

PARKING TABULATION

PARKING REQUIRES

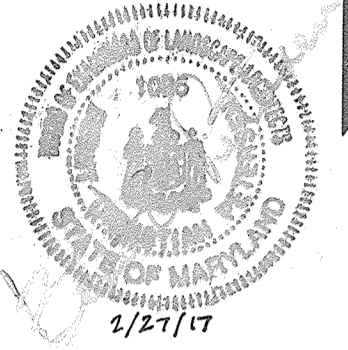
OFFICE - 19,296	Sq. Ft. @ 3.3 Spaces Per 1,000 Sq. Ft. =	64 Spaces
WAREHOUSE - 92,069	Sq. Ft. @ 0.5 Spaces Per 1,000 Sq. Ft. =	46 Spaces
OFFICE - 3,310	Sq. Ft. @ 0.5 Spaces Per 1,000 Sq. Ft. =	17 Spaces
STORAGE - 1,313	Sq. Ft. @ 0.5 Spaces Per 1,000 Sq. Ft. =	7 Spaces
TOTAL REQUIRED		135 Spaces

PARKING PROVIDED: (Includes 6 Handicapped) **182 Spaces**

REV #	REVISION	DATE	APP'D.
05	ADDITION TO SDP 96-96 1) ADDED CONCRETE PAD FOR GENERATOR 2) ADDED PLAN NUMBER TITLES BLOCK		



FOR GENERATOR PAD REVISION (REV. 05)
I, PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 1095, EXPIRATION DATE: 12/08/2019.



FOR REVISION NO. 4
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 1095, EXPIRATION DATE: JULY 22, 2018.

SITE DATA

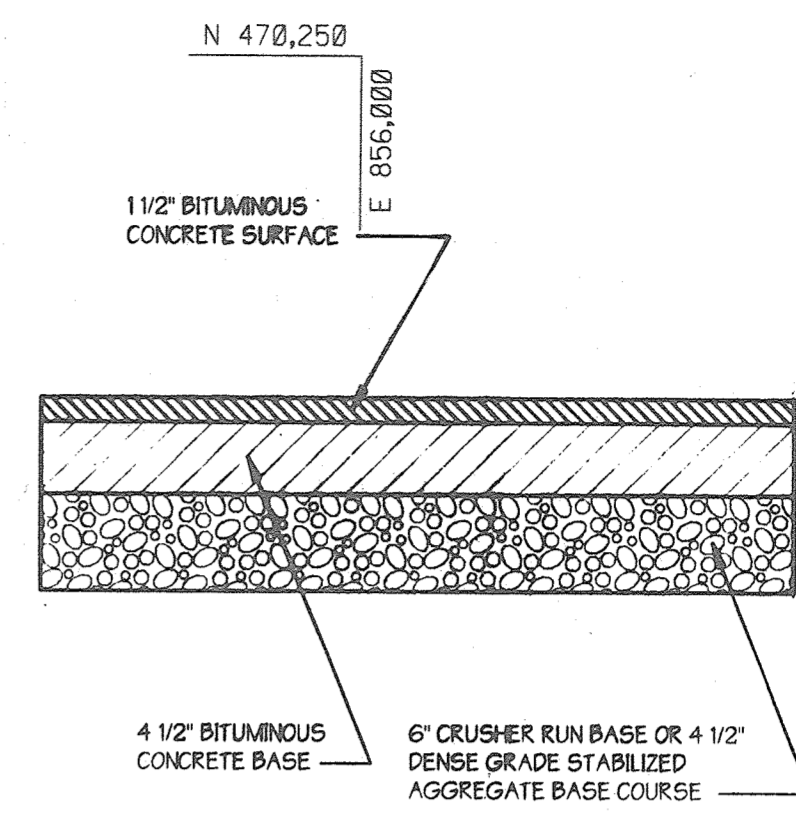
TOTAL AREA OF SITE - 8.9747 Acres ±
EXISTING ZONING - M-2
PROPERTY REFERENCE - 3410/223
EXISTING USE - VACANT
PROPOSED USE - WAREHOUSE/OFFICE
BUILDING COVERAGE - 2.482 Acres ±
% BUILDING COVERAGE - 30%
FLOOR AREA - 115,500 SQ. FT. or 2.65 Acres ±
FLOOR AREA RATIO - 0.3
AREA TO BE PAVED PLUS BUILDING AREA - 2.44 Acres ±
OPEN SPACE - 1.52 Acres ±
TOTAL AREA OF PARKING LOT - 8.92 Acres ±
AREA TO BE DISTURBED - 2.07 Acres ±
AREA TO BE VEGETATIVELY STABILIZED - 6.85 Acres ±
SKETCH PLAN NO. - P 84-10
PRELIMINARY PLAN NO. - F90-123
FINAL PLAT NO. -

LEGEND

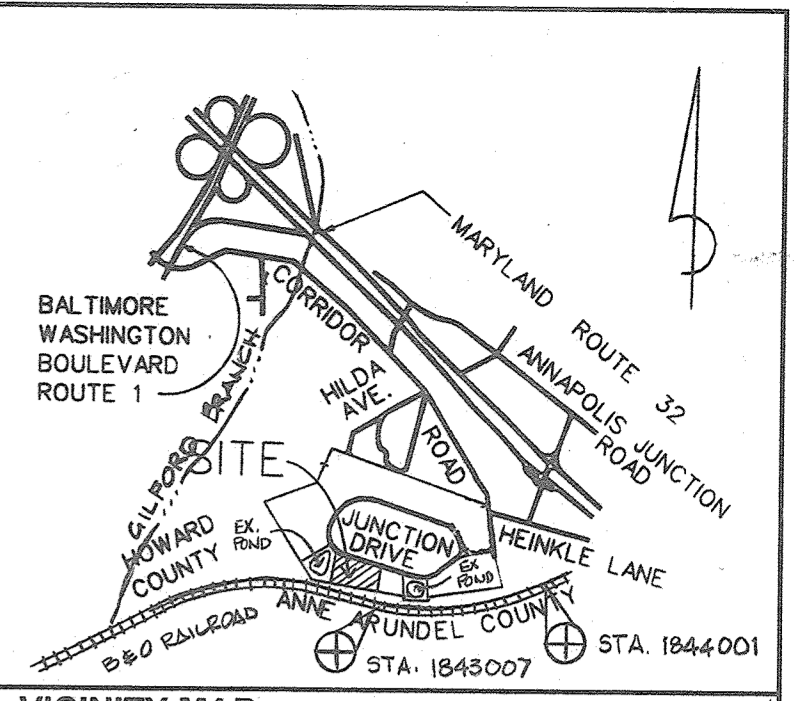
- EX. 2 CONTOURS
- EX. 10 CONTOURS
- PROP. 2 CONTOURS
- PROP. 10 CONTOURS
- EX. CURB & GUTTER
- PROP. CURB & GUTTER
- BLDG. RESTRICTION LINE
- EX. SANITARY
- EX. STORM DRAIN
- EX. WATER
- PROP. SANITARY
- PROP. STORM DRAIN
- PROP. WATER
- HEAVY DUTY PAVING
- LIGHT DUTY PAVING

LIMIT OF DISTURBANCE AREAS

REV. NO.	DESCRIPTION	LOD AREA
4	LOADING RAMP CONSTRUCTION	800 SQ. FT.
CUMULATIVE TOTAL		800 SQ. FT.



HEAVY DUTY PAVING SECTION - P-4
NOT TO SCALE



VICINITY MAP
SCALE: 1" = 2000'

BENCHMARK
SQUARE CUT TOP CONC. CURB @ END
ELEVATION 210.71'

CONTROL REFERENCE
MONUMENT #1844001
R.B. 27' +/- OFF N. SIDE BROOK BRIDGE
RD. 1' BELOW SURFACE 170.974'
MONUMENT #1843007
R.B. 14' +/- S. OFF CENTERLINE OF
BROOK BRIDGE RD. 3' BELOW SURFACE
ELEVATION 174.603'

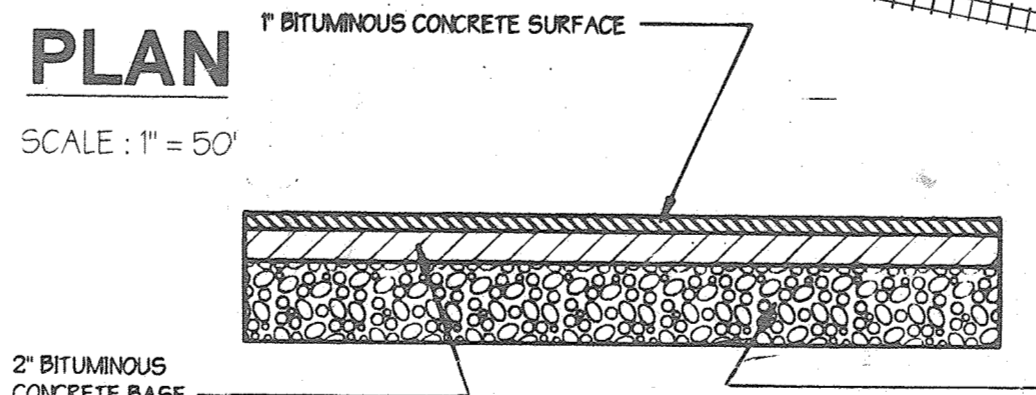
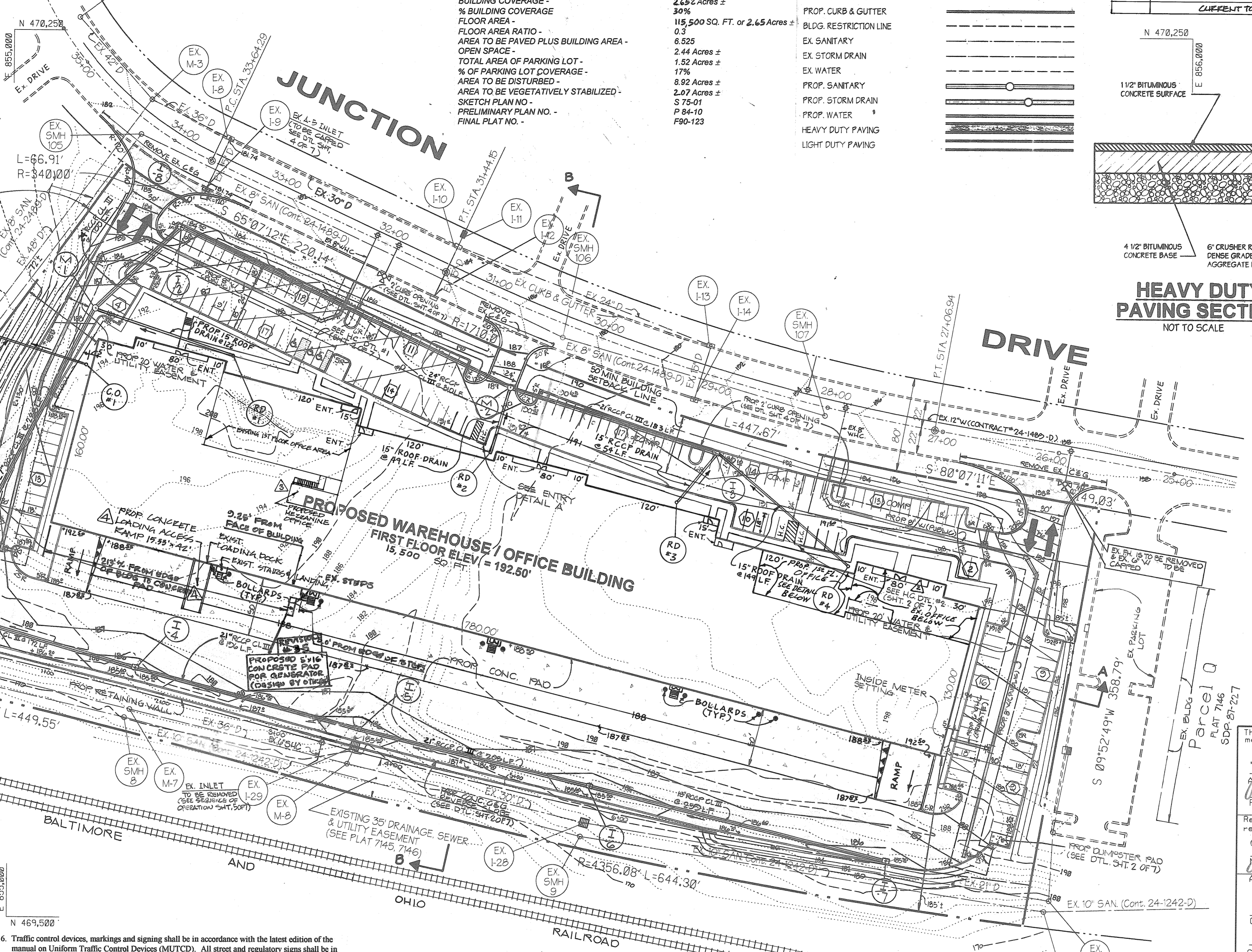
SHEET INDEX

SHEET #1 -	SITE PLAN
SHEET #2 -	SECTIONS & DETAILS
SHEET #3 -	DRAINAGE AREA MAP & PROFILES
SHEET #4 -	PROFILES
SHEET #5 -	SEDIMENT CONTROL PLAN
SHEET #6 -	SEDIMENT CONTROL DETAILS
SHEET #7 -	LANDSCAPE PLAN

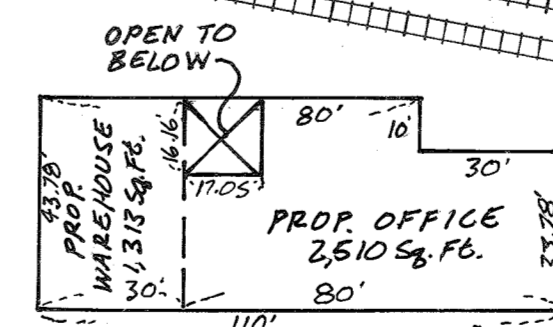
General Notes

- BUILDING WEIGHT @ 30'-8"
- All areas not being paved or receiving building coverage shall be stabilized in accordance with the plans approved by Howard County Soil Conservation District.
- Any damage to public right-of-way and/or adjacent properties shall be repaired immediately at the contractor's expense.
- The contractor shall maintain at least a 2' level bench behind all curb and gutter in fill areas.
- The contractor shall verify all existing utilities to his own satisfaction before starting construction.
- All slopes shall be 2:1 or flatter.
- All construction shall be in accordance with the latest standards and specifications of Howard County.
- The contractor shall notify the Department of Public Works Construction Inspection Division at (410) 313-1880.
- For details of ramps and signs for the handicapped and the aged (see sheet 2 of 7).
- The contractor shall maintain a minimum of 3' cover over all proposed water lines.
- All rip-rap and gabions shall be placed on filter cloth.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation.
- The contractor shall remove all existing paving, curb and gutter etc. that may interfere with proposed construction.
- All utilities and storm drains installed shall receive full trench compaction.
- All water main tes, bends, caps, etc. shall be buttressed in accordance with the Howard County design requirements.
- Proposed limit of disturbance (LOD) for revision #4 is 800 sq. ft. When a cumulative LOD of site disturbances exceeds 5,000 sq. ft., storm water management shall be required.
- Traffic control devices, markings and signing shall be in accordance with the latest edition of the manual on Uniform Traffic Control Devices (MUTCD). All street and regulatory signs shall be in place prior to the placement of the curb and gutter unless otherwise noted.
- All plan dimensions are to the face of curb unless otherwise noted.
- Storm water management for this site has been provided in a regional facility on parcel N. The facility was approved as part of F-86-126.

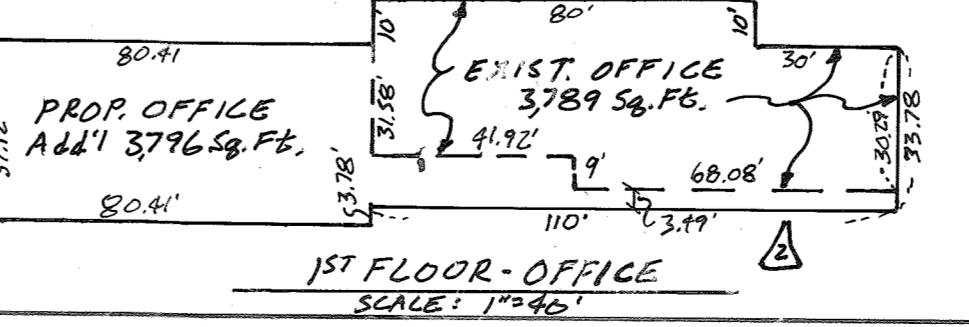
The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building, shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statement shall apply to all initial and future occupants or tenants.



LIGHT DUTY PAVING SECTION - P-1
NOT TO SCALE



MEZZANINE-LEVEL OFFICE STORAGE
SCALE: 1" = 40'



1ST FLOOR OFFICE
SCALE: 1" = 40'

PREPARED BY:
GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
658 Kenilworth Drive, Suite 100
Towson, Maryland 21204
(410) 825-8120

DEVELOPER CERTIFICATION:
I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I/We also authorize periodic on-site inspection by the Howard County Department of Public Works Construction Inspection Division.

Developer: *[Signature]* Date: 4/22/96
Name: David Gause

OWNER/DEVELOPER
JUNCTION PROPERTIES LIMITED
PARTNERSHIP
TIMONUM ONE
1966 GRENSPRING DRIVE
SUITE 508
TIMONUM, MD. 21093
(410) 560-0300

REVISIONS:
9/3/96 - REV. FRONT BLDG. WALL PARKING, ROOF DRAINS, ADDED RAMPS & STAIRS AT REAR OF BLDG. REV. DOCK WT TO 417 REV. SAN. CONN.
ADDED MEZZANINE AND OFFICE AND REVISED PARKING TABULATION BY GWS DATED 6/03/03

These plans for S.W.M. construction, soil erosion and sediment control meet the requirements of Howard Soil Conservation District.

[Signature]
APPROVED: HOWARD SOIL CONSERVATION DISTRICT
DATE: 7/29/96

PLAN NUMBER: 0-1
DATE: 7/29/96

Reviewed for the Howard Conservation District and meets technical requirements.
[Signature]
NATURAL RESOURCES CONSERVATION SERVICE
DATE: 7/29/96

APPROVED: Howard County Department of Planning and Zoning
[Signature]
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 7/29/96
JWC
[Signature]
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH
DATE: 8/11/96
TC
[Signature]
DIRECTOR
DATE: 8/2/96

ADDRESS CHART
PARCEL NO. 0-1
STREET ADDRESS 9070 JUNCTION DRIVE

SUBDIVISION NAME	SECTION NAME	PARCEL #
JUNCTION INDUSTRIAL PARK	TWO	0-1

PLAT #	BLOCK #	ZONE	EX. MAP	ELECT. DIST.	CENSUS TRACT
9402	19	M-2	48	6th	6069.02

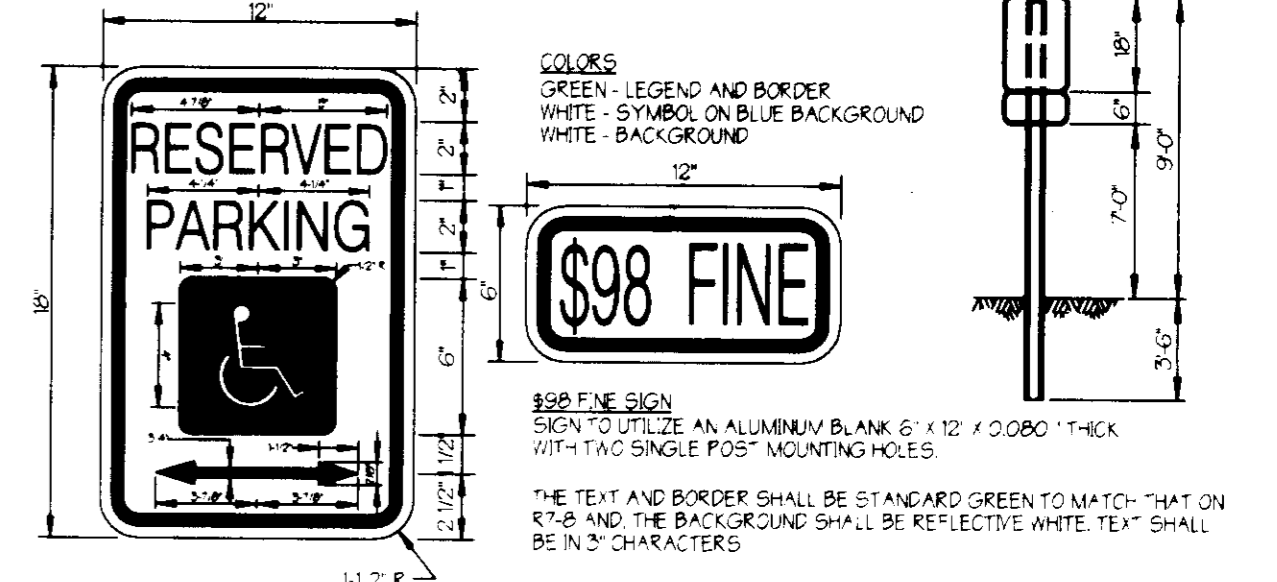
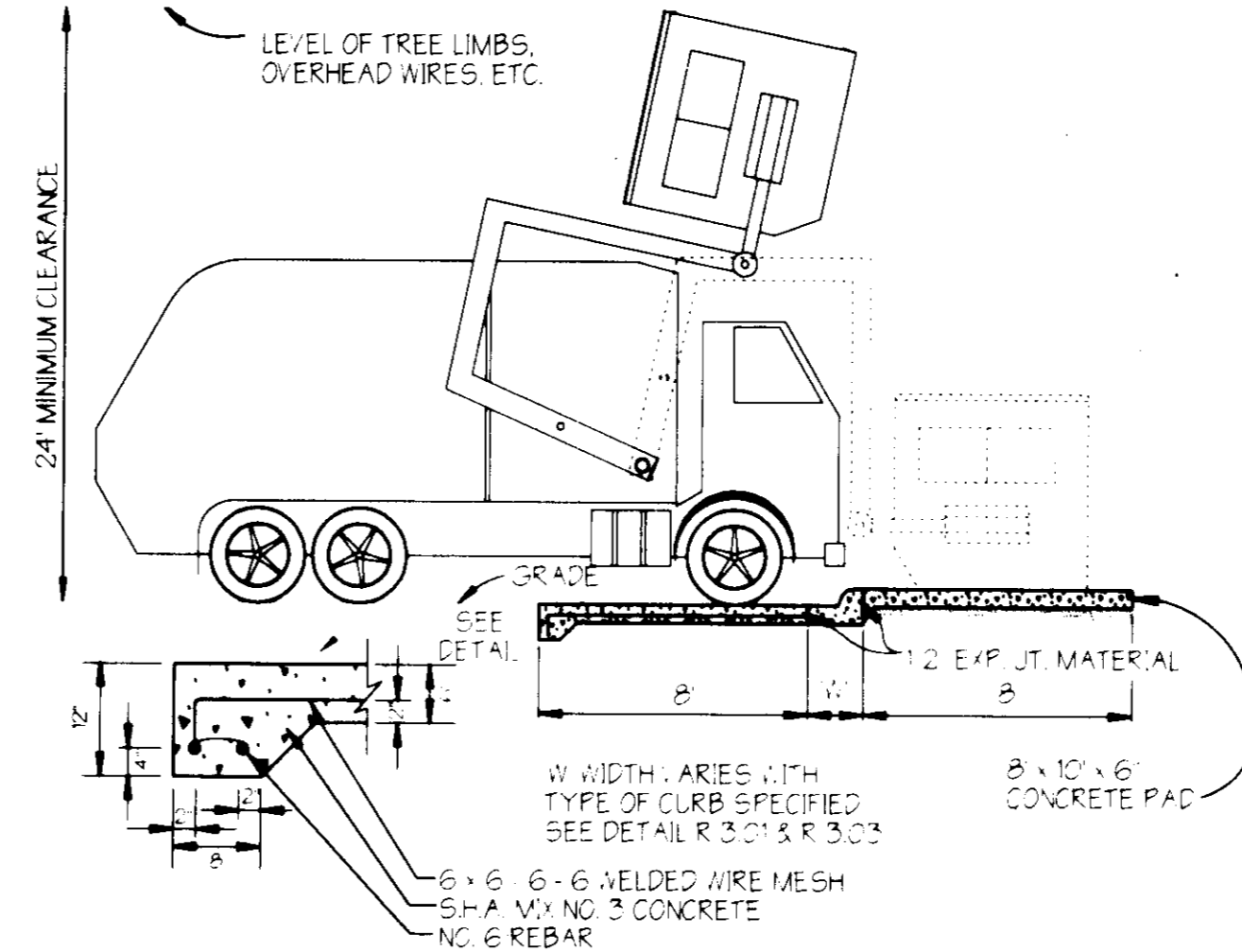
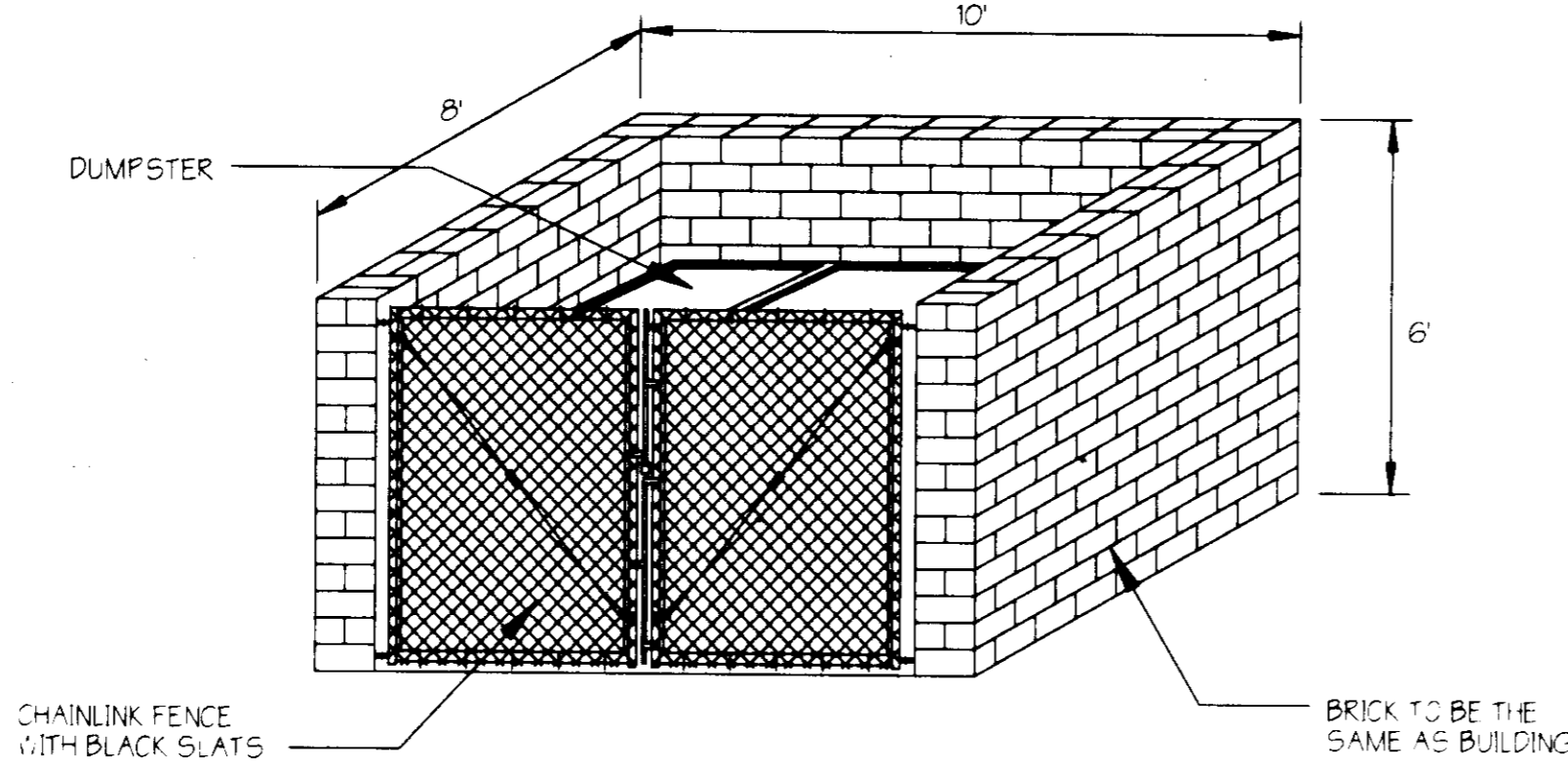
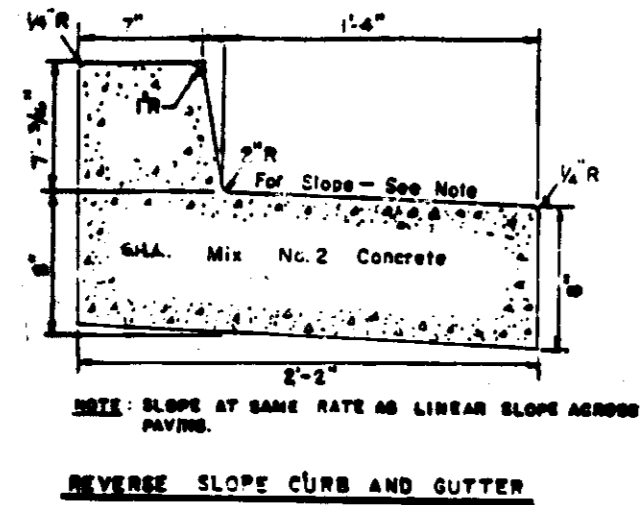
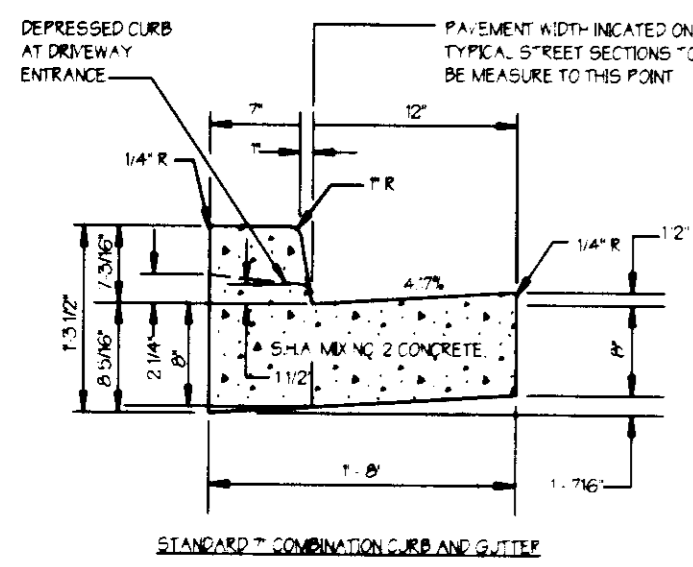
WATER CODE C04 SEWER CODE 4,030,000

Site Development Plan
Parcel O-1
Junction Industrial Park
PREVIOUS DEPT. OF PLANNING AND ZONING FILE NOS.:
S-75.01; P-84-10; F-90-123

Scale: 1"=50'
6th Election District Sheet 1 of 7 Howard County, Maryland

REVISION #5
F/N: 7772 pasctop.dgn EMT. 02.09.96

SDP - 96-96

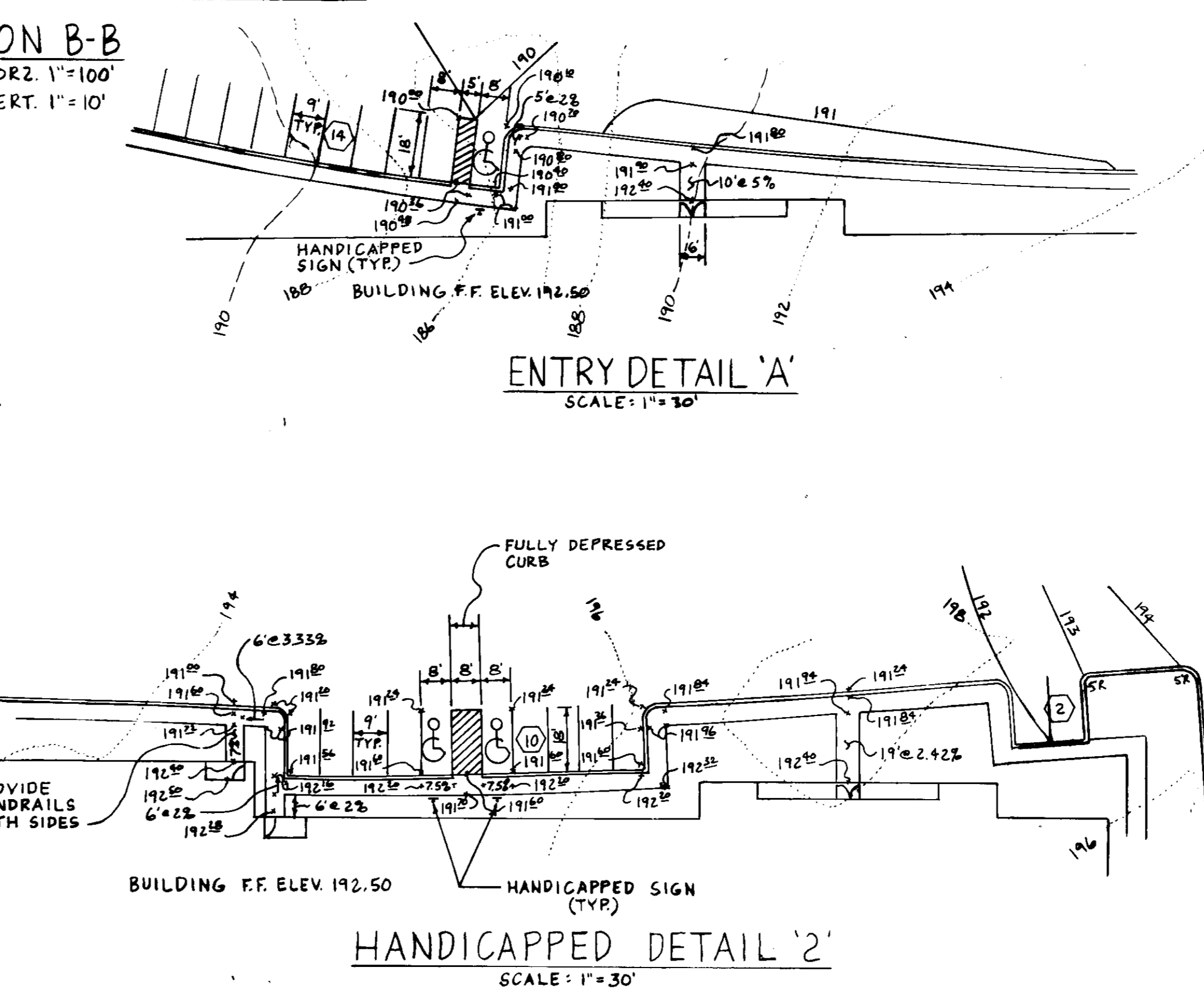
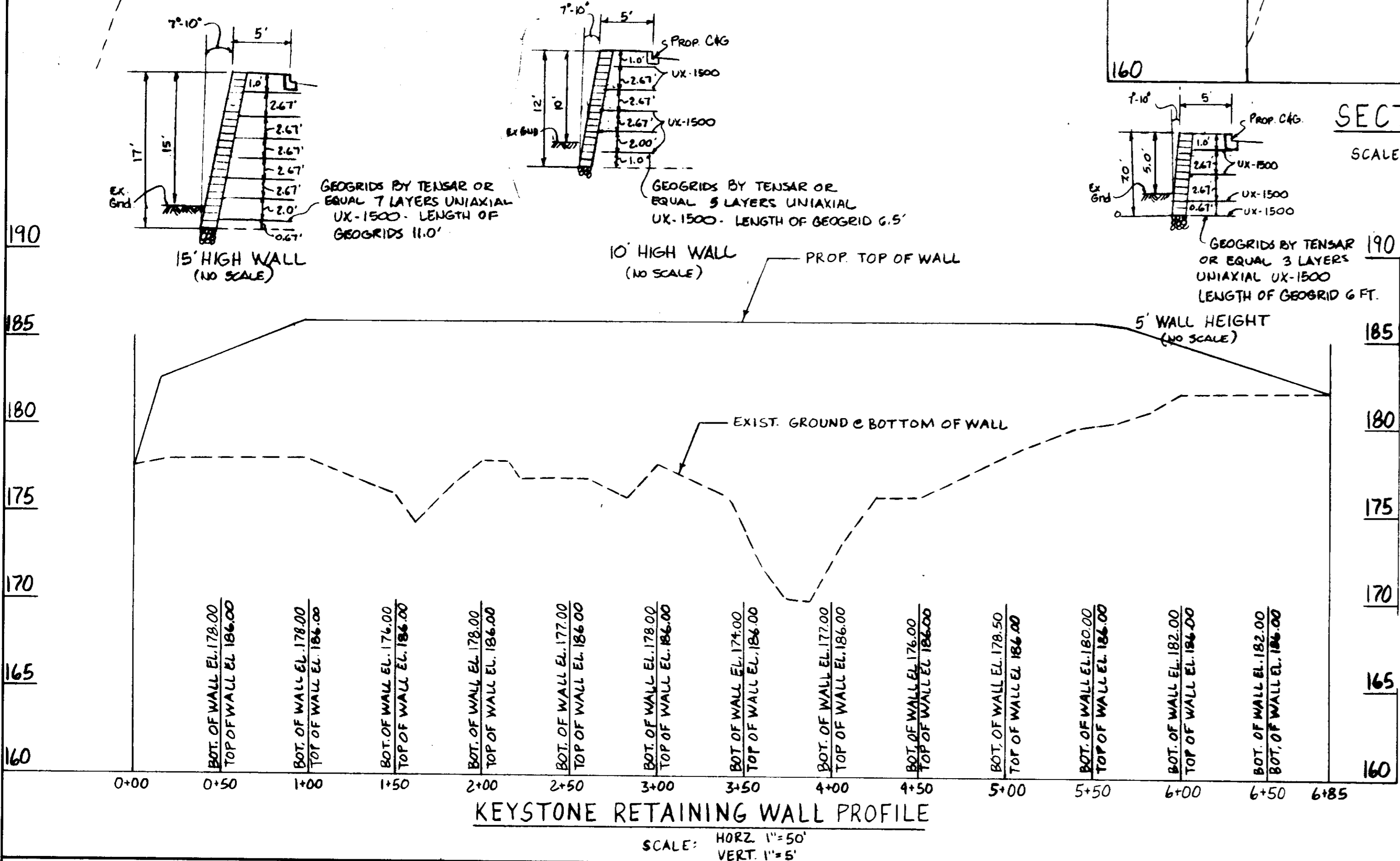
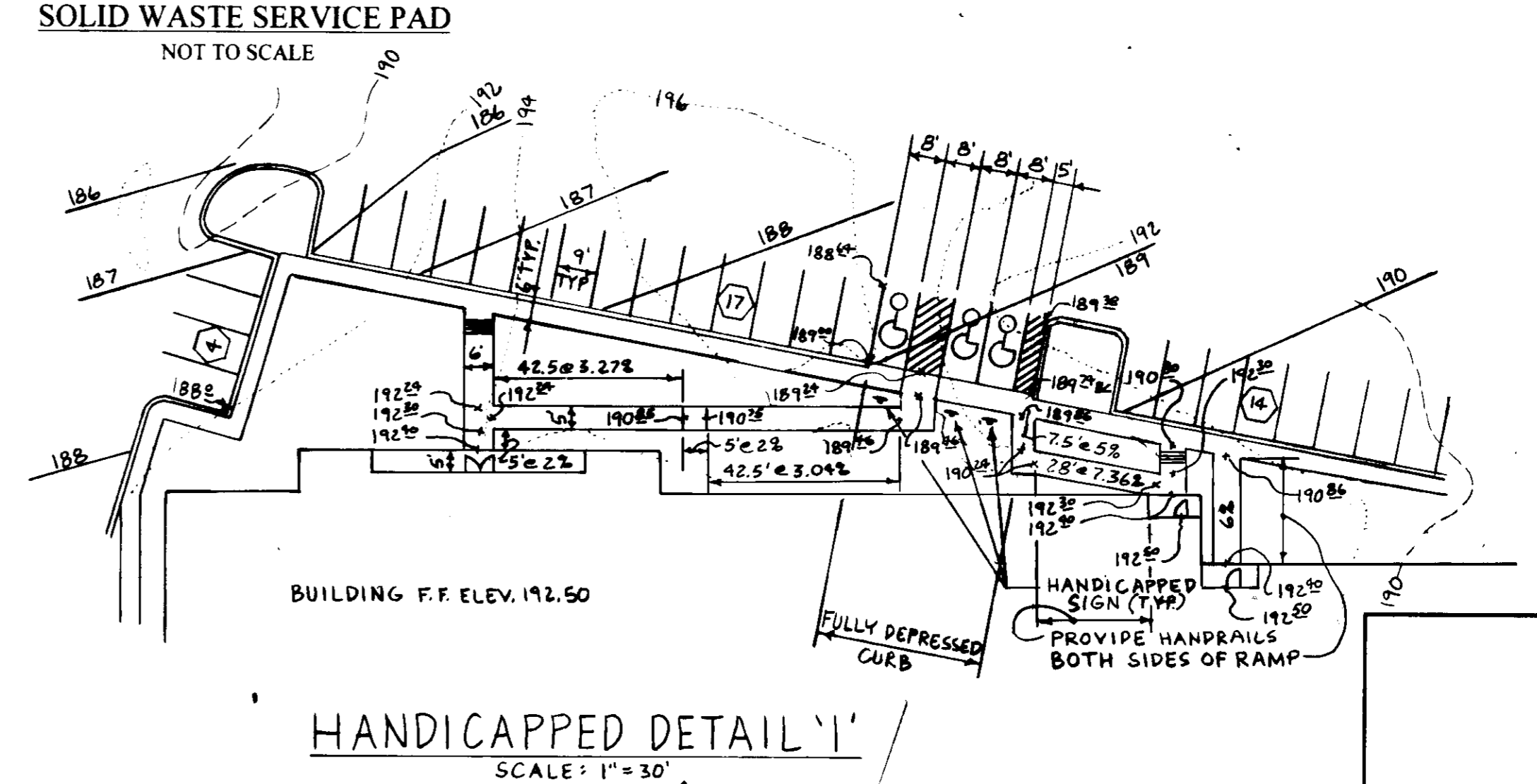
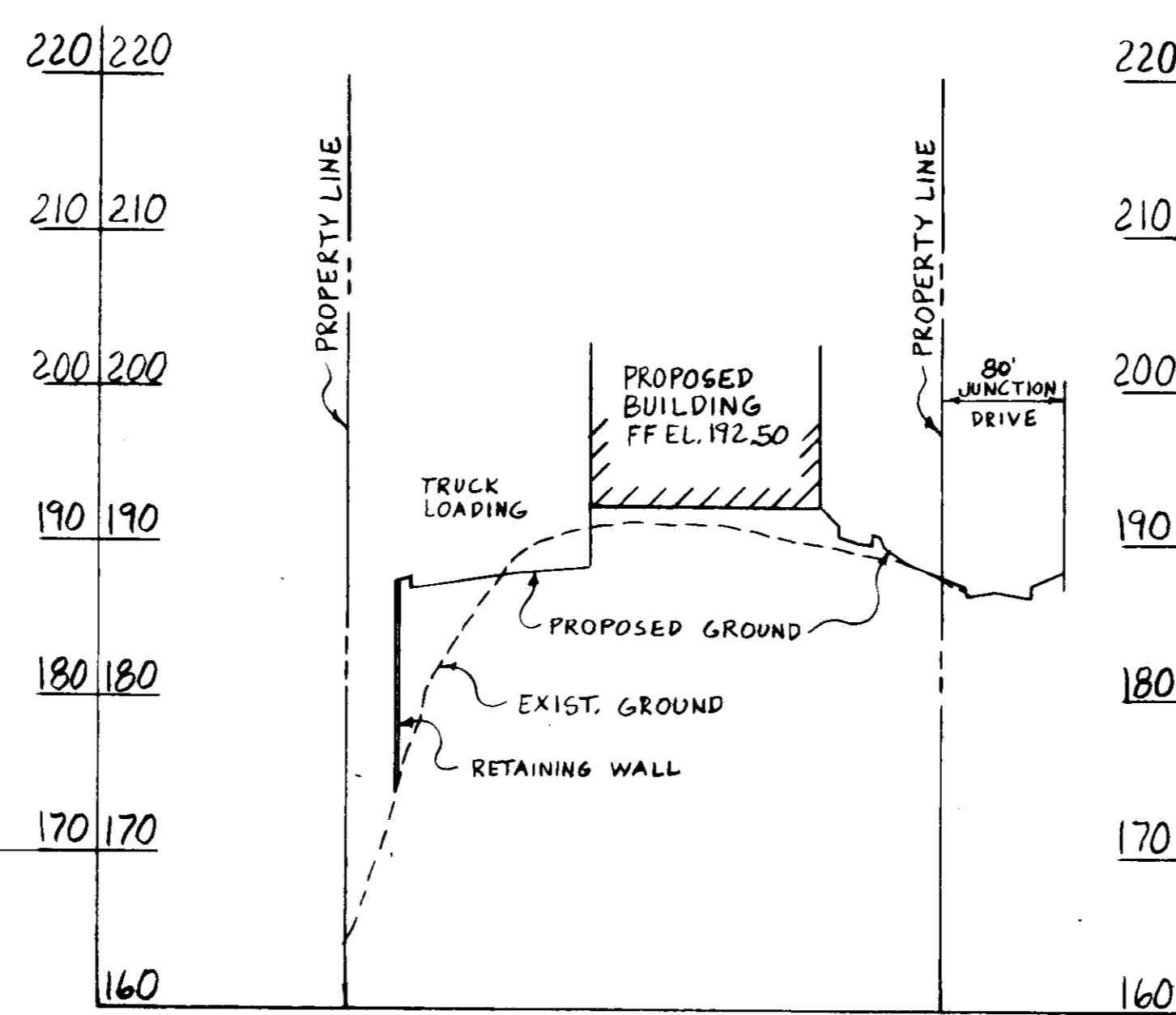
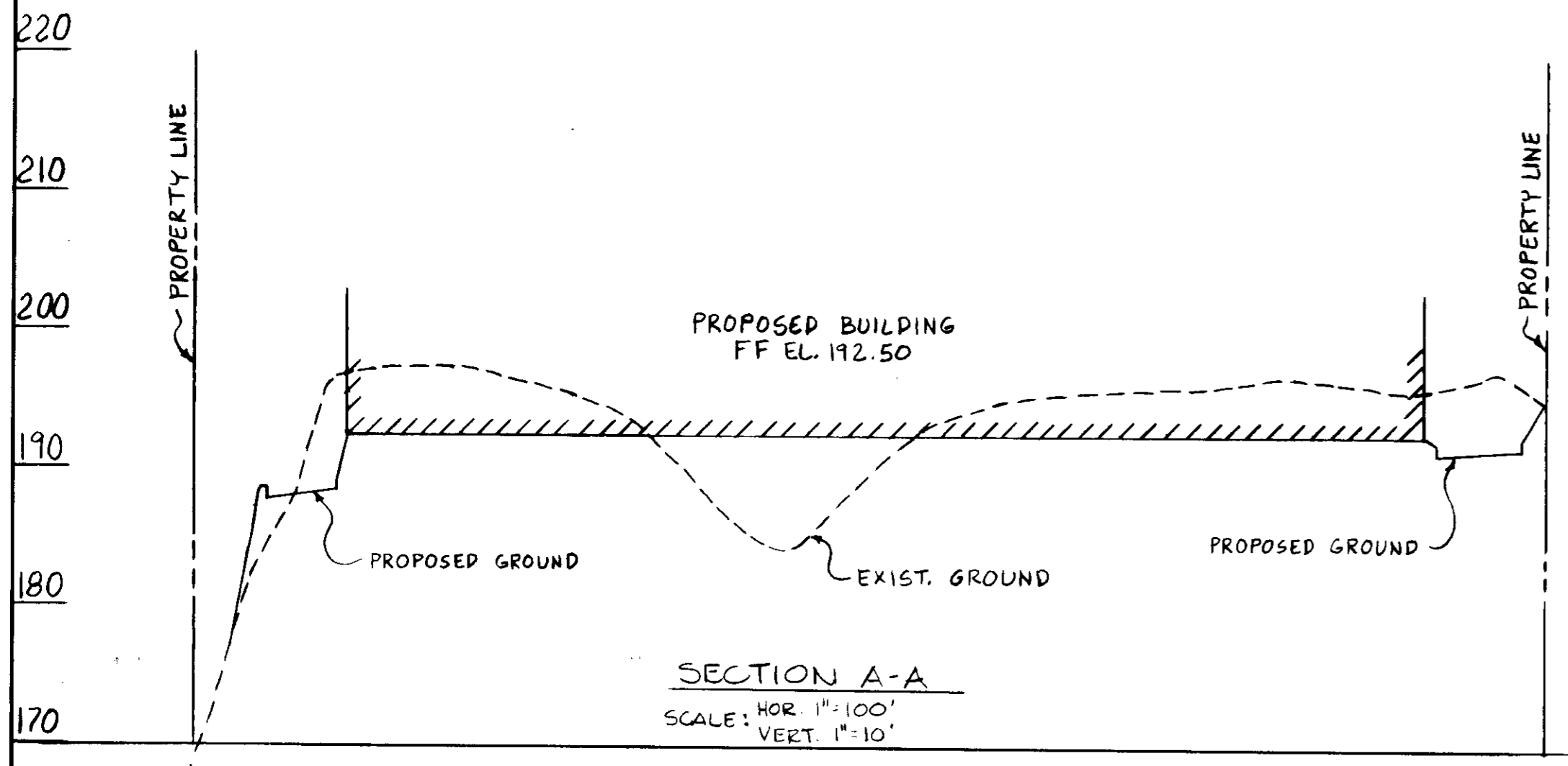


HOWARD COUNTY CURB AND GUTTER DETAIL NOT TO SCALE

PROPOSED DUMPSTER ENCLOSURE NOT TO SCALE

SOLID WASTE SERVICE PAD NOT TO SCALE

HANDICAPPED SIGN DETAIL NOT TO SCALE



These plans for S.W.M., construction soil erosion and sediment control meet the requirements of Howard Soil Conservation District.

John K. Robertson
APPROVED HOWARD SOIL CONSERVATION DISTRICT
PLAN NUMBER _____ DATE 7/29/96

Reviewed for the Howard Conservation District and meets technical requirements.
J. H. Washfield
NATURAL RESOURCES OBSERVATION SERVICE DATE 7/29/96

APPROVED: Howard County Department of Planning and Zoning
John Damm
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 7/29/96
Jana Stumm
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH DATE 8/1/96
David Smith
DIRECTOR DATE 8/2/96

ADDRESS CHART
PARCEL NO. 0-1 STREET ADDRESS 9070 JUNCTION DRIVE

SUBDIVISION NAME	SECTION NAME	PARCEL #
JUNCTION INDUSTRIAL PARK	TWO	0-1
PLAT # 9402	BLOCK # 19	ZONE / ZONE MAP M-2
WATER CODE C04	SEWER CODE 4,020,000	ELECT. DIST. 6th
		CENSUS TRACT 8089.02

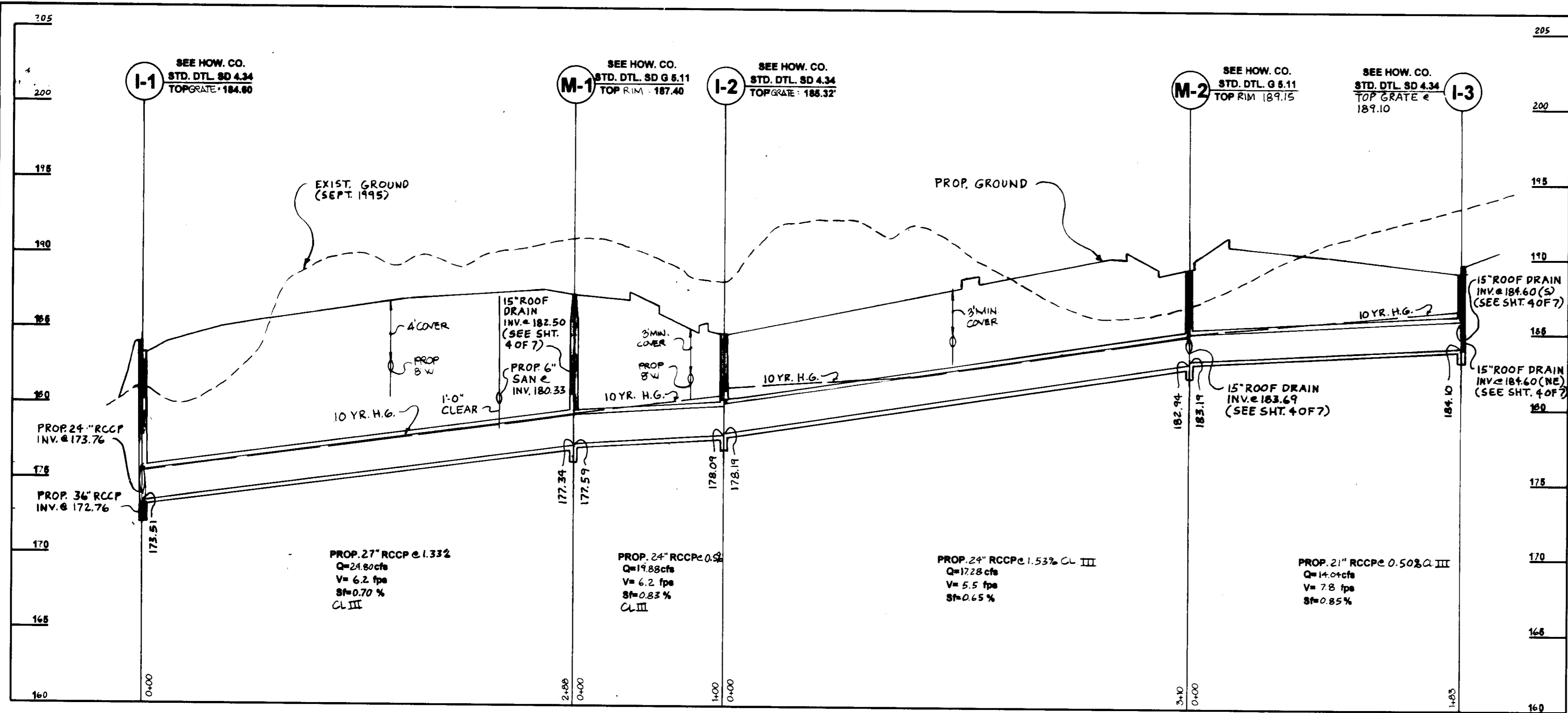
PREPARED BY:
GWS
GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
658 Kenilworth Drive, Suite 100
Towson, Maryland 21204
(410) 825-8120

DEVELOPER CERTIFICATION:
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Developer Name: *David Smith* Date: 8/22/96

OWNER/DEVELOPER
JUNCTION PROPERTIES LIMITED
PARTNERSHIP
TIMONIUM ONE
1966 GREENSPRING DRIVE
SUITE 508
TIMONIUM, MD. 21093
(410) 560-0300

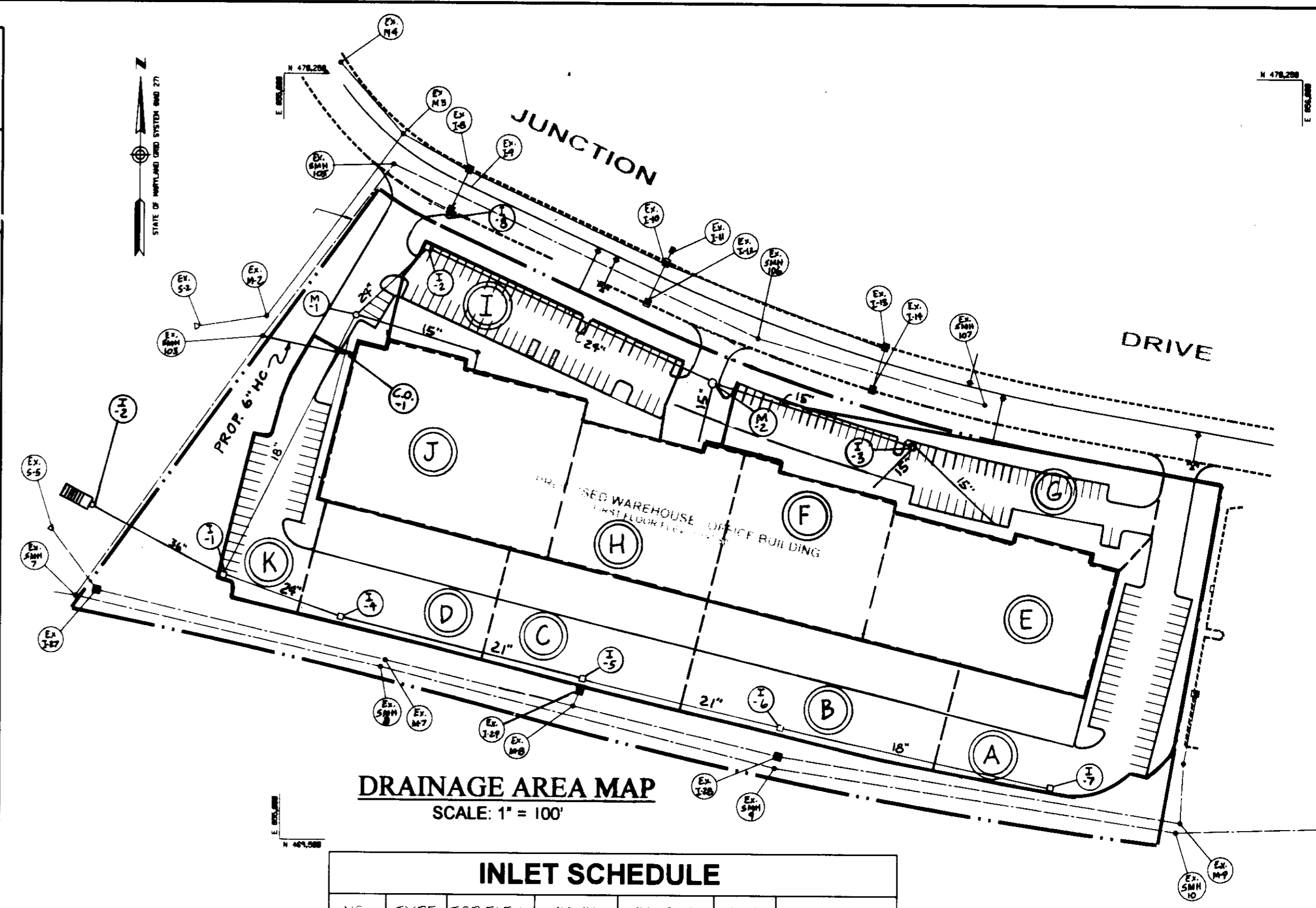
REVISIONS:
9/3/96 - REV. HANDICAPPED DETAILS

Sections and Details
Parcel O-1
Junction Industrial Park
PREVIOUS DEPT. OF PLANNING AND ZONING FILE NOS.:
S-75.01; P-84-10; F-90-123
Scale: 1"=50' January 30, 1996
6th Election District Sheet 2 of 7 Howard County, Maryland



STORM DRAIN PROFILE

HORZ. 1" = 50'
SCALE: VERT. 1" = 5'



DRAINAGE AREA MAP
SCALE: 1" = 100'

INLET SCHEDULE						
NO.	TYPE	TOP ELEV.	IN. IN.	IN. OUT.	Q, cfs	HOW. CO. DET.
I-1	DOUBLE 18" CONC. INLET	184.60	173.51	172.76	3.28	SD 4.34
I-2	DOUBLE 18" CONC. INLET	185.32	178.19	178.09	3.92	SD 4.34
I-3	DOUBLE 18" CONC. INLET	189.10	184.60	174.10	4.76	SD 4.34
I-4	DOUBLE 18" CONC. INLET	185.50	175.87	175.62	4.51	SD 4.23
I-5	DBL. 18" INLET	185.50	177.10	176.85	4.68	SD 4.23
I-6	DBL. 18" INLET	185.50	178.37	178.12	5.53	SD 4.23
I-7	DOUBLE 18" CONC. INLET	185.30	—	179.67	7.44	SD 4.34
I-8	18" CONC. INLET	—	—	175.13	2.56	SD 4.40

STRUCTURE SCHEDULE					
NO.	TYPE	TOP ELE.	IN. IN.	IN. OUT.	HOW. CO. DET.
M-1	STAND. PRECAST MANHOLE	187.40	177.59	177.34	SD G 5.11
M-2	STAND. PRECAST MANHOLE	189.15	183.19	182.19	SD G 5.11
HW-1	STAND. PRECAST MANHOLE	181.58	154.00	—	SD G 5.11

AREA	ACREAGE	%
A	0.95	0.84
B	0.60	0.95
C	0.51	0.95
D	0.48	0.95
E	0.71	0.95
F	0.54	0.95
G	0.71	0.74
H	0.54	0.95
I	0.56	0.75
J	0.86	0.95
K	0.41	0.85

These plans for S.W.M. construction, soil erosion and sediment control meet the requirements of Howard Soil Conservation District.

John Robertson
APPROVED: HOWARD SOIL CONSERVATION DISTRICT
DATE: 7/24/96

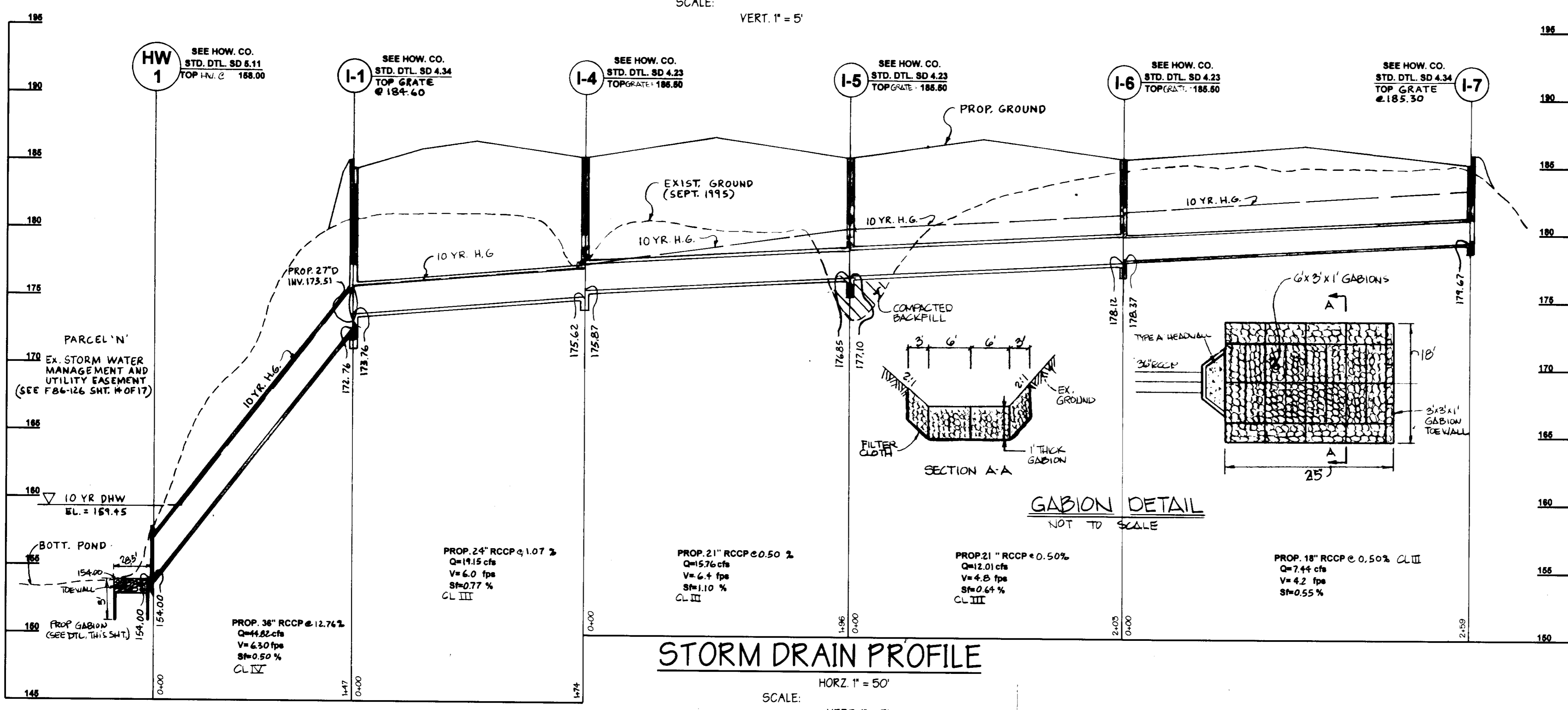
PLAN NUMBER: _____

Reviewed for the Howard Conservation District and meets technical requirements.
J. H. Worfield
NATURAL RESOURCES CONSERVATION SERVICE
DATE: 7/24/96

APPROVED: Howard County Department of Planning and Zoning
Robert J. ...
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 7/26/96

Gina ...
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH
DATE: 8/1/96

...
DIRECTOR
DATE: 8/2/96



STORM DRAIN PROFILE

HORZ. 1" = 50'
SCALE: VERT. 1" = 5'

PREPARED BY:
GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
658 Kenilworth Drive, Suite 100
Towson, Maryland 21204
(410) 826-8120

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Developer: *...* Date: 2/22/96
Name: *...*

OWNER/DEVELOPER
JUNCTION PROPERTIES LIMITED PARTNERSHIP
TIMONIUM ONE
1666 GREENSPRING DRIVE
SUITE 508
TIMONIUM, MD. 21093
(410) 560 - 0300

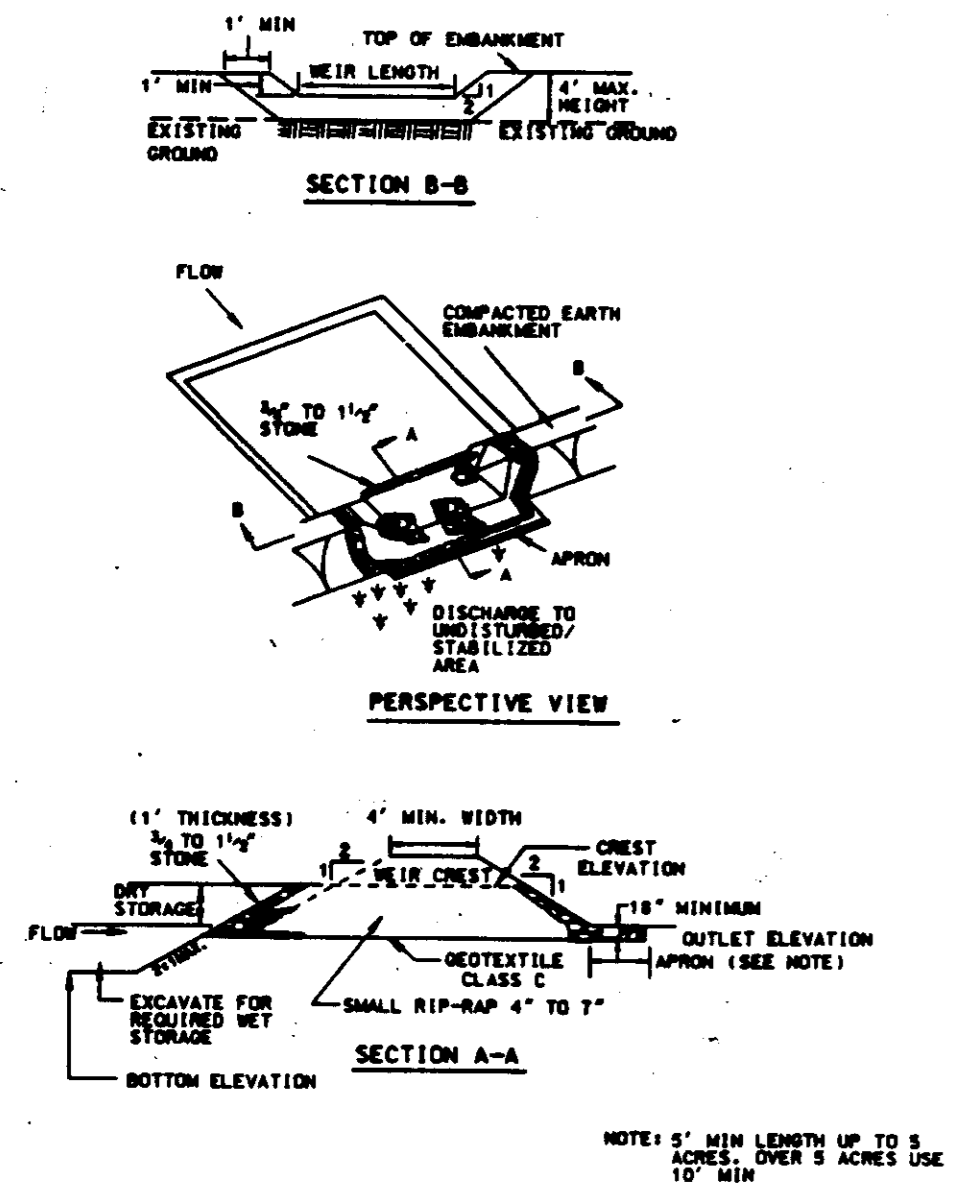
REVISIONS:
9/9/96 - REV. DRAIN SITES, FLOWS; D.A. MAP

ADDRESS CHART
PARCEL NO. 0-1 STREET ADDRESS 9070 JUNCTION DRIVE

SUBDIVISION NAME	SECTION NAME	PARCEL #
JUNCTION INDUSTRIAL PARK	TWO	0-1
PLAT # 9402	BLOCK # 19	ZONE M-2
TAX MAP 48	ELECT. DIST. 6th	CENSUS TRACT 6069.02
WATER CODE	C04	SEWER CODE 4,020,000

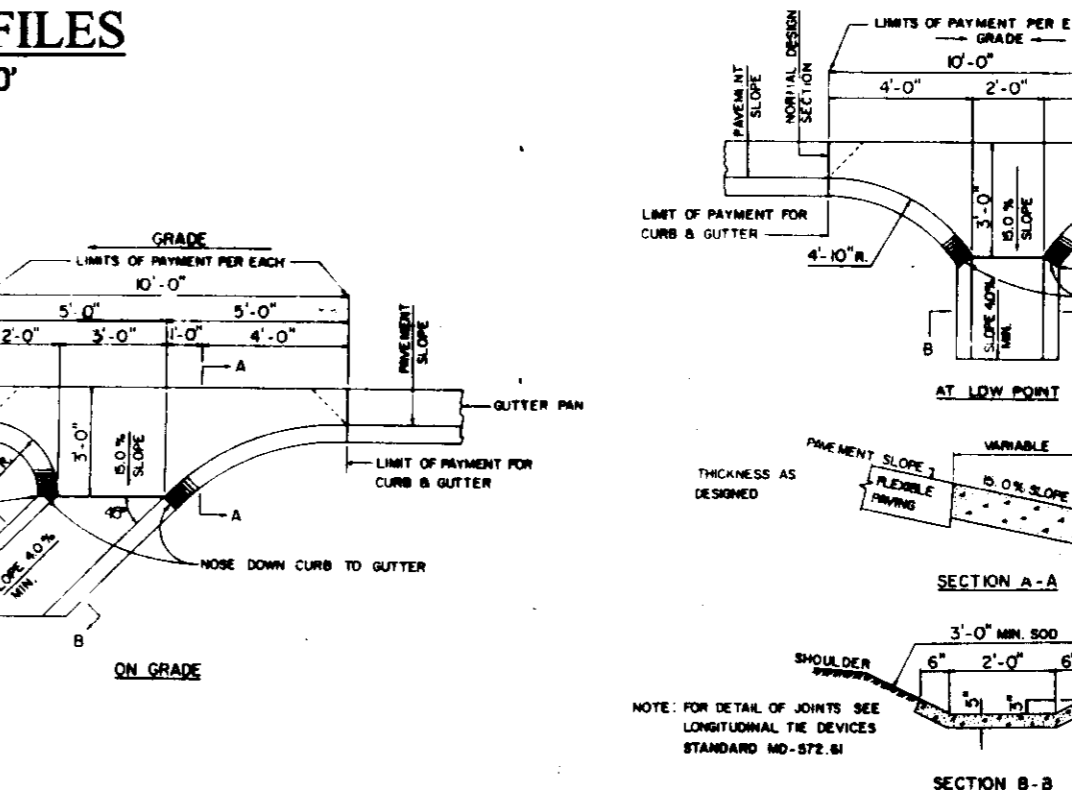
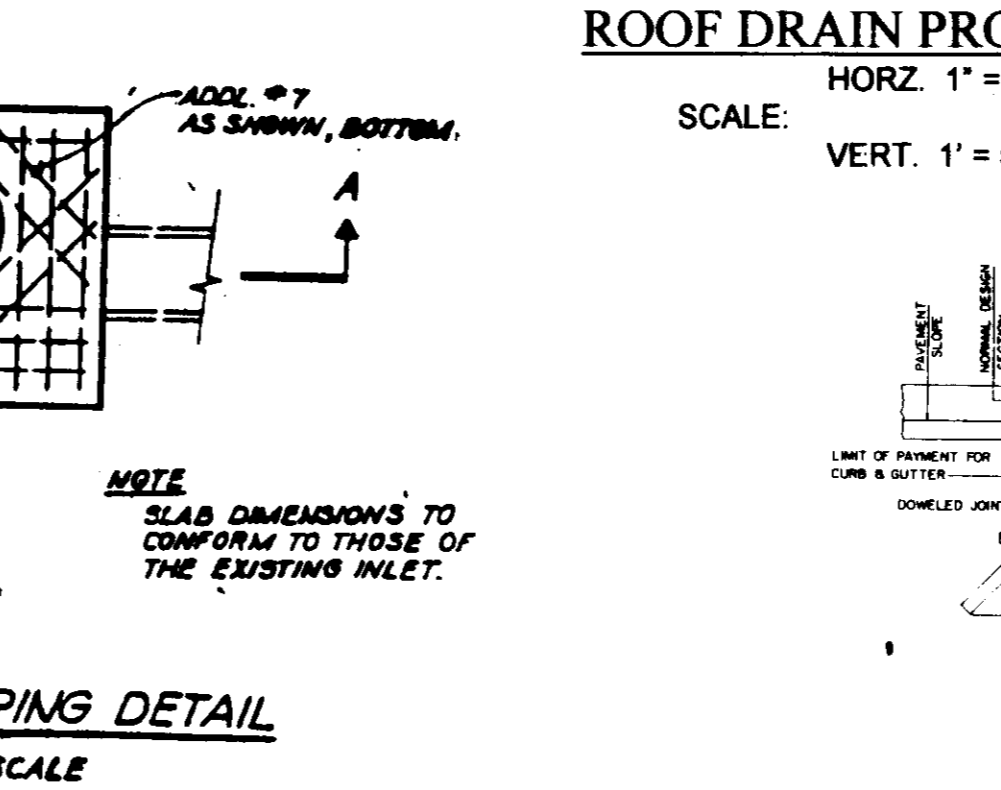
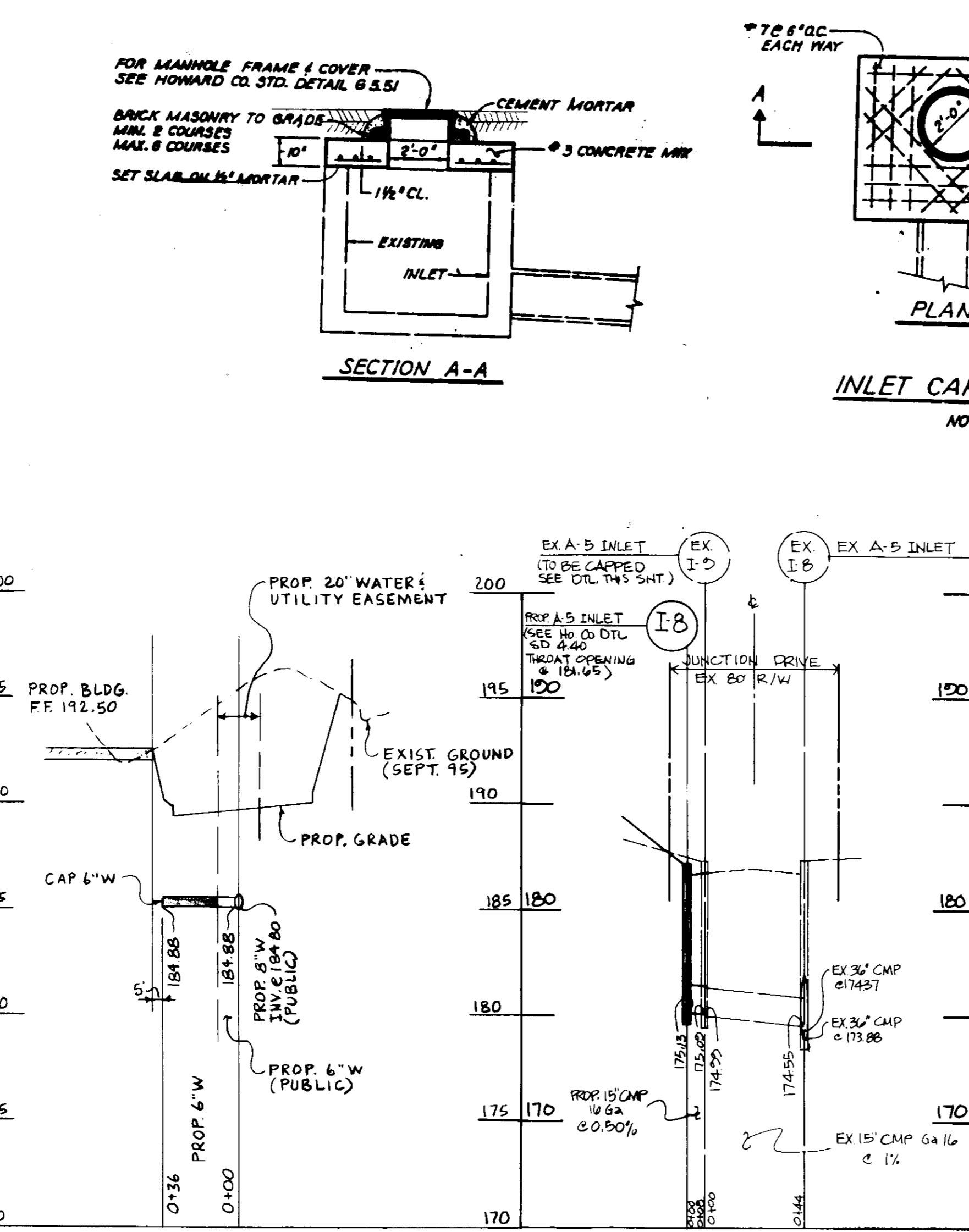
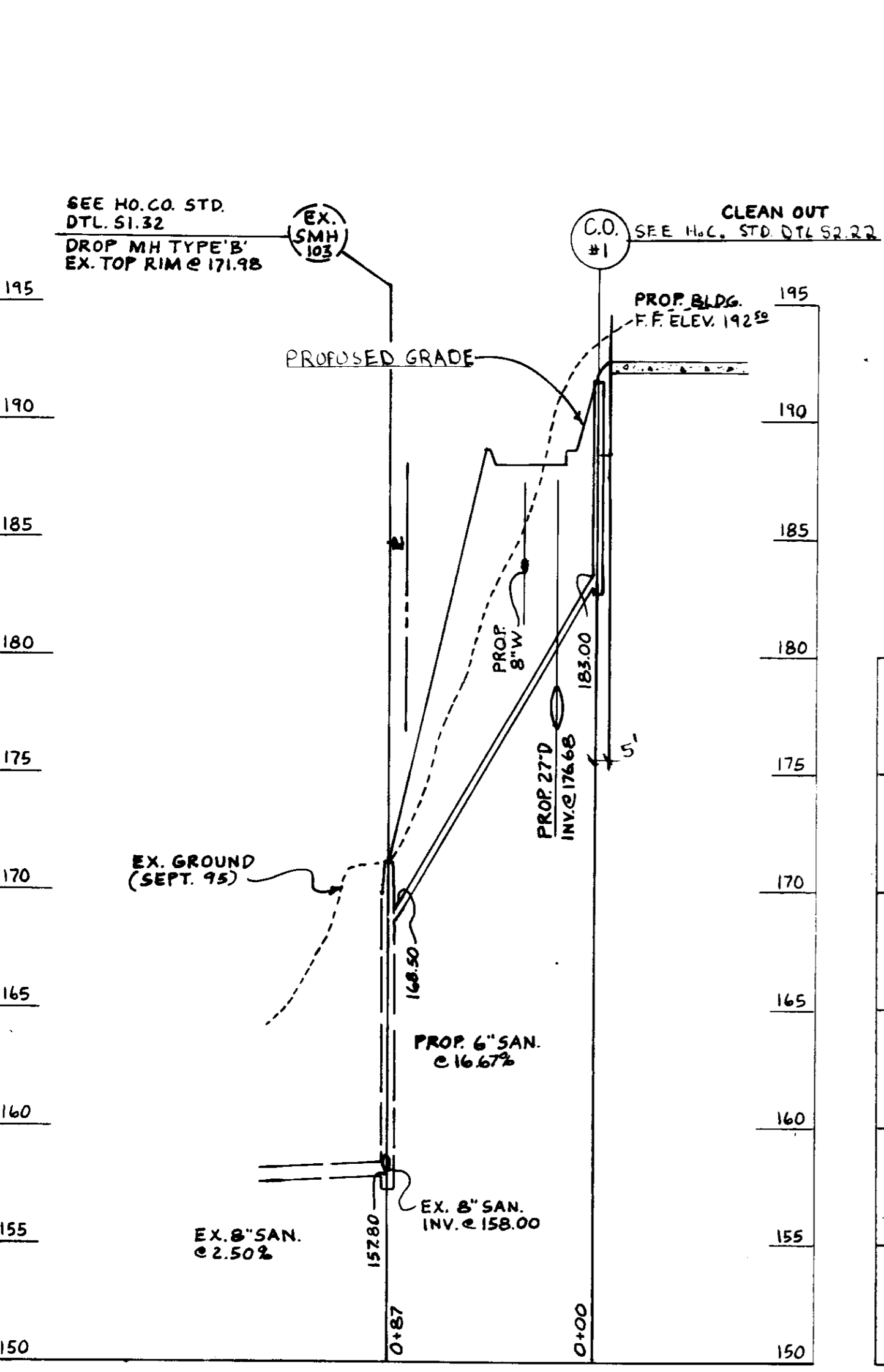
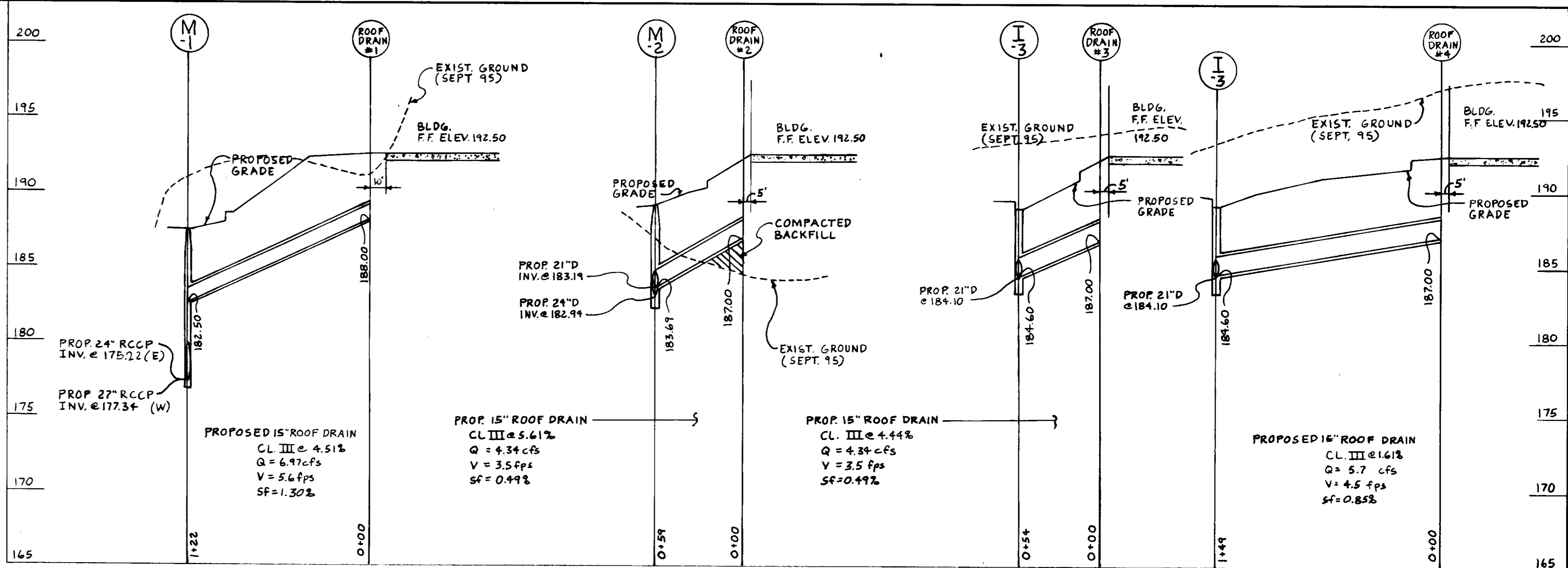
Drainage Area Map & Storm Drain Profiles
Parcel O-1
Junction Industrial Park
PREVIOUS DEPT. OF PLANNING AND ZONING FILE NOS.: S-75-01; P-84-10; F-90-123
Scale: 1"=50'
6th Election District Sheet 3 of 7 Howard County, Maryland

DETAIL 10A - STONE / RIP-RAP OUTLET SEDIMENT TRAP - ST IV



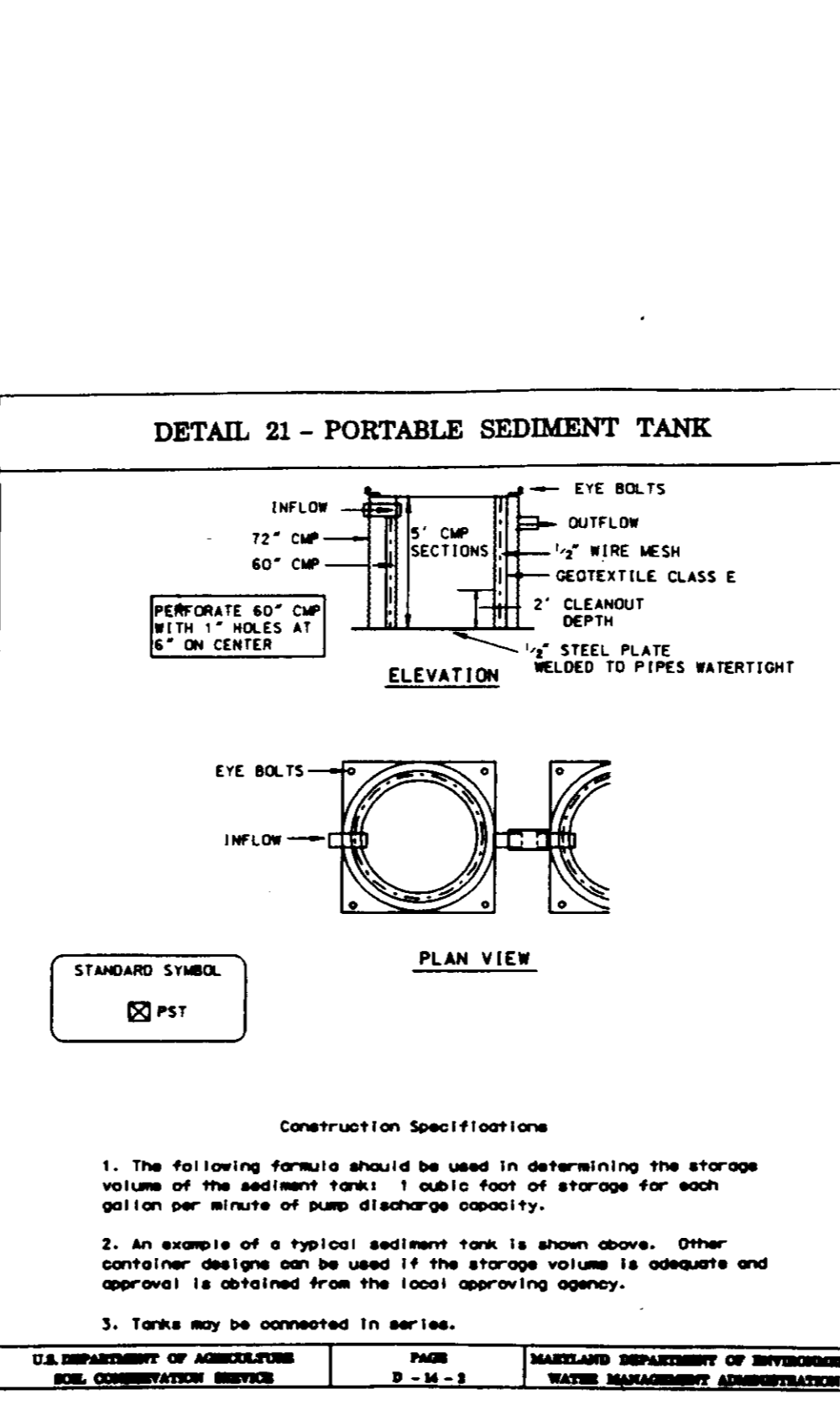
STONE / RIP-RAP OUTLET SEDIMENT TRAP - ST IV

- Construction Specifications
- The area under embankment shall be cleared, grubbed and stripped of any vegetation and roof mat. The soil area shall be cleared.
 - The fill material for the embankment shall be free of roots or other woody vegetation as well as oversized stones, rocks, organic material or other objectionable material. The embankment shall be compacted by traversing with equipment while it is being constructed. Maximum height of embankment shall be 4' measured at centerline of embankment.
 - All cut and fill slopes shall be 2:1 or flatter.
 - Elevation of the top of any dike directing water into trap must equal or exceed the height of trap embankment.
 - Storage area provided shall be figured by computing the volume measured from top of embankment. (For storage requirements see Table 3).
 - Geotextile Class C shall be placed over the bottom and sides of the outlet channel in a manner to allow the passage of water. Geotextile shall be at least 1' with section nearest the entrance placed on top. Fabric shall be embedded at least 6" into existing ground at entrance of outlet channel.
 - 4" - 7" stone shall be used to construct the weir and 4" - 12" of Class I rip-rap shall be used to construct the outlet channel.
 - Outlet - An outlet shall include a means of conveying the discharge in an erosion free manner to an existing stable channel. Protection against scour at the discharge point shall be provided as necessary.
 - Outlet channel must have positive drainage from the trap.
 - Sediment shall be removed and trap restored to its original dimensions when the sediment has accumulated to 1/2 of the net storage depth of the trap (800 cu/ft). Removed sediment shall be deposited in a suitable area and in such a manner that it will not erode.
 - The structure shall be inspected periodically after each rain and repaired as needed.
 - Construction of traps shall be carried out in such a manner that sediment pollution is avoided. Once constructed, the top and outside face of the embankment shall be stabilized with seed and mulch. Points of concentrated inflow shall be protected in accordance with Erosion Stabilization Structure criteria. The remainder of the interior slope should be stabilized (one time) with seed and mulch upon trap completion and monitored and maintained erosion free during the life of the trap.
 - The structure shall be destroyed by approved methods, removed and the area stabilized when the drainage area has been properly stabilized.

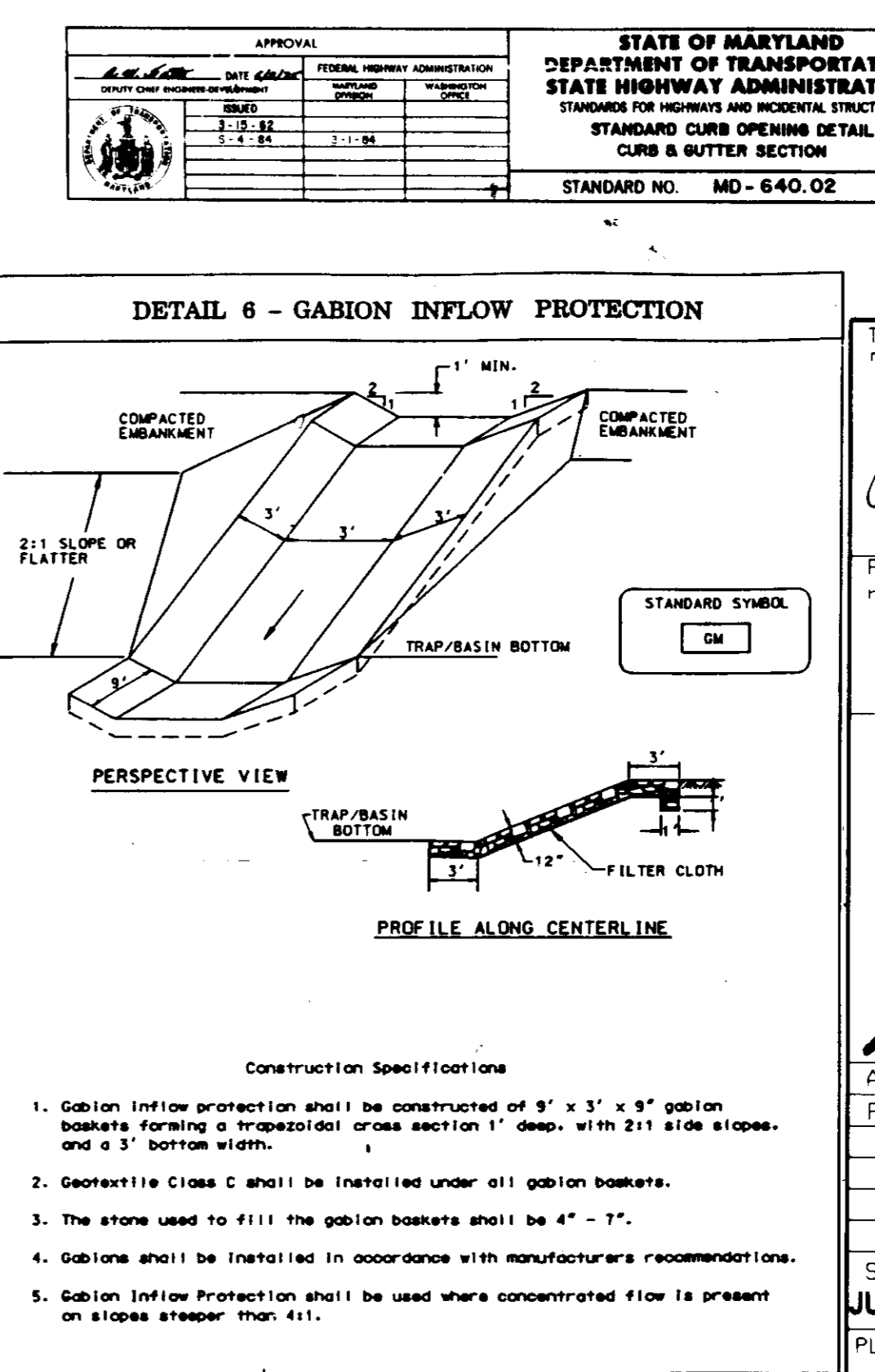


SANITARY SEWER PROFILE
SCALE: HORZ. 1" = 50'
VERT. 1" = 5'

PROPOSED 6" WATER H.C.
SCALE: HORZ. 1" = 50'
VERT. 1" = 5'



DETAIL 21 - PORTABLE SEDIMENT TANK
Construction Specifications
1. The following formula should be used in determining the storage volume of the sediment tank: 1 cubic foot of storage for each gallon per minute of peak discharge capacity.
2. An example of a typical sediment tank is shown above. Other contractor design can be used if the storage volume is adequate and approval is obtained from the local approving agency.
3. Tanks may be connected in series.



DETAIL 6 - GABION INFLOW PROTECTION
Construction Specifications
1. Gabion inflow protection shall be constructed of 3' x 3' x 9" gabion baskets forming a trapezoidal cross section 1' deep, with 2:1 side slopes, and a 3' bottom width.
2. Geotextile Class C shall be installed under all gabion baskets.
3. The stone used to fill the gabion baskets shall be 4" - 7".
4. Gabions shall be installed in accordance with manufacturer's recommendations.
5. Gabion Inflow Protection shall be used where concentrated flow is present on slopes steeper than 4:1.

APPROVAL	DATE	FEDERAL HIGHWAY ADMINISTRATION	STATE OF MARYLAND DEPARTMENT OF TRANSPORTATION

STATE OF MARYLAND DEPARTMENT OF TRANSPORTATION STATE HIGHWAY ADMINISTRATION STANDARD FOR HIGHWAYS AND RECREATION STRUCTURES STANDARD CURB OPENING DETAIL CURB & GUTTER SECTION STANDARD NO. MD-640.02			
These plans for S.W.M. construction, soil erosion and sediment control meet the requirements of Howard Soil Conservation District.			
APPROVED: HOWARD SOIL CONSERVATION DISTRICT		7/24/96	
PLAN NUMBER		7/24/96	
Reviewed for the Howard Conservation District and meets technical requirements.			
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING		7/23/96	
NATURAL RESOURCES CONSERVATION SERVICE		8/1/96	
CHIEF, DEVELOPMENT ENGINEERING DIVISION		DATE	
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH		DATE	
DIRECTOR		DATE	
ADDRESS CHART			
PARCEL NO.	STREET ADDRESS		
0-1	9070 JUNCTION DRIVE		
SUBDIVISION NAME		SECTION NAME	PARCEL #
JUNCTION INDUSTRIAL PARK		TWO	0-1
PLAT #	BLOCK #	ZONE	ELECT. DIST. CENSUS TRACT
9402	19	M-2	6th 6069.02
WATER CODE	SEWER CODE	SEWER CODE 4,020,000	
C04			

PREPARED BY:
GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
658 Kenilworth Drive, Suite 100
Towson, Maryland 21204
(410) 825-8120

DEVELOPER CERTIFICATION:
I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I/We also authorize periodic on-site inspection by the Howard Soil Conservation District.
Developer: *[Signature]* Date: 7/22/96
Name: *[Signature]*

OWNER/DEVELOPER
JUNCTION PROPERTIES LIMITED PARTNERSHIP
TIMONIUM ONE
1966 GREENSPRING DRIVE
SUITE 508
TIMONIUM, MD. 21093
(410) 560-0300

ENGINEER CERTIFICATION:
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Engineer: *[Signature]* Date: 7/27/96
Name: *[Signature]* PE: 16568

REVISIONS:
9/4/96 - REV. ROOF DRAIN

Profiles and Details
Parcel O-1
Junction Industrial Park
PREVIOUS DEPT. OF PLANNING AND ZONING FILE NOS.:
5-75.01, P-84-10; F-90-123
Scale: As Shown
6th Election District Sheet 4 of 7 Howard County, Maryland
1996
SDP-96-96

SEQUENCE OF OPERATIONS

1. Obtain grading permit.
2. Notify the Howard County Department of Permits and Licenses Inspector, 48 hours before beginning work.
3. Clear, grub for and installed stabilized construction entrances SCE #1 and SCE #2.
4. Clear, grub for and installed all sediment control measures and devices.
5. Notify the Howard County Department of Permits and Licenses, Sediment and Control Inspector, upon completion of said installation.
6. With the approval of the sediment control inspector, clear and grub remainder of the site. Begin grading operations. Maintain positive drainage to sediment control measures and devices.
7. Install building footings and foundation walls and continue construction. Proceed with retaining wall installation.
8. As retaining wall installation progresses and after notifying and obtaining permission from the sediment control inspector, build storm drain system from point A to inlet I-7 and from point I-7 to I-3. Do not install storm drain system from HW-1 to point I-3. Remove existing I-29, remove stone outlet sediment trap ST-II #1, earth dike form (A) and from (C) to (D).
9. Continue building and retaining wall construction. Install water and sewer lines. Maintain positive drainage to sediment control measures and devices.
10. Fine grade the entire site, (except area of stone/rip rap outlet sediment trap ST-IV #2 and after notifying and obtaining permission from the sediment control inspector remove the earth dike from (C) to (D), install stone subbase and concrete curb and gutter. Stabilize all remaining areas.
11. After notifying and obtaining permission from the sediment control inspector, clean up and remove stone/rip rap outlet sediment trap ST-IV #2. Install remaining storm drain system, stone subbase, concrete curb and gutter and retaining wall.
12. Fine grade and stabilize the area.
13. Proceed with paving operations.

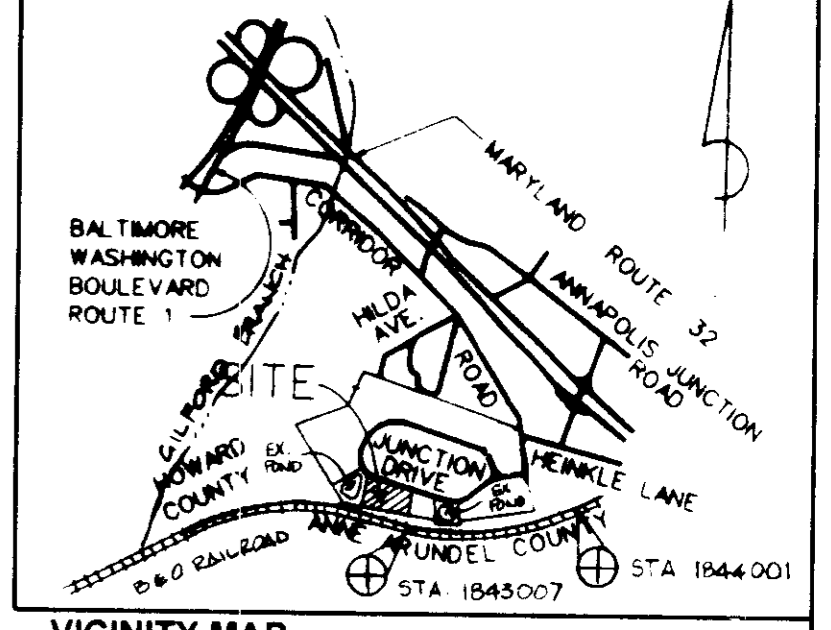
NOTE:
 1. FOLLOWING EVERY STORM ENSURES ALL PIPES EMPTYING INTO PROPOSED STONE / RIP RAP OUTLET SEDIMENT TRAP ST IV #2 ARE KEPT CLEAN OF SEDIMENT.
 2. THIS SHEET IS TO BE USED FOR INSTALLATION AND MAINTENANCE OF THE SEDIMENT CONTROL MEASURES AND DEVICES ONLY. SEE SITE DEVELOPMENT PLAN SHEET #1 FOR MORE SPECIFIC DETAILS.
 3. ALL EXCESS MATERIAL AND / OR BORROW MATERIAL SHALL EITHER BE HAULED OR TAKEN FROM AN AREA WITH AN APPROVED SEDIMENT CONTROL PLAN.
 4. EARTH QUANTITIES ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. CONTRACTOR IS ADVISED TO PERFORM HIS OWN ANALYSIS PRIOR TO PLACING A BID ON THIS ITEM.

LEGEND

- EX 2' CONTOURS
- EX 10' CONTOURS
- PROP 2' CONTOURS
- PROP 10' CONTOURS
- EX CURB & GUTTER
- PROP CURB & GUTTER
- BUDG RESTRICTION LINE
- EX SANITARY
- EX STORM DRAIN
- EX WATER
- PROP SANITARY
- PROP STORM DRAIN
- PROP WATER
- HEAVY DUTY PAVING
- LIGHT DUTY PAVING
- LIMIT OF DISTURBANCE
- SUPER SILT FENCE
- SILT FENCE
- ALTIMATE D.A. TO SEDIMENT TRAP #2
- STONE CONSTRUCTION ENTRANCE
- EARTH DIKE
- MOUNTABLE DIKE
- EXISTING DRAINAGE AREA
- PROPOSED DRAINAGE AREA

Sediment Control Notes

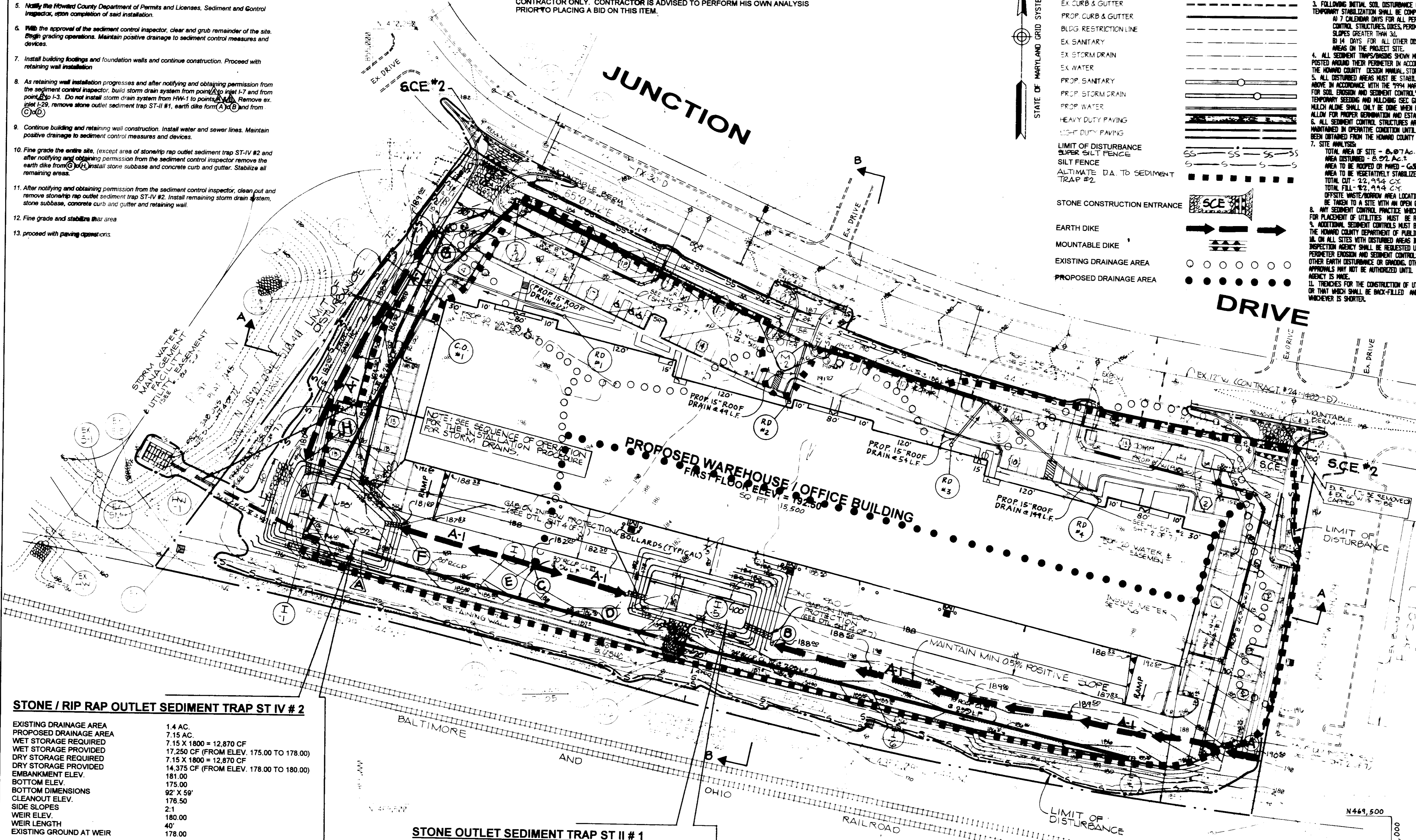
1. A minimum of 48 hours notice must be given to the Howard County Department of Inspections Licenses and Permits Sediment Control Division prior to the start of any construction activity.
2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERE TO.
3. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN 14 CALENDAR DAYS FOR ALL PROPOSED SEDIMENT CONTROL STRUCTURES, DICES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1.
 30 DAY DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS OF THE PROJECT SITE.
4. ALL SEDIMENT TRAPS/BOGGS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 7, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING, SOIL TEMPORARY SEEDING AND HOLDING SEE. 6. TEMPORARY STABILIZATION WITH MULCH ALONE SHALL ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
7. SITE ANALYSIS:
 TOTAL AREA OF SITE - 6.07 Ac.
 AREA DISTURBED - 6.07 Ac.
 AREA TO BE RECOVERED OR PAVED - 6.07 Ac.
 AREA TO BE VEGETATIVELY STABILIZED 2.10 Ac.
 TOTAL CUT - 22,434 CY
 TOTAL FILL - 42,424 CY
 OFFSITE WASTE/STORAGE AREA LOCATION (EXCESS CUT SHALL BE TAKEN TO A SITE WITH AN OPEN GRADING PERMIT).
8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
9. ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS SEDIMENT CONTROL INSPECTOR.
10. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTOR MUST BE OBTAINED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING, OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
11. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.



BENCHMARK
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CONTROL REFERENCE
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SHEET INDEX

- SHEET #1: SITE PLAN
- SHEET #2: EROSION CONTROL DETAILS
- SHEET #3: DRAINAGE AREA MAP & PROFILES
- SHEET #4: PROFILES
- SHEET #5: SEDIMENT CONTROL PLAN
- SHEET #6: SEDIMENT CONTROL DETAILS
- SHEET #7: LANDSCAPE PLAN



STONE / RIP RAP OUTLET SEDIMENT TRAP ST IV #2

EXISTING DRAINAGE AREA	14 AC
PROPOSED DRAINAGE AREA	7.15 AC
WET STORAGE REQUIRED	7.15 X 1800 = 12,870 CF
WET STORAGE PROVIDED	17,250 CF (FROM ELEV. 175.00 TO 178.00)
DRY STORAGE REQUIRED	7.15 X 1800 = 12,870 CF
DRY STORAGE PROVIDED	14,375 CF (FROM ELEV. 178.00 TO 180.00)
EMBANKMENT ELEV.	181.00
BOTTOM ELEV.	175.00
BOTTOM DIMENSIONS	92' X 59'
CLEANOUT ELEV.	176.50
SIDE SLOPES	2:1
WEIR ELEV.	180.00
WEIR LENGTH	40'
EXISTING GROUND AT WEIR	178.00

STONE OUTLET SEDIMENT TRAP ST II #1

EXISTING DRAINAGE AREA	4.38 AC
PROPOSED DRAINAGE AREA	2.70 AC
WET STORAGE REQUIRED	4.38 X 1800 = 7884 CF
WET STORAGE PROVIDED	8144 CF (FROM ELEV. 174.00 TO 176.00)
DRY STORAGE REQUIRED	4.38 X 1800 = 7884 CF
DRY STORAGE PROVIDED	10,560 CF (FROM ELEV. 176.00 TO 178.00)
EMBANKMENT ELEV.	179.00
BOTTOM ELEV.	174.00
BOTTOM DIMENSIONS	35' X 100'
CLEANOUT ELEV.	175.00
SIDE SLOPES	2:1
WEIR ELEV.	178.00
WEIR LENGTH	20'
EXISTING GROUND AT WEIR	176.00

PREPARED BY:
GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
 Civil Engineers and Land Surveyors
 658 Kenilworth Drive, Suite 100
 Towson, Maryland 21204
 (410) 825-8120

DEVELOPER CERTIFICATION:
 I certify that development and construction will be done according to the provisions of this plan and that the responsible personnel involved in the construction of the project are duly licensed and qualified for the purpose of the Department of the Environment and Planning. I hereby certify that the construction of the project will be in accordance with the provisions of this plan and that the construction will be completed within the time period specified in this plan.
 Name: *David Pavar* Date: 2/22/96

OWNER/DEVELOPER
JUNCTION PROPERTIES LIMITED PARTNERSHIP
 TIMONIUM ONE
 1966 GREENSPRING DRIVE
 SUITE 508
 TIMONIUM, MD. 21093
 (410) 560-0300

ENGINEER CERTIFICATION:
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Engineer: *D. Williams* Date: 2/22/96
 Name: *R. V. V. V.* PE # 10562

REVISIONS:
 9/15/96 - REV. FRONT BLDG. WALL ADDED STAIRS STAIRS REAR OF BLDG.

These plans for civil construction, soil erosion and sediment control were prepared in accordance with the requirements of the Howard Soil Conservation District.

John K. Robertson
 APPROVED: HOWARD SOIL CONSERVATION DISTRICT
 7/24/86

J. H. Warfield, JR.
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 7/24/86

Albert Dammann
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 7/25/86

Gina Summery
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 8/1/86

Ray S. Smith
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 8/2/86

ADDRESS: PARCEL # 0-1
 STREET ADDRESS: 9070 JUNCTION DRIVE

SUBDIVISION NAME: JUNCTION INDUSTRIAL PARK SECTION NAME: TWO PARCEL #: 0-1
 PLAT #: 9402 BLOCK #: 19 ZONE: M-2 ZONE MAP #: 48 ELECT. DIST.: 6th CENSUS TRACT #: 6069.02
 WATER CODE: C04 SEWER CODE: 4,020,000

SEDIMENT & EROSION CONTROL
 Parcel 0-1
Junction Industrial Park
 PREVIOUS DEPT. OF PLANNING AND ZONING FILE NOS.:
 S-75-01; P-84-10; P-90-123
 Scale: 1"=50'
 6th Election District Sheet 5 of 7 January 30, 1996
 Howard County, Maryland

SDP-96-96

Stabilization Specifications

Section I - Vegetative Stabilization Methods and Materials

A. Site Preparation

- 1. Erosion control and sediment control structures...
2. Perform all grading operations at right angles to the slope...
3. Schedule required soil tests to determine soil amendment composition...

B. Soil Amendments (Fertilizer and Lime Specifications)

- 1. Soil tests shall be performed to determine the exact ranges and application rates for both lime and fertilizer...
2. Fertilizers shall be uniform in composition, free flowing and suitable for accurate application...

C. Seeded Preparation

- 1. Temporary Seeding
a. Seeded preparation shall consist of loosening soil to a depth of suitable agricultural or construction equipment...
b. Apply fertilizer and lime as prescribed on the plans.

II. Permanent Seeding

- 1. Nurture soil conditions required for permanent vegetative establishments
2. Soil pH shall be between 6.0 and 7.0
3. Soil shall contain less than 4% clay but more than 20% silt...

D. Seed Specifications

- 1. All seed must meet the requirements of the Maryland State Seed Law...
2. Seed spreader dry shall be incorporated into the subsoil at the rates prescribed on the Temporary or Permanent Seeding Schedules...
3. Where practical, seed shall be applied in two directions perpendicular to each other...

E. Methods of Seeding

- 1. Hydroseeding
a. Fertilizer is being applied at the time of seeding the application rates amounts will not exceed the following rates...
2. Lime - use only ground agricultural limestone...
3. Seed and fertilizer shall be used on site and seeding shall be done immediately and without interruption.

F. Mulch Specifications (in order of preference)

- 1. Straw shall consist of thoroughly threshed wheat, rye or oat straw...
2. Wood Cellulose Fiber Mulch (WCFM)
a. WCFM shall consist of specially prepared wood cellulose processed into a uniform fibrous physical state...
3. WCFM material shall contain no elements or compounds at concentration levels that will be phytotoxic.

- 4. G. Mulching Seeded Areas - Mulch shall be applied to all seeded areas immediately after seeding.
1. If grading is completed outside of the seeding season, mulch shall be applied as prescribed in this section and maintained until the seeding season returns and seeding can be performed in accordance with these specifications.

- 11. When straw mulch is used it shall be spread over all seeded areas at the rate of 2 tons/acre...
12. Wood cellulose fiber mulch shall be applied at a net dry weight of 1.500 lbs. per acre...
13. Securing Straw Mulch (Mulch Anchoring): Mulch anchoring shall be performed immediately following mulch application...

Section II - Temporary Seeding

- 1. Select one or more of the species or mixtures listed in Table 25 for the appropriate Plant Hardness Zone...
2. For sites having disturbed areas over 5 acres, the rates shown on this table shall be deleted and the rates recommended by the testing agency shall be written in.

Section III - Permanent Seeding

- 1. Select one or more of the species or mixtures listed in Table 25 for the appropriate Plant Hardness Zone...
2. For sites having disturbed areas over 5 acres, the rates shown on this table shall be deleted and the rates recommended by the testing agency shall be written in.

Section IV - Sod: To provide quick cover on disturbed areas (2:1 grade or flatter).

- 1. General specifications
a. Class of turfgrass sod shall be Maryland or Virginia State Certified or Approval Sod labels shall be made available to the job foreman and inspector.

- 2. Sod installation
a. Prior to sodding the surface will be cleared of all trash, debris, and of all roots, stumps, grade stakes and other objects that would interfere with planting, fertilizing, or maintenance operations.

- 3. Sod maintenance
1. In the absence of adequate rainfall, watering shall be performed daily or as often as necessary during the first week and in sufficient quantities to maintain soil to a depth of 4" watering shall be done during the heat of the day to prevent wilting.

- 4. Sod maintenance
1. In the absence of adequate rainfall, watering shall be performed daily or as often as necessary during the first week and in sufficient quantities to maintain soil to a depth of 4" watering shall be done during the heat of the day to prevent wilting.

Section IV - Turfgrass Establishment

- 1. Areas where turfgrass are to be established include lawns, parks, playgrounds and commercial sites which will receive a medium to high level of maintenance...
2. NOTE: Choose certified material. Certified material is the best guarantee of cultivator purity. The certification program of the Maryland Department of Agriculture, Turf and Seed Section, provides a reliable means of consumer protection and assures a pure genetic line.

- 3. Kentucky Bluegrass - Full sun mixture - For use in areas that receive intensive management...
4. Kentucky Bluegrass/Perennial Ryegrass - Full sun mixture - For use in full sun areas where rapid establishment is necessary and when turf will receive medium to intensive management...

- 11. Tall Fescue/Kentucky Bluegrass - Full sun mixture - For use in drought prone areas and/or for areas receiving low maintenance...
12. Kentucky Bluegrass/Perennial Ryegrass - Shade Mixture - For use in areas with shade in Bluegrass lawns...
13. Securing Straw Mulch (Mulch Anchoring): Mulch anchoring shall be performed immediately following mulch application...

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Fertilizer Rates

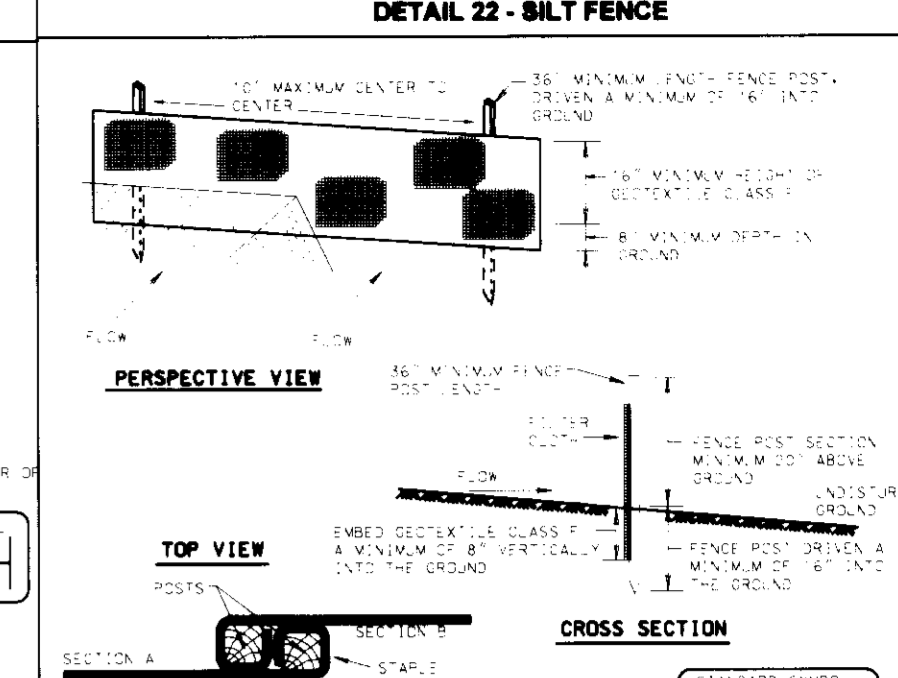
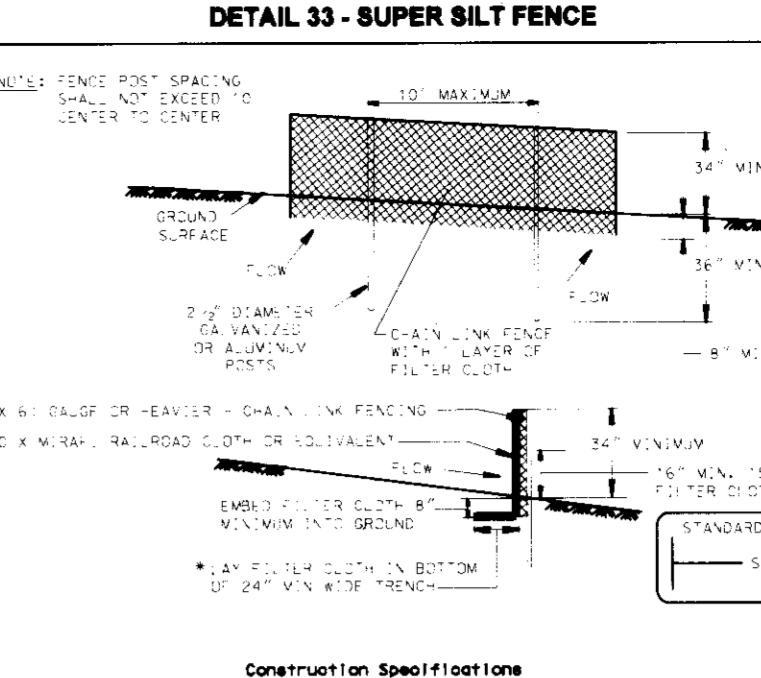
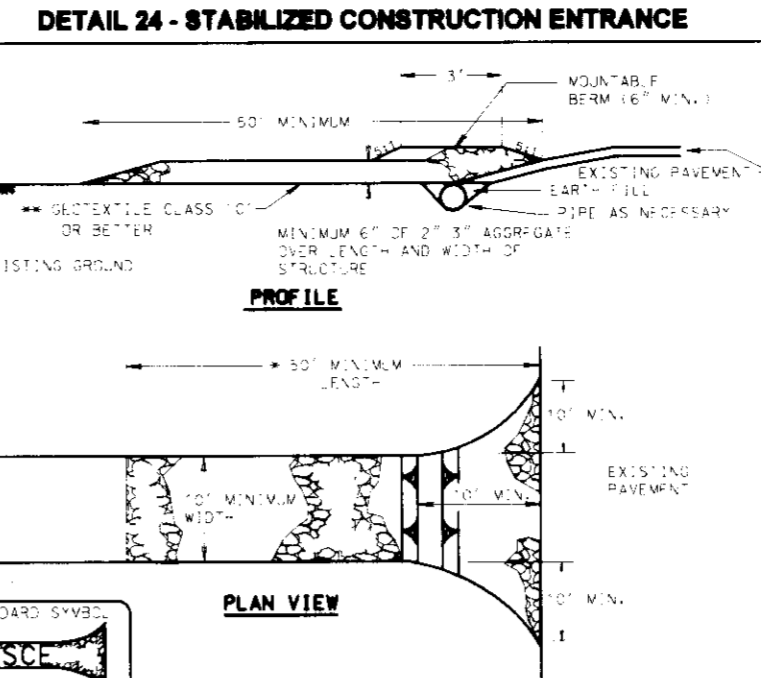
Table with 4 columns: Fertilizer Rate (lb/1000 sq ft), Lime Rate, N, P, K, S. Includes Temporary Seeding and Permanent Seeding rates.

Table 25 - Permanent Seeding for Low Maintenance Areas

Table with columns: SEED MIX, PLANTING RATE, SITE CONDITIONS, USDA HARDNESS ZONES, RECOMMENDED PLANTING DATES. Lists various turfgrass species and their planting requirements.

Table 26 - Temporary Seeding Rates, Depths, and Dates

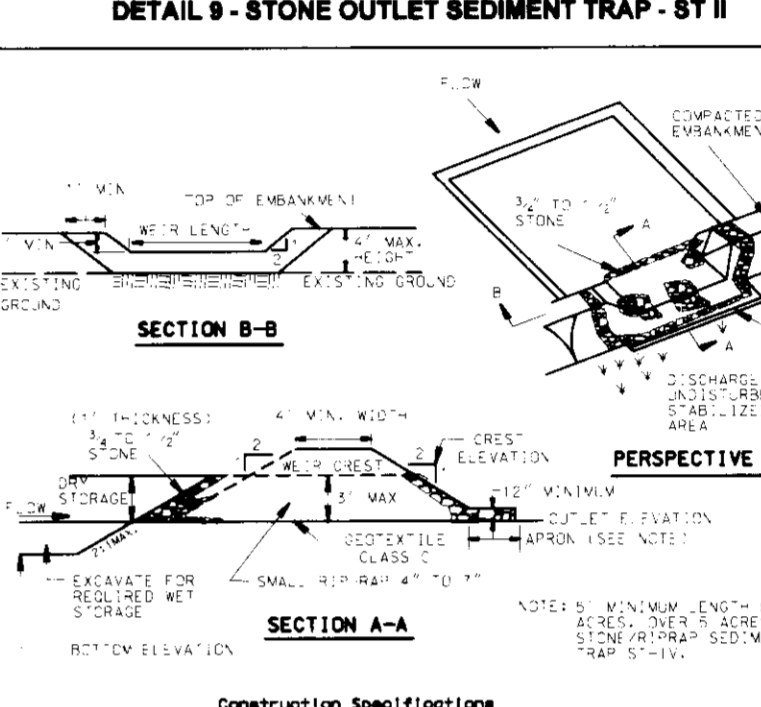
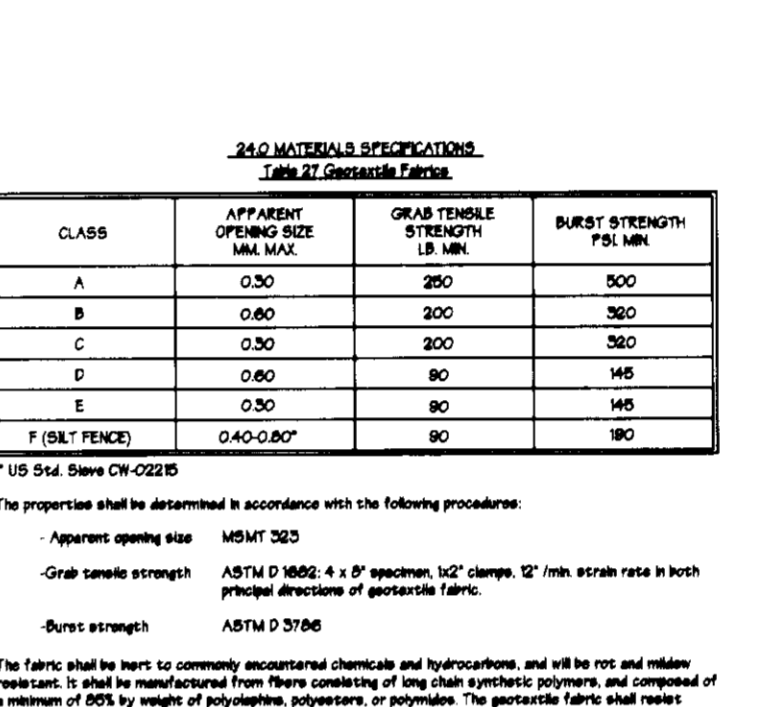
Table with columns: SPECIES, MINIMUM SEEDING RATES, PLANTING DEPTH, HARDNESS ZONES AND SEEDING DATES. Lists species like Kentucky Bluegrass, Ryegrass, etc.



- 1. Length - minimum of 50' (400' for single roadway) for the existing road...
2. Width - 10' minimum, maximum to be filed on the existing road to provide a turning radius...
3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone...

- 1. Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Design for Chain Link Fencing...
2. The posts do not need to be set in concrete...
3. Chain link fence shall be fastened securely to the fence posts with wire ties...

- 1. Fence posts shall be a minimum of 36" long driven 16" minimum into the ground...
2. Geotextile shall be fastened securely to each fence post with wire ties...
3. Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.



- 1. Area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat...
2. The fill material for the embankment shall be free of roots and other woody vegetation...
3. All cut and fill slopes shall be 2:1 or flatter.

Table with columns: CLASS, APPEARANCE, GRADE, BURST STRENGTH. Lists various geotextile fabric classes and their properties.

- 1. Seed and cover with straw mulch...
2. Seed and cover with straw mulch...
3. Runoff diverted from an undisturbed area shall outlet directly into an undisturbed, stabilized area at a non-negative velocity.

- 1. All temporary earth dikes shall have uninterrupted positive grade to an outlet...
2. Runoff diverted from a disturbed area shall be conveyed to a sediment trapping device...
3. Runoff diverted from an undisturbed area shall outlet directly into an undisturbed, stabilized area at a non-negative velocity.

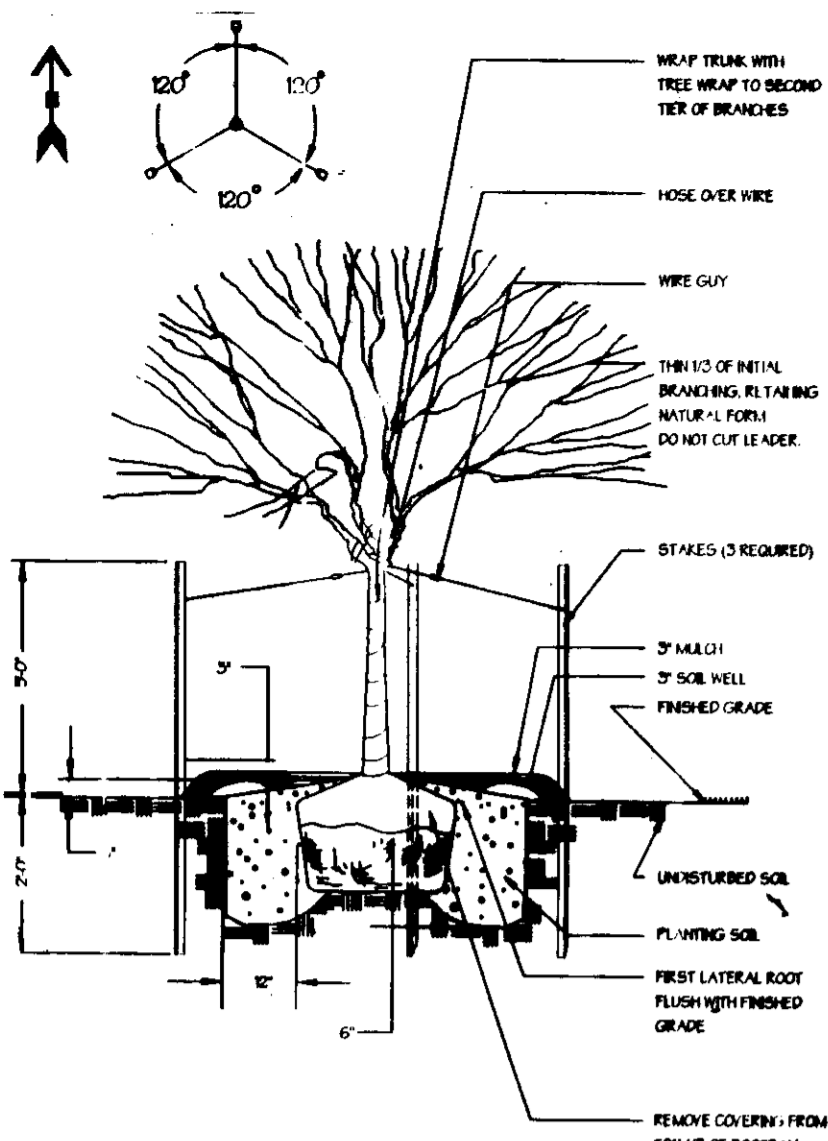
PREPARED BY: GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC. Civil Engineers and Land Surveyors. 658 Kenilworth Drive, Suite 100, Towson, Maryland 21204. (410) 826-8120.

DEVELOPER CERTIFICATION: We certify that all development and construction will be done according to this plan and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. Also authorize periodic on-site inspection by the Howard Soil Conservation District. Developer Name: [Signature] Date: 2/22/96

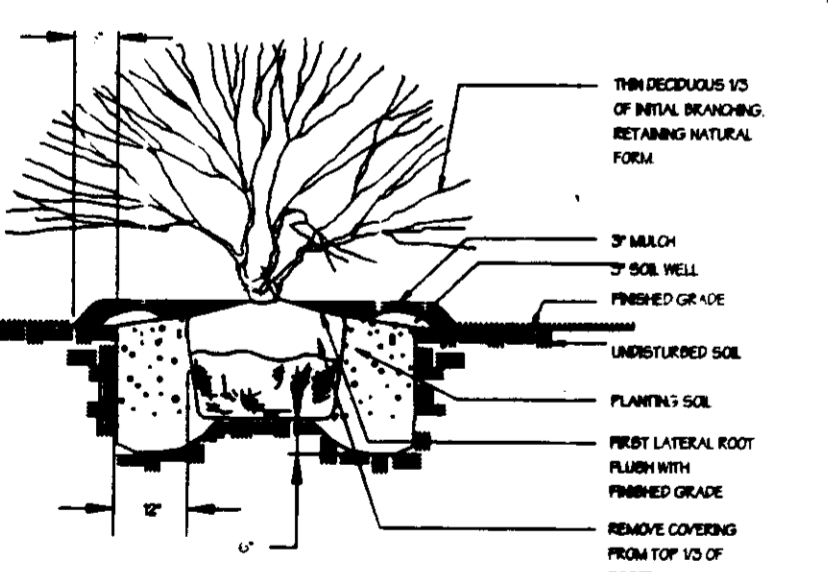
OWNER/DEVELOPER: JUNCTION PROPERTIES LIMITED PARTNERSHIP. TIMONUM ONE 1966 GREENSPRING DRIVE SUITE 508 TIMONUM, MD. 21093 (410) 560-0300

ENGINEER CERTIFICATION: I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District. Engineer: [Signature] Date: 2/22/96 PE: 10568

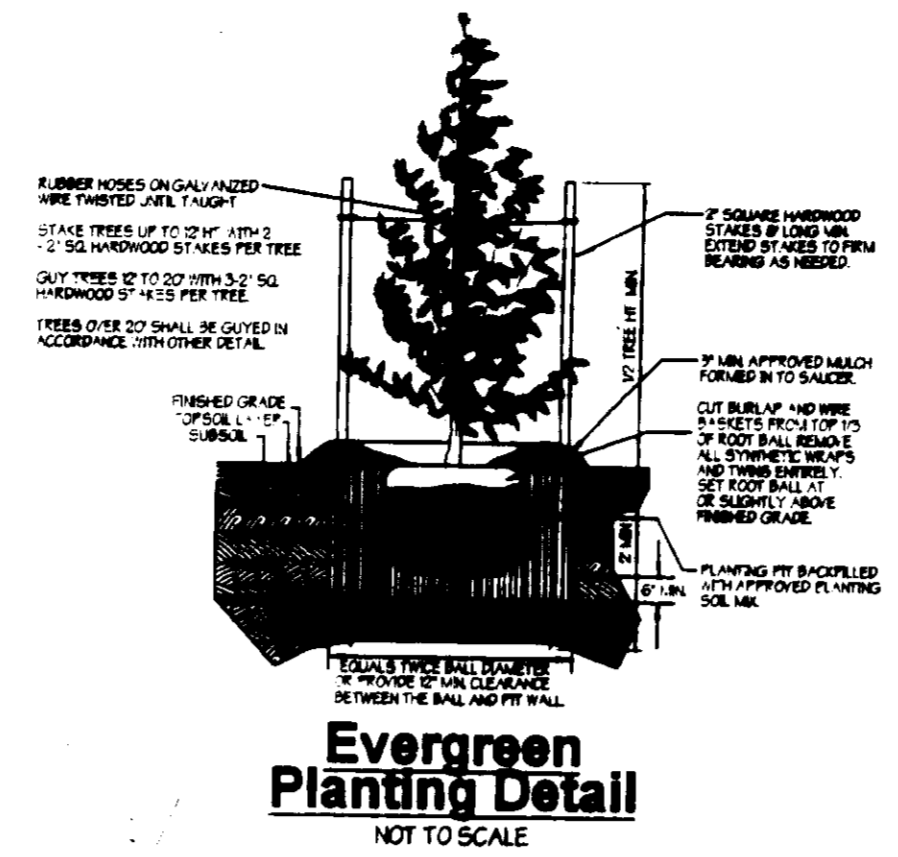
Sediment Control Notes and Details. Parcel O-1 Junction Industrial Park. PREVIOUS DEPT. OF PLANNING AND ZONING FILE NO.: S-75.01; P-84-10; F-10-123. Scale: As Shown. January 31, 1996. 6th Election District Sheet 6 of 7 Howard County, Maryland.



Tree Planting Detail
NOT TO SCALE



Shrub Planting Detail
NOT TO SCALE



Evergreen Planting Detail
NOT TO SCALE

LEGEND

- EX 2' CONTOURS
- EX 10' CONTOURS
- PROP. 2' CONTOURS
- PROP. 10' CONTOURS
- EX CURB & GUTTER
- PROP. CURB & GUTTER
- BLOG RESTRICTION LINE
- EX SANITARY
- EX STORM DRAIN
- EX WATER
- PROP. SANITARY
- PROP. STORM DRAIN
- PROP. WATER
- HEAVY DUTY PAVING
- LIGHT DUTY PAVING
- EXIST. SHADE TREE TO REMAIN
- PROP. SHADE TREE
- PROP. MINOR SHADE TREE
- PROP. EVERGREEN TREE
- PROP. SHRUBS

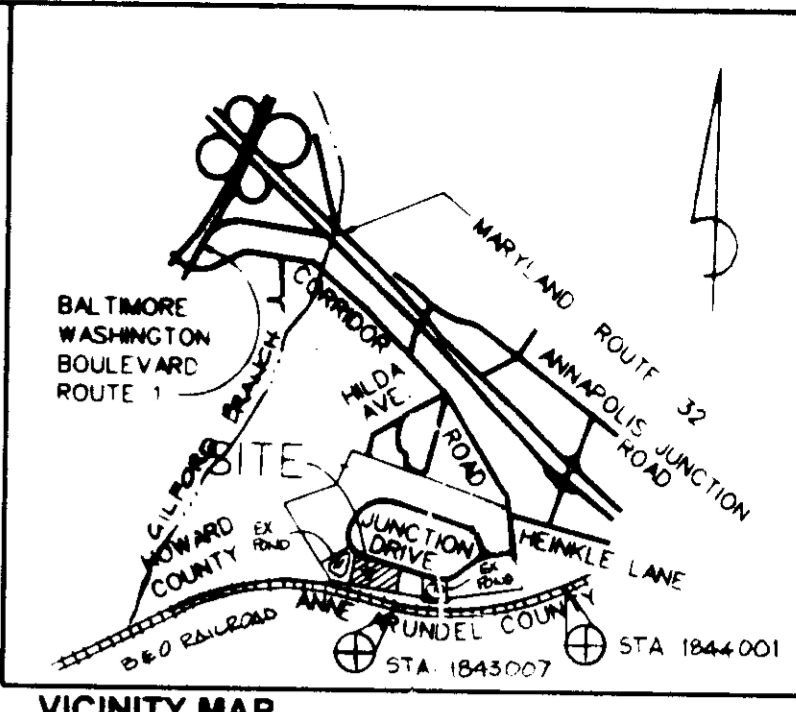
SCHEDULE A
PERIMETER LANDSCAPE EDGE

CATAGORY	ADJACENT TO ROADWAYS		ADJACENT TO PERIMETER PROPERTIES	
	B	E	A	C
Landscape Type				
Linear Feet of Roadway Frontage Available	884	670	870	1094
Credit for existing Vegetation, (Yes, No Linear Feet)	YES 800		YES 200	
Credit for Well, Ponds, or Bays (Yes, No Linear Feet)				
Number of Plants Required	1306	1675	1415	2795
Shade Trees	28	16	14	27
Evergreen Trees	28	16	14	27
Other Trees (2' sub)	100 (10)	2160 (12)	120 (12)	336 (16)
Shrubs	100 (10)	120 (12)	100 (10)	336 (16)
Other Trees (2' sub)				
Number of Plants Provided	25 (12.5)	17	16	33 (16.5)
Shade Trees	10 (5)		6 (3)	33 (16.5)
Evergreen Trees 2-4'				
Other Trees (2' sub)	100 (10)	120 (12)	100 (10)	336 (16)
Shrubs				
Other Trees (2' sub)				

Comments: ① CREDIT FOR 10 EXIST. 4" CAL. SHADE TREES ALONG JUNCTION DRIVE
② 200 LF. OF PARKING LOT IS 8'-6" BELOW THE ADJ. ELEV. OF JUNCTION DR.

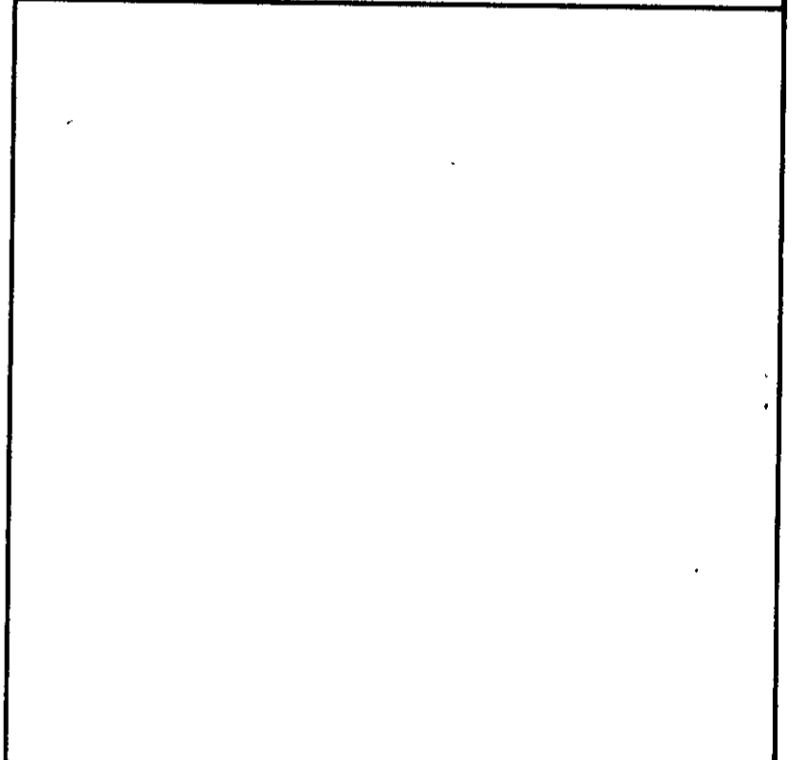
SCHEDULE B
PARKING LOT INTERNAL LANDSCAPING

Number of Parking Spaces	Number of Trees Required	Number of Trees Provided
187	9.35	10
Number of Landscaped Islands req.	9.35	
Number of Landscaped Islands provided		10



BENCHMARK
CONTROL REFERENCE
SHEET INDEX

- SHEET INDEX
- SHEET #1: SITE PLAN
 - SHEET #2: SECTIONS & DETAILS
 - SHEET #3: GRAIN, BE AREA MAP & PROFILES
 - SHEET #4: PROFILES
 - SHEET #5: SEDIMENT CONTROL PLAN
 - SHEET #6: SEDIMENT CONTROL DETAILS
 - SHEET #7: LANDSCAPE PLAN



PLANT SCHEDULE

KEY	QUANT.	BOTANICAL NAME / COMMON NAME	SIZE / COND.	SPACING	REMARKS
TREES					
AR	13	Acer rubrum 'October Glory' / October Glory Red Maple	2 1/2 - 3 "cal. / B&B	as shown	full crown
LS	19	Liquidambar styraciflua / Sweetgum	2 1/2 - 3 "cal. / B&B	as shown	full crown
LP	21	Platanus x acerifolia "Bloodgood" / Bloodgood London Planetree	2 1/2 - 3 "cal. / B&B	as shown	full crown
PS	14	Pinus strobus / Eastern White Pine	6-8" ht. / B&B	10' O.C. as shown	sheared
PA	16	Picea sibirica / Norway Spruce	6-8" ht. / B&B	10' O.C. as shown	sheared
MS	24	Malus zumi 'Calocarpa' / Zumi Crab	1-1 1/2 "cal. / B&B	as shown	
PP	19	Prunus subhirtella 'Pendula' / Weeping Japanese Cherry	1-1 1/2 "cal. / B&B	as shown	
PN	16	Pinus nigra	6-8" ht. / B&B	10' O.C. as shown	sheared
JV	15	Juniperus virginiana 'Emerald Sentinel' / Emerald Sentinel Juniper	6-8" ht. / B&B	as shown	
SHRUBS					
GA	53	Abelia x grandiflora 'Edward Goucher' / Edward Goucher Abelia	18 - 24" spr. / cont.	4'-4" O.C.	
RP	67	Rhododendron P.J.M. / P.J.M. Rhododendron	24-30" ht. / cont.	4'-4" O.C. as shown	
VB	56	Viburnum x burkwoodii / Burkwood Viburnum	24-30" ht. / cont.	5' O.C. as shown	
TB	44	Taxus baccata Repandens / Spreading English Yew	24-30" ht. / B&B	5' O.C.	

LANDSCAPE NOTES
LANDSCAPE SPECIFICATIONS
PLANT STANDARDS
CHANGES MAY IMPACT REQUIRED CERTIFICATION

LANDSCAPE NOTES
LANDSCAPE SPECIFICATIONS
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PREPARED BY:
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Towson, Maryland 21204
(410) 825-8120

DEVELOPER CERTIFICATION:
OWNER/DEVELOPER
JUNCTION PROPERTIES LIMITED
PARTNERSHIP
TIMONIUM ONE
1966 GREENSPRING DRIVE
SUITE 508
TIMONIUM, MD. 21093
(410) 560-0300

REVISIONS:
1/5/96 - REV. FRONT BLDG. ADDED RAMPS & STAIRS REAR OF BLDG.

LANDSCAPE PLAN
Parcel O-1
Junction Industrial Park
PREVIOUS DEPT. OF PLANNING AND ZONING FILE NOS.:
S-75-01; P-84-10; F-90-123
Scale: 1"=50'
6th Election District
January 30, 1996
Sheet 7 of 7
Howards County, Maryland

SDP-96-96