

SHEET INDEX	
No.	DESCRIPTION
1	TITLE SHEET
2	SITE DEVELOPMENT PLAN
3	SITE DEVELOPMENT PLAN
4	DRAINAGE AREA, GRADING, AND SEDIMENT CONTROL PLAN
5	GRADING AND SEDIMENT CONTROL PLAN
6	MD ROUTE 732 IMPROVEMENT PLAN
7	SEDIMENT CONTROL NOTES, DETAILS, AND SPECIFICATIONS
8	STORM DRAIN, SEWER, AND WATER PROFILES
9	SWM PROFILES, NOTES, AND DETAILS
10	LANDSCAPE PLAN
11	LANDSCAPE PLAN
12	FOREST CONSERVATION PLAN
13	FOREST CONSERVATION PLAN

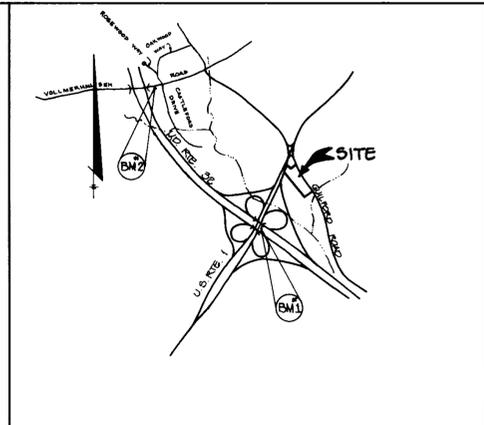
SITE DEVELOPMENT PLAN

SALVATION ARMY

THRIFT STORE & DONATION CENTER

6th ELECTION DISTRICT

HOWARD COUNTY, MARYLAND



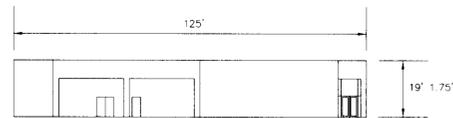
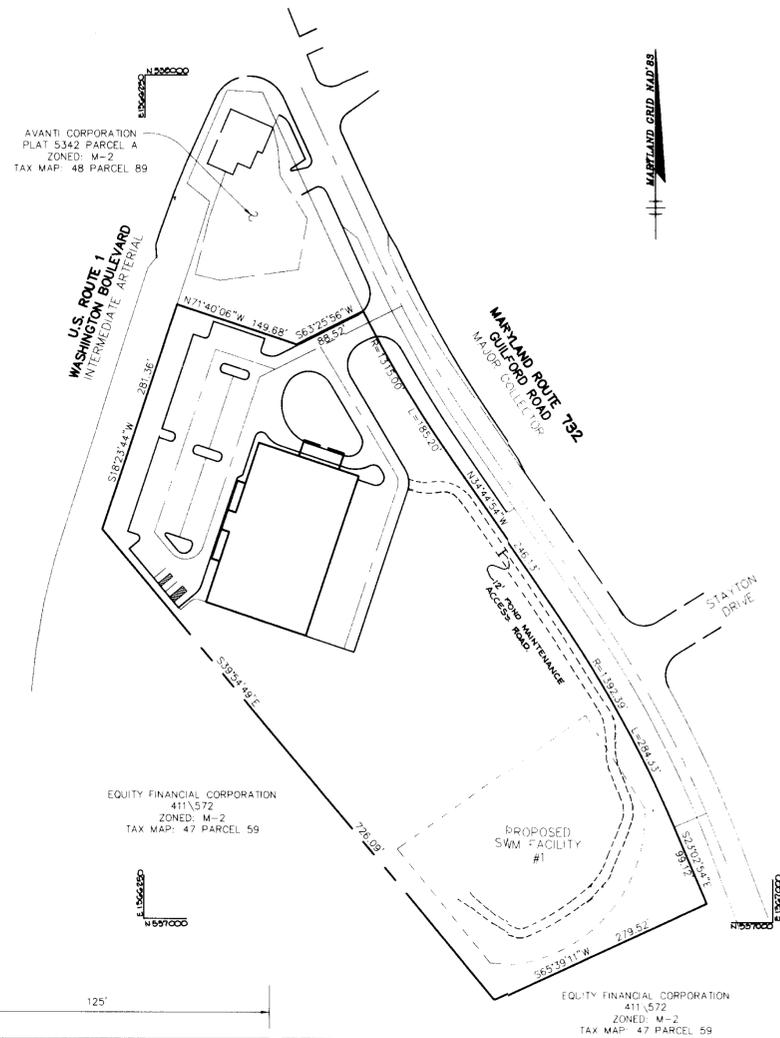
VICINITY MAP
 SCALE: 1"=2000'
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 HC 20E6

BENCH MARKS

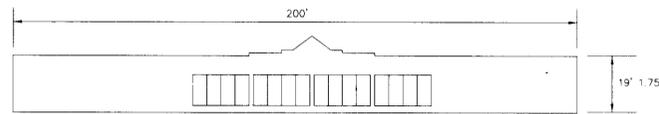
- #1 HOWARD COUNTY CONTROL STATION 47F5 ELEV. 255.818
 N 505,000.005, E 1,865,655.405 (NAD 83)
 CONC. MON. 8.5' EAST OF EDGE OF RTE. 1 NORTHBOUND TRAFFIC LANE; 12.7' SOUTHEAST BRIDGE END SOUTH EDGE OF RTE. 92 EAST BOUND TRAFFIC LANE; 9.5' NORTHEAST OF SERVICE ROAD @ WEST END OF BARRIER.
- #2 HOWARD COUNTY CONTROL STATION 47R1
 N 505,000.005, E 1,865,655.405 (NAD 83)
 1/2" DIA. REBAR 2' SOUTH OF CURB FACE SOUTH EDGE OF VOLLERHAUSEN ROAD; 140'± WEST OF CNTR. OF INTERSECTION VOLLERHAUSEN RD. & CASTLEFORD DR.

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM A FIELD RUN SURVEY WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY RIEMER MUEGGE AND ASSOC. DATED MAY 1994.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 2493 AND 3242002 WERE USED FOR THIS PROJECT.
- WATER IS PRIVATE. TYING INTO PUBLIC WATER. CONTRACT NO. 652-W.
- SEWER IS PRIVATE. TYING INTO PUBLIC SEWER. CONTRACT NO. 2658-D-5.
- THE STORMWATER MANAGEMENT FACILITY PROPOSED FOR THIS SITE IS TO BE OWNED AND MAINTAINED BY THE SALVATION ARMY.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
- THE 100-YEAR FLOODPLAIN STUDY FOR THIS PROJECT WAS PREPARED BY RIEMER MUEGGE AND ASSOC. DATED FEBRUARY 1996.
- THE WETLANDS DELINEATION STUDY FOR THIS PROJECT WAS PREPARED BY RIEMER MUEGGE AND ASSOC. DATED SEPTEMBER 1994.
- THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP DATED FEBRUARY 1996.
- THE GEOTECHNICAL STUDY FOR STORMWATER MANAGEMENT FOR THIS PROJECT WAS PREPARED BY HILLIS-CARNES ASSOCIATES, INC. DATED DECEMBER 15, 1995.
- THE BOUNDARY SURVEY FOR THIS PROJECT WAS PREPARED BY RIEMER MUEGGE AND ASSOC. DATED MAY 1994.
- SUBJECT PROPERTY ZONED M-2 PER 10-18-93 COMPREHENSIVE ZONING PLAN.
- ALL ELEVATIONS SHOWN ARE BASED ON THE U.S.C. AND G.S. MEAN SEA LEVEL DATUM, 1929.
- SEE DEPARTMENT OF PLANNING AND ZONING FILE NO'S. ZB-963R, BA-95-35E.
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
- PIPE SHALL NOT BE INSTALLED BY THE CONTRACTOR UNTIL THE LENGTH CALLED FOR AT EACH STATION HAS BEEN APPROVED BY THE ENGINEER IN THE FIELD.
- NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT WITHIN 6" OF FINISHED GRADE.
- ALL STORM DRAIN PIPE BEDDING SHALL BE CLASS 'C' AS SHOWN IN FIG. 11.4, VOLUME 1 OF HOWARD COUNTY DESIGN MANUAL UNLESS OTHERWISE NOTED.
- ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- STORM DRAIN TRENCHES WITHIN ROAD RIGHT OF WAY SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, I.E., STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, LATEST AMENDMENTS.
- PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
- ALL FILL AREAS WITHIN ROADWAY AND UNDER STRUCTURES TO BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO T99.
- SHA ACCESS PERMITS AND UTILITY PERMITS ARE REQUIRED FOR WORK WITHIN GUILDFORD ROAD RIGHT-OF-WAY.
- WATER HOUSE CONNECTION TO BE FOR INSIDE METER SETTING.



SIDE ELEVATION



FRONT ELEVATION
BUILDING PROFILE

SCALE: 1"=30'

PLAN

SCALE: 1"=100'

SITE ANALYSIS

AREA OF PROPERTY: 6.737 Ac. OR 293,464 S.F.
 PRESENT ZONING: M-2
 EXISTING USE: RESIDENTIAL
 PROPOSED USE: RETAIL/WAREHOUSE
 BUILDING AREA:
 RETAIL: 15,000 S.F.
 WAREHOUSE: 10,000 S.F.
 TOTAL: 25,000 S.F.
 BUILDING COVERAGE (% OF SITE): 8.5%
 PARKING REQUIRED:
 RETAIL: 5 SP./1000 S.F. = 75 SPACES
 WAREHOUSE: 2.0 SP./1000 S.F. = 20 SPACES
 TOTAL: 95 SPACES
 PARKING PROVIDED:
 (INCLUDES 3 HANDICAP SPACES) 96 SPACES
 PAVEMENT/ROOF AREA:
 EXISTING: 1924 S.F.
 PROPOSED: 87367 S.F.
 TOTAL: 87367 S.F.
 COVERAGE (% OF SITE): 30%

ADDRESS CHART

PARCEL NUMBER	STREET ADDRESS
95	10350 GUILDFORD ROAD

SUBDIVISION NAME	BLK./AREA	PARCEL
		95

PLAT #	BLK #	ZONING	TAX MAP NO.	BLK. DIV.	CENSUS TRACT
5342	12	M-2	48	6th	6067.03

WATER CODE	SEWER CODE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
[Signature] DIRECTOR 11/20/96 DATE
[Signature] CHIEF, DEVELOPMENT ENGINEERING DIVISION 11/18/96 DATE
[Signature] CHIEF, DIVISION OF LAND DEVELOPMENT 11/20/96 DATE

DATE	NO.	REVISION

OWNER / DEVELOPER
 THE SALVATION ARMY
 MAJOR WILLIAM MADISON
 3304 KENILWORTH AVENUE
 BLADENSBURG, MD

PROJECT
SALVATION ARMY
THRIFT STORE & DONATION CENTER

AREA
 TAX MAP 48 PARCEL 95 ZONED M-2
 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE
TITLE SHEET

RIEMER MUEGGE & ASSOCIATES, INC.
 ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
 8818 Centre Park Drive • Suite 200 • Columbia, MD 21045
 410-997-8900 FAX: 410-997-9282

10.24.96 DATE

ZB-963R BA-95-35E

DESIGNED BY: J.T.D.

DRAWN BY: J.T.D.

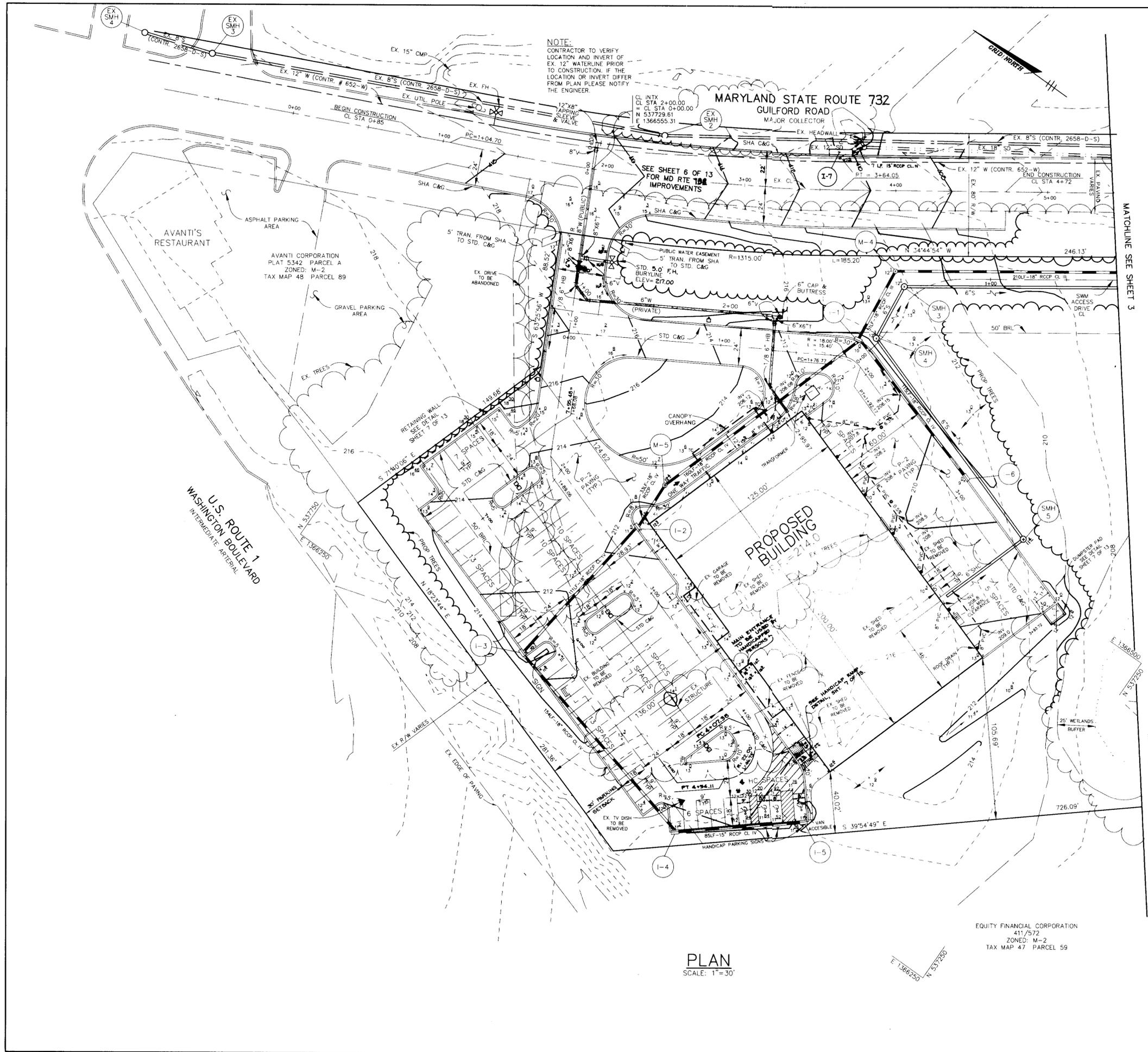
PROJECT NO: HOCO\100901 SDP1.DWG

DATE: OCTOBER 24, 1996

SCALE: AS SHOWN

DRAWING NO. 1 OF 13

JAYKANT D. PAREKH #19148



NOTE:
CONTRACTOR TO VERIFY
LOCATION AND INVERT OF
EX. 12" WATERLINE PRIOR
TO CONSTRUCTION. IF THE
LOCATION OR INVERT DIFFER
FROM PLAN PLEASE NOTIFY
THE ENGINEER.

CL INTX
CL STA 2+00.00
= CL STA 0+00.00
N 537729.61
E 1366555.31

SEE SHEET 6 OF 13
FOR MD RTE 732
IMPROVEMENTS

LEGEND

- LIGHTS □ □ □
- ROOF DRAINS •
- ROOF DRAIN PIPES ---
- EX. TREES ~ ~ ~
- PROP. TREES ~ ~ ~
- RETAINING WALL ---

NOTE: ALL SITE LIGHTING SHALL BE 250 WATT METAL HALIDE
GARDCO ARM MOUNTED LIGHTS OR EQUIVALENT MOUNTED ON
A 20' FIBERGLASS POLE.

PLAN
SCALE: 1"=30'

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.	
<i>[Signature]</i> DIRECTOR	11/20/96 DATE
<i>[Signature]</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	11/13/96 DATE
<i>[Signature]</i> CHIEF, DIVISION OF LAND DEVELOPMENT	11/20/96 DATE
DATE NO.	REVISION
OWNER / DEVELOPER THE SALVATION ARMY MAJOR WILLIAM MADISON 3304 KENILWORTH AVENUE BLADENSBURG, MD	
PROJECT SALVATION ARMY THRIFT STORE & DONATION CENTER	
AREA TAX MAP NO. 48 ZONED M-2 SALVATION ARMY PROPERTY, PARCEL 95 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND	
TITLE SITE DEVELOPMENT PLAN	
RIEMER MUEGGE & ASSOCIATES, INC. ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING 8818 Centre Park Drive • Suite 200 • Columbia, MD 21045 410-997-8900 FAX : 410-997-9282	
10.24.96 DATE	DESIGNED BY : J.T.D.
	DRAWN BY: J.T.D.
	PROJECT NO : HOCO100901 SDP2.DWG
	DATE : OCTOBER 24, 1996
	SCALE : AS SHOWN
JAYKANT D. PAREKH #19148	DRAWING NO. 2 OF 13

MATCHLINE SEE SHEET 2

MATCHLINE SEE SHEET 2

NOTE:
FILL FOR CUTOFF TRENCH AND EMBANKMENT CONSTRUCTION SHOULD BE PLACED IN MAXIMUM EIGHT (8) INCH LOOSE LIFTS AND COMPACTED WITHIN 95% OF THE MAXIMUM DRY DENSITY IN ACCORDANCE WITH THE STANDARD PROCTOR ASTM D-698.

S.W.M.F. #1 D.A. = 5.2 AC.	2-YEAR			10-YEAR			100-YEAR		
	ALLOWABLE RELEASE RATE	8.4 CFS	10.6 CFS	42.5 CFS					
COMPUTED INFLOW	17.4 CFS	22.4 CFS	22.4 CFS	42.5 CFS					
DISCHARGE	1.58 CFS	10.1 CFS	10.1 CFS	36.6 CFS					
W.S.E.	186.91	189.91	190.1E						
STORAGE VOLUME	0.651 AC FT	0.986 AC FT	0.615 AC FT						

N 138°50'00"
L 537'000

N 53°25'00"
L 1367'000

PLAN
SCALE: 1"=30'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

James S. Smith 11/20/96
DIRECTOR DATE

Richard Blood 11/17/96
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Richard Blood 11/20/96
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE	NO.	REVISION

OWNER / DEVELOPER
THE SALVATION ARMY
MAJOR WILLIAM MADISON
3304 KENILWORTH AVENUE
BLADENSBURG, MD

PROJECT
SALVATION ARMY
THRIFT STORE & DONATION CENTER

AREA
TAX MAP 48 PARCEL 95 ZONED M-2
6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE
SITE DEVELOPMENT PLAN

RIEMER MUEGGE & ASSOCIATES, INC.
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
8818 Centre Park Drive • Suite 200 • Columbia, MD 21045
410-997-8900 FAX: 410-997-9282

10.24.96
DATE

BA-95-35E ZB-963R

DESIGNED BY: J.T.D.

DRAWN BY: J.T.D.

PROJECT NO.: HOCO\100901
SDP3.DWG

DATE: OCTOBER 24, 1996

SCALE: AS SHOWN

DRAWING NO. 3 OF 13

JAYKANT D. PAREKH #19148

DRAINAGE AREA TABULATION

INLET#	D.A.	'C'	%MP	ZONING
I-1	0.30 AC	0.55	53	M-2
I-2	0.50 AC	0.46	42	M-2
I-3	0.41 AC	0.64	68	M-2
I-4	0.12 AC	0.80	92	M-2
I-5	0.14 AC	0.81	93	M-2
I-6	0.90 AC	0.82	93	M-2

EQUITY FINANCIAL CORPORATION
411/572
ZONED: M-2
TAX MAP 47 PARCEL 59

AVANTI CORPORATION
PLAT 5342 PARCEL A
ZONED: M-2
TAX MAP 48 PARCEL B9

LEGEND

- LIMIT OF DISTURBANCE
- DRAINAGE AREA
- SUPER SILT FENCE
- STABILIZED CONSTRUCTION ENTRANCE
- ROOF DRAIN PVC PIPE
- SOILS DELINEATION
- EXISTING TREES
- PROPOSED TREES

MATCHLINE SEE SHEET 5

PLAN
SCALE 1" = 30'

MATCHLINE SEE SHEET 5

SOIL DESCRIPTIONS	
KHC2	KEYPORT SILT LOAM, 3% TO 10% SLOPE, MODERATELY ERODED
SFB2	SASSAFRAS GRAVELLY SANDY LOAM, 1% TO 5% SLOPES, MODERATELY ERODED
CuB	COMUS SILT LOAM, LOCAL ALLUVIUM, 3% TO 8% SLOPES

21.0 STANDARD AND SPECIFICATIONS FOR TOPSOIL

Definition
Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose
To provide a suitable soil medium for vegetative growth. Soil of concern here has low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil granules.

Conditions Where Practice Applies

- This practice is limited to areas having 2:1 or flatter slopes where:
 - The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
 - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish constant supplies of moisture and plant nutrients.
 - The original soil to be vegetated contains material toxic to plant growth.
 - The soil is so acidic that treatment with lime is not feasible.
- For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special considerations and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

- Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profiles section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.
- Topsoil Specifications - Soil to be used as topsoil must meet the following:
 - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of clinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 1/2" in diameter.
 - Topsoil must be free of plants or plant parts such as bermuda grass, quackgrass, Johnsongrass, mesquite, poison ivy, thistle, or others as specified.
 - When the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
- For sites having disturbed areas under 5 acres:
 - Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.
- For sites having disturbed areas over 5 acres:
 - On and meeting Topsoil specifications, obtain test results denoting fertilizer and lime amendments required to bring the soil into compliance with the following:
 - pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
 - Organic content of topsoil shall be not less than 1.5 percent by weight.
 - Topsoil having soluble salt content greater than 500 parts per million shall not be used.
 - No sod or seed shall be placed on soil which has been treated with soil inhibitors or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dispersion of phytotoxic materials.
 - Note: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist approved by the appropriate approval authority, may be used in lieu of natural topsoil.
 - Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.

Topsoil Application

- When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fences and Sediment Traps and Basins.
- Grades on the areas to be topsoiled, which have been previously established, shall be maintained, about 2" - 8" higher in elevation.
- Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
- Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

VI. Alternative for Permanent Seeding - Instead of applying the full amount of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:

- Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for sites having disturbed areas under 5 acres shall conform to the following requirements:
 - Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.06.
 - Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a pH of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.
 - Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.
 - Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb/1,000 square feet, and 1/3 the normal lime application rate.

References: Guideline Specifications, Soil Preparation and Soddling, MD-VA, Pub. #1, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institute, Revised 1975.

BY THE DEVELOPER:

I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

J. Parekh 8-8-96
DEVELOPER DATE

BY THE ENGINEER:

I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

J. Parekh 10-24-96
ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

Cheryl Simmons / J.S. 11/5/96
NATURAL RESOURCES CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Andy Kelly 11/5/96
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

James H. Sauter 11/20/96
DIRECTOR DATE

Richard Blood 11/20/96
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Richard Blood 11/20/96
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE NO. REVISION

OWNER / DEVELOPER

THE SALVATION ARMY
MAJOR WILLIAM MADISON
3304 KENILWORTH AVENUE
BLADENSBURG, MD

PROJECT

**SALVATION ARMY
THRIFT STORE & DONATION CENTER**

AREA

TAX MAP 48 PARCEL 95 ZONED M-2
6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE

**DRAINAGE AREA, GRADING, AND
SEDIMENT CONTROL PLAN**

RIEMER MUEGGE & ASSOCIATES, INC.
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
8818 Centre Park Drive • Suite 200 • Columbia, MD 21045
410-997-8900 FAX: 410-997-9282

10-24-96
DATE

ZB-963R BA-95-35E
DESIGNED BY: J.T.D.

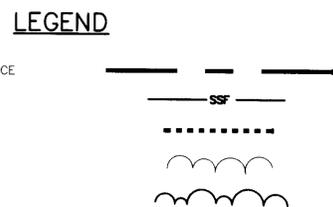
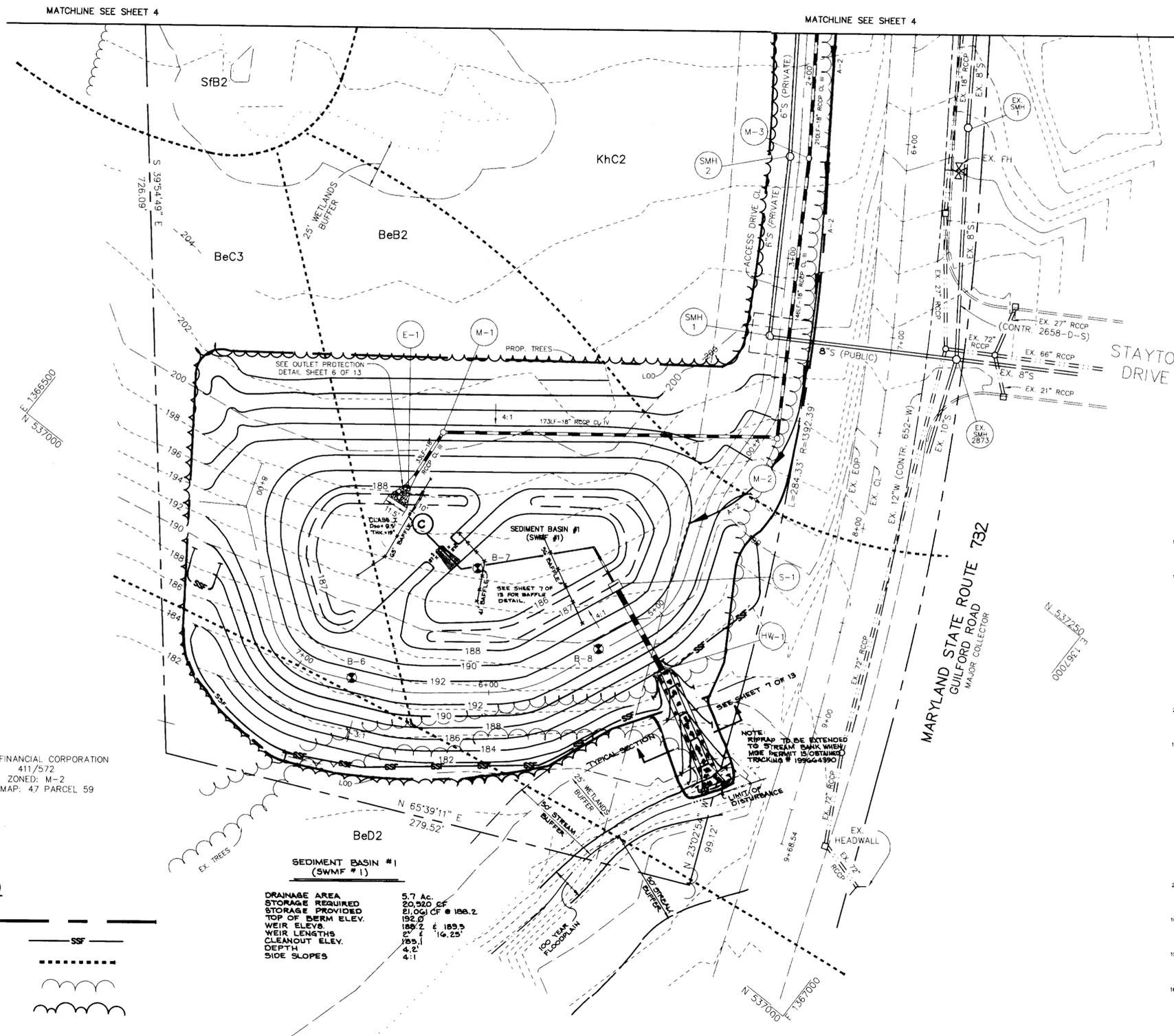
DRAWN BY: J.T.D.

PROJECT NO. HOCO\100901
SDP4.DWG

DATE: OCTOBER 24, 1996

SCALE: AS SHOWN

JAYKANT D. PAREKH #19148
DRAWING NO. 4 OF 13



SEDIMENT BASIN #1 (SWMF #1)

DRAINAGE AREA 5.7 AC.
 STORAGE REQUIRED 20,520 CF
 STORAGE PROVIDED 81,060 CF @ 188.2
 TOP OF BERM ELEV. 192.0
 WEIR ELEV. 188.2 @ 189.5
 WEIR LENGTH 20' @ 16.25'
 CLEANOUT ELEV. 189.1
 DEPTH 4.2'
 SIDE SLOPES 4:1

SOIL DESCRIPTIONS	
KhC2	KEYPORT SILT LOAM, 3% TO 10% SLOPE, MODERATELY ERODED
BeB2	BELTSVILLE SILT LOAM, 1% TO 5% SLOPE, MODERATELY ERODED
BeC3	BELTSVILLE SILT LOAM, 5% TO 10% SLOPES, SEVERELY ERODED
BeD2	BELTSVILLE SILT LOAM, 10% TO 15% SLOPES, MODERATELY ERODED
SfB2	SASSAFRAS GRAVELLY SANDY LOAM, 1% TO 5% SLOPES, MODERATELY ERODED

PLAN
SCALE 1"=30'

0'	BROWN, MOIST TO VERY MOIST, SOFT, SILTY CLAY, LITTLE SAND AND GRAVEL (SL)	184.8
4.0'	BROWN TO RED, MOIST TO VERY MOIST, DENSE TO VERY DENSE SAND, LITTLE TO SOME GRAVEL, TRACE SILT (SM)	180.8
14.0'	BROWN TO RED, MOIST TO MET. SOFT, SILTY CLAY, TRACE FINE SAND (CL)	170.8
16.5'	BOTTOM OF HOLE AT 16.5'	168.3
B-6 NO SCALE		
0'	BROWN, MOIST, VERY LOOSE FINE TO COARSE SAND, SOME GRAVEL, TRACE SILTY CLAY (SC)	194.2
2.0'	RED TO GRAY, MOIST TO VERY MOIST, VERY STIFF TO HARD, SILTY CLAY, TRACE FINE SAND (CL)	192.2
16.5'	BOTTOM OF HOLE AT 16.5'	177.7
B-7 NO SCALE		
0'	REDDISH BROWN, MOIST, VERY LOOSE, CLAYEY SAND, WITH GRAVEL (SC)	189.1
2.0'	RED, MOIST TO VERY MOIST, STIFF TO VERY STIFF, SILTY CLAY, LITTLE SAND (CL)	187.1
10.0'	REDDISH BROWN, MOIST, VERY DENSE, SAND, LITTLE SILT AND GRAVEL, TRACE GRAVEL (SM)	179.1
15.0'	RED, MOIST TO VERY MOIST, STIFF TO VERY STIFF, SILTY CLAY, LITTLE SAND (CL)	174.1
16.5'	BOTTOM OF HOLE AT 16.5'	172.6
B-8 NO SCALE		

BY THE DEVELOPER :
 I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

W. Madison 8-8-96
 DEVELOPER DATE

BY THE ENGINEER :
 I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

J. Farrell 10-24-96
 ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

Clayton Summers 11/5/96
 NATURAL RESOURCES CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Clayton Summers 11/5/96
 HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Joseph Smith 11/20/96
 DIRECTOR DATE

Richard Blood 11/13/96
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Richard Blood 11/10/96
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE	NO.	REVISION

OWNER / DEVELOPER
 THE SALVATION ARMY
 MAJOR WILLIAM MADISON
 3304 KENILWORTH AVENUE
 BLADENSBURG, MD

PROJECT
**SALVATION ARMY
 THRIFT STORE & DONATION CENTER**

AREA
 TAX MAP 48 PARCEL 95 ZONED M-2
 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE
**GRADING AND SEDIMENT
 CONTROL PLAN**

RIEMER MUEGGE & ASSOCIATES, INC.
 ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
 8818 Centre Park Drive • Suite 200 • Columbia, MD 21045
 410-997-8900 FAX : 410-997-9282

10-24-96 DATE	ZB-963R BA-95-35E
	DESIGNED BY : J.T.D.
<i>J. Farrell</i>	DRAWN BY : J.T.D.
JAYKANT D. PAREKH #19148	PROJECT NO : HOCO100901 SDP5.DWG
	DATE : OCTOBER 24, 1996
	SCALE : AS SHOWN
	DRAWING NO. 5 OF 13

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be reseeded where a short-term vegetative cover is needed.

Seeding Preparation: Loosen upper three inches of soil by raking, digging or other acceptable means before seeding, if not previously loosened.

Soil Amendments: Apply 500 lbs. per acre 10-10-10 fertilizer (14 lbs. per 1000 sq ft).

Seeding: For periods March 1 thru April 30 and from August 1 thru November 15, seed with 2 1/2 tons per acre of annual ryegrass (2.2 lbs. per 1000 sq ft). For the period May 1 thru August 14, seed with 3 lbs. per acre of annual ryegrass (3.0 lbs. per 1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well-anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching: Apply 1-1/2 to 2 tons per acre (170 to 300 lbs. per 1000 sq ft) of unrotted small grain straw immediately after seeding. Mulch must immediately after application using mulch anchoring tool or 218 gal per acre (5 gal per 1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 ft. or higher, use 347 gal per acre (8 gal per 1000 sq ft) for anchoring.

Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rates and methods not covered.

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seeding Preparation: Loosen upper three inches of soil by raking, digging or other acceptable means before seeding, if not previously loosened.

Soil Amendments: In line of soil test recommendations, use one of the following schedules:

- 1) Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs. per 1000 sq ft) and 800 lbs. per acre (14 lbs. per 1000 sq ft) of 10-10-10 fertilizer (23 lbs. per 1000 sq ft) before seeding. Follow or disc into upper three inches of soil at time of seeding. Apply 400 lbs. per acre 30-0-0 ureaform fertilizer (9 lbs. per 1000 sq ft).
- 2) Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs. per 1000 sq ft) and 1000 lbs. per acre 10-10-10 fertilizer (23 lbs. per 1000 sq ft) before seeding. Follow or disc into upper three inches of soil.

Seeding: For the period March 1 thru April 30 and from August 1 thru October 15, seed with 80 lbs. per acre (14 lbs. per 1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 80 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (0.05 lbs. per 1000 sq ft) of seeding lowgrass. During the period October 16 thru February 28, protect site by one of the following options:

- 1) 2 tons per acre of well-anchored straw and seed as soon as possible in the spring.
- 2) Use sod.
- 3) Seed with 80 lbs. per acre Kentucky 31 Tall Fescue and mulch with 2 tons per acre well-anchored straw.

Mulching: Apply 1-1/2 to 2 tons per acre (170 to 300 lbs. per 1000 sq ft) of unrotted small grain straw immediately after seeding. Mulch must immediately after application using mulch anchoring tool or 218 gal per acre (5 gal per 1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 ft. or higher, use 347 gal per acre (8 gal per 1000 sq ft) for anchoring.

Maintenance - inspect all seeded areas and make needed repairs, replacements and reseedings.

SEDIMENT CONTROL NOTES

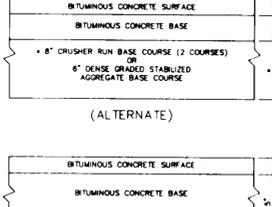
1. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION (03-1800).
2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL AND EROSION CONTROL, AND REVISIONS THERETO.
3. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: (A) CALENDAR DATES FOR ALL PERMITS SEDIMENT CONTROL STRUCTURES, DICES, PERMETER DAPES, DISTURBED OR GRADED AREAS ON THE PROJECT SITE; (B) 14 DAYS AS TO OTHER AREAS.
4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THE PERMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STONE DRAINAGE.
5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL AND EROSION CONTROL FOR PERMANENT SEEDINGS (SEC. 51) SOI (SEC. 54), TEMPORARY SEEDING (SEC. 50) AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONG CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SENIOR INSPECTOR.
7. SITE ANALYSIS:

TOTAL AREA OF SITE	8.7 ACRES
AREA DISTURBED	4.8 ACRES
AREA TO BE ROOFED OR PAVED	2.0 ACRES
AREA TO BE VEGETATIVELY STABILIZED	2.9 ACRES
TOTAL CUT	11800 CU YDS.
TOTAL FILL	3070 CU YDS.
8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
9. ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SENIOR INSPECTOR.
10. SITE GRADING WILL BEGAIN ONLY AFTER ALL PERMETER SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED AND ARE IN A FUNCTIONING CONDITION.
11. SEDIMENT WILL BE REMOVED FROM TRAPS WHEN ITS DEPTH REACHES CLEAN OUT ELEVATION SHOWN ON THE PLANS.
12. CUT AND FILL QUANTITIES PROVIDED UNDER SITE ANALYSIS DO NOT REPRESENT 80 QUANTITIES. THESE QUANTITIES DO NOT DISTINGUISH BETWEEN TOPSOIL, STRUCTURAL FILL OR EMBANKMENT MATERIAL, NOR DO THEY REFLECT CONSIDERATION OF UNDERCUTTING OR REMOVAL OF UNDESIRABLE MATERIAL. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH SITE CONDITIONS WHICH MAY AFFECT THE WORK.
13. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 3 AC, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERMETER SEDIMENT CONTROL MEASURES. BUT BEFORE GRADING OR PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
14. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN BE BACKFILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.
15. BORROW SITE TO BE PRE-APPROVED BY THE SEDIMENT CONTROL INSPECTOR, OR IN CASE OF EXCESS MATERIAL, AN APPROVED SEDIMENT CONTROL PLAN WILL BE NEEDED TO DEPOSIT EXCESS OFF-SITE.

STRUCTURE	MEDIUM	LENGTH (L)	WIDTH (W)	THICKNESS (T)	Q10	V	DEPTH
E-1	3/4" CLASS I STONE	10'	11.5'	19"	9.5 CFS	3.4 FPS	0.2'
HW-1	3/4" CLASS I STONE	3'	19"	10.1 CFS	1.4 FPS	0.2'	

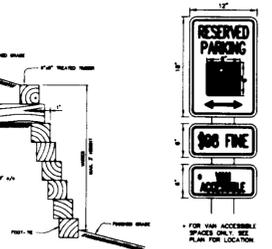
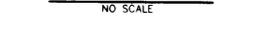
NOTE: Q10, V & DEPTH CALCULATED @ END OF RIPRAP OUTLET CHANNEL.

RIPRAP OUTLET PROTECTION DATA

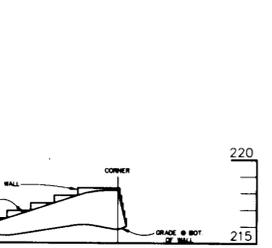


HOWARD COUNTY DESIGN MANUAL VOLUME IV - STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (DRAWING R-2.01)

P-2 PAVING



RETAINING WALL DETAIL



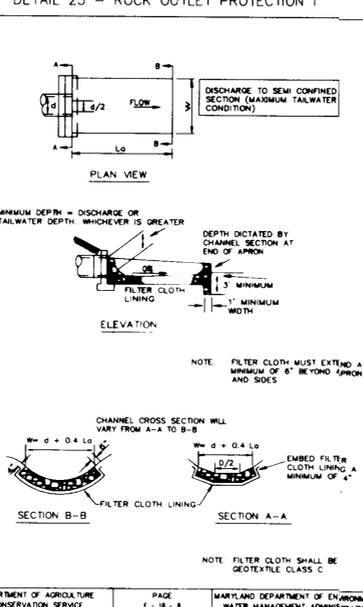
HANDICAP SIGN DETAIL

RETAINING WALL PROFILE



RETAINING WALL PROFILE

DETAIL 25 - ROCK OUTLET PROTECTION I



U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 1-18-B MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

ROCK OUTLET PROTECTION

- Construction Specifications
1. The subgrade for the filter, rip-rap, or gabion shall be prepared to the required lines and grades. Any fill required in the subgrade shall be compacted to a density of approximately that of the surrounding undisturbed material.
 2. The rock or gravel shall conform to the specified grading limits when installed respectively in the rip-rap or filter.
 3. Geotextile shall be protected from punching, cutting, or tearing. Any damage other than an occasional small hole shall be repaired by placing another piece of geotextile over the damaged spot or by completely replacing the geotextile. All overlaps whether for repairs or for joining two pieces of geotextile shall be a minimum of one foot.
 4. Stone for the rip-rap or gabion outlets may be placed by equipment. They shall be constructed to the full course thickness in one operation and in such a manner as to avoid displacement of underlying materials. The stone for rip-rap or gabion outlets shall be delivered and placed in a manner that will ensure that it is reasonably homogeneous with the smaller stones and spalls filling the voids between the larger stones. Rip-rap shall be placed in a manner to prevent damage to the filter blanket or geotextile. Hand placement will be required to the extent necessary to prevent damage to the permanent stone.
 5. The stone shall be placed so that it blends in with the existing ground. If the stone is placed too high then the flow will be forced out of the channel and scour adjacent to the stone will occur.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 1-18-B MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

SILT FENCE

Silt Fence Design Criteria

Slope Steepness	(Maximum) Slope Length	(Maximum) Silt Fence Length
Flatter than 50:1	unlimited	unlimited
50:1 to 10:1	125 feet	1,000 feet
10:1 to 5:1	100 feet	750 feet
5:1 to 3:1	80 feet	500 feet
3:1 to 2:1	40 feet	250 feet
2:1 and steeper	20 feet	125 feet

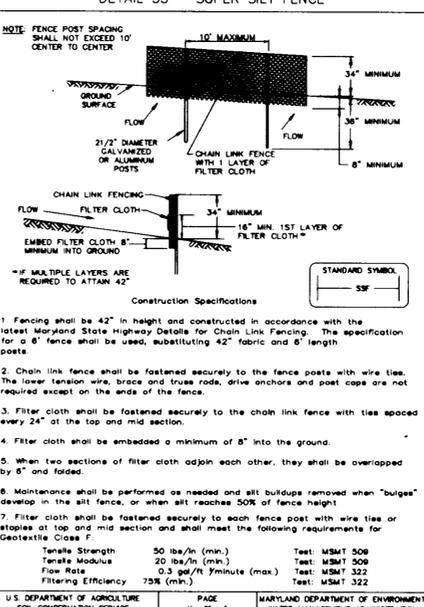
Note: In areas of less than 2% slope and sandy soils (USDA general classification system, soil Class A) maximum slope length and silt fence length will be unlimited in these areas a silt fence may be the only perimeter control required.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 1-15-3A MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

SEQUENCE OF CONSTRUCTION

1. OBTAIN A GRADING PERMIT AND ALL OTHER NECESSARY PERMITS.
2. INSTALL SILT FENCE AND SIGN (1 WEEK)
3. CONCRETE BASH #1 AND MOODY C-1 (1 WEEK)
4. INSTALL EARTH DIKES (2 WEEKS)
5. INSTALL STORM DRAIN LINE FROM BASH #1 TO "G" (2 WEEKS)
6. CLEAR AND GRUB SITE AS NECESSARY (1 WEEK)
7. ROUGH GRADE THE SITE LEAVING EASTERN SIDE OF SITE UNTIL LAST. REMOVE EARTH DIKE. PROVIDE POSITIVE DRAINAGE TO 1/8" OF SEDIMENT LOADED RUNOFF (3 WEEKS)
8. INSTALL REMAINING UTILITIES (2 MONTHS)
9. INSTALL CURBS AND GUTTER AND REIN PAVING (1 MONTH)
10. STABILIZE DISTURBED AREAS IN ACCORDANCE WITH THE PERMANENT SEEDING NOTES (1 WEEK)
11. FLUSH STORM DRAIN SYSTEM, DREGS BASH #1, BRING BASH #1 TO FINISH GRADE FOR SWM #1.
12. RIPRAP TO BE EXTENDED TO STREAM BANK WHEN MADE PERMIT IS OBTAINED.
13. WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, REMOVE PERMITS, SEDIMENT CONTROL DEVICES AND STABILIZE REMAINING DISTURBED AREAS. REMOVE MODIFICATIONS TO SWM STRUCTURES.

DETAIL 33 - SUPER SILT FENCE



U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 1-28-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

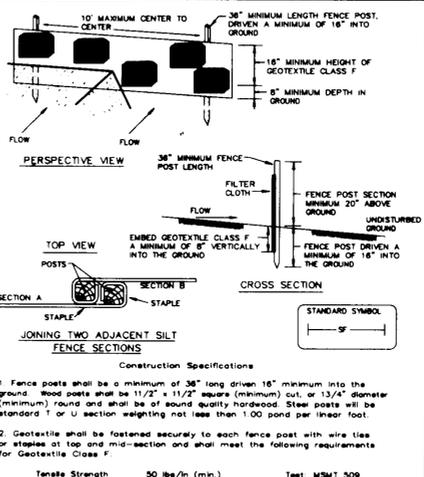
SUPER SILT FENCE

Design Criteria

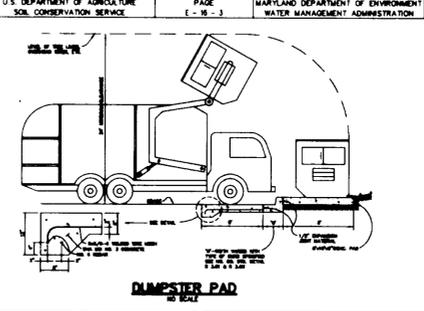
Slope	Slope Steepness	Slope Length (Maximum)	Silt Fence Length (Maximum)
0 - 10%	0 - 10:1	Unlimited	Unlimited
10 - 20%	10:1 - 5:1	200 feet	1,500 feet
20 - 33%	5:1 - 3:1	100 feet	1,000 feet
33 - 50%	3:1 - 2:1	100 feet	500 feet
50% +	2:1 +	50 feet	250 feet

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 1-28-3A MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 22 - SILT FENCE

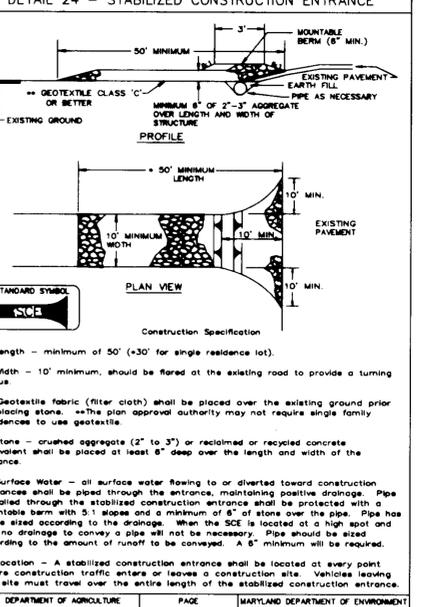


U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 1-15-3A MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 1-15-3A MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



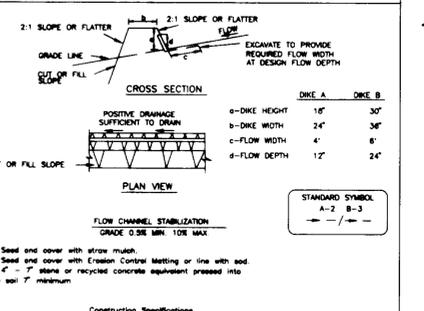
U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 1-17-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

STABILIZED CONSTRUCTION ENTRANCE

- Construction Specifications
1. Length - minimum of 50' (+30' for single residence lot).
 2. Width - 10' minimum, should be flared at the existing road to provide a turning radius.
 3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. The plan approval authority may not require single family residences to use geotextile.
 4. Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 8" deep over the length and width of the entrance.
 5. Surface Water - all surface water flowing to or diverted toward construction entrance shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable curb with 5:1 slope and a minimum of 8" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
 6. Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 1-17-3A MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 1 - EARTH DIKE



U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 1-17-3A MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

- Construction Specifications
1. Seed and cover with straw mulch.
 2. Seed and cover with Erosion Control Matting or the like with 3" x 2" x 7" stone or recycled concrete equivalent placed into the soil 7" minimum.
 3. Runoff diverted from an undisturbed area shall outlet directly into an undisturbed, stabilized area of no-erosive velocity.
 4. All trees, brush, stumps, obstructions, and other objectionable material shall be removed and disposed of as set to interfere with the proper functioning of the dike.
 5. The dike shall be excavated or sheared to line, grade and cross section as required to meet the criteria specified herein and be free of bank projections or other irregularities which will impede normal flow.
 6. Fill shall be compacted by earth moving equipment.
 7. All earth removed and not needed for construction shall be placed so that it will not interfere with the functioning of the dike.
 8. Inspection and maintenance must be provided periodically and after each rain event.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 1-17-3A MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

BY THE DEVELOPER :

I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

DEVELOPER: *J. Parke* DATE: 10.24.96

BY THE ENGINEER :

I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

ENGINEER: *J. Parke* DATE: 10.24.96

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

Clayton Simmons, Esq. DATE: 11/5/96
NATURAL RESOURCES CONSERVATION SERVICE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

John S. Satter DATE: 11/5/96
HOWARD SOIL CONSERVATION DISTRICT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

James S. Satter DATE: 11/20/96
DIRECTOR

Richard B. Bond DATE: 11/20/96
CHIEF, DEVELOPMENT ENGINEERING DIVISION
CHIEF, DIVISION OF LAND DEVELOPMENT

DATE	NO.	REVISION

OWNER / DEVELOPER

THE SALVATION ARMY
MAJOR WILLIAM MADISON
3304 KENILWORTH AVENUE
BLADENSBURG, MD

PROJECT: SALVATION ARMY
THRIFT STORE & DONATION CENTER

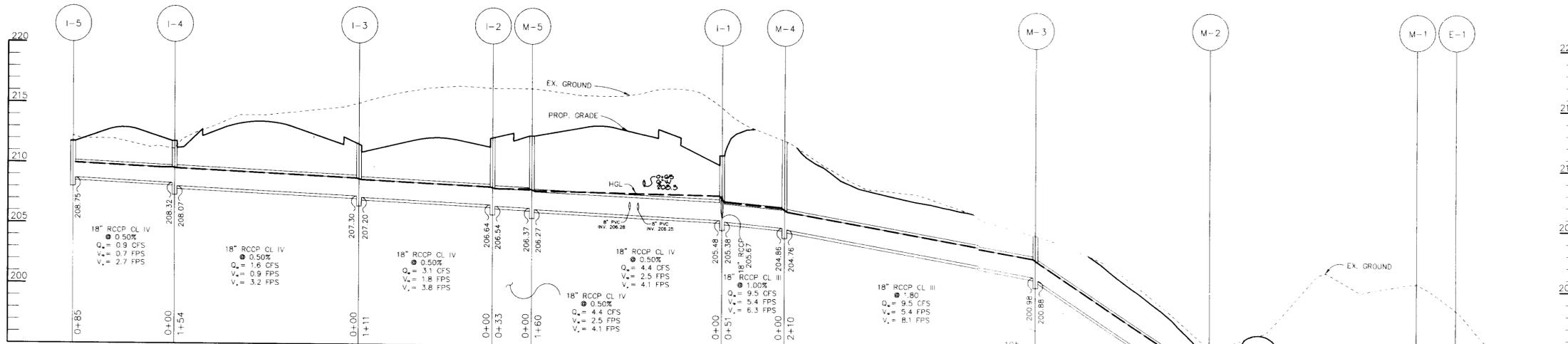
AREA: TAX MAP 48 PARCEL 95 ZONED M-2
6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE: SEDIMENT CONTROL NOTES,
DETAILS, AND SPECIFICATIONS

RIEMER MUEGGE & ASSOCIATES, INC.
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
8818 Centre Park Drive • Suite 200 • Columbia, MD 21045
410-997-8900 FAX: 410-997-9282

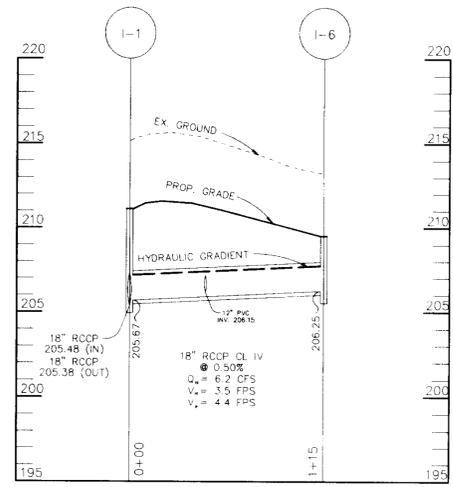
DATE: 10.24.96
DATE: 10.24.96
SCALE: AS SHOWN
DRAWING NO. 7 OF 13

JAYKANT D. PAREKH #19148



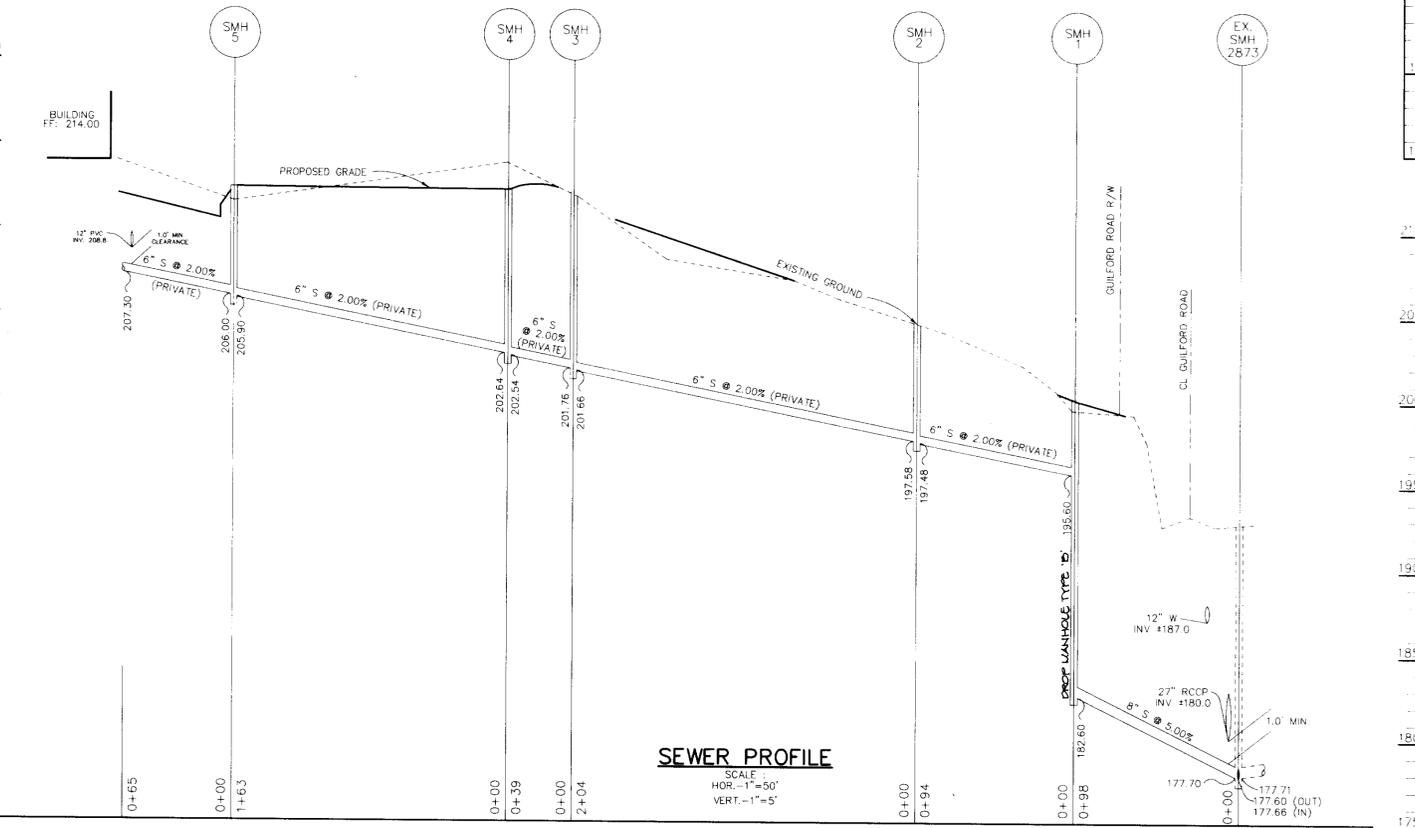
STORM DRAIN PROFILE

SCALE
HOR. - 1" = 50'
VERT. - 1" = 5'



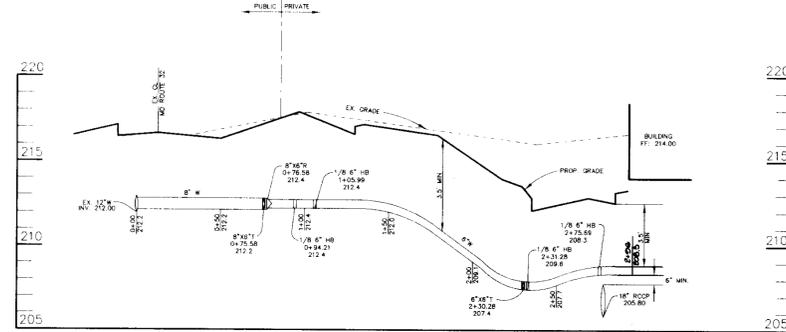
STORM DRAIN PROFILE

SCALE
HOR. - 1" = 50'
VERT. - 1" = 5'



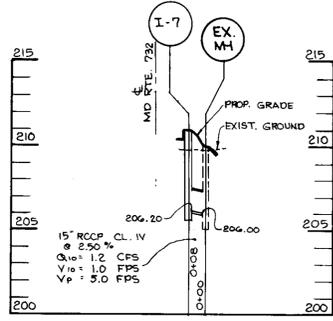
SEWER PROFILE

SCALE
HOR. - 1" = 50'
VERT. - 1" = 5'



WATER PROFILE

SCALE
HOR. - 1" = 50'
VERT. - 1" = 5'



STORM DRAIN PROFILE

SCALE
HOR. - 1" = 50'
VERT. - 1" = 5'

STRUCTURE SCHEDULE						
STRUCTURE	LID ELEVATION	TYPE	HOCO STD DETAIL	IN	OUT	LOCATION
E-1	Inv. @ OUTFALL 187.0	18" END SECTION	SD-5.51		187.00	N 537099.66 E 1366677.64 @ CONNECTION BETWEEN PIPE AND END STRUCTURE
M-1	18" ABOVE GRADE	STAND MH	G-5.12	190.37	187.33	N 537126.39 E 1366675.33 @ CENTER OF STRUCTURE
M-2	195.3	STAND MH	G-5.12	191.24	191.14	N 537232.15 E 1366812.67 @ CENTER OF STRUCTURE
M-3	204.5	STAND MH	G-5.12	200.98	200.88	N 537356.34 E 1366735.91 @ CENTER OF STRUCTURE
M-4	212.1	STAND MH	G-5.12	204.86	204.76	N 537529.00 E 1366616.14 @ CENTER OF STRUCTURE
M-5	212.40	STAND MH	G-5.12	206.37	206.27	N 537572.89 E 1366413.77 @ CENTER OF STRUCTURE
I-1	210.56	A-5	SD-4.01	205.87	205.38	N 537523.22 E 1366563.11 @ FRONT CENTER OF STRUCTURE (FACE OF CURB)
I-2	212.08	A-5	SD-4.01	206.64	206.54	N 537572.52 E 1366380.01 @ FRONT CENTER OF STRUCTURE (FACE OF CURB)
I-3	211.28	A-5	SD-4.01	207.20	207.00	N 537586.35 E 1366271.85 @ FRONT CENTER OF STRUCTURE (FACE OF CURB)
I-4	211.78	A-5	SD-4.01	208.32	208.07	N 537438.63 E 1366233.84 @ FRONT CENTER OF STRUCTURE (FACE OF CURB)
I-5	211.78	A-5	SD-4.01	208.75	208.75	N 537373.44 E 1366288.37 @ FRONT CENTER OF STRUCTURE (FACE OF CURB)
I-6	209.58	A-5	SD-4.01	206.25	206.25	N 537414.19 E 1366529.70 @ FRONT CENTER OF STRUCTURE (FACE OF CURB)
SMH-1	199.70	DROP TYPE B	S-1.32	195.60	182.60	N 537271.12 E 1366776.83 @ CENTER OF STRUCTURE
SMH-2	204.50	STAND MH	G-5.12	197.58	197.48	N 537350.86 E 1366727.54 @ CENTER OF STRUCTURE
SMH-3	212.10	STAND MH	G-5.12	202.64	202.54	N 537518.41 E 1366611.31 @ CENTER OF STRUCTURE
SMH-4	212.30	STAND MH	G-5.12	202.64	202.54	N 537514.24 E 1366573.01 @ CENTER OF STRUCTURE
SMH-5	211.40	STAND MH	G-5.12	206.00	205.90	N 537359.95 E 1366521.70 @ CENTER OF STRUCTURE
S-1	190.00	SEE DETAIL	SEE DETAIL	183.80	183.80	N 537119.56 E 1366794.55 @ CENTER OF STRUCTURE
HW-1	Inv. @ OUTFALL 183.0	TYPE A HW	SD-5.11	183.00	183.00	N 537100.78 E 1366839.81 @ CENTER OF STRUCTURE
I-7	211.00	COG - 15		206.20	4.44%	N 537600.11 E 1366657.58 @ FRONT CENTER OF STRUCTURE (FACE OF CURB)

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

[Signature] DIRECTOR 11/20/96 DATE

[Signature] CHIEF, DEVELOPMENT ENGINEERING DIVISION 11/2/96 DATE

[Signature] CHIEF, DIVISION OF LAND DEVELOPMENT 11/20/96 DATE

DATE	NO.	REVISION

OWNER / DEVELOPER

THE SALVATION ARMY
MAJOR WILLIAM MADISON
3304 KENILWORTH AVENUE
BLADENSBURG, MD

PROJECT

**SALVATION ARMY
THRIFT STORE & DONATION CENTER**

AREA

TAX MAP NO. 48 ZONED M-2
SALVATION ARMY PROPERTY, PARCEL 95
6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE

STORM DRAIN, SEWER, AND WATER PROFILES

RIEMER MUEGGE & ASSOCIATES, INC.
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
8818 Centre Park Drive • Suite 200 • Columbia, MD 21045
410-997-8900 FAX: 410-997-9282

10.24.96 DATE

ZB-963R BA-95-35E

DESIGNED BY: J.T.D.

DRAWN BY: J.T.D.

PROJECT NO: HOCO\100901 SDP8.DWG

DATE: OCTOBER 24, 1996

SCALE: AS SHOWN

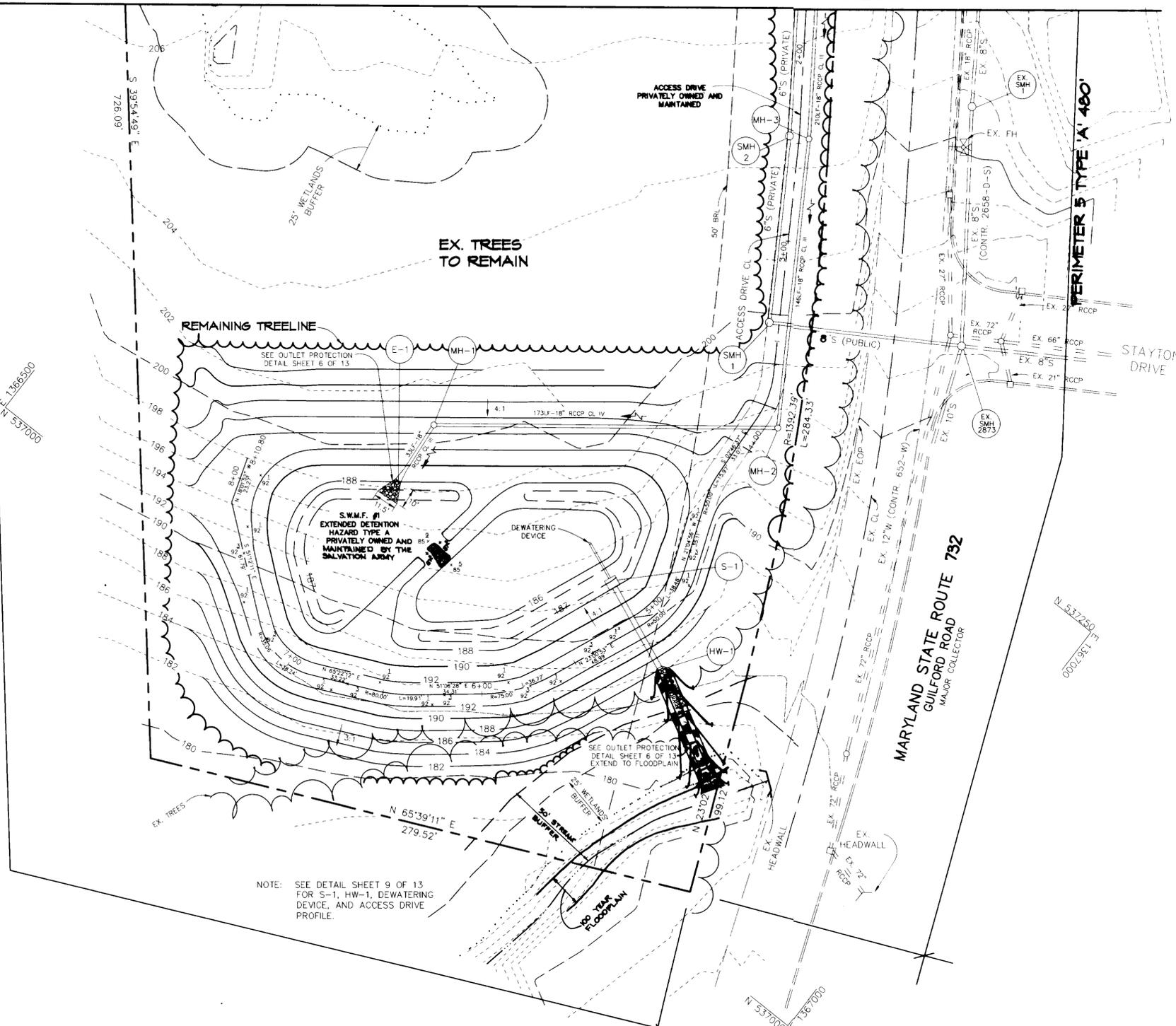
[Signature] JAYKANT D. PAREKH #19148 DRAWING NO. 8 OF 13

MATCHLINE SEE SHEET 10

MATCHLINE SEE SHEET 10

PERIMETER 6 TYPE 'A' 680'

PERIMETER 5 TYPE 'A' 480'



NOTE: SEE DETAIL SHEET 9 OF 13 FOR S-1, HW-1, DEWATERING DEVICE, AND ACCESS DRIVE PROFILE.

REMAINING TREELINE

EX. TREES TO REMAIN

PLAN
S.C.A.E. 1"=30'



LEGEND

- PROPOSED TREELINE (REMAINING TREES)
- EXISTING TREELINE
- PROPOSED TREE PLANTINGS
- PROPOSED SHRUB PLANTINGS
- PROPOSED EVERGREEN PLANTINGS
- SITE LIGHT
- EXISTING BUILDING

NOTES:

1. SEE SHEET 10 FOR PLANT MATERIALS LIST, PLANTING DETAILS, LANDSCAPE MANUAL SCHEDULES, & GENERAL NOTES
2. THE STORM WATER MANAGEMENT FACILITY IS NOT LOCATED WITHIN A RESIDENTIAL DEVELOPMENT OR A RESIDENTIAL ZONE. THE SWMF IS NOT ADJACENT TO OR VISIBLE FROM A RESIDENTIAL DISTRICT, LOT, OR STRUCTURE.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
 DIRECTOR: *[Signature]* DATE: 11/20/96
 CHIEF, DIVISION OF LAND DEVELOPMENT: *[Signature]* DATE: 11/20/96

DATE	NO.	REVISION

OWNER / DEVELOPER
 THE SALVATION ARMY
 MAJOR WILLIAM MADISON
 3304 KENILWORTH AVENUE
 BLADENSBURG, MD

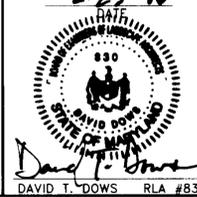
PROJECT: **SALVATION ARMY**
THRIFT STORE & DONATION STORE

AREA: TAX MAP NO. 45 ZONED M-2
 SALVATION ARMY PROPERTY, PARCEL 95
 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE: **LANDSCAPE PLAN**

RIEMER MUEGGE & ASSOCIATES, INC.
 Planners • Engineers • Surveyors
 8818 Centre Park Drive • Suite 200 Columbia, Md 21045
 410-997-8900 FAX: 410-997-9282

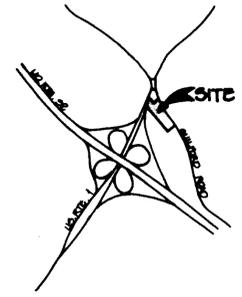
2-23-96
 DESIGNED BY: D.T.D.
 DRAWN BY: C.A.K.
 PROJECT NO: 100906
 DATE: OCTOBER 24, 1996
 SCALE: 1" = 30'
 DRAWING NO. 11 OF 13



MARYLAND STATE ROUTE 732
GUILFORD ROAD
MAJOR COLLECTOR

NOTE:
CONTRACTOR TO VERIFY
LOCATION AND INVERT OF
EX. 12" WATERLINE PRIOR
TO CONSTRUCTION. IF THE
LOCATION OR INVERT DIFFER
FROM PLAN PLEASE NOTIFY
THE ENGINEER.

CL INTX
CL STA 2+80.00
CL STA 0+00.00
N 537729.61
E 1366555.31



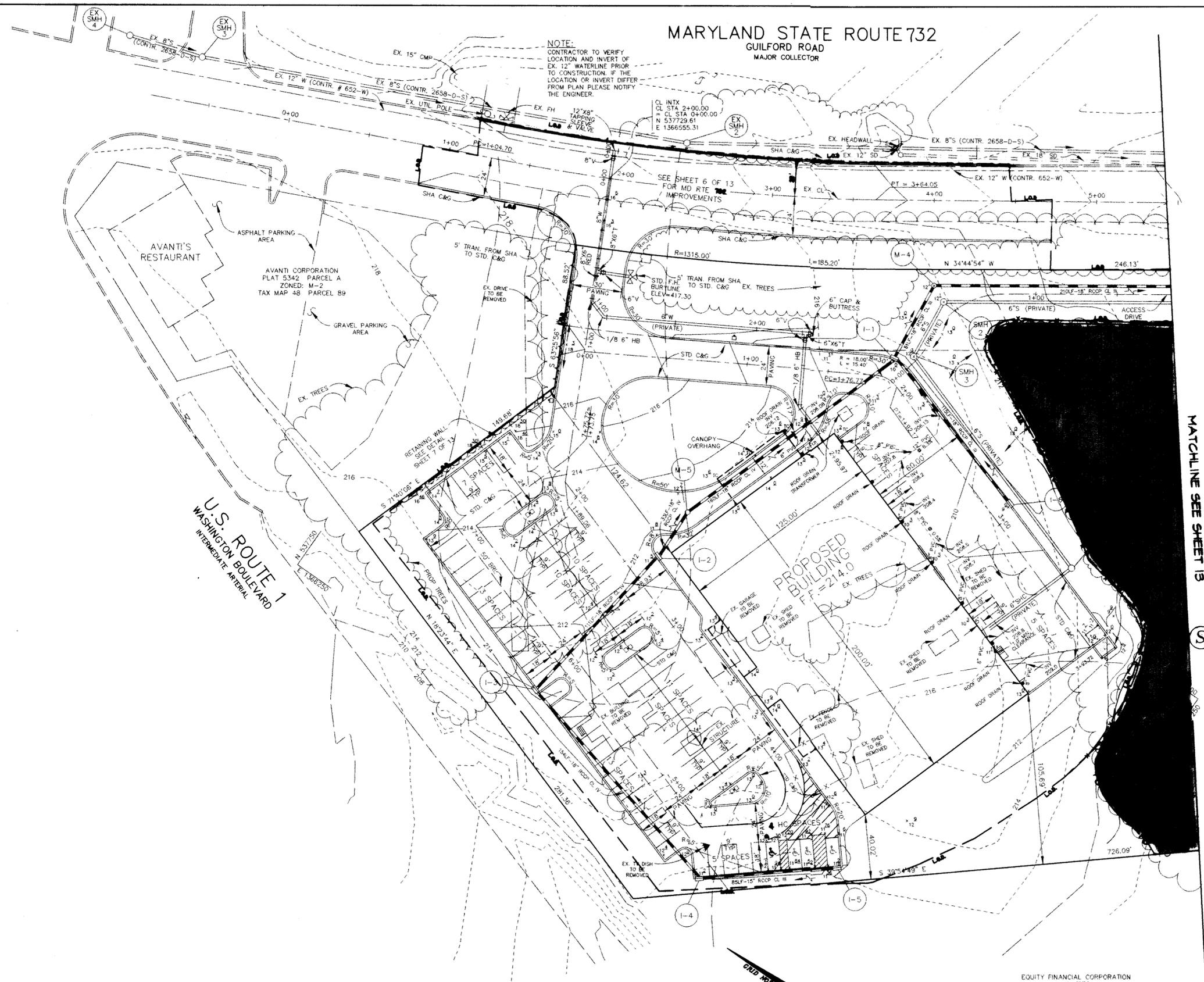
VICINITY MAP
SCALE: 1"=2000'

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PERMITTED USE NO. 20894285

LEGEND:

- EXISTING FOREST
- PROPOSED FOREST
- 100 YR. FLOODPLAIN
- LIMIT OF WETLANDS
- 25' WETLAND BUFFER
- 50' STREAM BUFFER
- LIMIT OF DISTURBANCE
- FOREST CONSERVATION
- FOREST CONSERVATION SIGNAGE
- FOREST CONSERVATION FENCING

MATCHLINE SEE SHEET 13



U.S. ROUTE 1
WASHINGTON BOULEVARD
INTERMEDIATE ARTERIAL

PLAN
SCALE: 1"=30'

EQUITY FINANCIAL CORPORATION
411/572
ZONED: M-2
TAX MAP 47 PARCEL 59

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

James S. Smith 11/20/96
DIRECTOR DATE
Richard Blund 11/20/96
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE NO.	REVISION

OWNER / DEVELOPER
THE SALVATION ARMY
1424 NORTHEAST EXPRESSWAY
ATLANTA, GEORGIA

PROJECT
**SALVATION ARMY
THRIFT STORE & DONATION STORE**

AREA
TAX MAP 48 PARCEL 95 ZONED M-2
6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE
**FOREST CONSERVATION
PLAN**

RIEMER MUEGGE & ASSOCIATES, INC.
Planners • Engineers • Surveyors
8818 Centre Park Drive • Suite 200 Columbia, Md 21045
410-997-8900 FAX: 410-997-9282

DATE 10-22-96	DESIGNED BY: C.A.K.
	DRAWN BY: C.A.K.
	PROJECT NO: 100907
	DATE: OCTOBER 24, 1996
	SCALE: 1" = 30'
	DRAWING NO. 12 OF 13

HOWARD COUNTY FOREST CONSERVATION WORKSHEET

MATCHLINE SEE SHEET 12

I. BASIC SITE DATA

GROSS SITE AREA	6.74 AC.	6.74 AC.
AREA WITHIN 100 YEAR FLOODPLAIN	0.17 AC.	0.17 AC.
AREA WITHIN AGRICULTURAL USE OR PRESERVATION PARCEL (IF APPLICABLE)	0.00 AC.	0.00 AC.
NET TRACT AREA	6.57 AC.	6.57 AC.
LAND USE CATEGORY (R-RLD, R-RMD, R-S, C/1/0, I)	M-2	M-2

II. INFORMATION FOR CALCULATIONS

A. NET TRACT AREA	6.57 AC.	6.57 AC.
B. REFORESTATION THRESHOLD (15% X A)	0.99 AC.	0.99 AC.
C. AFFORESTATION THRESHOLD (15% X A)	5.56 AC.	5.56 AC.
D. EXISTING FOREST ON NET TRACT AREA	5.56 AC.	5.56 AC.
E. FOREST AREAS TO BE CLEARED	3.58 AC.	3.58 AC.
F. FOREST AREAS TO BE RETAINED	1.98 AC.	1.98 AC.

III. DETERMINING REQUIREMENTS: AFFORESTATION OR REFORESTATION

1. REFORESTATION

IF EXISTING FOREST AREAS EQUAL OR EXCEED THE AFFORESTATION MINIMUM (IF D EQUALS OR IS MORE THAN C), AND CLEARING OF FOREST AREAS IS PROPOSED, REFORESTATION REQUIREMENTS MAY APPLY.

GO TO SECTION IV

IF EXISTING FORESTS EXCEED THE AFFORESTATION MINIMUM (IF D EQUALS OR IS MORE THAN C) AND NO CLEARING OF EXISTING FOREST RESOURCES IS PROPOSED, NO REFORESTATION IS REQUIRED. NO FURTHER CALCULATIONS ARE NEEDED.

2. AFFORESTATION

IF EXISTING FOREST AREAS ARE LESS THAN THE AFFORESTATION MINIMUM (IF D IS LESS THAN C), AFFORESTATION REQUIREMENTS APPLY.

GO TO SECTION V

IV. REFORESTATION CALCULATIONS

A. NET TRACT AREA	6.57 AC.	6.57 AC.
B. REFORESTATION THRESHOLD (15% X A)	0.99 AC.	0.99 AC.
D. EXISTING FOREST ON NET TRACT AREA	5.56 AC.	5.56 AC.
E. FOREST AREAS TO BE CLEARED	3.58 AC.	3.58 AC.
F. FOREST AREAS TO BE RETAINED	1.98 AC.	1.98 AC.
G. FOREST AREAS CLEARED ABOVE REFORESTATION THRESHOLD (D-F, IF F EQUALS OR IS GREATER THAN B, ALTERNATE 1) (D-B, IF F IS LESS THAN B, ALTERNATE 2)	3.58 AC.	3.58 AC.

H. FOREST AREAS CLEARED BELOW REFORESTATION THRESHOLD (B-F, IF APPLICABLE)

0.00 AC.	0.00 AC.
----------	----------

I. FOREST AREAS RETAINED ABOVE REFORESTATION THRESHOLD (F-B, RETENTION CREDIT, IF APPLICABLE)

0.99 AC.	0.99 AC.
----------	----------

SELECT THE ALTERNATIVE THAT APPLIES:

1. CLEARING ABOVE THE THRESHOLD ONLY

IF FOREST AREAS TO BE RETAINED EQUAL OR ARE GREATER THAN THE REFORESTATION THRESHOLD (IF F EQUALS OR IS GREATER THAN B), THE FOLLOWING CALCULATIONS APPLY:

REFORESTATION FOR CLEARING ABOVE THRESHOLD $G \times 1/4$	0.90 AC.	0.90 AC.
CREDIT FOR FOREST AREAS RETAINED ABOVE THRESHOLD I = RETENTION CREDIT	0.99 AC.	0.99 AC.
TOTAL REFORESTATION REQUIRED $(G \times 1/4) - I$	-0.1 AC.	0.0 AC.

IF THE TOTAL REFORESTATION REQUIREMENT IS EQUAL TO OR LESS THAN 0, NO REFORESTATION IS REQUIRED

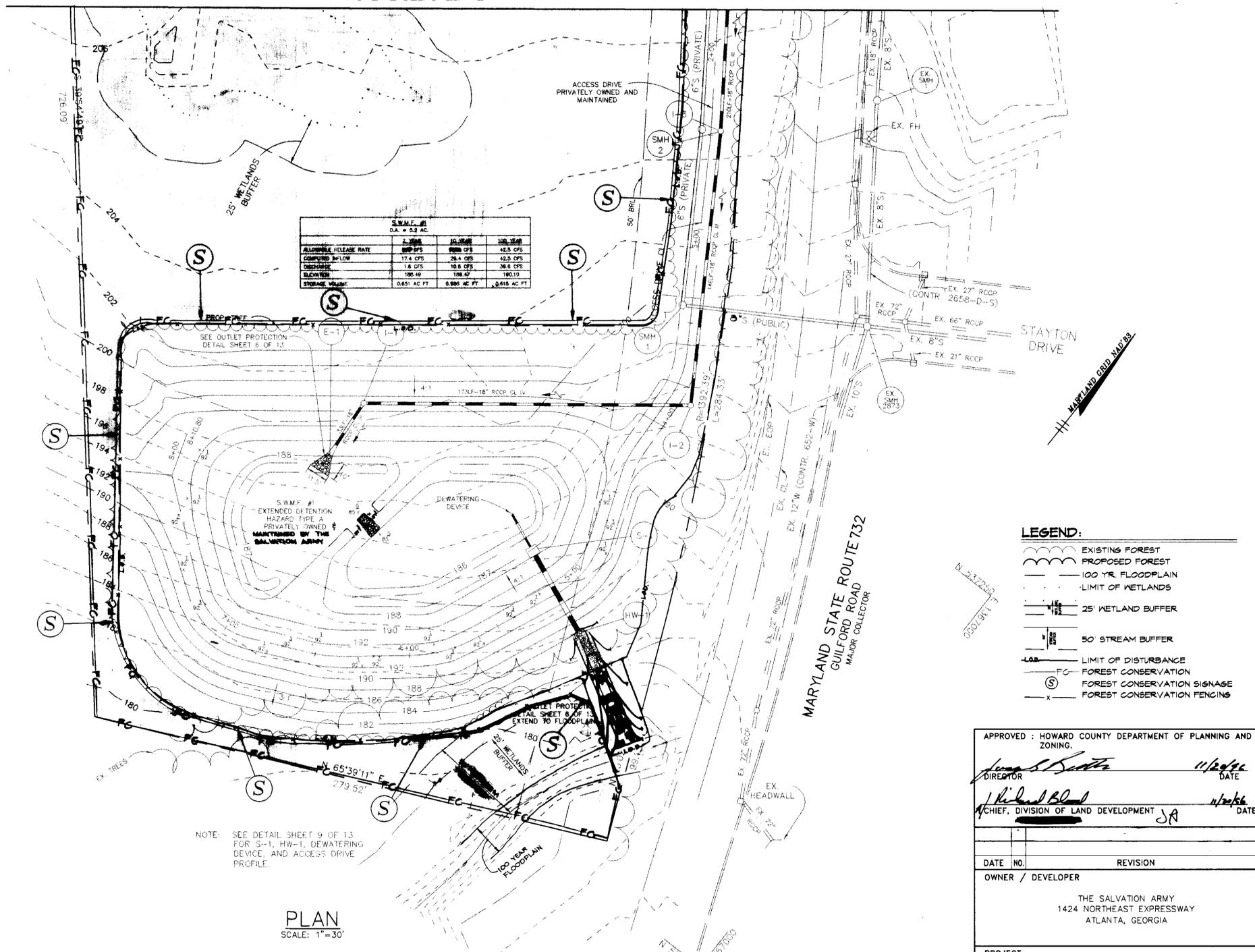
2. CLEARING BELOW THE THRESHOLD

IF FOREST AREAS TO BE RETAINED ARE LESS THAN THE REFORESTATION THRESHOLD (IF F IS LESS THAN B), THE FOLLOWING CALCULATIONS APPLY:

REFORESTATION FOR CLEARING ABOVE THRESHOLD $G \times 1/4$	0.0 AC.	0.0 AC.
REFORESTATION FOR CLEARING BELOW THRESHOLD H X 2	0.0 AC.	0.0 AC.
TOTAL REFORESTATION REQUIRED $(G \times 1/4) + (H \times 2)$	0.0 AC.	0.0 AC.

* NOTE: 1.98 ACRES (BREAK-EVEN POINT) SHOWN FOR FOREST CONSERVATION REQUIREMENTS

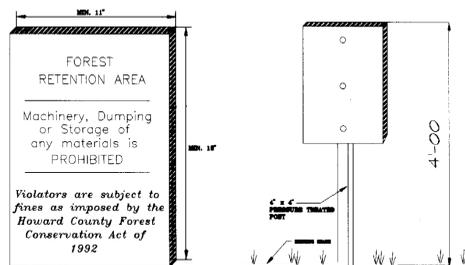
BREAK-EVEN PT.



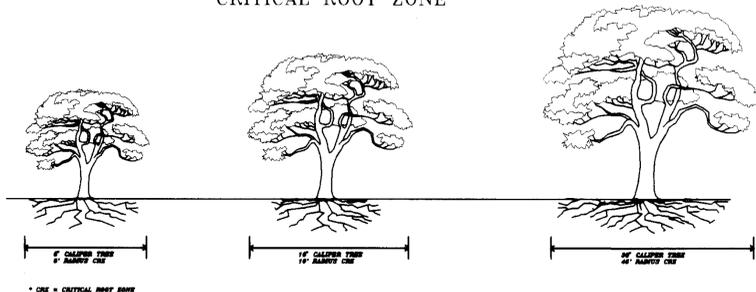
LEGEND:

- EXISTING FOREST
- PROPOSED FOREST
- 100 YR FLOODPLAIN
- LIMIT OF WETLANDS
- 25' WETLANDS BUFFER
- 50' STREAM BUFFER
- LIMIT OF DISTURBANCE
- FC FOREST CONSERVATION
- FC FOREST CONSERVATION SIGNAGE
- FC FOREST CONSERVATION FENCING

TREE PROTECTION FOREST RETENTION & REFORESTATION SIGN DETAIL



CRITICAL ROOT ZONE



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
 DIRECTOR: *[Signature]* DATE: 11/20/96
 CHIEF, DIVISION OF LAND DEVELOPMENT: *[Signature]* DATE: 11/20/96

OWNER / DEVELOPER: THE SALVATION ARMY, 1424 NORTHEAST EXPRESSWAY, ATLANTA, GEORGIA

PROJECT: SALVATION ARMY THRIFT STORE & DONATION STORE

AREA: TAX MAP 48 PARCEL 95 ZONED M-2, 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE: FOREST CONSERVATION PLAN

RIEMER MUEGGE & ASSOCIATES, INC.
 Planners • Engineers • Surveyors
 8818 Centre Park Drive • Suite 200 Columbia, Md 21045
 410-997-8900 FAX: 410-997-9282

DATE: 10-28-96
 DESIGNED BY: C.A.K.
 DRAWN BY: C.A.K.
 PROJECT NO: 100907
 DATE: OCTOBER 24, 1996
 SCALE: 1" = 30'
 DRAWING NO. 13 OF 13