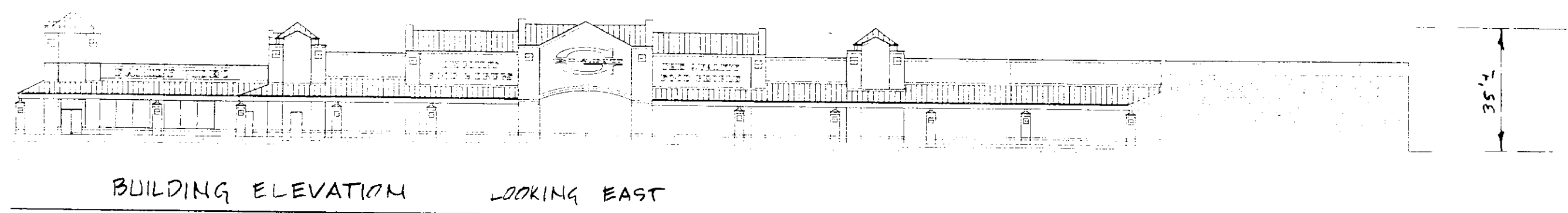


100 INVESTMENT LIMITED PARTNERSHIP  
5835-P COLUMBIA 100 PARKWAY  
COLUMBIA, MARYLAND 21045  
PHONE: (410) 957-7222

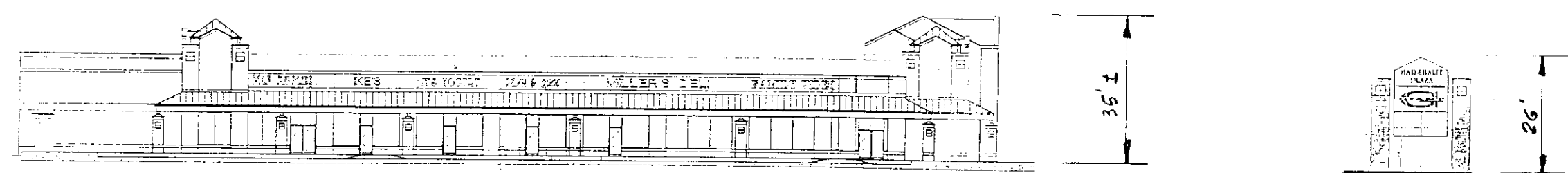
<b>CLARK • FINEFROCK &amp; SACKETT, INC.</b> ENGINEERS • PLANNERS • SURVEYORS 7135 MINSTREL WAY • COLUMBIA, MD. 21045 • (410) 381-7500 - BALTO. • (301) 621-8100 - WASH.		SCALE —
DESIGNED WHT	SITE DETAILS <b>LYNDWOOD SQUARE</b> PARCEL A-1 TAX MAP 37 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND	DRAWING 5 OF 13
DRAWN EZH		JOB NO. 95-132
CHECKED		FILE NO. 95-132-X
DATE 5-9-96		TALLES-ROBBINS DEV. CO. LLC PHONE: (410)-466-5350 1135 GREENWOOD ROAD PINESVILLE, MARYLAND 21208 DEVELOPER

GDP-96-100

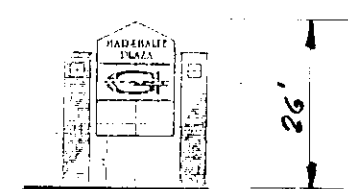




BUILDING ELEVATION LOOKING EAST



BUILDING ELEVATION LOOKING SOUTH



PLAN SIGN

STRUCTURE SCHEDULE □

No.	TYPE	INV. IN	INV. OUT	TOP ELEVATION		REMARKS	LOCATION
				UPPER	LOWER		
1-2A	PRECAST A-10 INLET	-	380.80	386.18	385.89	HO. CO. STD. SD 4.41 W=2'-6"	LOWER END STR. STA 21+80.78 35.5 RT. MARSHALEE DR.
1-3A	PRECAST A-10 INLET	-	384.00	389.70	389.51	HO. CO. STD. SD 4.41 W=2'-6"	Q STR. STA 20+44.38 36' RT. MARSHALEE DR.
1-4A	PRECAST A-10 INLET	-	387.00	392.50	391.77	HO. CO. STD. SD 4.41 W=2'-6"	Q STR. STA 19+15.63 36' RT. MARSHALEE DR.
S-29	CONCRETE END SECTION 42"Ø	355.04	355.00	-	-	HO. CO. STD. SD 5.51 42"Ø	Q END OF PIPE N.501067.62 E.862660.51
M-30	4'-0" PRECAST MANHOLE	356.14/355.64	355.14	363.00	363.00	HO. CO. STD. G 5.12 5'-0"Ø	Q MH N.501090.38 E.862663.67
M-31	5'-0" STD. PRECAST MANHOLE	360.00/358.10	355.97	366.60	366.60	HO. CO. STD. G 5.13 5'-0"Ø	Q MH N.501126.04 E.862668.23
1-32	PRECAST A-10 INLET	356.63	355.53	365.90	365.90	HO. CO. STD. SD 4.41 W=4'-0"	Q STR. FC N.501161.73 E.862744.25
M-33	5'-0" STD. PRECAST MANHOLE	358.91/357.66	357.06	366.60	366.60	HO. CO. STD. G 5.13 5'-0"Ø	Q MH N.501216.52 E.862821.15
M-34	5'-0" STD. PRECAST MANHOLE	360.41/359.16	359.06	369.30	369.30	HO. CO. STD. G 5.13 5'-0"Ø	Q MH N.501285.43 E.862928.40
M-35	5'-0" STD. PRECAST MANHOLE	360.29/360.04	359.79	370.00	370.00	HO. CO. STD. G 5.13 5'-0"Ø	Q MH N.501319.18 E.862982.33
1-36	A-10 INLET	361.78	361.28	373.03	372.72	HO. CO. STD. SD 4.02 W=3'-0"	LOWER END STR. STA 20+11.32 41 RT. MARSHALEE DR.
1-38	PRECAST A-10 INLET	363.25	363.00	369.50	369.50	HO. CO. STD. SD 4.02 W=3'-0"	Q STR. STA 2+05.8 12 RT PRIVATE DR. C
1-39	PRECAST A-10 INLET	364.85	364.35	369.80	369.60	HO. CO. STD. SD 4.02 W=2'-6"	Q STR. STA 3+25.8 12 RT PRIVATE DR. C
1-40	PRECAST A-10 INLET	367.32	367.00	372.70	372.30	HO. CO. STD. SD 4.02 W=2'-6"	Q STR. STA 2+66 12 LT PRIVATE DR. A
1-41	PRECAST A-10 INLET	374.10	374.00	380.63	380.50	HO. CO. STD. SD 4.02 W=2'-6"	LOWER END STR. STA 0+42.67 30 RT PRIVATE DR. D
M-42	4'-0" STD. PRECAST MANHOLE	375.70	375.60	381.60	381.60	HO. CO. STD. G 5.12 4'-0"Ø	Q MH STA 1+03 3 RT PRIVATE DR. D
1-43	PRECAST A-10 INLET	-	375.80	381.30	381.30	HO. CO. STD. SD 4.41 W=2'-6"	Q STR. STA 2+28 12 LT PRIVATE DR. D
1-44	PRECAST A-10 INLET	357.23	357.08	365.20	365.20	HO. CO. STD. SD 4.41 W=3'-6"	Q MH N.501116.73 E.862546.20
M-45	5'-0" STD. PRECAST MANHOLE	364.86/359.20	359.06	370.00	370.00	HO. CO. STD. G 5.13 5'-0"Ø	Q MH N.501326.16 E.862360.88
M-46	5'-0" STD. PRECAST MANHOLE	361.22/360.22	359.97	369.20	369.20	HO. CO. STD. G 5.13 5'-0"Ø	Q MH N.501425.63 E.862360.88
M-47	5'-0" STD. PRECAST MANHOLE	365.74/361.47	361.22	370.55	370.55	HO. CO. STD. G 5.13 5'-0"Ø	Q MH STA 7+58.6 7.2 RT. PRIVATE DRIVE A
1-48	PRECAST A-10 INLET	362.49	362.39	370.00	370.00	HO. CO. STD. SD 4.41 W=3'-0"	Q STR. STA 6+72 12 RT PRIVATE DR. A
1-49	PRECAST A-10 INLET	363.75	363.25	369.10	369.10	HO. CO. STD. SD 4.41 W=3'-0"	Q STR. FC STA 5+39.57 28 RT PRIVATE DR. A
1-50	PRECAST A-10 INLET	-	364.85	369.10	369.10	HO. CO. STD. SD 4.41 W=2'-6"	Q STR. FC STA 4+19.57 28 RT PRIVATE DR. A
1-51	PRECAST A-10 INLET	-	365.74	371.13	371.00	HO. CO. STD. SD 4.41 W=2'-6"	Q STR. FC STA 7+58.57 24 RT PRIVATE DR. A
1-52	PRECAST A-10 INLET	-	365.00	368.50	368.50	HO. CO. STD. SD 4.41 W=2'-6"	Q STR. FC STA 9+18.06 12 RT PRIVATE DR. A
1-53	PRECAST A-5 INLET	-	365.00	370.10	370.10	HO. CO. STD. SD 4.41 W=2'-6"	Q STR. FC N.501320.38 E.862412.91
M-54	BRICK MANHOLE	362.30	362.00	367.70	367.70	HO. CO. STD. G 5.12 4'-0"Ø	SEE PLAN
M-55	BRICK MANHOLE	361.82	361.62	367.60	367.60	HO. CO. STD. G 5.12 4'-0"Ø	SEE PLAN
M-56	BRICK MANHOLE	365.30	365.00	371.20	371.20	HO. CO. STD. G 5.12 4'-0"Ø	SEE PLAN
EX 1-4	4'-0" STD. PRECAST MANHOLE	385.80/386.50	385.61	392.10	392.10	HO. CO. STD. G 5.12 4'-0"Ø	Q MH STA. 19+15.63 20 RT MARSHALEE DR.
EX 1-3	4'-0" STD. PRECAST MANHOLE	383.19/383.50	383.00	389.40	389.40	HO. CO. STD. G 5.12 4'-0"Ø	Q MH STA. 20+44.38 20 RT MARSHALEE DR.
EX 1-2	4'-0" STD. PRECAST MANHOLE	379.80/380.00	379.61	386.0	386.0	HO. CO. STD. G 5.12 4'-0"Ø	Q MH STA. 21+84.38 20 RT MARSHALEE DR.
EX 1-1	4'-0" STD. PRECAST MANHOLE	388.11/387.00	387.34	387.34	387.34	HO. CO. STD. G 5.12 4'-0"Ø	Q MH STA. 23+29.38 20 RT MARSHALEE DR.
EX S-2	EXISTING MANHOLE	368.50/368.36	367.95	376.75	376.75	EXISTING STRUCTURE	Q MH STA. 24+80 21 RT MARSHALEE DR.
1-37	15 COG INLET	367.23	367.00	377.33	376.87	MD SHA. STD. #374 G2 28"Ø	Q BASE 24+80 34 RT MARSHALEE DR.

□ All inverts to be fully developed.  
 + Note: Remove and Replace existing inlets 1-1 thru 1-4 with Precast Manhole  
 \* Adjust top as needed to meet proposed pavement widening.

PIPE SCHEDULE

SIZE	TYPE	L.F.
15"	R.C.P. CL. IV	524 LF
24"	R.C.P. CL. IV	260 LF
21"	R.C.P. CL. III	110 LF
24"	R.C.P. CL. III	232 LF
27"	R.C.P. CL. III	249 LF
30"	R.C.P. CL. III	651 LF
36"	R.C.P. CL. III	109 LF
42"	R.C.P. CL. IV	20 LF
12"	D.I.P.	28 LF

No.	REVISIONS	Date
2	Rev Str. Schedule, Str's I-42 & M-43 & Pipe Schedule	1-8-97
1	Rev. Structure Schedule & Pipe Schedule	12-18-96

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Richard Blood* 9/4/96  
 Chief, Development Engineering Division

*John R. Robertson* 9/6/96  
 Chief, Division of Land Development and Research

*James S. Rute* 9/6/96  
 Director

Reviewed for HOWARD S.C.D. and meets Technical Requirements  
*J. H. Wolf* 8/27/96  
 Signature Date  
 U.S. Natural Resources Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John R. Robertson* 8/27/96  
 Approved

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

*Samuel J. Clark* 6/25/96  
 NAME DATE

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

*G. Nelson Clark* 6-14-96  
 G. NELSON CLARK DATE



CLARK • FINEFROCK & SACKETT, INC.  
 ENGINEERS • PLANNERS • SURVEYORS  
 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALTO • (301) 621-8100 - WASH.

DESIGNED: KJWM  
 DRAWN: 2AH  
 CHECKED: KJWM  
 DATE: 6-14-96

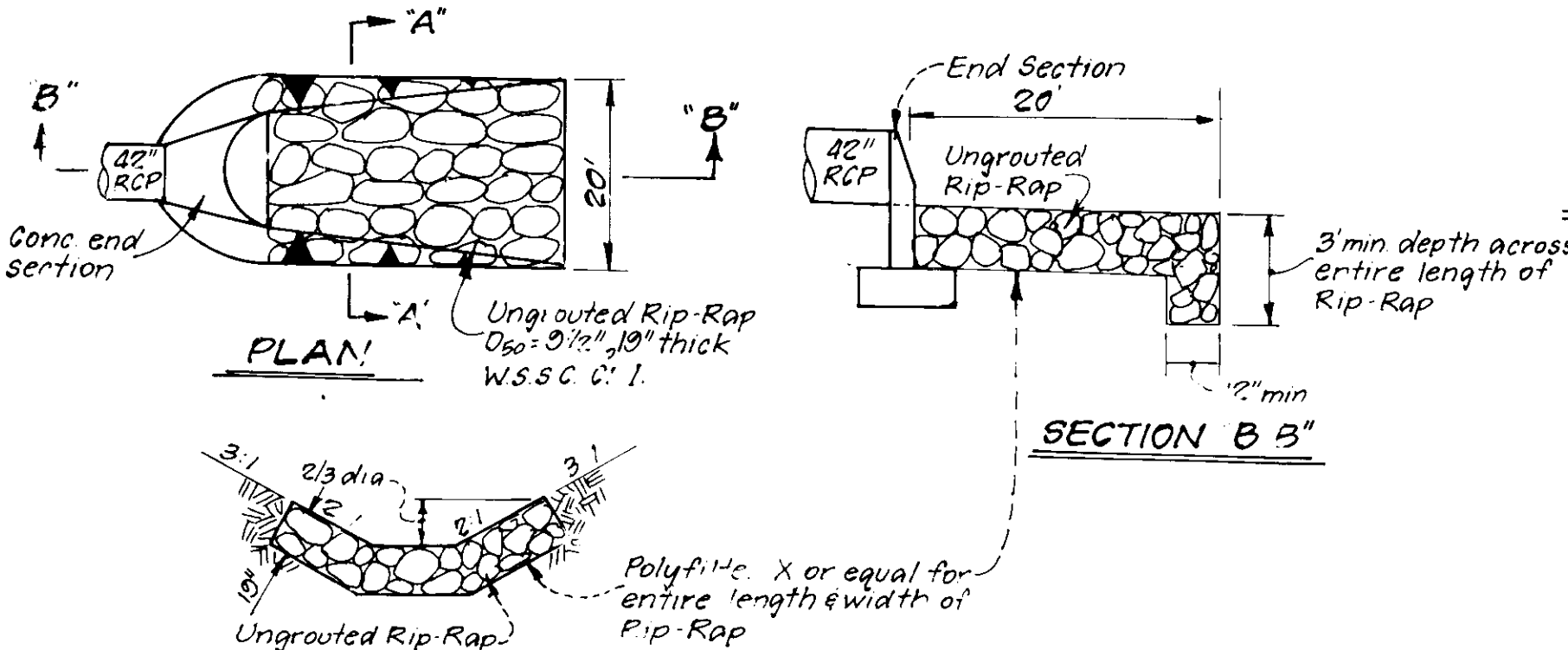
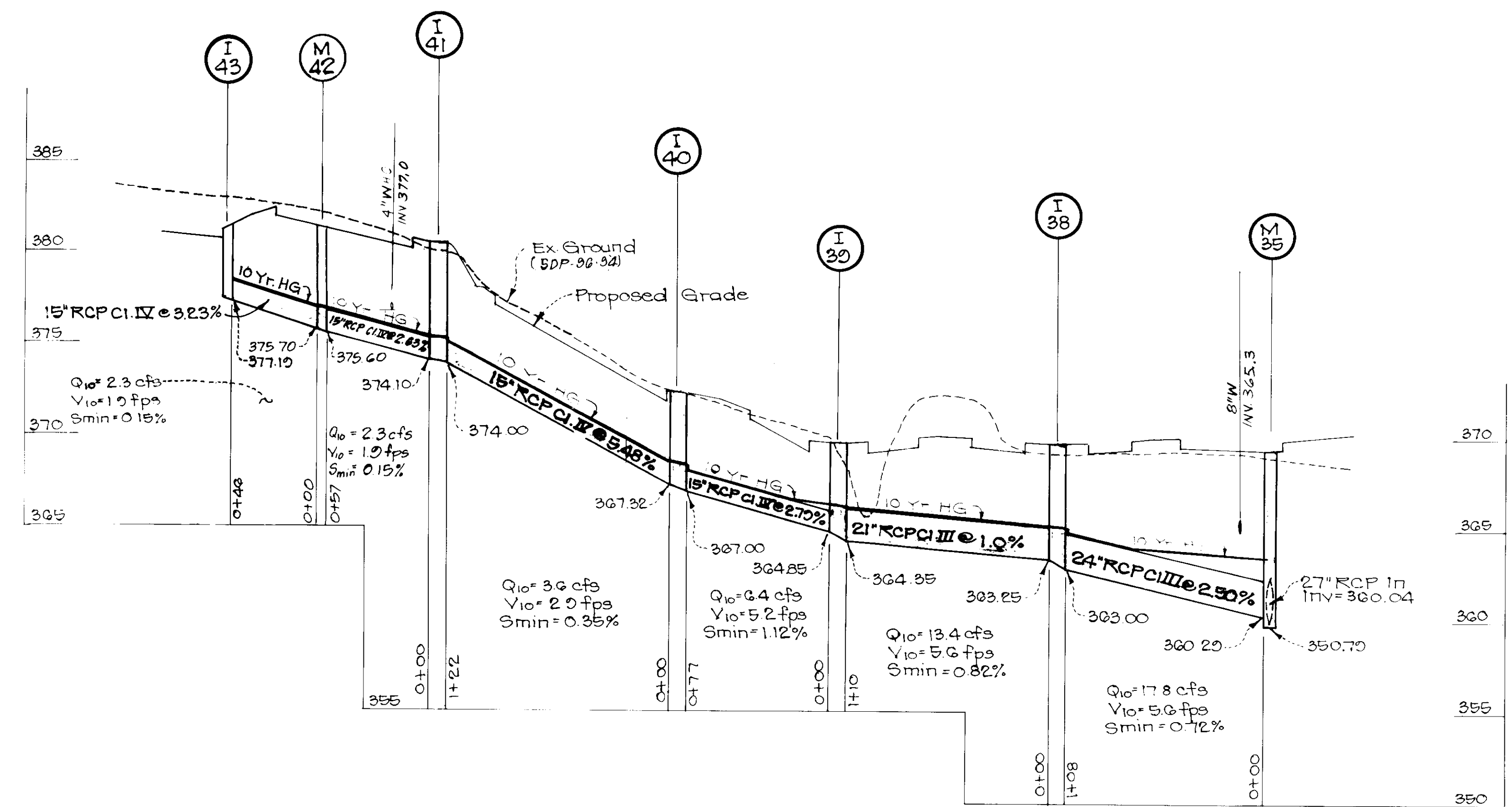
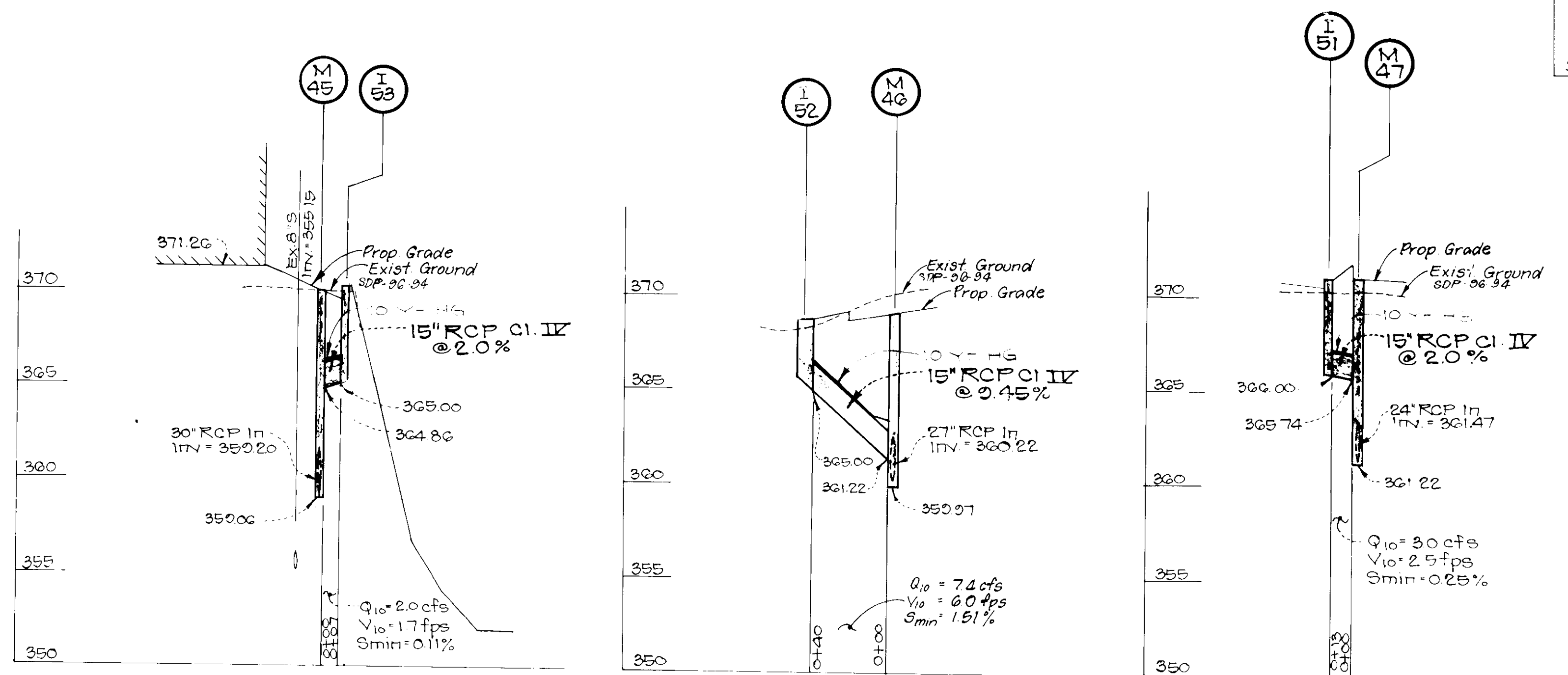
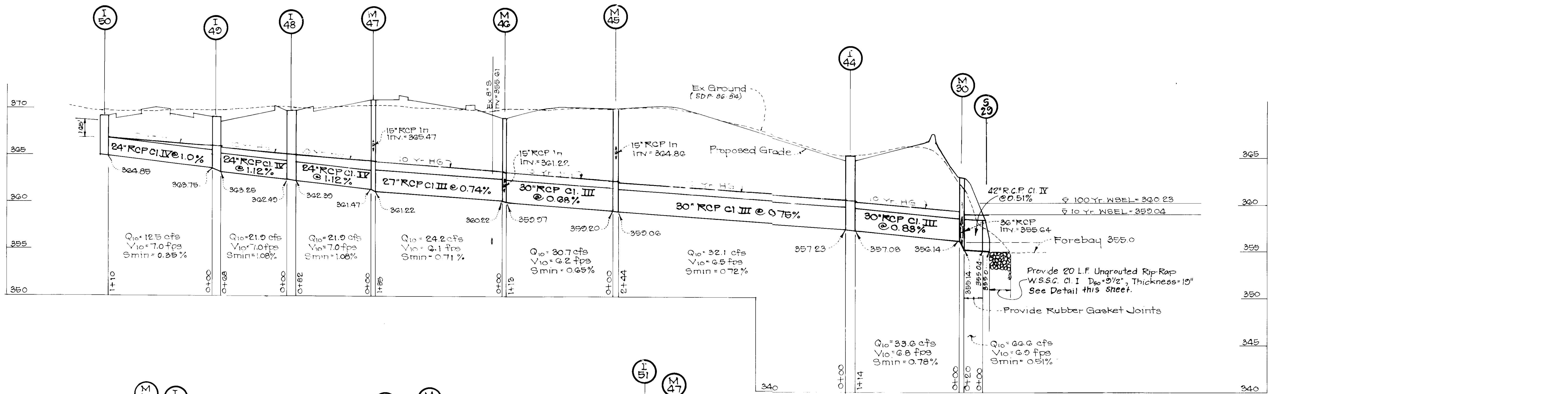
SITE AND STORM DRAIN DETAILS  
**LYNDWOOD SQUARE**  
 PARCEL A-1  
 TAX MAP 37 PARCEL  
 1ST ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

SCALE: As Shown  
 DRAWING: 60F18  
 JOB NO.: 95 132  
 FILE NO.: 95-132-X

OWNER: INVESTMENT UNITED PARTNERSHIP  
 8833-P COLUMBIA 100 PARKWAY  
 COLUMBIA, MARYLAND 21045  
 PHONE: (410) 397-7222

DATE: 6-14-96  
 DEVELOPER: TALLEY & ROBBINS DEV. CO., LLC  
 1133 GREENWOOD ROAD  
 PRESHVILLE, MARYLAND 21208  
 PHONE: (410)-486-5350





**STORM DRAIN PROFILES**

SCALE: HOR. 1"=50'  
VERT. 1"=5'

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Richard Blood* 9/4/96  
 Chief, Development Engineering Division  
*Richard Blood* 9/6/96  
 Chief, Division of Land Development and Research  
*Joseph Foster* 9/6/96  
 Director

Reviewed for HOWARD S.C.D. and meets Technical Requirements  
*J. H. Wofford* 8-27-96  
 Signature Date  
 U.S. Natural Resource Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
*John R. Robertson* 8-27-96  
 Approved

DEVELOPER'S/BUILDER'S CERTIFICATE  
 "I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I/We also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."  
*Bruce White* 6-25-96  
 NAME DATE

ENGINEER'S CERTIFICATE  
 I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.  
*G. Nelson* 6-14-96  
 DATE



1	Revised Profile from I-48 to M-42 per rev'd Bank bldg loc	1-8-97
REVISION		DATE
<b>CLARK • FINEBROCK &amp; SACKETT, INC.</b> ENGINEERS • PLANNERS • SURVEYORS 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALTO • (301) 621-8100 WASH		
DESIGNED	STORM DRAIN PROFILES	SCALE
DRAWN	<b>LYNDWOOD SQUARE</b>	As shown
CHECKED	PARCEL A-1	DRAWING
DATE	TAX MAP 37 PARCEL	7 of 13
	1ST ELECTION DISTRICT	JOB NO
	HOWARD COUNTY, MARYLAND	95-132
	OWNER:	FILE NO
	100 INVESTMENT LIMITED PARTNERSHIP	95-132-X
	1133 GREENWOOD ROAD	
	PRESVILLE, MARYLAND 21068	
	PHONE: (410) 997-7222	
	DEVELOPER	

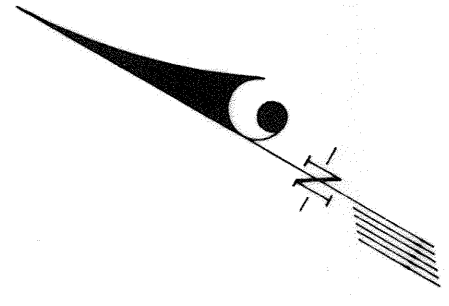


LYNDWOOD MANOR  
SECTION 1 AREA 1  
F-94-28  
PLAT 11508

LYNDWOOD MANOR  
SECTION 1 AREA 1  
F-94-28  
PLAT 11508

HOWARD COUNTY MARYLAND  
PLATS 11515 AND 11516  
F-94-28 AND F-94-26  
ZONED RSC

Total Ac. = 12.38 ac  
A = 0.50 ac SA = 22.4 imp  
C = 52  
See F-94-28 Computation



Reviewed for HOWARD S.C.D.  
and meets Technical Requirements  
Signature \_\_\_\_\_ Date \_\_\_\_\_  
U.S. Natural Resources Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED  
FOR SOIL EROSION AND SEDIMENT  
CONTROL BY THE HOWARD SOIL  
CONSERVATION DISTRICT.

Approved \_\_\_\_\_

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Richard Blood* 9/4/06  
Chief, Development Engineering Division Date  
*Richard Blood* 9/6/06  
Chief, Division of Land Development and Research Date  
*Joseph S. Smith* 9/6/06  
Director Date

Ex. SEDIMENT BASIN  
TO BE UTILIZED  
For Details Not Shown See SDP-96-92  
100 Yr. WSEL = 320.23  
10 Yr. WSEL = 350.04

**GLW Gutschick Little & Weber, P.A.**  
Civil Engineers, Land Surveyors, Land Planners, Landscape Architects  
2929 National Drive - Suite 150 - Burtonville Office Park  
Burtonville, Maryland 20806  
Tel: 301-421-4014 Balto: 410-880-1810 DC/VA: 301-980-1514 Fax: 301-421-4100

Note: There is a net increase  
in building area.  
Revision No's  $\Delta$  are the  
Responsibility of Gutschick  
Little & Weber, P.A.

*David G. Gutschick*  
29 JUNE 2005

No.	Revision	Date
$\Delta$	REVISION TO CHANGE USE LABEL TO AMBULATORY HEALTHCARE FACILITY	12-15-2021
$\Delta$	Rev. for entrance vestibule modifications	5/5/2006
$\Delta$	Rev. bldg. to show entrance vestibule modifications	6/10/09

**CLARK • FINEFROCK & SACKETT, INC.**  
ENGINEERS • PLANNERS • SURVEYORS  
7135 MINTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 - BALTO • (301) 621-8100 - WASH

DESIGNED <b>KIWM</b>	<b>DRAINAGE AREA MAP</b> <b>LYNDWOOD SQUARE</b> <b>PARCEL A-1</b> TAX MAP 37 - PARCEL 157 ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE <b>1"=50'</b>
DRAWN <b>ZAH</b>		DRAWING <b>9 OF 13</b>
CHECKED <b>KM</b>		JOB NO. <b>95-132</b>
DATE <b>6-14-06</b>		FILE NO. <b>95-132-X</b>
OWNER: 100 INVESTMENT LIMITED PARTNERSHIP 8633-P COLUMBIA 100 PARKWAY COLUMBIA, MARYLAND 21045 PHONE: (410) 997-7222		PREPARED BY: TALLIES-ROBBINS DEV. CO. LLC 1133 GREENWOOD ROAD PIKESVILLE, MARYLAND 21208 PHONE: (410)-488-5350

SDP-96-100







LYNDWOOD MANOR  
SECTION 1 AREA 1  
F-94-28  
PLAT 11508

LYNDWOOD MANOR  
SECTION 1 AREA 1  
F-94-28  
PLAT 11508

HOWARD COUNTY MARYLAND  
PLATS 11515 AND 11516  
F-94-28 AND F-94-28  
ZONED RSC

**LEGEND**

- Contour Interval 2 ft.
- Proposed Contour 372
- Existing Contour 364
- Spot Elevation +705
- Direction of Drainage
- Earth Dike
- Stone Outlet Structure
- Stabilized Construction
- Entrance w/mountable berm

**GLW Gutschick Little & Weber, P.A.**  
Civil Engineers, Land Surveyors, Land Planners, Landscape Architects  
3909 National Drive - Suite 1500 - Burtonsville, Maryland Office Park  
Burtonsville, Maryland 20814  
Tel: 301-421-4014 Fax: 301-421-4100  
Note: There is no increase in building area.  
Revision Nos.  $\Delta$  are the Responsibility of Gutschick Little & Weber, P.A.

*David Seiber*  
29 JUNE 2005

No.	Revision	Date
1	Rev. bldg. to show entrance vestibule modifications	5/15/96
2	Rev. for entrance vestibule modifications	5/15/96
3	REVISION TO CHANGE BANK USE LABEL TO AMBULATORY HEALTHCARE FACILITY	12/15/96

Reviewed for HOWARD S.C.D. and meets Technical Requirements  
*J. H. Weidner* 9/27/96  
Signature Date  
U.S. Natural Resources Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
*John R. Robertson* 8-27-96  
Approved

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Richard Blood* 9/14/96  
Chief, Development Engineering Division Date  
*Richard Blood* 9/6/96  
Chief, Division of Land Development and Research Date  
*Joseph Smith* 9/6/96  
Director Date

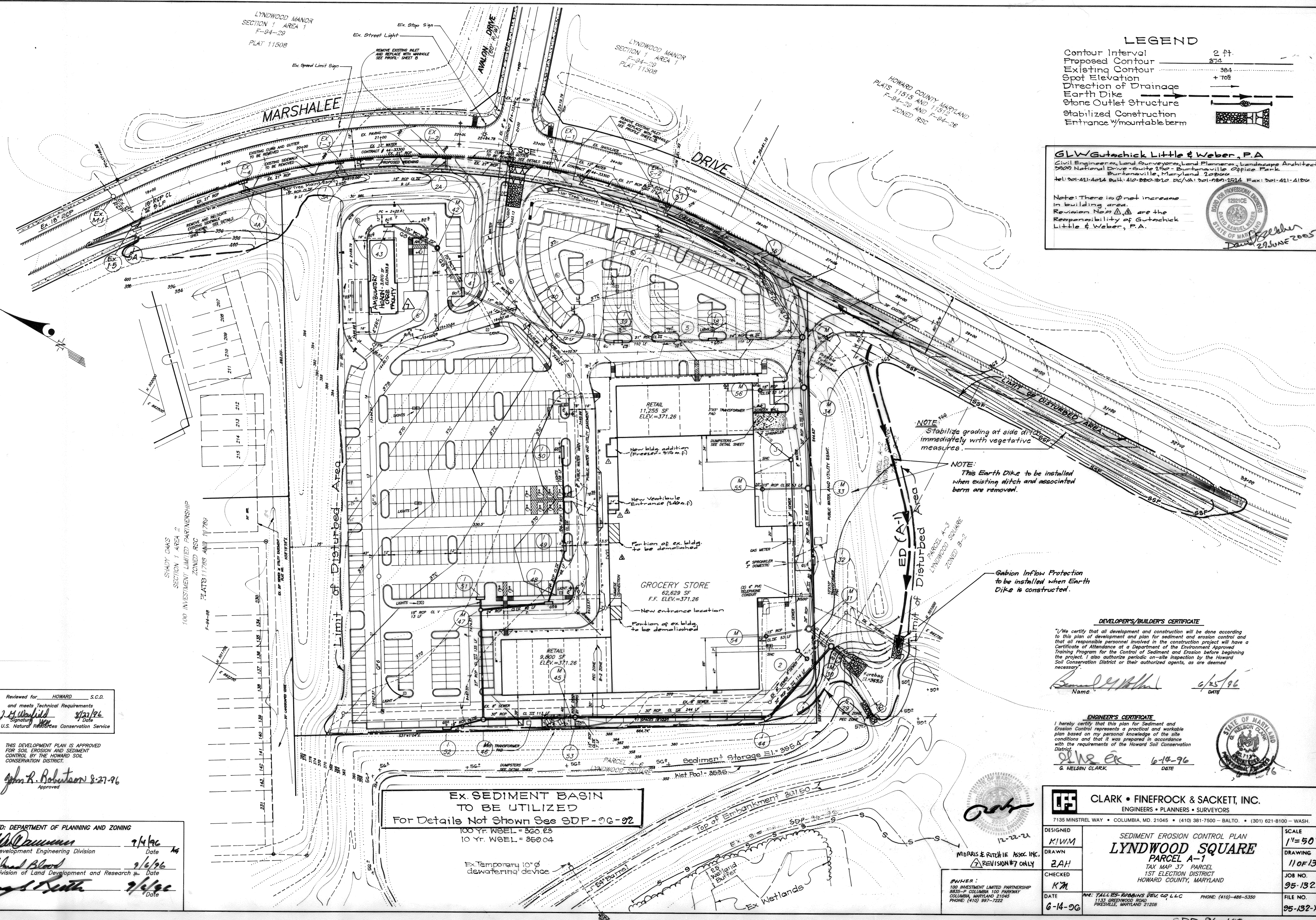
**Ex. SEDIMENT BASIN TO BE UTILIZED**  
For Details Not Shown See SDP-96-92  
100 Yr. WSEL = 360.23  
10 Yr. WSEL = 350.04

**DEVELOPER'S/BUILDER'S CERTIFICATE**  
"We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."  
*Samuel J. Miller* 6/25/96  
Name DATE

**ENGINEER'S CERTIFICATE**  
I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.  
*G. Nelson Clark* 6-14-96  
G. NELSON CLARK DATE

**CLARK • FINEFROCK & SACKETT, INC.**  
ENGINEERS • PLANNERS • SURVEYORS  
7135 MISTREL WAY • COLUMBIA, MD. 21046 • (410) 381-7500 - BALTO. • (301) 821-8100 - WASH.

DESIGNED KIWM	<b>SEDIMENT EROSION CONTROL PLAN</b> <b>LYNDWOOD SQUARE</b> PARCEL A-1 TAX MAP 37 PARCEL 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1" = 50'
DRAWN ZAH		DRAWING 11 OF 13
CHECKED KM		JOB NO. 95-132
DATE 6-14-96		FILE NO. 95-132-X
OWNER: 100 INVESTMENT LIMITED PARTNERSHIP 8835-P COLUMBIA 100 PARKWAY COLUMBIA, MARYLAND 21045 PHONE: (410) 997-7222		PREPARED BY: TALLER-ROBBINS DEV. CO. LLC 1135 GREENWOOD ROAD Pikesville, Maryland 21208 PHONE: (410) 486-5350



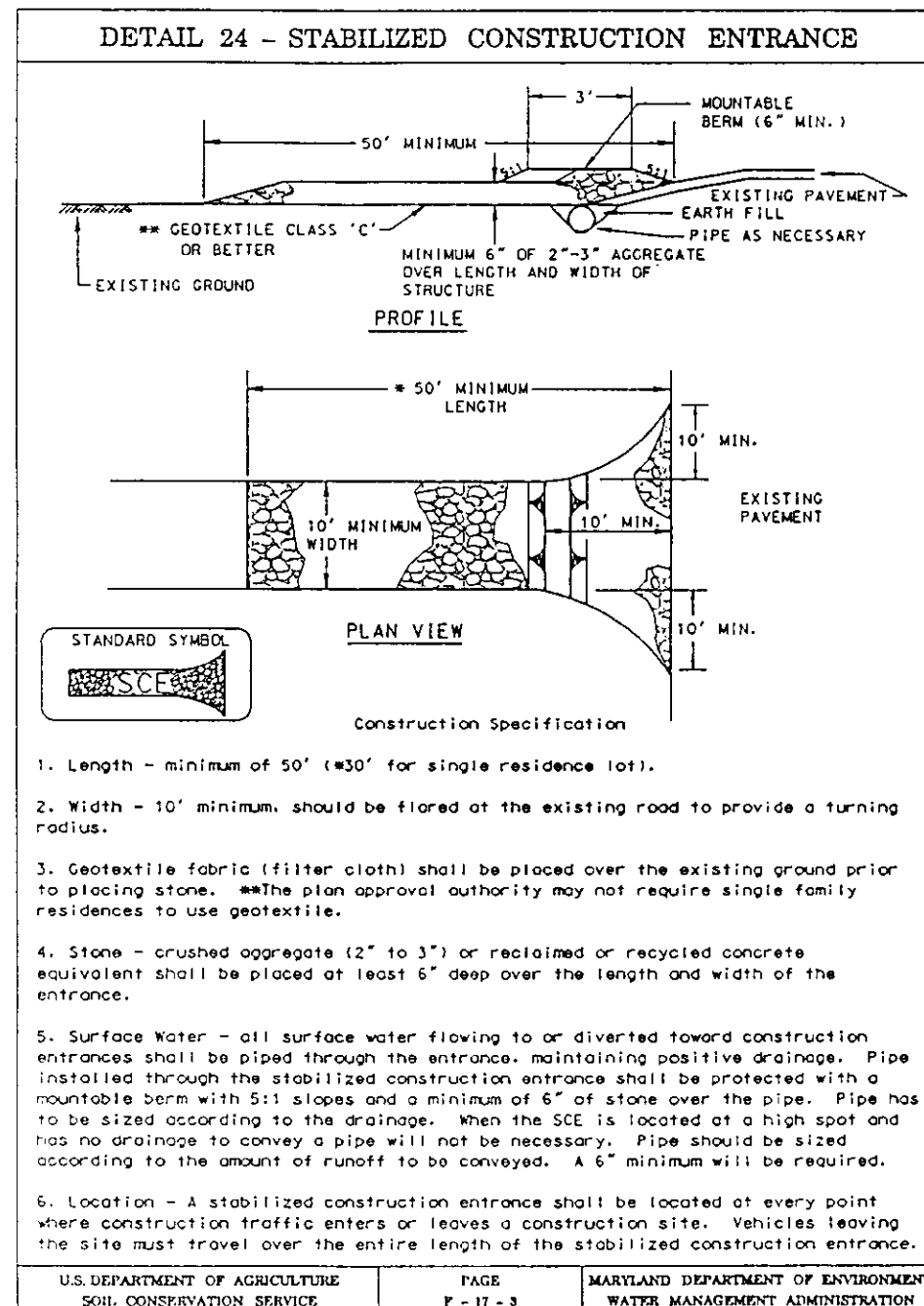
NOTE: Stabilize grading at side ditch immediately with vegetative measures.

NOTE: This Earth Dike to be installed when existing ditch and associated berm are removed.

Gabion Inflow Protection to be installed when Earth Dike is constructed.

*Out*  
MORRIS & RITZLIE ASSOC. INC.  
REVISION #7 ONLY





**PERMANENT SEEDING NOTES**

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: In lieu of soil test recommendations, use one of the following schedules:

- 1) Preferred—Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq.ft.) and 600 lbs per acre 10-10-10 fertilizer (14 lbs./1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil. At the time of seeding apply 400 lbs. per acre 30-0-0 ureaform fertilizer (9 lbs./1000 sq.ft.)
- 2) Acceptable—Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq.ft.) and apply 1000 lbs. per acre 10-10-10 fertilizer (23 lbs./1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil.

SEEDING: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs. per acre (1.4 lbs./1000 sq.ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (.05 lbs./1000 sq.ft.) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) 2 tons per acre well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs./acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq. ft.) of unrattled small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq.ft.) for anchoring.

MAINTENANCE: Inspect all seeded areas and make needed repairs, replacements and reseedings.

**SEDIMENT AND EROSION CONTROL NOTES**

1. A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (313-1855).
2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECS. FOR SOIL EROSION AND SEDIMENT CONTROL.
3. Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within:
  - a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1
  - b) 14 days as to all other disturbed or graded areas on the project site.
4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeters in accordance with Vol.1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
5. All disturbed areas must be stabilized within the time period specified above, in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings, sod, temporary seedings and mulching (Sec. 6-20-1 thru 6-23-3). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
7. SITE ANALYSIS:
 

Total Area of Site:	10.13 AC
Area Disturbed:	11.62 AC
Area to be roofed or paved:	10.0 AC
Area to be vegetatively stabilized:	1.62 AC
Total Cut:	5000 CU
Total Fill:	5000 CU
Offsite Waste/Borrow Area Location:	
8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
9. Additional sediment control must be provided, if deemed necessary by the Howard County DPW Sediment Control Inspector.
10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
11. The total amount of silt fence = 500 LF

\*It is the responsibility of the contractor to identify the spoil/borrow site and notify and gain approval from the sediment control inspector of the site and its grading permit number at the time of construction.

**21.0 STANDARDS AND SPECIFICATIONS**

**FOR TOPSOIL**

**Definition**

Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

**Purpose**

To provide a suitable soil medium for vegetable growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

**Conditions Where Practice Applies**

- i. This practice is limited to areas having 2:1 or flatter slopes where:
  - a. The texture of the exposed subsoil/parent material is not adequate to produce vegetable growth.
  - b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
  - c. The original soil to be vegetated contains material toxic to plant growth.
  - d. The soil is so acidic that treatment with limestone is not feasible.
- ii. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

**Construction and Material Specifications**

- i. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.
- ii. Topsoil Specifications - Soil to be used as topsoil must meet the following:
  - i. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or a soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 and 1/2" in diameter.
  - ii. Topsoil must be free of plants or plant parts such as Bermuda grass, quackgrass, johnsongrass, nutsedge, poison ivy, thistle, or others as specified.
  - iii. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
- iii. For sites having disturbed areas under 5 acres:
  - i. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

**V. Topsoil Application**

- i. When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.
- ii. Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4" - 8" higher in elevation.
- iii. Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
- iv. Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

**TEMPORARY SEEDING NOTES**

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq.ft.)

SEEDING: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2 1/2 bushel per acre of annual ryegrass (3.2 lbs./1000 sq.ft.) For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (.07 lbs./1000 sq.ft.). For the period November 1 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq.ft.) of unrattled small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq.ft.) for anchoring.

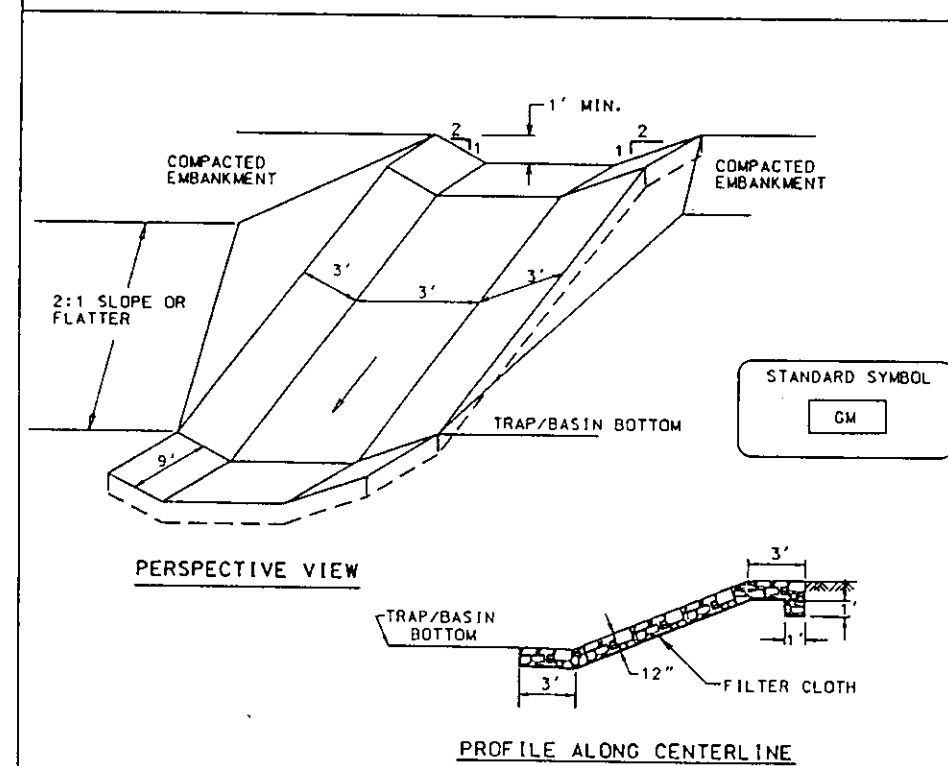
REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

**CONSTRUCTION SEQUENCE:**

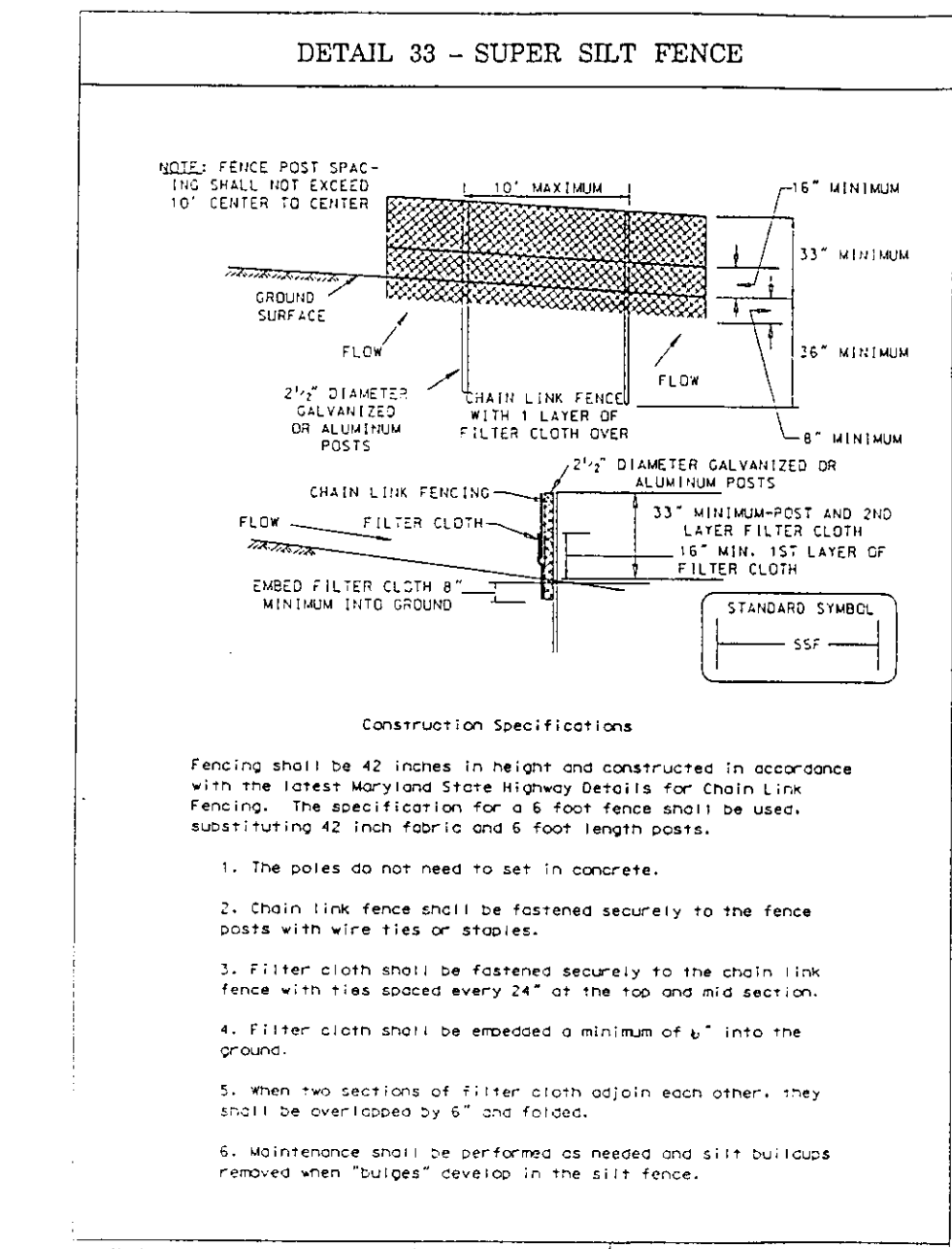
CONSTRUCTION SEQUENCE:	NO. OF DAYS
1. Obtain Grading Permit.....	7
2. Install Stabilized Construction Entrance.....	7
3. Construct Storm Drain from I-50 to outfall s-29.....	10
4. Excavate for foundation and buildings, construct water and sewer and utilities.....	180
A. The Earth dike at the South end of the site to be installed, as needed when the existing ditch and associated berm are removed.	
B. Super silt fence to be installed as needed, to complete the side ditch construction.	
5. Fine grade and construct curb and gutter, paving and sidewalks.....	60
6. Stabilize all disturbed areas on-site in accordance with the Standards and Specifications.....	14
7. Upon approval of the Sediment Control Inspector, remove sediment and erosion control measures.....	14

\*This sequence may vary depending on construction scheduling.

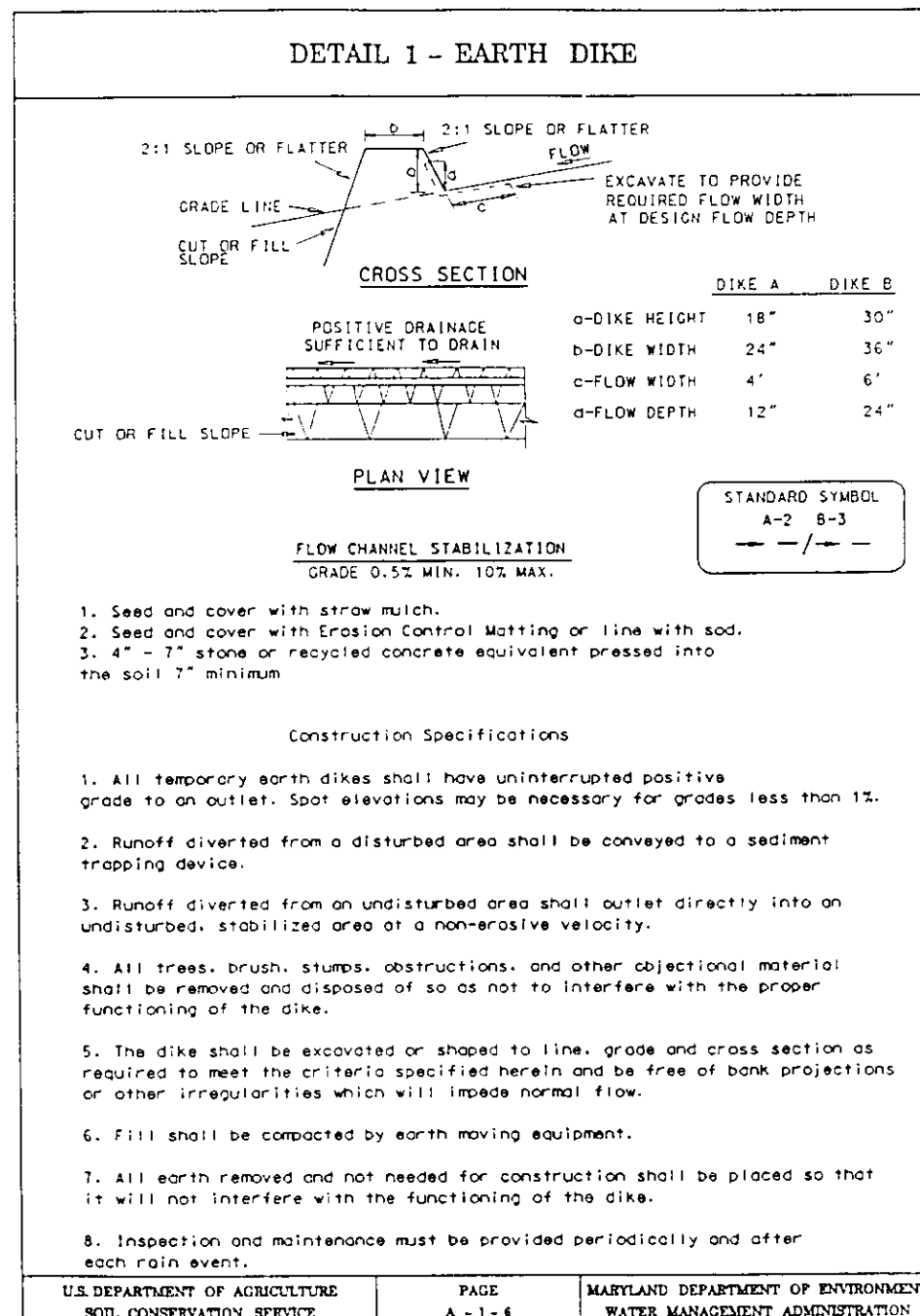
**DETAIL 6 - GABION INFLOW PROTECTION**



U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE B - 1 - 2	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE B - 1 - 3	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE A - 1 - 1	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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Reviewed for HOWARD S.C.D. and meet Technical Requirements  
Signature: [Signature] Date: 9/2/96  
U.S. Natural Resources Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
Signature: [Signature] Date: 9/2/96  
Approved

DEVELOPER'S/BUILDER'S CERTIFICATE  
I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.  
Signature: [Signature] Date: [Date]

ENGINEER'S CERTIFICATE  
I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.  
Signature: [Signature] Date: 6-14-96  
G. Nelson Clark



APPROVED: DEPARTMENT OF PLANNING AND ZONING  
Signature: [Signature] Date: 9/4/96  
Chief, Development Engineering Division  
Signature: [Signature] Date: 9/6/96  
Chief, Division of Land Development and Research  
Signature: [Signature] Date: 9/6/96  
Director

**CLARK • FINEFROCK & SACKETT, INC.**  
ENGINEERS • PLANNERS • SURVEYORS  
7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 - BALTO • (301) 621-8100 - WASH.

DESIGNED KIWM	SEDIMENT EROSION CONTROL DETAIL SHEET <b>LYNDWOOD SQUARE</b> PARCEL A-1 TAX MAP 37 PARCEL 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE As SHOWN
DRAWN ZAH		DRAWING 12 OF 13
CHECKED KAL		JOB NO. 95-192
DATE 6-14-96		FILE NO. 95-192-X
OWNER: 100 INVESTMENT LIMITED PARTNERSHIP 8835-P COLUMBIA 100 PARKWAY COLUMBIA, MARYLAND 21045 PHONE: (410) 987-7222		DR: TALLER-ROBINSON'S DEV. CO., LLC 1133 GREENWOOD ROAD PRESHVILLE, MARYLAND 21208 PHONE: (410)-486-5350





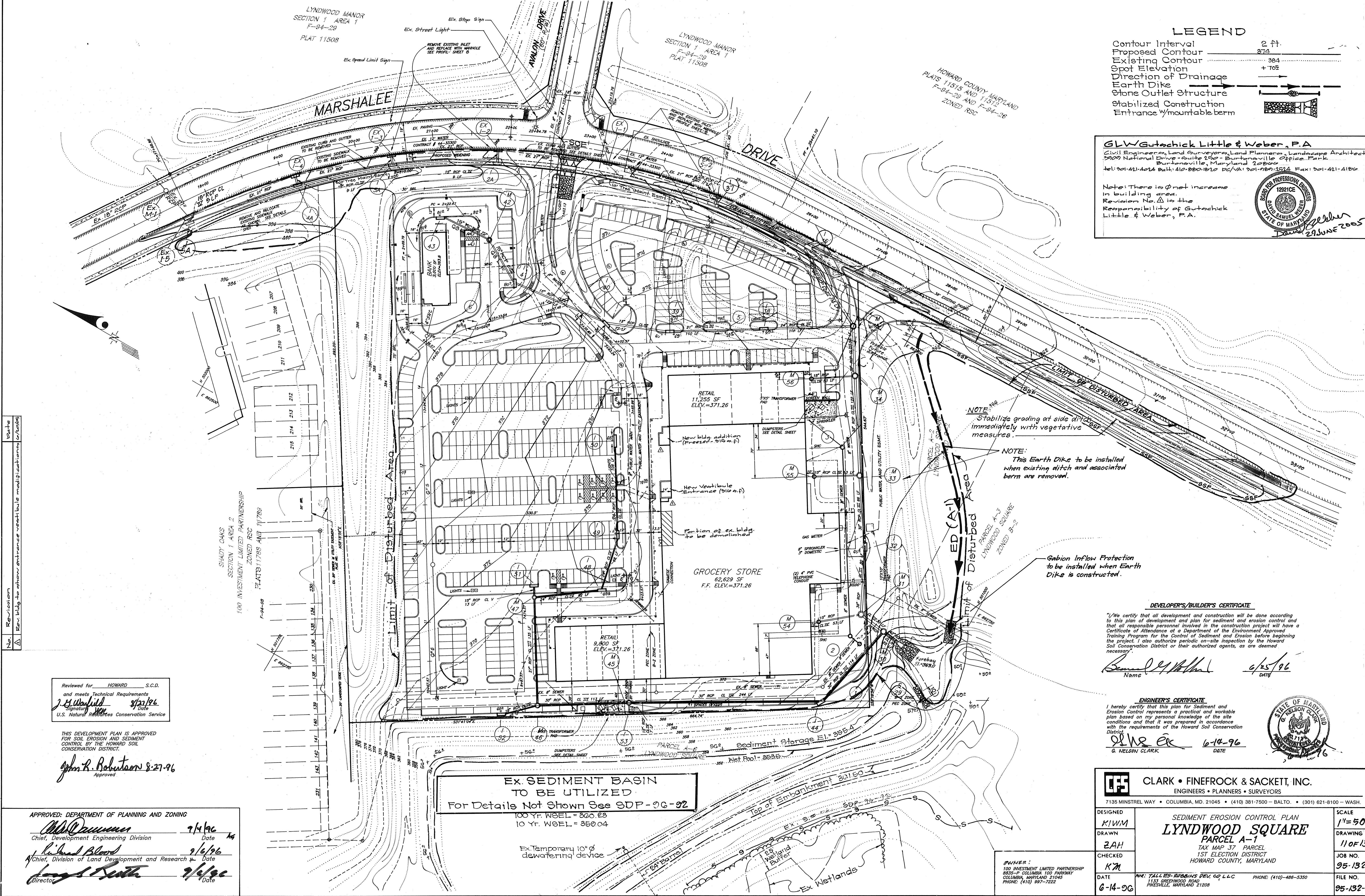
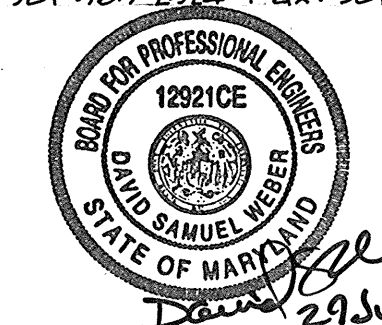


**LEGEND**

- Contour Interval 2 ft.
- Proposed Contour 374
- Existing Contour 384
- Spot Elevation +705
- Direction of Drainage
- Earth Dike
- Stone Outlet Structure
- Stabilized Construction
- Entrance w/mountable berm

**GLWGutschick Little & Weber, P.A.**  
 Civil Engineers, Land Surveyors, Land Planners, Landscape Architects  
 5900 National Drive - Suite 252 - Burtonville Office Park  
 Burtonville, Maryland 20806  
 Tel: 301-411-4014 Bk: 410-880-1820 DC/VA: 301-289-1514 Fax: 301-411-4100

Note: There is no net increase in building area.  
 Revision No. Δ is the responsibility of Gutschick Little & Weber, P.A.



NOTE: Stabilize grading at side ditch immediately with vegetative measures.

NOTE: This Earth Dike to be installed when existing ditch and associated berm are removed.

Gabion Inflow Protection to be installed when Earth Dike is constructed.

**DEVELOPER'S/BUILDER'S CERTIFICATE**

"I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

Samuel J. Weber 6/25/96  
 Name DATE

**ENGINEER'S CERTIFICATE**

I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

G. Nelson Clark 6-14-96  
 G. NELSON CLARK DATE



Reviewed for HOWARD S.C.D. and meets Technical Requirements  
 J. H. Wayfield 8/27/96  
 Signature Date  
 U.S. Natural Resources Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
 John R. Robertson 8-27-96  
 Approved

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 Chief, Development Engineering Division 9/4/96  
 Chief, Division of Land Development and Research 9/6/96  
 Director 9/6/96

**Ex. SEDIMENT BASIN TO BE UTILIZED**  
 For Details Not Shown See SDP-96-92  
 100 Yr. WSEL = 360.23  
 10 Yr. WSEL = 350.04

**CLARK • FINEFROCK & SACKETT, INC.**  
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DESIGNED KIWM	<b>SEDIMENT EROSION CONTROL PLAN</b> <b>LYNDWOOD SQUARE</b> PARCEL A-1 TAX MAP 37 PARCEL 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1"=50'
DRAWN ZAH		DRAWING 110F13
CHECKED KM		JOB NO. 95-132
DATE 6-14-96		FILE NO. 95-132-X

OWNER: 100 INVESTMENT LIMITED PARTNERSHIP 8835-P COLUMBIA 100 PARKWAY COLUMBIA, MARYLAND 21045 PHONE: (410) 997-7222

NOTE: TALLER, ROBBIAN'S DEV. CO. LLC 1133 GREENWOOD ROAD PIKESVILLE, MARYLAND 21208 PHONE: (410)-486-5350

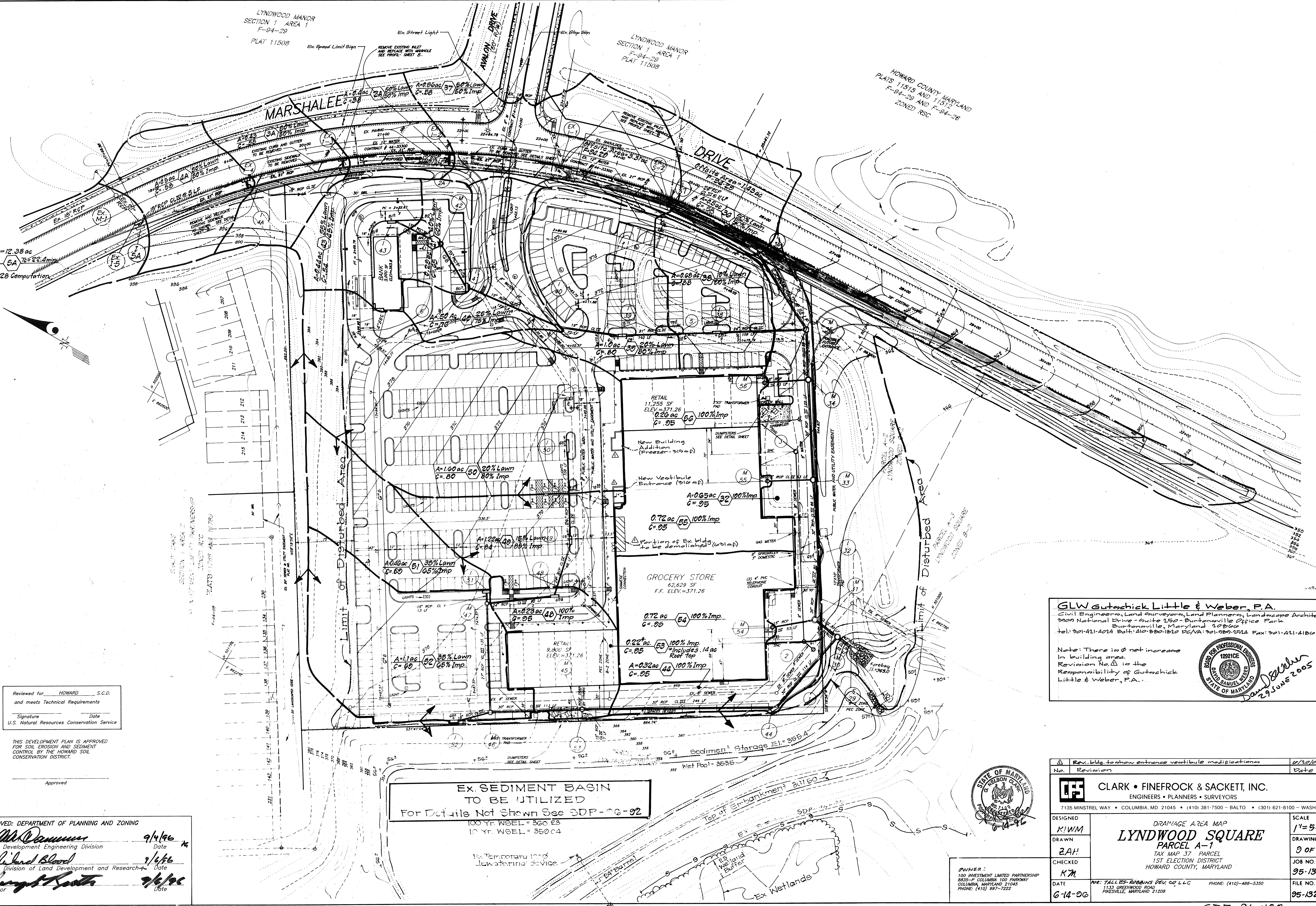


LYNDWOOD MANOR  
SECTION 1 AREA 1  
F-94-28  
PLAT 11508

LYNDWOOD MANOR  
SECTION 1 AREA 1  
F-94-28  
PLAT 11508

HOWARD COUNTY MARYLAND  
PLATS 11515 AND 11516  
F-94-28 AND F-94-26  
ZONED R5C

Total Ac = 12.38 ac  
A = 0.50 ac 5A 75 = 22.4 imp  
C = 52  
See F-94-28 Computations



Reviewed for HOWARD S.C.D.  
and meets Technical Requirements  
Signature Date  
U.S. Natural Resources Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED  
FOR SOIL EROSION AND SEDIMENT  
CONTROL BY THE HOWARD SOIL  
CONSERVATION DISTRICT.

Approved

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Richard Blood* 9/4/96  
Chief, Development Engineering Division Date  
*Richard Blood* 9/6/96  
Chief, Division of Land Development and Research Date  
*Joseph Sauter* 9/6/96  
Director Date

Ex SEDIMENT BASIN  
TO BE UTILIZED  
For Details Not Shown See SDP-96-92  
100 Yr. WSEL = 360.23  
10 Yr. WSEL = 350.04

GLW Gutschick Little & Weber, P.A.  
Civil Engineers, Land Surveyors, Land Planners, Landscape Architects  
3900 National Drive Suite 250 - Burtonsville Office Park  
Burtonsville, Maryland 20866  
Tel: 301-421-4024 Balt: 410-800-1810 DC/VA: 301-929-1514 Fax: 301-421-4180

Note: There is a net increase  
in building area.  
Revision No. Δ is the  
Responsibility of Gutschick  
Little & Weber, P.A.

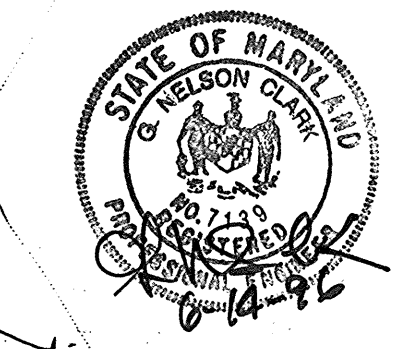


*David Weber*  
29 JUNE 2005

No.	Revision	Date
1	Rev. bldg. to show entrance vestibule modifications	10/20/05

CLARK • FINEROCK & SACKETT, INC.  
ENGINEERS • PLANNERS • SURVEYORS  
7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 - BALTO • (301) 621-8100 - WASH

DESIGNED	SCALE
KIWM	1" = 50'
DRAWN	
ZAH	9 OF 13
CHECKED	
KM	95-132
DATE	
6-14-06	FILE NO. 95-132-X

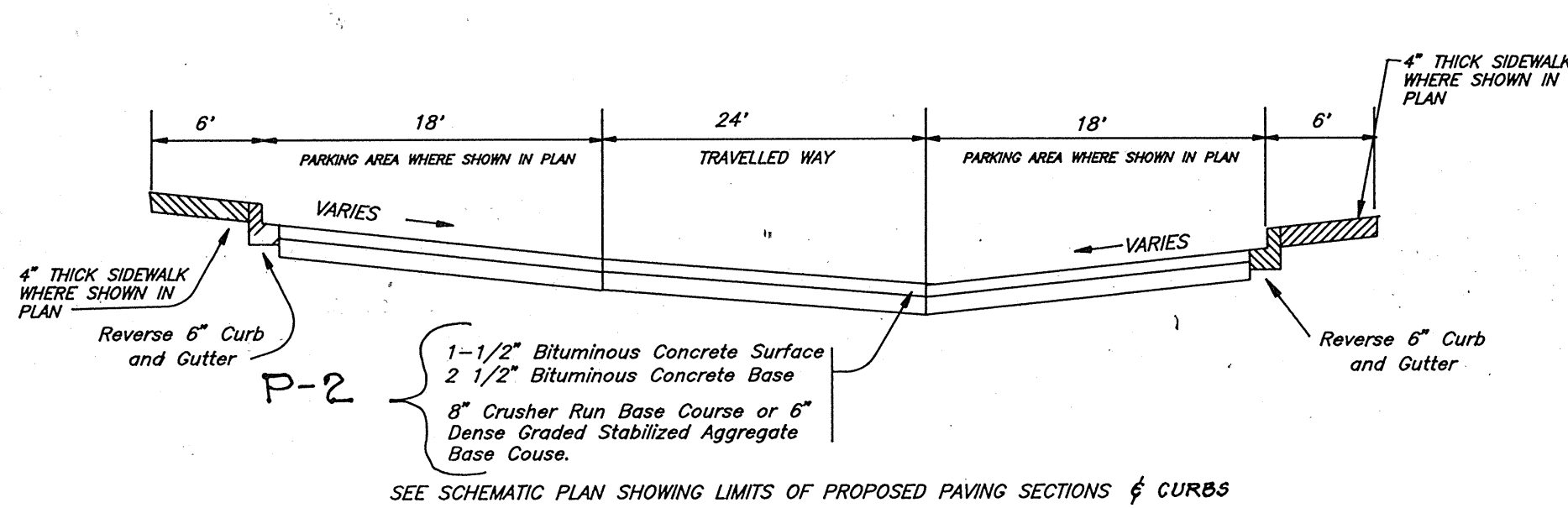


OWNER:  
100 INVESTMENT LIMITED PARTNERSHIP  
885-C COLUMBIA 100 PARKWAY  
COLUMBIA, MARYLAND 21045  
PHONE: (410) 997-7222

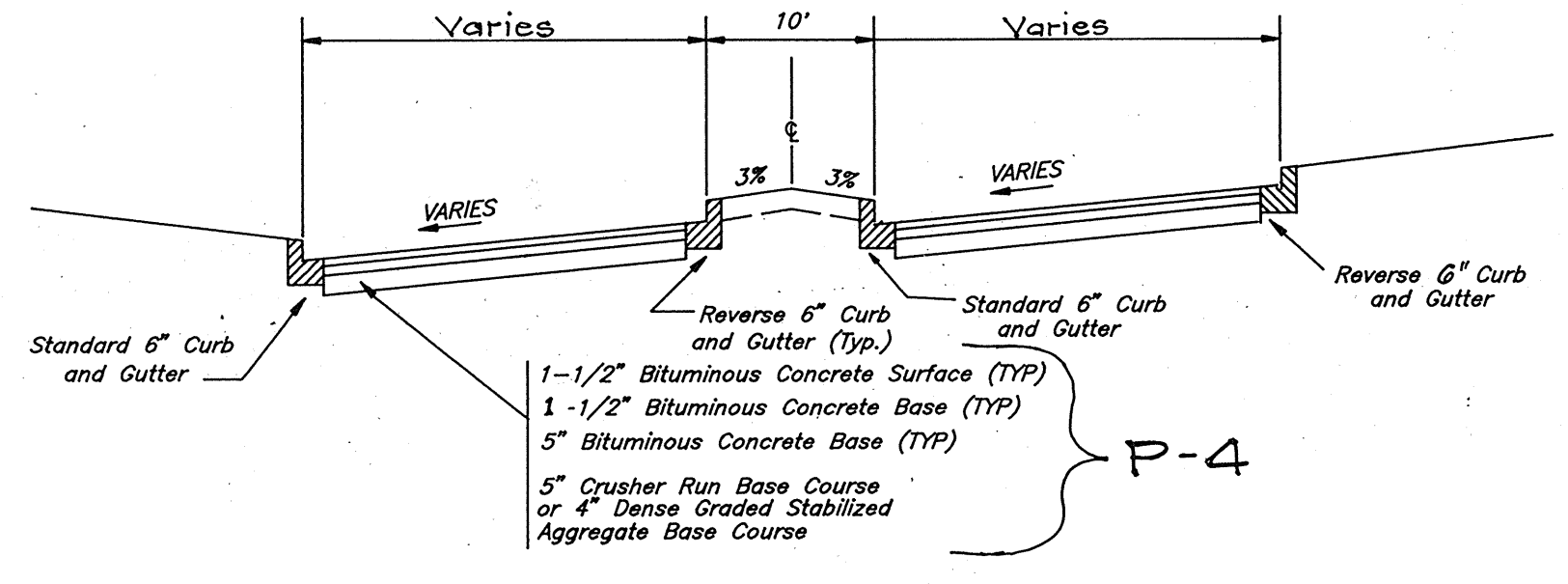
DRAINAGE AREA MAP  
**LYNDWOOD SQUARE**  
PARCEL A-1  
TAX MAP 37 PARCEL  
1ST ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

SDP-96-100

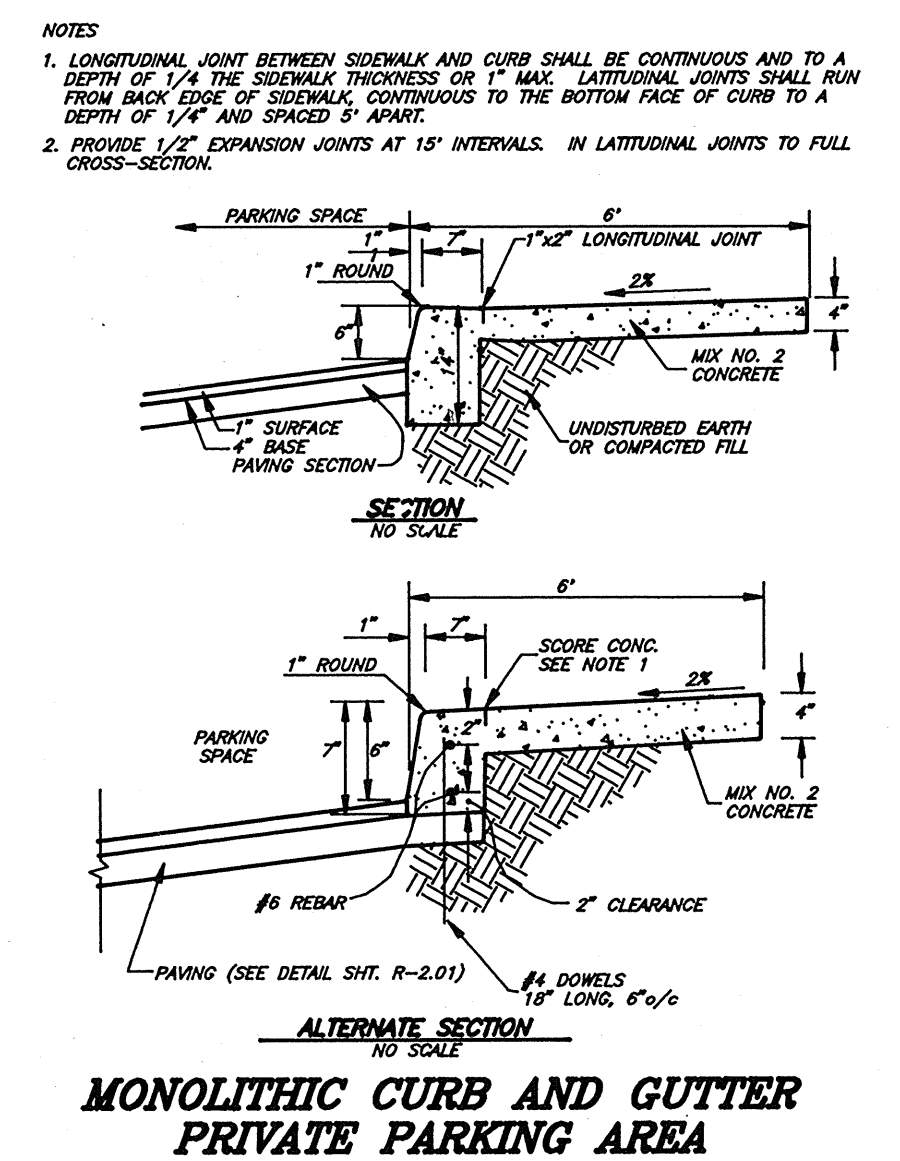




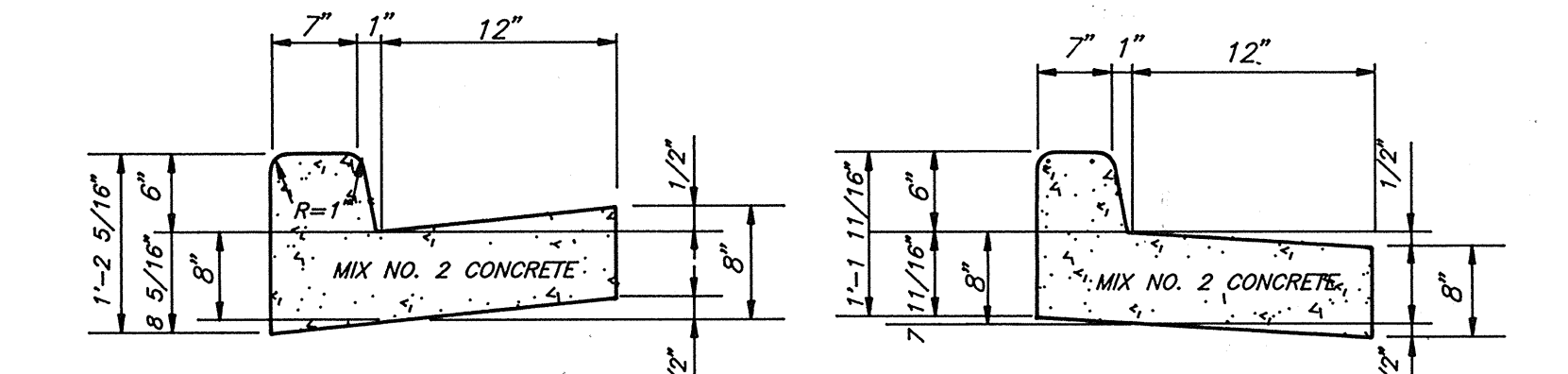
**TYPICAL PAVING SECTION PRIVATE PARKING AREAS**  
NO SCALE



**TYPICAL PAVING SECTION MAIN ENTRANCE**  
NO SCALE

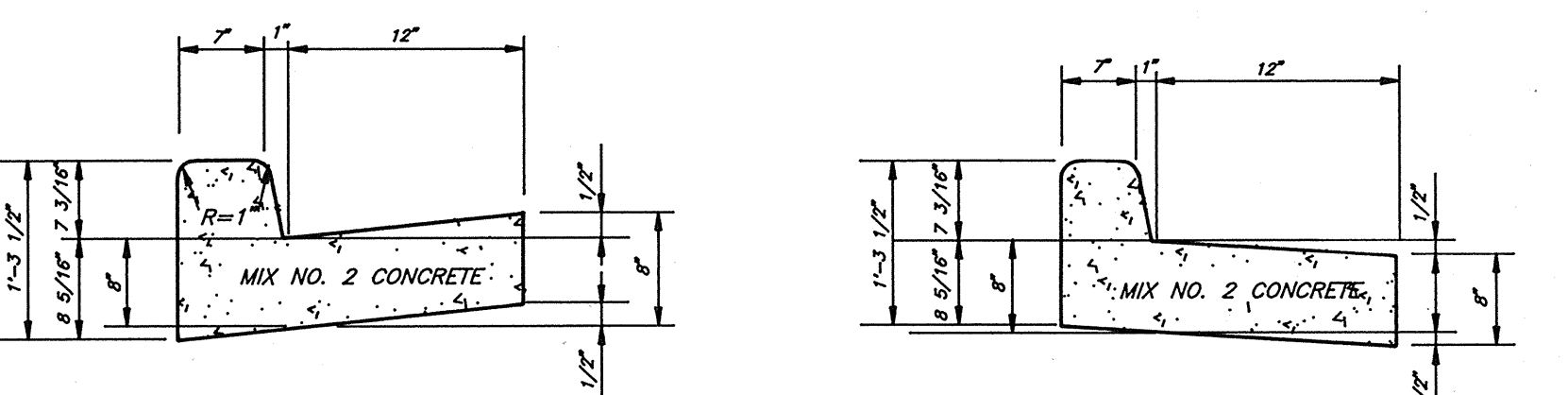


**MONOLITHIC CURB AND GUTTER PRIVATE PARKING AREA**



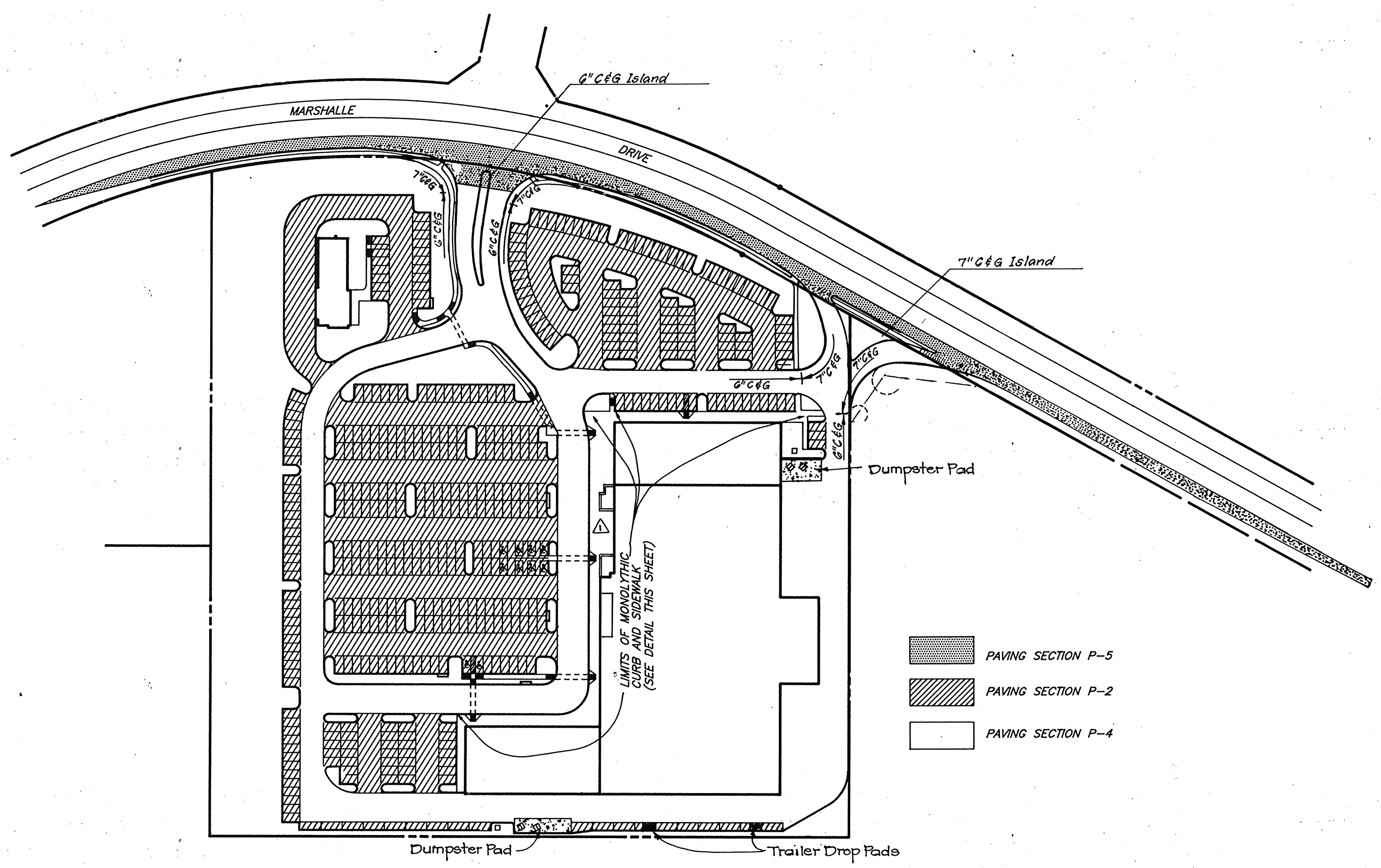
**STANDARD 6" COMBINATION CURB AND GUTTER**  
NO SCALE

**REVERSE 6" COMBINATION CURB AND GUTTER**  
NO SCALE



**STANDARD 7" COMBINATION CURB AND GUTTER**  
NO SCALE

**REVERSE 7" COMBINATION CURB AND GUTTER**  
NO SCALE



**SCHEMATIC PLAN SHOWING LIMITS OF PROPOSED PAVING SECTIONS**

SCALE: 1"=100'

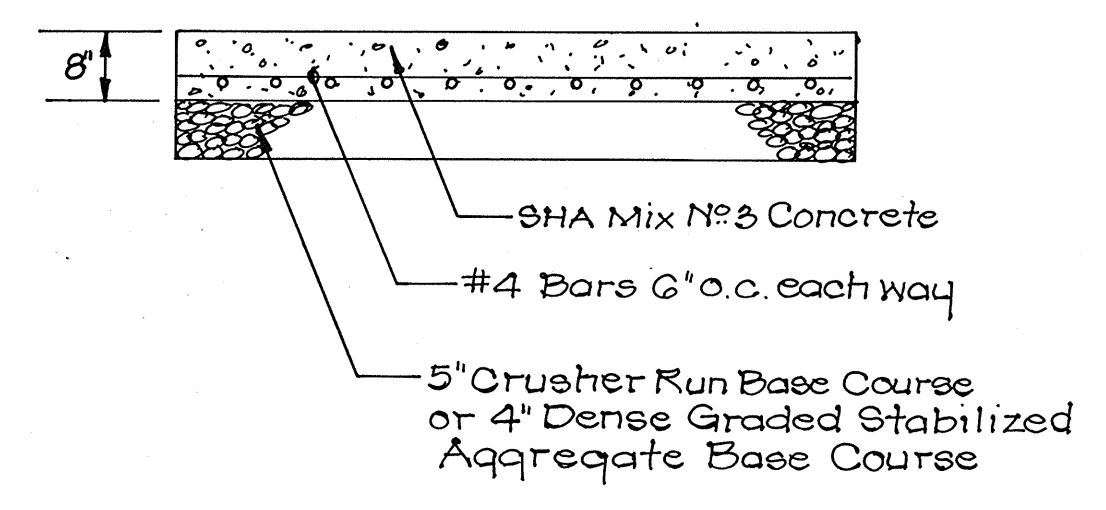
- PAVING SECTION P-5
- PAVING SECTION P-2
- PAVING SECTION P-4

1-1/2" Bituminous Concrete Surface	1-1/2"	1-1/2" Bituminous Concrete Surface	1-1/2"	1-1/2" Bituminous Concrete Surface	1-1/2"
2-1/2" Bituminous Concrete Base	2-1/2"	1-1/2" Bituminous Concrete Base	1-1/2"	1-1/2" Bituminous Concrete Base	1-1/2"
8" Crusher Run Base Course or 6" Dense Graded Stabilized Aggregate Base Course	8"	5" Bituminous Concrete Base	5"	5" Bituminous Concrete Base	5"
		5" Crusher Run Base Course or 4" Dense Graded Stabilized Aggregate Base Course	5" or 4"	5" Crusher Run Base Course (2 Courses) or 6" Dense Graded Stabilized Aggregate Base Course	9" or 6"

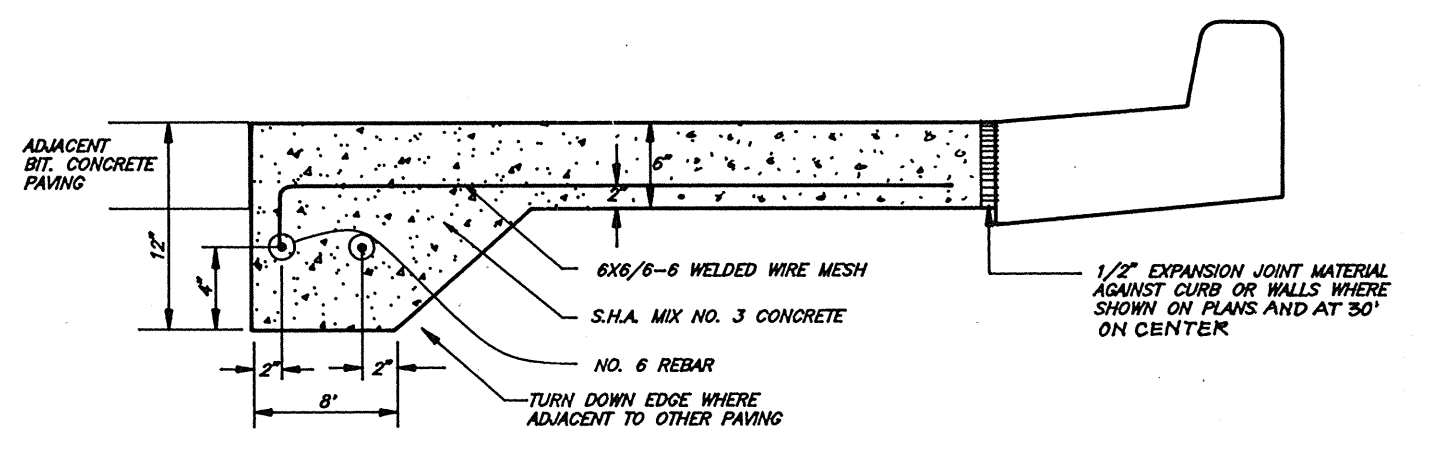
SECTION P-2

SECTION P-4

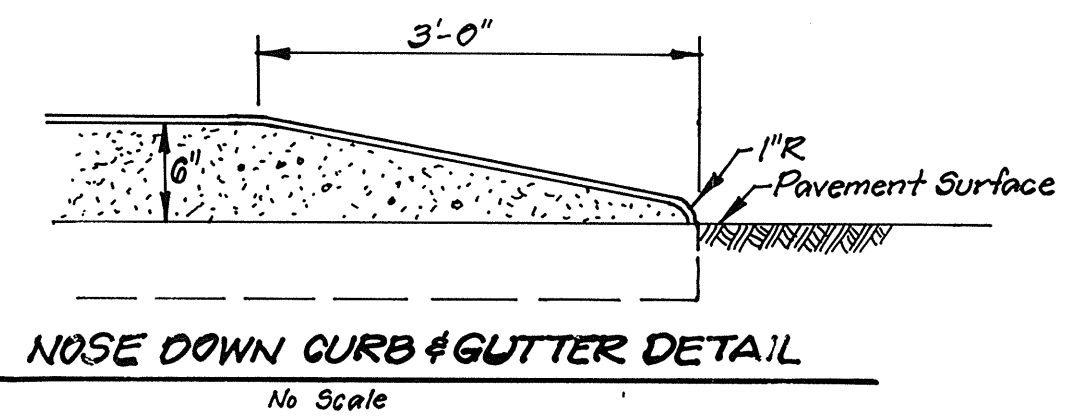
SECTION P-5



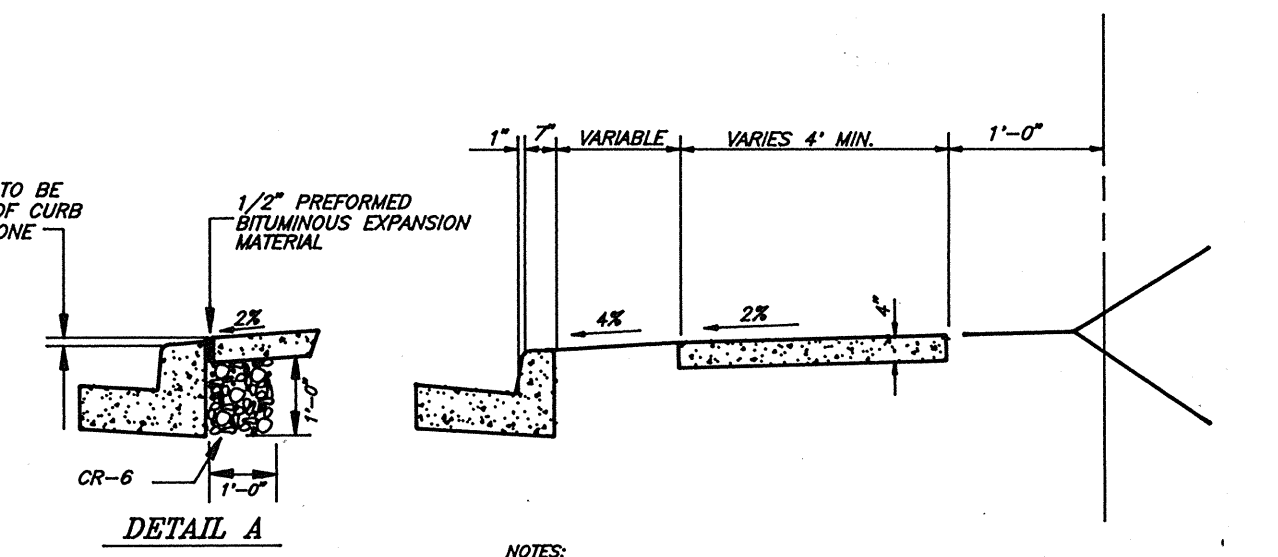
**TRAILER DROP PAD PAVING DETAIL**  
NO SCALE



**DUMPSTER PAD AND PAVING DETAIL**  
NO SCALE



**NOSE DOWN CURB & GUTTER DETAIL**  
No Scale



**CONCRETE SIDEWALK DETAIL**  
NO SCALE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 Chief, Development Engineering Division  
 Chief, Division of Land Development and Research  
 Director

**GLW Gutschick Little & Weber, P.A.**  
 Civil Engineers, Land Surveyors, Land Planners, Landscape Architects  
 3000 National Drive - Suite 250 - Burtonsville, Office Park  
 Burtonsville, Maryland 20886  
 Tel: 301-421-4024 Baltimore: 410-882-1810 DC/VA: 301-980-2514 Fax: 301-421-4186

Note: There is no net increase in building area. Revision A is the responsibility of Gutschick Little & Weber, P.A.

Rev. schematic plan to show entrance vestibule modifications 6/10/05

CLARK • FINEFROCK & SACKETT, INC.  
 ENGINEERS • PLANNERS • SURVEYORS  
 7135 MINSTREL WAY • COLUMBIA, MD. 21045 • (410) 381-7500 - BALTO. • (301) 621-8100 - WASH.

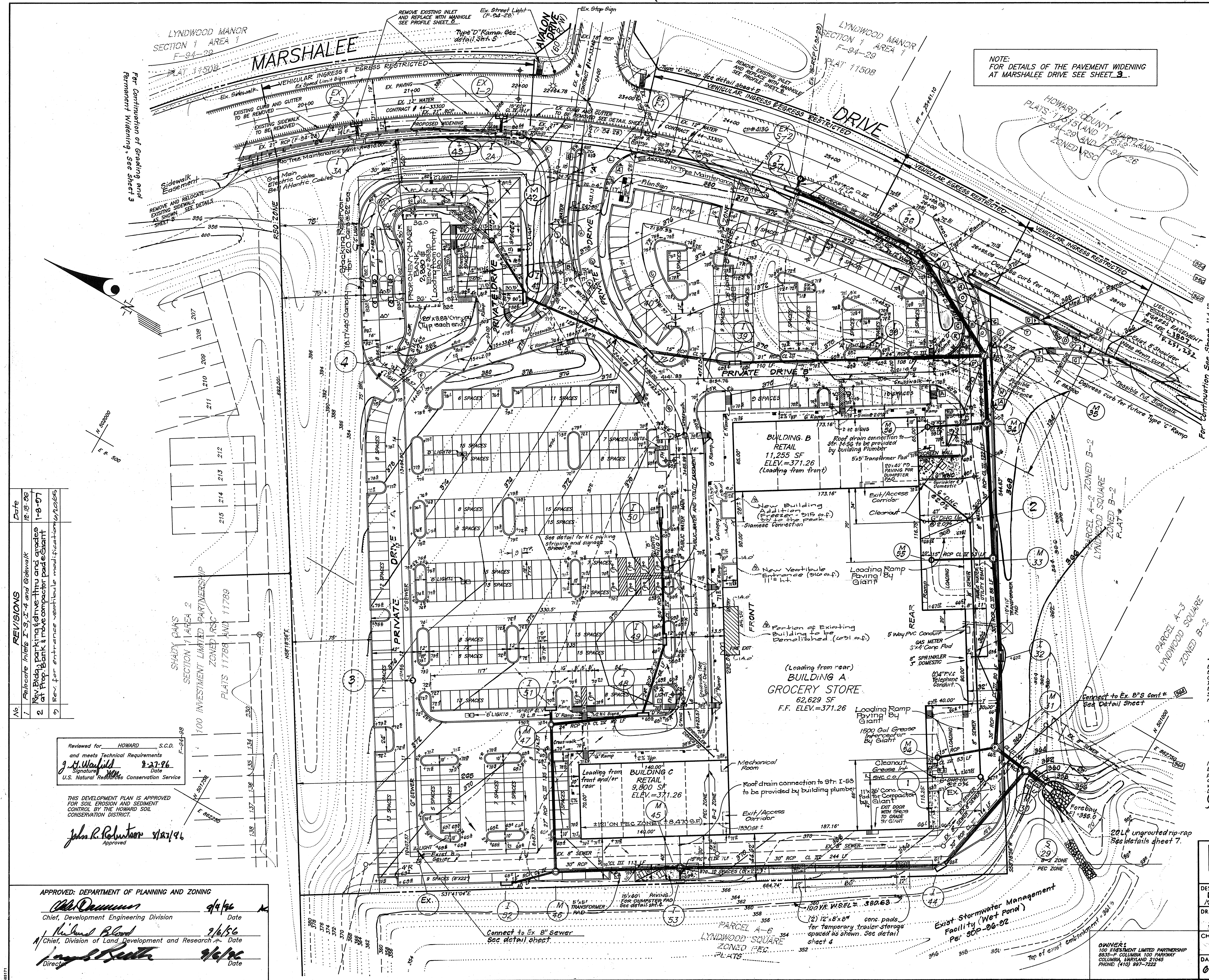
DESIGNED: KJA/M/WHI  
 DRAWN: ZAH  
 CHECKED: KZM  
 DATE: 6-14-06

PAVING DETAILS  
**LYNDWOOD SQUARE**  
 PARCEL A-1  
 TAX MAP 37  
 1ST ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

SCALE: As Shown  
 DRAWING: 4 of 13  
 JOB NO.: 95-132  
 FILE NO.: 95-132-X

OWNER: 100 INVESTMENT LIMITED PARTNERSHIP  
 8635-P COLUMBIA 100 PARKWAY  
 COLUMBIA, MARYLAND 21045  
 PHONE: (410) 897-7222





**TRAFFIC CONTROL SIGNAGE**

KEY	DESCRIPTION	Nº REQUIRED
Ⓐ	STOP SIGN R1-1	3
Ⓑ	KEEP RIGHT R4-7	3
Ⓒ	DO NOT ENTER R5-1	4
Ⓓ	NO LEFT TURN R3-2	2

**LEGEND**

Contour Interval	2 Ft.
Existing Contour	360
Proposed Contour	360
Spot Elevation	+0.02
Direction of Drainage	→
Curb & Sidewalk Ramps	▬▬▬▬
Existing Sewer Main	—
Existing Water Main	—
Existing Storm Drain	—

**CURVE DATA**

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
A	150.00'	132.52'	70.94'	128.26'	S51°56'51"W	50°37'14"
B	100.00'	72.74'	38.06'	71.15'	N47°28'35"E	41°40'42"
C	100.00'	92.60'	49.90'	89.34'	S51°57'23"W	52°55'19"
D	30.00'	42.31'	30.00'	42.31'	N66°41'04"W	90°00'00"
E	789.45'	248.81'	125.42'	247.81'	N07°59'30"W	17°49'56"
F	62.00'	107.19'	62.81'	99.72'	N74°14'05"W	74°53'58"
G	150.00'	140.25'	75.73'	135.20'	S52°29'25"W	53°34'22"
H	150.00'	58.53'	29.56'	58.24'	S67°22'23"W	19°48'12"
I	130.58'	69.08'	31.64'	61.50'	S63°33'00"W	27°16'56"
J	146.38'	46.27'	23.33'	46.08'	S62°15'31"W	18°06'43"
K	40.00'	61.11'	36.32'	55.34'	N27°32'41"E	87°32'23"
L	40.00'	66.25'	43.57'	58.93'	N55°17'47"W	94°53'30"
M	701.00'	215.71'	108.45'	214.37'	N01°38'03"W	17°35'26"
N	75.00'	41.42'	21.25'	40.89'	N26°41'59"E	31°38'28"
O	137.00'	39.15'	19.71'	39.01'	N50°42'24"E	16°22'20"
P	42.00'	72.88'	49.54'	64.08'	S71°23'45"E	89°25'23"
Q	130.00'	47.63'	24.08'	47.96'	N45°08'24"E	20°59'52"
R	30.00'	32.06'	32.39'	45.77'	S71°23'45"E	89°25'23"
S	4.50'	10.74'	11.95'	8.57'	S12°44'21"E	136°45'21"
T	45.00'	66.26'	31.07'	31.80'	N45°58'38"W	70°18'07"
U	2.00'	6.00'	28.35'	3.50'	N89°11'50"E	171°55'50"
V	285.00'	125.12'	63.38'	124.12'	N16°23'42"W	59°09'42"
W	55.00'	90.0'	53.14'	80.20'	N74°28'35"E	29°25'24"

**SYMBOL BEARING DISTANCE**

Ⓐ	93°38'48"W	10.83'
Ⓑ	48°53'34"W	2.85'
Ⓒ	81°07'02"E	5.43'
Ⓓ	81°50'18"E	31.01'

**GLW Gutschick Little & Weber, P.A.**  
 Civil Engineers, Land Surveyors, Land Planners, Landscape Arch.  
 3000 National Drive - Suite 252 - Burtonville Office Park  
 Burtonville, Maryland 20866  
 Tel: 301-411-4024 Fax: 410-860-1910 DC/VA: 301-969-1524 Fax: 301-411-4182

Note: There is no net increase in building area.  
 Revision No. 1 is the responsibility of Gutschick, Little & Weber, P.A.

*David Gutschick*  
 June 2005

**DEVELOPER'S/BUILDER'S CERTIFICATE**

I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.

*Demetrius M. Williams* 6/25/96  
 NAME DATE

**ENGINEER'S CERTIFICATE**

I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

*Nelson Clark* 6-12-96  
 NAME DATE

**REVISIONS**

No.	Date	Description
1	12-18-96	Relocate inlets I-3, I-4 and sidewalk
2	1-8-97	Rev. Bids parking drive thru and grades at Prop. Bank & move compactor pad to east
3	6/26/96	Rev. for entrance vent pipe modifications

Reviewed for HOWARD S.C.D. and meets Technical Requirements  
*J. H. Wadell* 6-27-96  
 Signature Date  
 U.S. Natural Resources Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
*John R. Robinson* 6/27/96  
 Approved

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Richard Blood* 6/16/96  
 Chief, Development Engineering Division Date  
*Richard Blood* 6/16/96  
 Chief, Division of Land Development and Research Date  
*Joseph S. Smith* 6/16/96  
 Director Date

**CLARK • FINEFROCK & SACKETT, INC.**  
 ENGINEERS • PLANNERS • SURVEYORS  
 7135 MINSTREL WAY • COLUMBIA, MD. 21045 • (410) 381-7500 - BALTO. • (301) 621-8100 - WASH.

**SITE DEVELOPMENT PLAN**  
**LYNDWOOD SQUARE**  
 PARCEL A-1  
 TAX MAP 37  
 1ST ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

OWNER'S: 100 INVESTMENT LIMITED PARTNERSHIP  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA, MARYLAND 21045  
 PHONE: (410) 897-7222

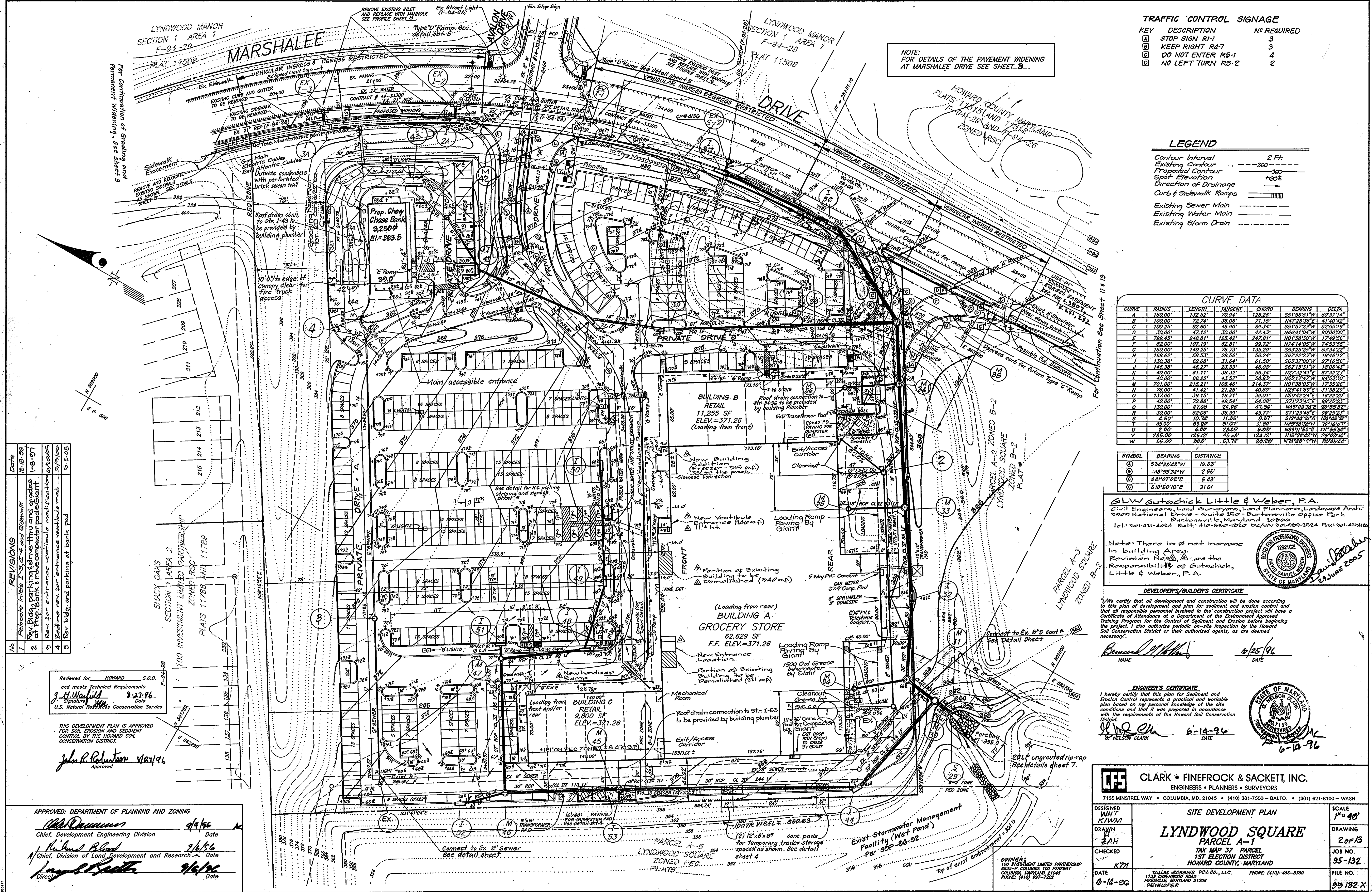
TALLES JORDAN, DEV. CO., LLC. PHONE: (410)-498-5350  
 1133 GREENWOOD ROAD  
 PRESVILLE, MARYLAND 21088  
 DEVELOPER

DESIGNED: WHI/KWM  
 DRAWN: ZAH  
 CHECKED: K71  
 DATE: 6-14-96

SCALE: 1"=40'  
 DRAWING: 2 of 13  
 JOB NO.: 95-132  
 FILE NO.: 95132.X

SDP-96-100





**TRAFFIC CONTROL SIGNAGE**

KEY	DESCRIPTION	NO REQUIRED
A	STOP SIGN R1-1	3
B	KEEP RIGHT R4-7	3
C	DO NOT ENTER R5-1	4
D	NO LEFT TURN R3-2	2

NOTE: FOR DETAILS OF THE PAVEMENT WIDENING AT MARSHALEE DRIVE SEE SHEET 3.

**LEGEND**

Contour Interval	2 Ft.
Existing Contour	--- 360 ---
Proposed Contour	--- 360 ---
Spot Elevation	+002
Direction of Drainage	→
Curb & Sidewalk Ramps	▬▬▬▬
Existing Sewer Main	— — — — —
Existing Water Main	— — — — —
Existing Storm Drain	— — — — —

**CURVE DATA**

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
A	150.00'	132.52'	70.94'	128.26'	S51°56'51"W	50°37'14"
B	100.00'	72.74'	38.06'	71.15'	N47°28'35"E	41°40'42"
C	100.00'	92.50'	49.50'	89.34'	S51°57'31"W	52°55'19"
D	30.00'	47.12'	30.00'	42.43'	N66°10'04"W	90°00'00"
E	789.45'	248.81'	125.42'	242.81'	N01°58'30"W	17°49'56"
F	82.00'	107.19'	62.81'	99.72'	N74°14'05"W	74°53'58"
G	150.00'	140.25'	75.73'	135.20'	S53°25'25"W	53°34'22"
H	100.00'	92.50'	49.50'	89.34'	S51°57'31"W	52°55'19"
I	130.38'	62.08'	31.64'	61.50'	S63°37'00"W	27°16'56"
J	146.38'	46.27'	23.33'	46.08'	S62°15'31"W	18°05'43"
K	40.00'	61.11'	38.32'	55.34'	N27°32'41"E	87°32'23"
L	40.00'	66.35'	43.57'	58.93'	N51°14'17"W	94°53'30"
M	701.00'	215.51'	108.46'	214.37'	N01°58'30"W	17°35'26"
N	75.00'	41.42'	21.25'	40.89'	N26°41'59"E	31°38'25"
O	137.00'	39.15'	19.71'	39.01'	N50°42'24"E	16°22'20"
P	42.00'	72.88'	49.54'	64.08'	S71°23'45"E	89°25'23"
Q	130.00'	47.53'	24.08'	41.36'	N45°08'54"E	20°59'53"
R	30.00'	52.06'	35.39'	45.77'	S71°23'45"E	89°25'23"
S	4.50'	10.74'	11.85'	8.37'	S12°44'20"E	136°48'27"
T	45.00'	65.20'	31.67'	31.80'	N26°58'30"W	70°16'07"
U	2.00'	6.00'	28.95'	3.29'	N89°15'02"E	171°55'50"
V	285.00'	125.82'	63.88'	124.12'	N18°28'42"W	26°00'14"
W	65.00'	90.0'	50.74'	80.20'	N12°48'12"W	59°15'21"

**SYMBOL BEARING DISTANCE**

Ⓐ	S34°00'48"W	10.33'
Ⓑ	N48°53'34"W	2.85'
Ⓒ	S81°07'22"E	5.43'
Ⓓ	S10°50'16"E	31.61'

**GLW Gutachick Little & Weber, P.A.**  
 Civil Engineers, Land Surveyors, Land Planners, Landscape Arch.  
 2900 National Drive - Suite 250 - Burtonville Office Park  
 Burtonville, Maryland 20806  
 Tel: 301-411-4014 Fax: 410-880-1810 DC/VA: 301-969-1914 Fax: 301-411-4100

Note: There is no net increase in building area.  
 Revision No. 1 are the responsibility of Gutachick, Little & Weber, P.A.

*Samuel Barber*  
 29 June 2005

**DEVELOPER'S/BUILDER'S CERTIFICATE**

"We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

*Remond M. Blund* 8/25/96  
 NAME DATE

**ENGINEER'S CERTIFICATE**

I hereby certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

*Neil Nelson Clark* 6-14-96  
 NAME DATE

**REVISIONS**

No.	Date	Description
1	12-18-93	Relocate inlets I-3, I-4 and sidewalk
2	1-8-97	Rev. Bldg. parking lot, drive thru and access at Prop. Bank & move compactor pad. Client
3	10/20/95	Rev. for entrance vestibule modification
4	5/4/96	Revised rev. for entrance vestibule mod.
5	5-2-03	Rev. bldg. and parking at bank pad

Reviewed for HOWARD S.C.D. and meets Technical Requirements  
*J. H. Wofford* 9-27-96  
 Signature Date  
 U.S. Natural Resources Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
*John R. Robinson* 9/27/96  
 Approved

**APPROVED: DEPARTMENT OF PLANNING AND ZONING**

*Chad Dammann* 9/4/96  
 Chief, Development Engineering Division Date

*Richard Blund* 9/6/96  
 Chief, Division of Land Development and Research Date

*David S. Smith* 9/6/96  
 Director Date

**CLARK • FINEPROCK & SACKETT, INC.**  
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 7135 MINSTREL WAY • COLUMBIA, MD. 21045 • (410) 381-7500 - BALTO. • (301) 621-8100 - WASH.

**SITE DEVELOPMENT PLAN**

**LYNDWOOD SQUARE**  
 PARCEL A-1  
 TAX MAP 37 PARCEL 1ST ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

OWNER: 100 INVESTMENT LIMITED PARTNERSHIP  
 2035-P COLUMBIA 100 PARKWAY  
 COLUMBIA, MARYLAND 21046  
 PHONE: (410) 997-7222

DESIGNED: WHIT K/W/M  
 DRAWN: ZAH  
 CHECKED: K71  
 DATE: 6-14-96

SCALE: 1" = 40'  
 DRAWING: 20F13  
 JOB NO: 95-132  
 FILE NO: 95132.X

SDP-96-100



LYNDWOOD MANOR  
SECTION 1 AREA 1  
F-94-28

MARSHALEE

LYNDWOOD MANOR  
SECTION 1 AREA 1  
F-94-28

NO	REVISION	DATE
1	Rev. Bldg, parking, drive-thru and qdrd. eprop bank and relocate trees/shrubs	1-8-07
2	Rev. bldg. to show entrance vestibule modifications	4/20/09
3	Rev. for entrance vestibule modifications	5/5/09
4	Rev. landscaping & bldg. footprint for bank	5/2/08

**SCHEDULE A**

PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO PERIMETER PROP.	ADJACENT TO ROADWAY
PERIMETER	1	2
LANDSCAPE TYPE	C	B
LINEAR FEET OF ROADWAY FRONTAGE PERIMETER	692	240
CREDIT FOR EXISTING VEGETATION	---	---
CREDIT FOR WALL, FENCE OR BURN	---	YES(1)
NUMBER OF PLANTS REQUIRED	17 (1/40)	5 (1/50)
SHADE TREES	35 (1/20)	6 (1/40)(1)
EVERGREEN TREES	---	---
SHRUBS	---	---
NUMBER OF PLANTS PROVIDED	---	---
SHADE TREES	17	2
EVERGREEN TREES	35	0 (1)
OTHER TREES (2:1 SUB.)	---	0 (1)
SHRUBS	---	10 (3)
		0 (2)

1. CREDIT TAKEN FOR +/- 6" DEPRESSED GRADE CHANGE BETWEEN ROAD AND DRIVE/BUILDING. ALSO, EVERGREEN TREES NOT RECOMMENDED HERE DUE TO SIGHT DISTANCE REQUIREMENT.  
2. CREDIT TAKEN FOR PROPOSED 3' HEIGHT BERM ALONG PERIMETER 3.  
3. TWO FLOWERING TREES SUBSTITUTED FOR 1 SHADE TREE.

NOTE:  
RELOCATE EXISTING STREET TREES PER F-94-28 AS SHOWN 3' BEHIND SIDEWALK (TYP.)

SIGHT DISTANCE LINE  
(A) TREES FROM F-94-28 TO BE REMOVED OR RELOCATED BY OTHERS TO BEHIND FACE OF BERM

STREET TREE LOCATION DETAIL  
NO SCALE

SHRUB PLANTING DETAIL  
NO SCALE

EVERGREEN TREE PLANTING DETAIL  
NO SCALE

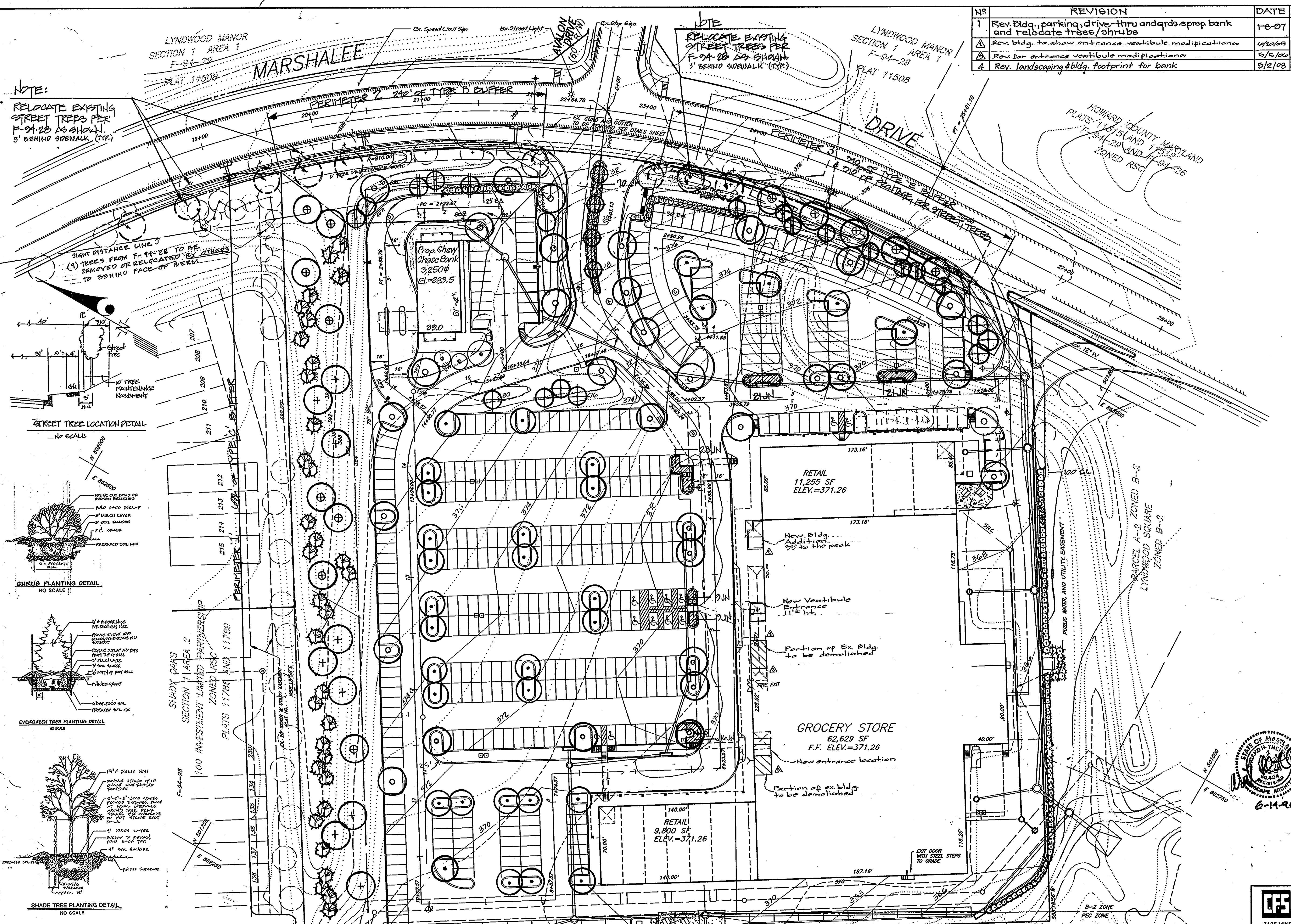
SHADE TREE PLANTING DETAIL  
NO SCALE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Richard Blood* 9/14/06  
Chief, Development Engineering Division Date

*Richard Blood* 9/16/06  
Chief, Division of Land Development and Research Date

*James Smith* 9/16/06  
Director Date



**SCHEDULE B**

PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES	443
NUMBER OF TREES REQUIRED	22 (1/20 SP.)
NUMBER OF TREES PROVIDED	54
SHADE TREES	22
OTHER TREES	115
SHRUBS	224

FOR ROUNDING OTHERS OPTION \*

**STREET TREE REQUIREMENTS FOR PERIMETER 3**

LINEAR FEET OF ROADWAY	310'
CREDIT FOR EXISTING STREET TREES	100'
LINEAR FEET OF ROADWAY TO BE PLANTED	210'
NUMBER OF TREES REQUIRED	5 (1/40)
NUMBER OF TREES PROVIDED	5

**PLANT SCHEDULE**

KEY ONLY PLANT NAME	SIZE	REMARKS
32 ACER CAMPESTRE	2"-2 1/2" C	B & B Heavy Heads
13 OLEDTISIA TRI. INER. "Shadonaster"	2 1/2"-3" C	B & B Heavy Heads
9 QUERCUS PALUSTRIS	2 1/2"-3" C	B & B Heavy Heads
34 ZELKOVA, SERR. "Green Vase"	2 1/2"-3" C	B & B Heavy Heads
14 MALUS X RUMI "Calocarpa"	1 1/2"-2" C	B & B Heavy Heads
13 PRUNUS X THUNDERCLOUD	2"-2 1/2" C	B & B Heavy Heads
115 CUPRESSOCYPARIS LEVLANDI	5'-6" HT	5' O.C. B & B
134 PINUS STROBUS	6'-8" HT	B & B Heavy Heads
169 JUNIPERUS SABINA "Hoor-dense"	18"-24" SPD	4' O.C. *
55 EUCONYMIUS ALATUS COMPACTUS	18"-24" SPD	4' O.C. *
EXISTING TREES FROM P-94-28 & P-94-98		

\* INDICATES PLANTS THAT MAY BE PROVIDED AT OWNER'S OPTION

**NOTES:**

- ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE BALTO./MASH. LANDSCAPE SPECIFICATIONS OF L.C.A.M.W.
- ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE ASSOCIATION OF NURSERYMEN. (AAM)
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
- FINAL LOCATION OF PLANT MATERIAL MAY VARY PER FINAL FIELD CONDITIONS.

**BONDING NOTE**

THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16-124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.

FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE BUILDER'S GRADING PERMIT APPLICATION IN THE AMOUNT OF \$9,800.00. (INCLUDES MINIMUM PLANTS REQUIRED FOR PERIMETERS 1, 2 & 3, PARKING LOT MINIMUM TREES REQUIRED AND THE PROPOSED STREET TREES ALONG PERIMETER 3.)

GLW Gutachick Little & Weber, P.A.  
Civil Engineers, Land Surveyors, Land Planners, Landscape Architects  
2000 National Drive - Suite 150 - Burtonville Office Park  
Burtonville, MD 20814  
Tel: 301-411-4100 Fax: 410-950-1820 PC/VA: 301-987-2514  
Fax: 301-411-4100

NOTE: There is no net increase in building area.  
Revision No. 4, 5, and 6 are the responsibility of Gutachick Little & Weber, P.A.

DATE: 29 JUNE 2005

**CLARK • FINEROCK & SACKETT, INC.**  
ENGINEERS • PLANNERS • SURVEYORS

7135 MINSTREL WAY • COLUMBIA, MD. 21045 • (410) 381-7500 - BALTO. • (301) 621-8100 - WASH.

DESIGNED	MJP	SCALE	1" = 40'
DRAWN <td>MJP <td>DRAWING <td>130P13</td> </td></td>	MJP <td>DRAWING <td>130P13</td> </td>	DRAWING <td>130P13</td>	130P13
CHECKED <td>WHT <td>JOB NO. <td>95-192</td> </td></td>	WHT <td>JOB NO. <td>95-192</td> </td>	JOB NO. <td>95-192</td>	95-192
DATE <td>6-14-06 <td>FILE NO. <td>95-192-LS</td> </td></td>	6-14-06 <td>FILE NO. <td>95-192-LS</td> </td>	FILE NO. <td>95-192-LS</td>	95-192-LS

**LANDSCAPE PLAN**

**LYNDWOOD SQUARE**  
PARCEL A-1  
TAX MAP 37 PARCEL  
1ST ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

OWNER:  
100 INVESTMENT LIMITED PARTNERSHIP  
6335-P CO. JUDN 100 PARKWAY  
COLUMBIA, MARYLAND 21045  
PHONE: (410) 997-7222



# SITE DEVELOPMENT PLAN

## LYNDWOOD SQUARE

### 1ST ELECTION DISTRICT

### HOWARD COUNTY, MARYLAND

#### GENERAL NOTES

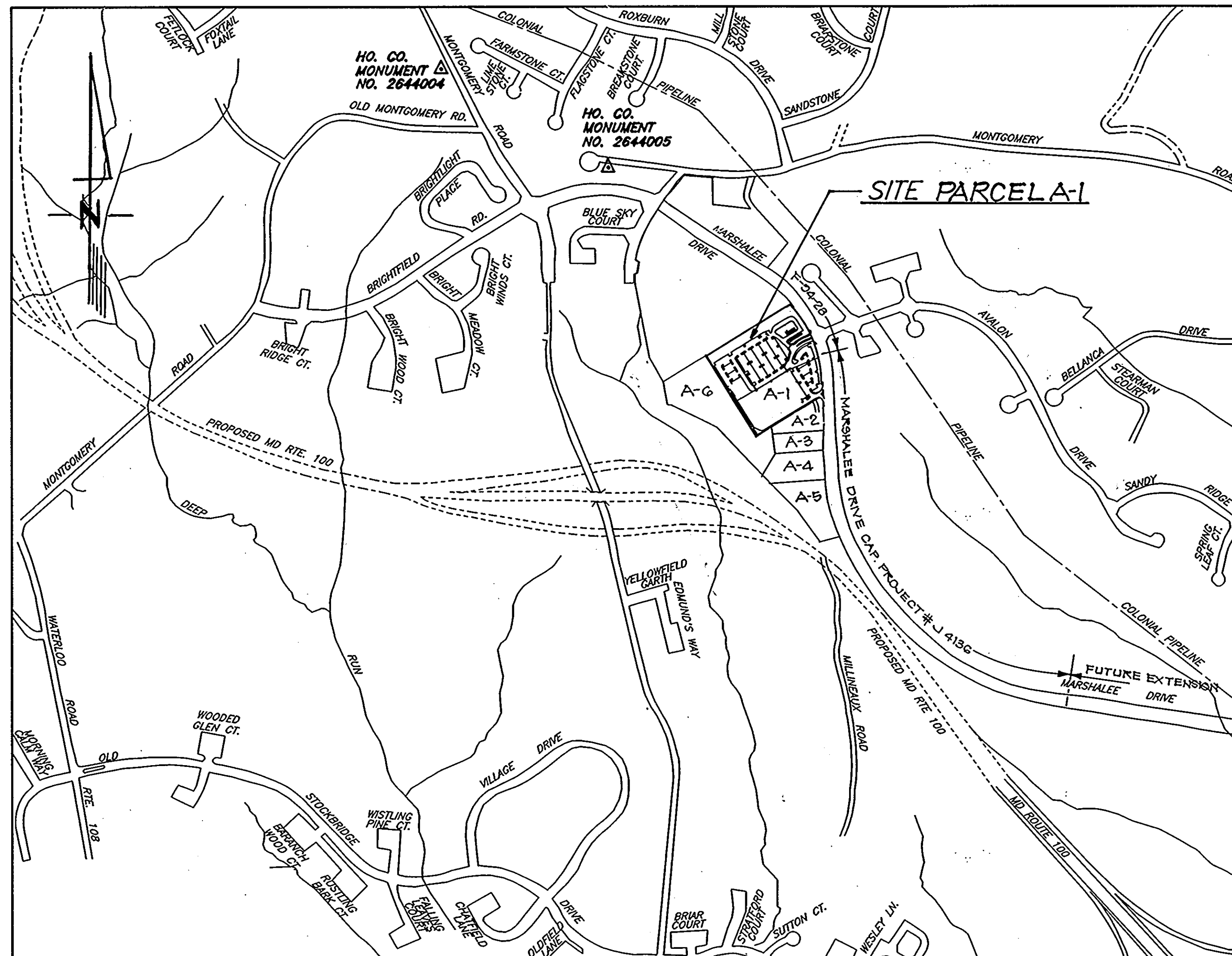
- All construction shall be in accordance with the latest standards and specification of Howard County plus MSHA standards and specifications if applicable.
- The contractor shall notify the Bureau of Engineering/Construction Inspection Division at (410) 313-1800 at least five (5) days prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
- Project Background:
  - Location: Tax Map 37
  - Zoning: PEC & B-2
  - ZB/BA ref.: N/A
  - Election District: 1st
  - Site Area: 10.1268 AC
  - Final Plan ref.: F-96-115 Recorded on 2-22-96 as Plat No. 12330-12334
  - Other References: F-94-26 F-94-29 Cap. Project #4136 SDP-96-92 Appd. 6-14-96
- W/P-96-87 Approved April 8, 1996
  - to allow direct access to non-residential lots from arterial highways (16.120 a.2)
  - to allow non-blottable commercial parcels w/ less than 60' frontage (16.120 c.1)
  - to allow deviation from standard section for Marshalee Drive (16.120 d.1, b)
  - to waive the requirement of certain sidewalks on Marshalee Drive (16.124 a & 16.124 e.1)
- Traffic control devices, markings and signing shall be in accordance with the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD). All street and Regulatory Signs shall be in place prior to the placement of any asphalt.
- All plan dimensions are to the face of curb unless otherwise noted.
- Existing topography reflects mass grading plan (SDP-96-92) prepared by LDE, Inc.
- The coordinates shown herein were based on the Maryland State Grid Systems (MAD '27) as projected by Howard County Geodetic Control Stations No. 2644004 and No. 2644005. (Per F-96-115).
- Public water and sewer is to be utilized. Contract No. 18-25271-D
- Stormwater management for this site is provided off site on Parcel A-6. See file F-96-115 & SDP-96-92.
- The wetland delineation was prepared under F-94-96
- The Floodplain Study for this site was prepared under F-94-26.
- The original Traffic Study was prepared under F-94-26. A letter updating the program was prepared January 29, 1996 by Lee Cunningham & Associates.
- The existing utilities were located from available plans & records. (F-94-29 C.P. #4136) The contractor must dig test pits, by hand, at all utility crossings and connection points to verify exact location.
- Handicap parking details shall be in accordance with the "Maryland Building Code for the Handicapped", Section 5.01-7.05.
- All on site driveways and parking areas to be privately maintained.
- All sidewalks shall be cross sloped at 1/4" / ft. away from the building unless otherwise indicated.
- Side walks adjacent to perpendicular parking are 6' wide. All others are 4' wide unless otherwise indicated on plan.
- Trench bedding for storm drainage structures shall be in accordance with Howard County Standard 02.01.
- Gutter of curbs shall be pitched to conform to adjacent drainage patterns.
- All curb fill at parking lot islands to be 6' unless otherwise indicated on plan.
- Water and sewer house connections and roof drain connections from the on site utilities to the building are to be constructed by the building plumber.
- Waiver petition W/P-08-094 approved April 20, 2008 to section 16.15G(f)(2) to reactivate SDP-96-100 to approved plan status and to grant 180 day extension to submit red-line revision for the revised bank bldg. and a one (1) year extension to apply for a building permit for this construction.

#### BENCH MARKS

HOWARD COUNTY MONUMENT NO. 2644004 ELEV. 402.135  
 HOWARD COUNTY MONUMENT NO. 2644005 ELEV. 416.931

#### DESCRIPTION

HOWARD COUNTY MONUMENT NO. 2644004: CONCRETE MONUMENT 1.0 FT. BELOW SURFACE S.W. CORNER OF INTERSECTION RTE. 103 AND OLD MONTGOMERY ROAD.  
 HOWARD COUNTY MONUMENT NO. 2644005: CONCRETE MONUMENT 2.0 FT. BELOW SURFACE SOUTH SIDE MONTGOMERY ROAD EAST OF MEADOWBRIDGE ROAD.



VICINITY MAP

SCALE: 1"=600'

COVER SHEET	
No.	DESCRIPTION
1	COVER SHEET
2	SITE DEVELOPMENT PLAN
3	PAVING IMPROVEMENTS ON MARSHALLEE DRIVE
4	PAVING DETAILS
5	SITE DETAILS
6	SITE AND STORM DRAIN DETAILS
7	STORM DRAIN PROFILES
8	STORM DRAIN PROFILES
9	DRAINAGE AREA MAP
10	ONSITE WATER AND SEWER PROFILES
11	SEDIMENT AND EROSION CONTROL AND GRADING PLAN
12	SEDIMENT AND EROSION CONTROL DETAILS
13	LANDSCAPE PLANS AND DETAILS

#### SITE ANALYSIS

- Area of Parcel: 10.1268 AC
- Present Zoning: PEC & B-2
- Proposed Use of Site/Structures:
  - Bank = 3,250 S.F.
  - Retail Stores = 8,470 S.F.
  - Total = 11,720 S.F. = 0.27 AC = 0.11% of Gross PEC District
- Floor area & Parking Tabulation:
 

Use/Building	Zone	Floor Area	Parking Required	Provided
Retail (B & C)	PEC & B-2	21,055 S.F.	5/K or 105	
Food Store (A)	B-2	62,629 S.F.	5/K or 313	
Sub Total		83,684 S.F.	5/K or 418	423
Bank (D)	PEC	3,250 S.F.	5/K or 17	21
Total		86,934 S.F.	435	444
- Handicap Parking Tabulation:
 

Building	Parking Provided	HC Spaces Required	Provided
ABAC	4E5	9	12+
D	21	1	2

\* Includes 2 van spaces.
- Site Area Tabulation:
  - a. Parcel Area: 10.1268
  - b. Building Area: 87,044 S.F.
  - c. Building Coverage: 27.0% or 19.7%
  - d. Proposed Paved Area: 5.2 AC +/-
  - e. Proposed green Area: 2.9 AC +/-

#### \*\* 7. Per zoning regulations section 116.B.2B:

- The following commercial uses shall be allowed as a matter of right, but shall not occupy more than four percent of the gross area of the district. In addition, these commercial uses may be located within buildings on a lot used primarily for business or professional offices, or for research and development laboratories, provided that they occupy no more than 20 percent of the floor area of the building.
- Banks, savings and loan associations, investment companies, credit bureaus, brokers and similar financial institutions;
  - Blueprinting, printing, duplicating and engraving services;
  - Business machine sales, rental and service establishments;
  - Convenience stores;
  - Drug and cosmetic stores;
  - Laundry and dry cleaning establishments without delivery services;
  - Liquor stores;
  - Museums, art galleries, and libraries;
  - Personal service establishments such as barber and beauty shops, opticians, photographers, tailors;
  - Restaurants, carryout, including incidental delivery services;
  - Restaurants, standard and beverage establishments including those serving beer, wine and liquor for consumption on premises only;
  - Service agencies, such as real estate agencies, insurance agencies, security services, messenger services, and travel agencies;
  - Specialty stores selling or renting goods;
  - The retail sale of products manufactured on the site or parts or accessories to products manufactured on the site.

#### ADDRESS CHART

Building A	6020 Marshalee Drive
Building B	6030 Marshalee Drive
Building C	6010 Marshalee Drive
Building D	6008 Marshalee Drive
SUBDIVISION NAME	LYNDWOOD SQUARE
PLAT NO. OF L.P.	12330-12334
BLOCK NO.	3
ZONE	PEC&B-2
TAX/ZONE MAP	7133
ELECT. DIST.	1st
CENSUS TR.	6011.01
WATER CODE	D04
SEWER CODE	2610000

OWNER:  
 100 INVESTMENT LIMITED PARTNERSHIP  
 885 P. COLUMBIA 100 PARKWAY  
 COLUMBIA, MARYLAND 21045  
 PHONE: (410) 257-7222



**CLARK • FINEFROCK & SACKETT, INC.**  
 ENGINEERS • PLANNERS • SURVEYORS  
 7135 MINSTREL WAY • COLUMBIA, MD. 21045 • (410) 381-7500 - BALTO. • (301) 621-8100 - WASH.

DESIGNED  
 KIMM  
 WHT  
 DRAWN  
 ZAH  
 CHECKED  
 K71  
 DATE  
 6-14-96

COVER SHEET  
**LYNDWOOD SQUARE**  
 PARCEL A-1  
 TAX MAP 37  
 1ST ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

SCALE  
 —  
 DRAWING  
 1 of 13  
 JOB NO.  
 95-132  
 FILE NO.  
 95-132-X



TILLES, ROBBINS & PEY, CO., LLC  
 113 GREENWOOD ROAD  
 PRESHVILLE, MARYLAND 21208  
 DEVELOPER  
 PHONE: (410) 486-5350

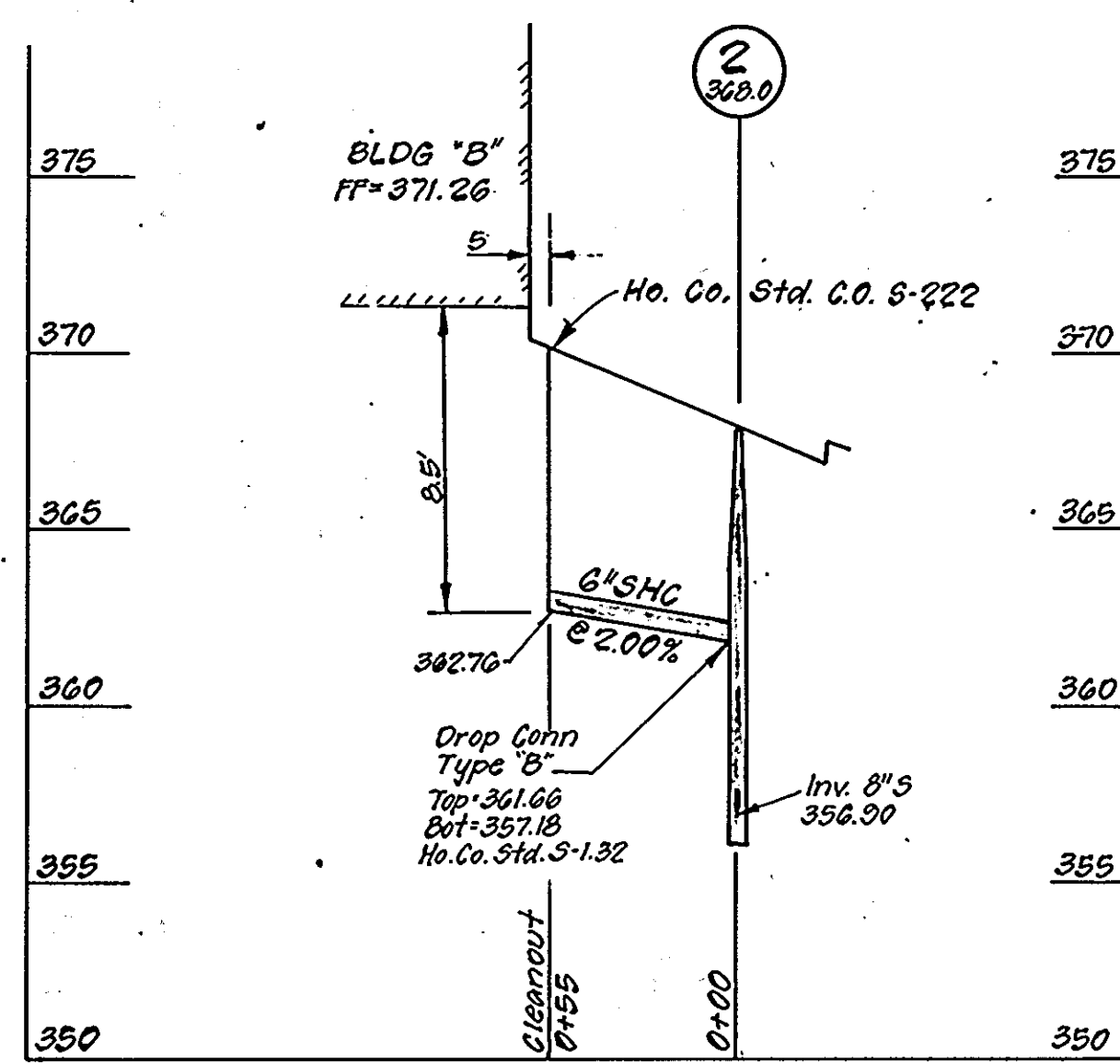
SDP-96-100

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Richard Blouel* 9/4/96  
 Chief, Development Engineering Division Date  
*Richard Blouel* 9/6/96  
 Chief, Division of Land Development and Research Date  
*Joseph Smith* 9/6/96  
 Director Date

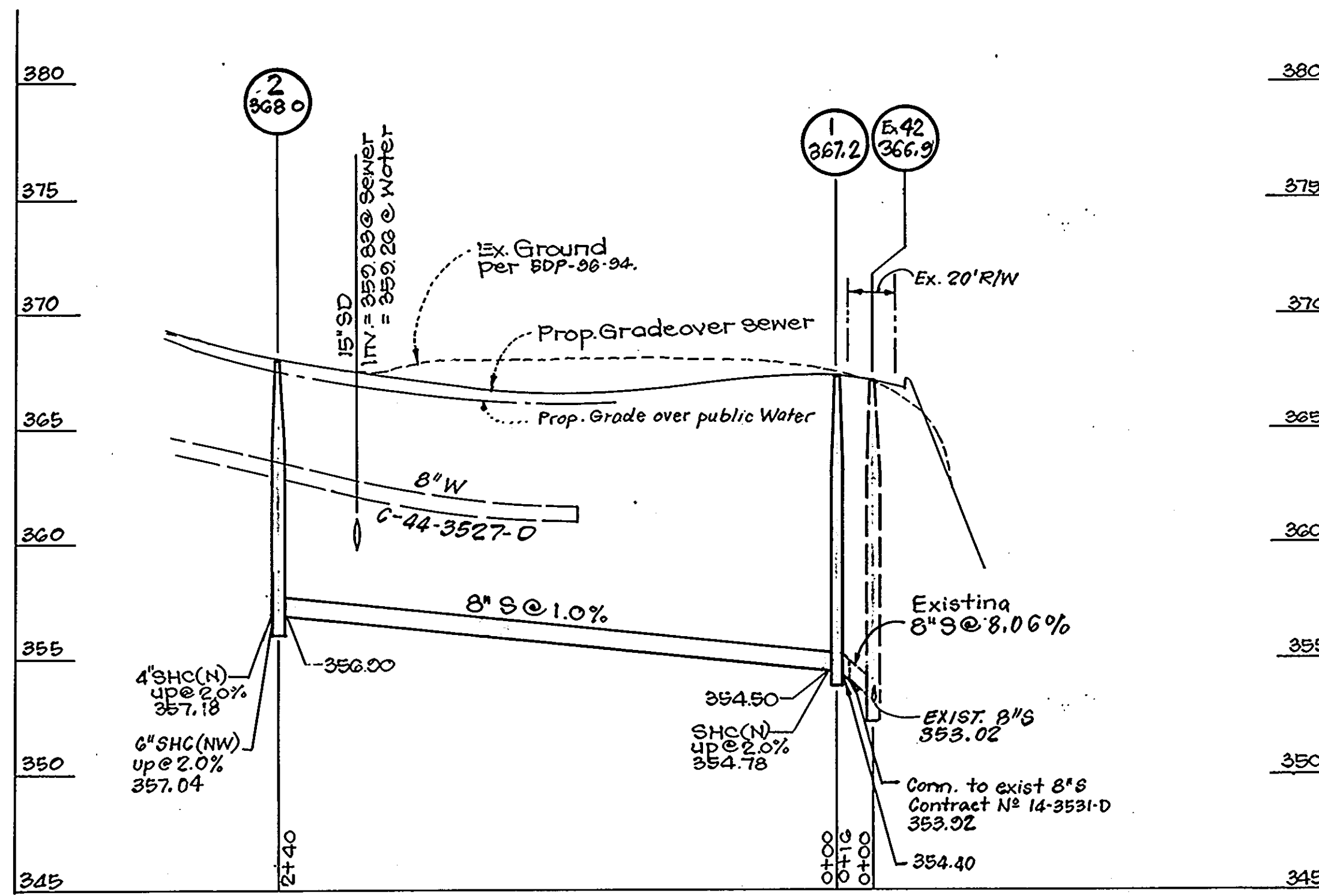
NO.	REVISION	DATE
2	Rev. general notes and floor/parking tabulations	5-2-08
1	Site Analysis Revd. per prop. bank area rev. (Notes 3,4,5)	1-8-07





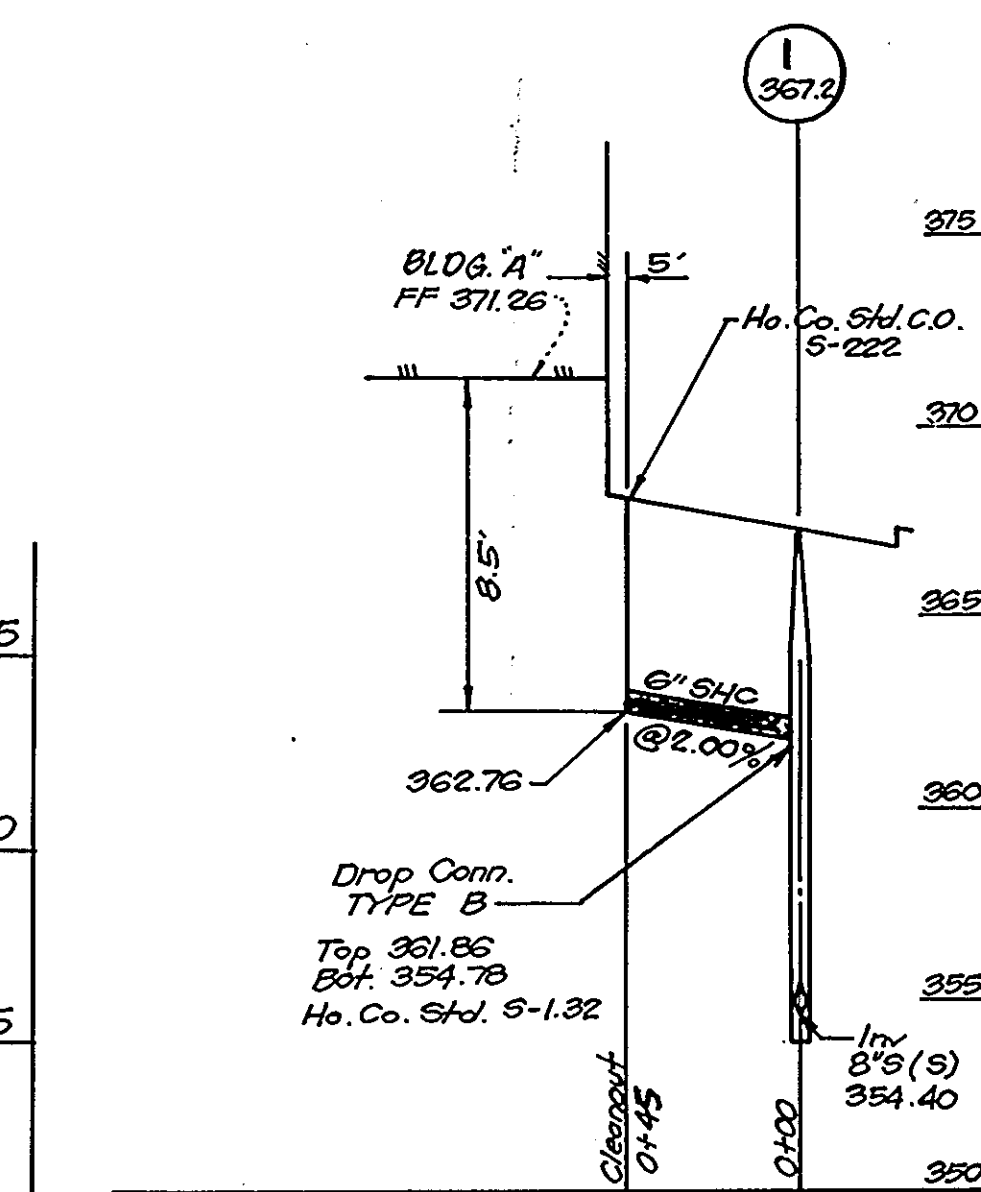
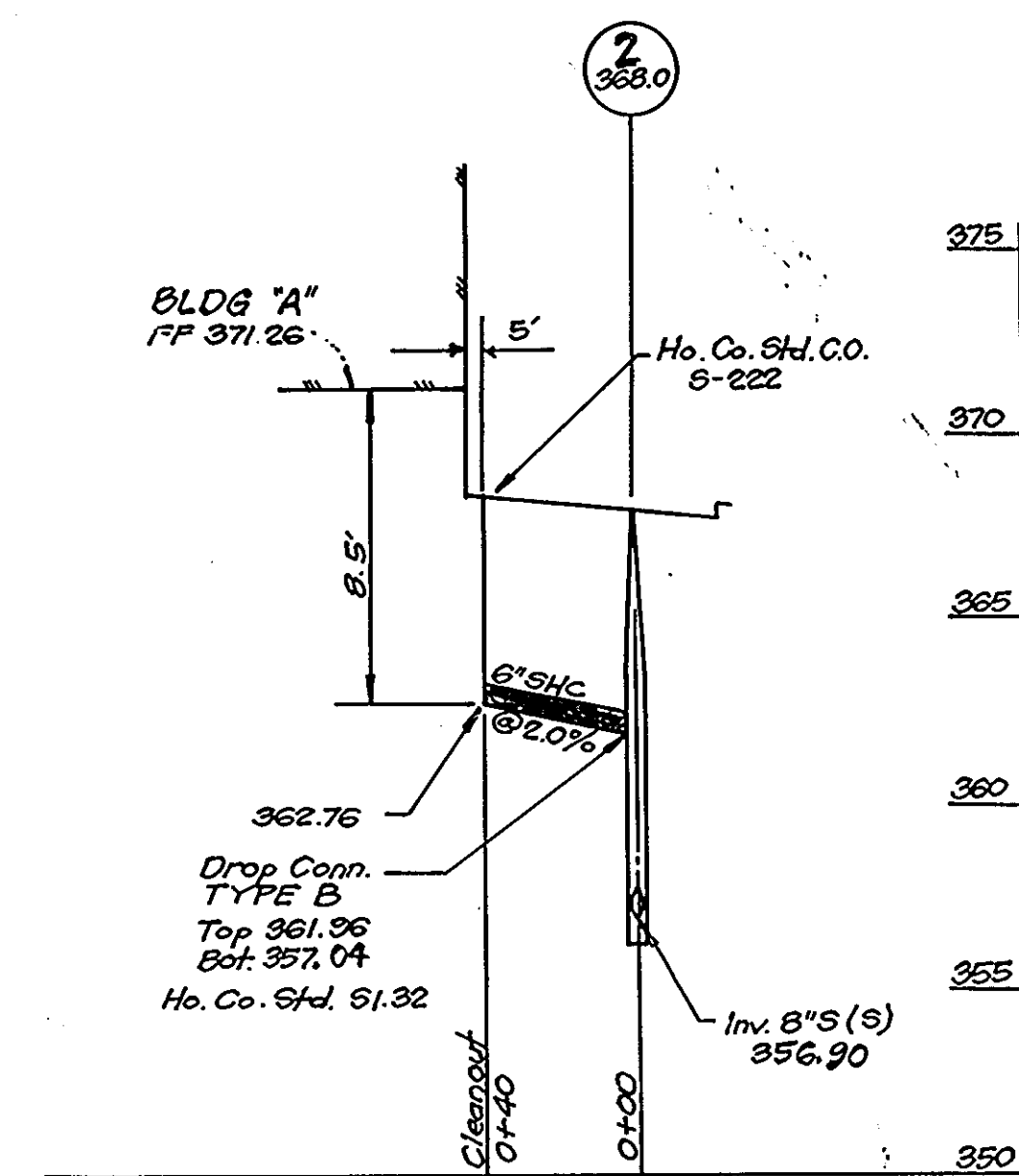
**SEWER HOUSE CONNECTION PROFILE**

Scale: Horz. 1"=50'  
Vert. 1"=5'



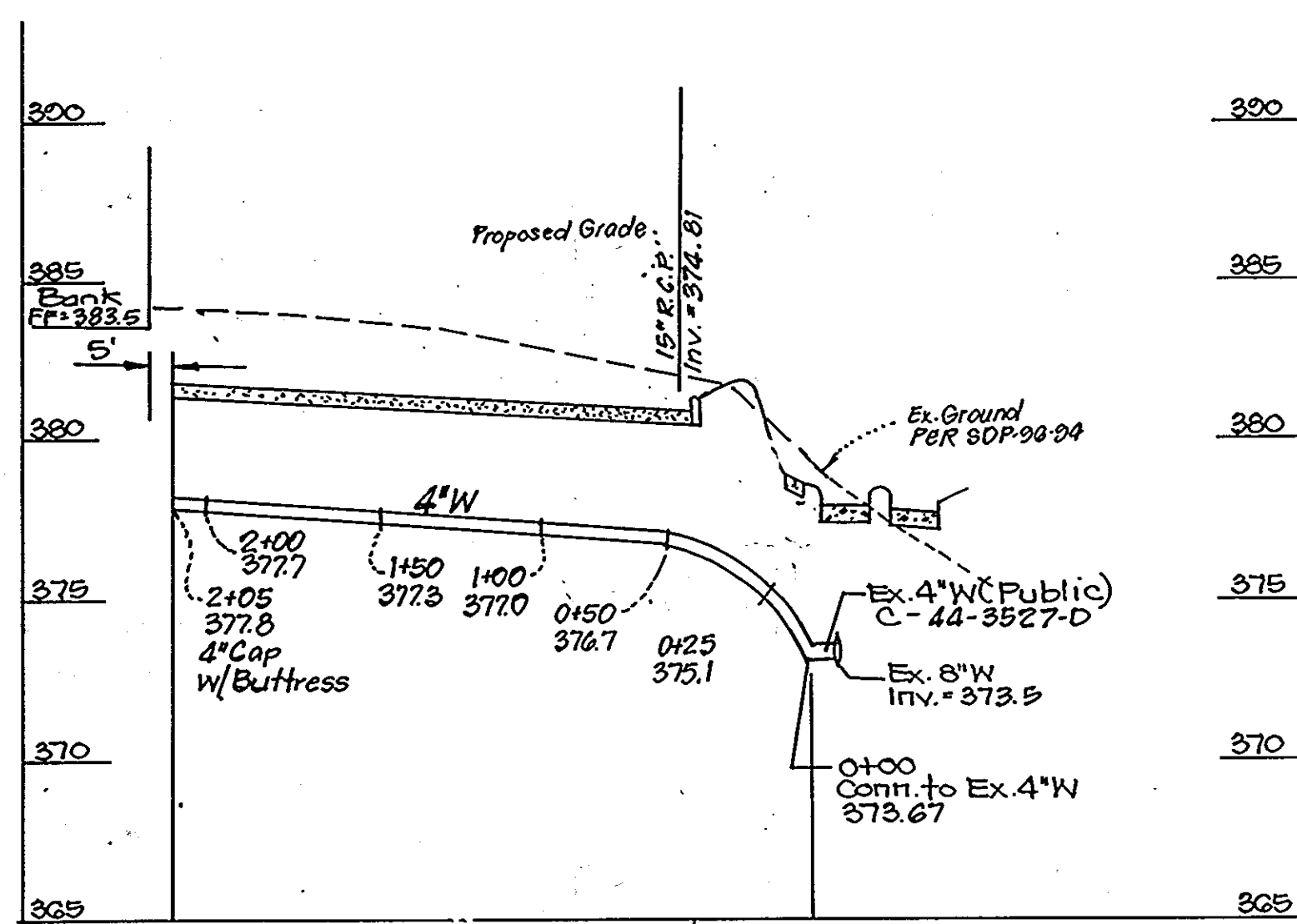
**SEWER PROFILE**

SCALE: HOR. 1"=50'  
VERT. 1"=5'



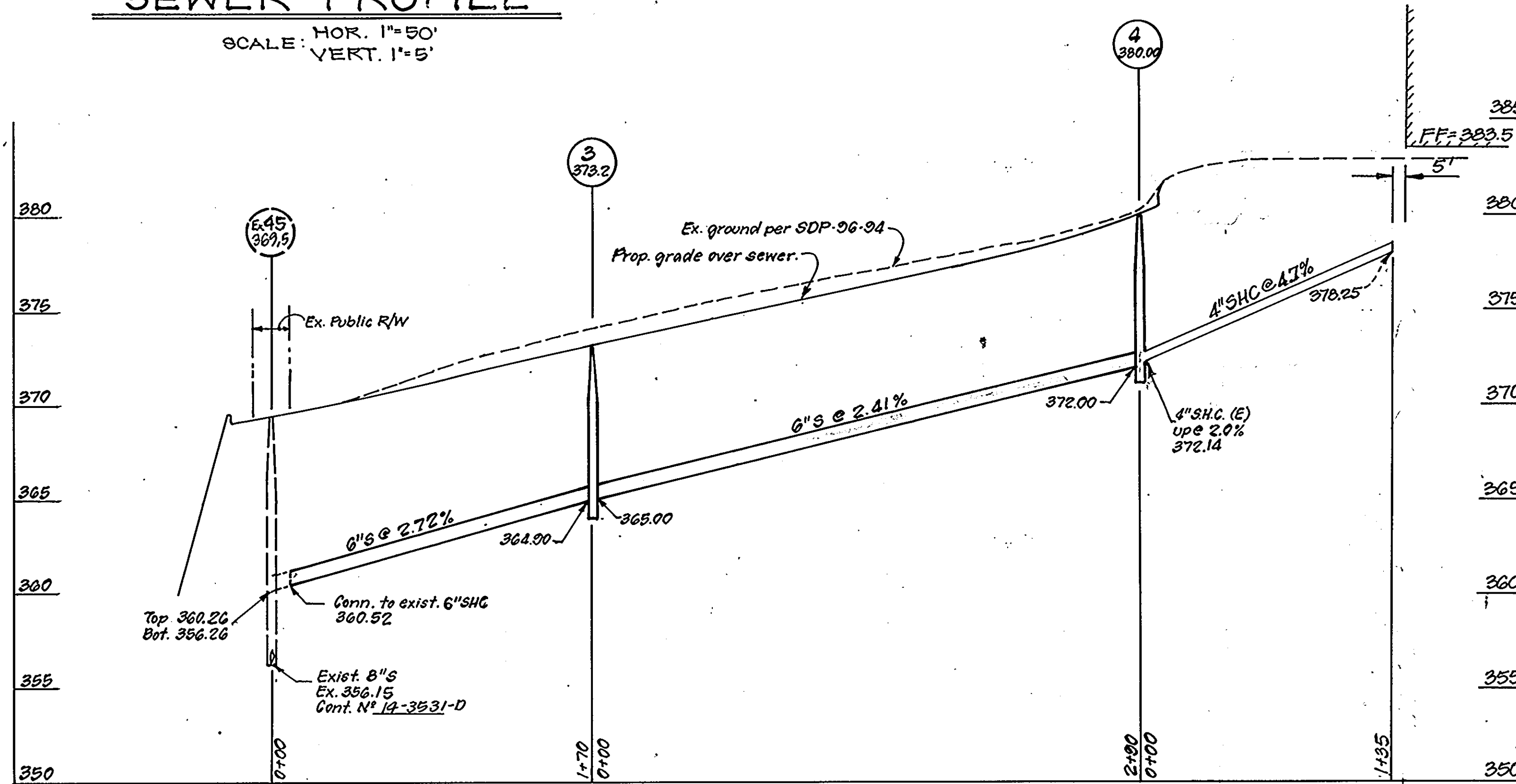
**SEWER HOUSE CONNECTION PROFILES**

Scales: Horz. 1"=50'  
Vert. 1"=5'



**WATER HOUSE CONNECTION PROFILE**

SCALE: HOR. 1"=50'  
VERT. 1"=5'



**WATER AND SEWER NOTES:**

- All construction methods and materials for on-site water and sewer systems shall follow the current editions of the Howard County Plumbing Code, supplemented by the Howard County Standard Details and Specifications where necessary.
- 4" and 6" Sewer house connections shall be built to within 5' of the building at a slope of 2.00%.
- 6" and 8" F.V.C. Pipe shall meet the requirements of A.S.T.M. D.3034, wall thickness classification SDR-35.
- Water meter shall be located inside the building.
- Area where water house connections are to be built shall be at final grade and the water house connections shall be laid with a minimum of 3.5' of cover. Water house connection shall be 8" diameter, Ductile Iron, Class 52.
- Water house connection shall be built to within 5' of the building.

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 Chief, Development Engineering Division 9/4/96  
 Chief, Division of Land Development and Research 9/6/96  
 Director 9/6/96



OWNER:  
 100 INVESTMENT LIMITED PARTNERSHIP  
 5855-P COLUMBIA 100 PARKWAY  
 COLUMBIA, MARYLAND 21045  
 PHONE: (410) 997-7222

Revised 4"WHC & 4"SHC profiles to bank		1-10-08
Revision		Date
<b>CLARK • FINEFROCK &amp; SACKETT, INC.</b> ENGINEERS • PLANNERS • SURVEYORS		
7135 MINSTREL WAY • COLUMBIA, MD. 21045 • (410) 381-7500 - BALTO. • (301) 621-8100 - WASH.		
DESIGNED	<b>WATER AND SEWER PROFILES</b> <b>LYNDWOOD SQUARE</b> PARCEL A-1 TAX MAP 37 PARCEL 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND	
DRAWN		
CHECKED		
DATE		
SCALE		
KJWM	As Shown	
ZAH	10 OF 13	
KTM	JOB NO.	
6-14-06	95-132	
	FILE NO.	
	95-132-X	