

# Site Development Plans

for

## Building No. 1

# Baltimore - Washington Commerce Park

## Howard County, Maryland

### S.D.P. 96 - 45



Hill Management Services, Inc.

9640 Deerco Road

Timonium, Maryland 21093

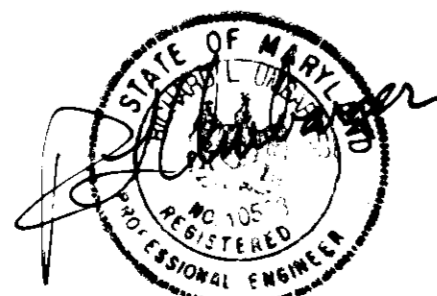
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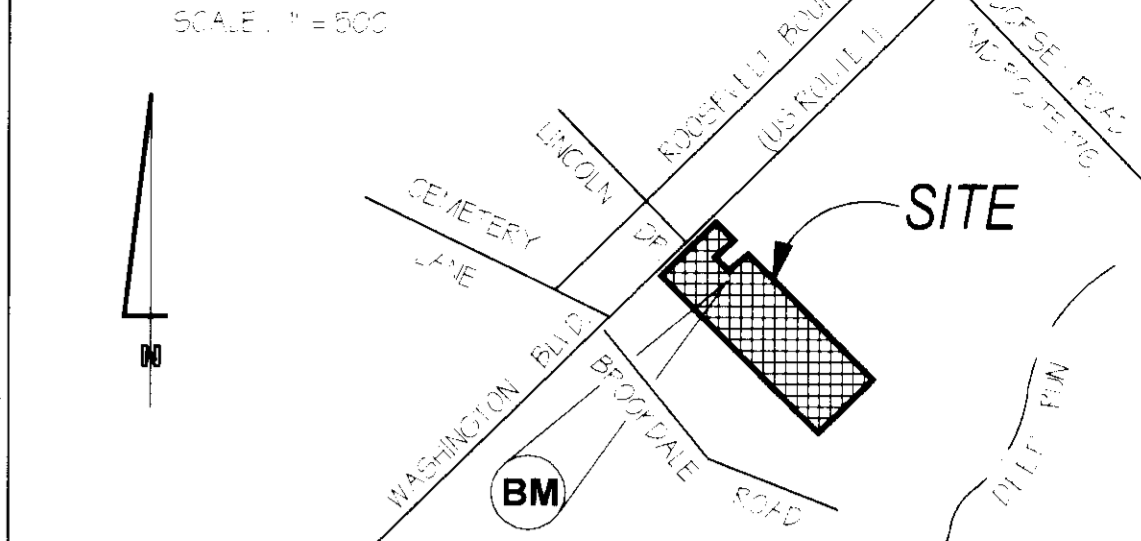
GEORGE W. STEPHENS, JR.  
AND ASSOCIATES, INC.

Civil Engineers and Land Surveyors

658 Kenilworth Drive, Suite 100  
Towson, Maryland 21204  
(410) 825-8120



#### Vicinity Map



#### Benchmark :

CUNLET (B) AT FACE OF CURB NORTH-EAST SIDE OF ENTRANCE ROAD  
N 9092+25  
E 6685+12 ELEVATION = 193.01

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#### Note on S.D.P. Approval :

OVERALL SITE HAS PREVIOUSLY APPROVED AS SDP 88-208. SDP 88-208 BECAME NULL & VOID 5/17/96. THIS PLAN HAS BEEN PREPARED TO ACQUIRE SITE DEVELOPMENT APPROVAL FOR PROPOSED BUILDING NUMBER 1. PRIMARY CHANGES FROM SDP 88-208 ARE NEW BUILDING LOCATION, ENLARGED LOADING AREA AND RELOCATION OF STORM DRAINS.

APPROVED: Howard County Department of Planning and Zoning

*Quinn G. Gorman* 5/18/96  
CHIEF, DEVELOPMENT ENGINEERING DIVISION M.K. DATE  
*Quinn G. Gorman* 3/22/96  
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH DATE  
*George W. Stephens, Jr.* 5/22/96  
DIRECTOR (Acting) DATE

ADDRESS CHART	
BUILDING NO.	STREET ADDRESS
1	7377 BALTIMORE WASHINGTON BOULEVARD

SUBDIVISION NAME		SECTION NAME		PARCEL #	
BALTO. WASH. COMM. PARK		BUILDING NO. 1		62	
DEED #	BLOCK #	ZONE	TAX MAP	ELECT. DIST.	CENSUS TRACT
1700/137	5	M-2	43	1	6012

WATER CODE B01 SEWER CODE 2153000  
COVER SHEET  
BUILDING NO. 1  
BALTIMORE - WASHINGTON  
COMMERCE PARK  
ELECTION DISTRICT 1 HOWARD COUNTY, MARYLAND DATE OCT. 5, 1995  
DESIGNED: T.N.W. DRAWN: E.M.T. CHECKED: T.N.W. SHEET 1 OF 8

DATE	REVISION	BY
12-22-95	PER. HOW. CO. EMT	
01-18-96	PER. HILL EMT	
02-14-96	PER. HOW. CO. EMT	

**Sequence Of Operations:**

1. OBTAIN GRADING PERMIT.
2. NOTIFY THE HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES, SEDIMENT CONTROL INSPECTOR, 48 HOURS BEFORE BEGINNING WORK.
3. INSTALL INLET PROTECTION ON EXISTING STORM DRAINAGE INLETS AS SHOWN.
4. CLEAR AND GRUB FOR AND INSTALL STABILIZED CONSTRUCTION ENTRANCE AND SILT FENCE.
5. AFTER NOTIFYING AND OBTAINING PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, BEGIN ROUGH GRADING. MAINTAIN POSITIVE DRAINAGE TO SEDIMENT CONTROL MEASURES AND DEVICES.
6. INSTALL ALL UTILITIES, STORM DRAINS, AND STORMCEPTOR DEVICES AND PROVIDE INLET PROTECTION IMMEDIATELY UPON INSTALLATION OF EACH INLET. CONTINUE GRADING.
7. UPON COMPLETION OF PROPOSED STORM DRAIN CONSTRUCTION REMOVE EXISTING STORM DRAINS AS SHOWN ON SHEET 1.
8. INSTALL FOOTINGS AND FOUNDATION WALL. CONTINUE BUILDING CONSTRUCTION.
9. FINE GRADE THE ENTIRE SITE. MAINTAIN POSITIVE DRAINAGE TO SEDIMENT CONTROL MEASURES AND DEVICES. INSTALL STONE SUBBASE AND CONCRETE CURB AND GUTTER. STABILIZE ALL REMAINING AREAS.
10. AFTER NOTIFYING AND OBTAINING PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT CONTROL MEASURES AND DEVICES.
11. FINE GRADE THOSE AREAS. INSTALL REMAINDER OF STONE SUBBASE AND CONCRETE CURB AND GUTTER.
12. COMPLETE PAVING AND LANDSCAPING OPERATIONS.

**Construction Notes :**

1. SEE SHEET 6. FOR ADDITIONAL CONSTRUCTION NOTES.
2. TO BE REMOVED.
3. ADJUST TOP TO CONFORM TO GRADE.
4. REMOVE EXISTING PIPE AND INSTALL 8" THICK BRICK BULK-HEAD ON 8" DIA. PIPE.
5. ALL CURBS SHALL BE REVERSE SLOPE CURB AND GUTTER UNLESS OTHERWISE NOTED.

**Legend**

PROPERTY LINE	---	CONSTRUCTION NOTE	2
EXISTING CURB AND GUTTER	====	CENTERLINE OF ROAD	---
PROPOSED CURB AND GUTTER	=====	EXISTING 2' CONTOUR	---
EXISTING WATER LINE	---	EXISTING 5' CONTOUR	---
EXISTING STORM DRAIN	---	PROPOSED 2' CONTOUR	---
EXISTING SANITARY	---	PROPOSED 5' CONTOUR	---
EXISTING FENCE LINE	---	PHASE 1 INLET PROT.	---
LIMIT OF DISTURBANCE	---	PHASE 2 INLET PROT.	---
	---	SUPER SILT FENCE	---SF---

These plans for soil erosion and sediment control meet the requirements of Howard Soil Conservation District.  
*John B. Robertson*  
 APPROVED: HOWARD SOIL CONSERVATION DISTRICT 3/11/96  
 PLAN NUMBER DATE

Reviewed for the Howard Conservation District and meets technical requirements.  
*J. A. Wayfield*  
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING 3/11/96  
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING DATE

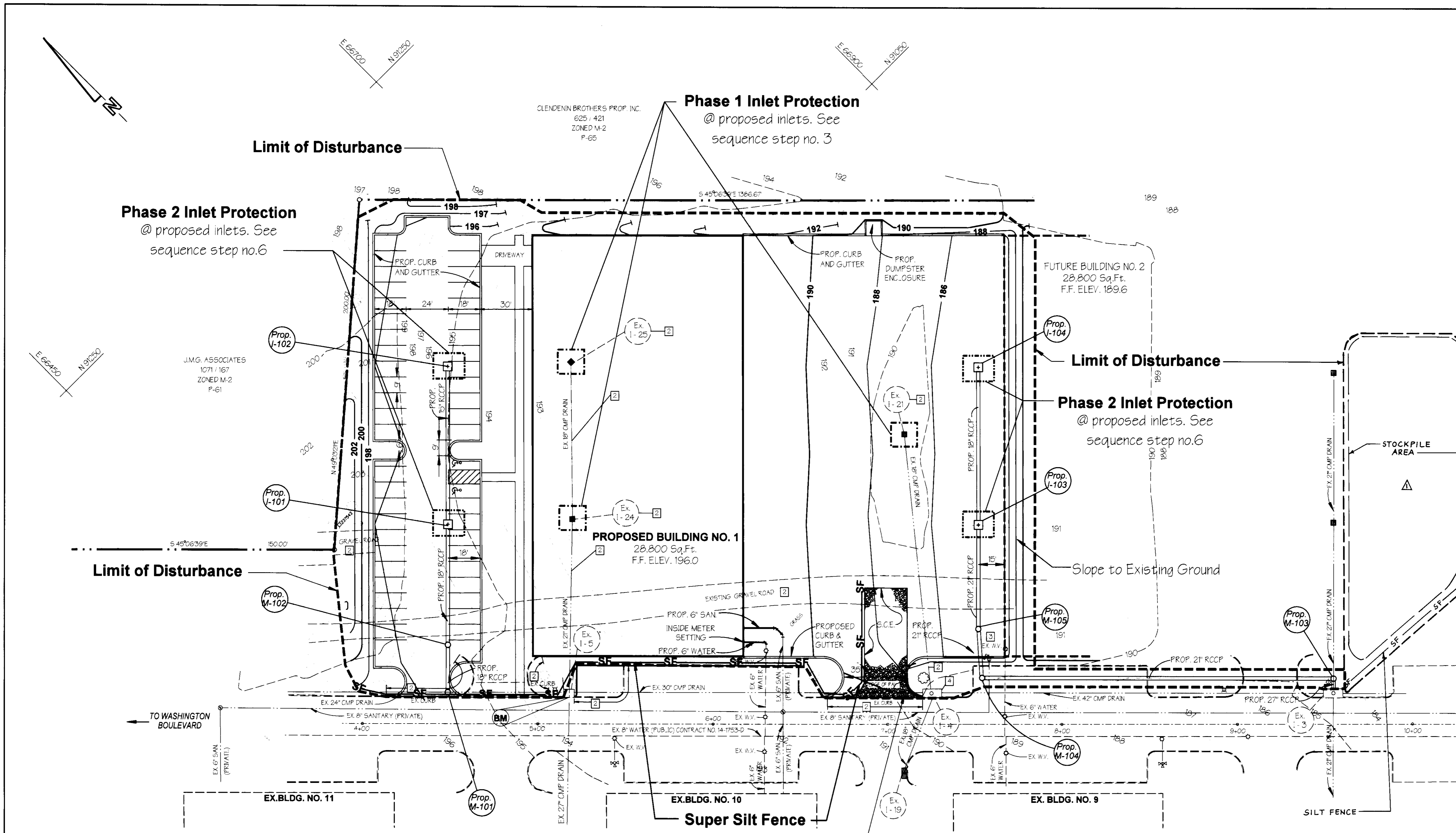
*John B. Robertson*  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION M.K. 2/10/96  
 DATE  
*John B. Robertson*  
 CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH 3/22/96  
 DATE  
*John B. Robertson*  
 DIRECTOR 2/21/96  
 DATE

ADDRESS CHART

BUILDING NO.	STREET ADDRESS
1	7377 BALTIMORE WASHINGTON BOULEVARD

SUBDIVISION NAME	SECTION NAME	BUILDING NO. 1	PARCEL #
BALTO. WASH. COMM. PARK			62
DEED # 1700/137	BLOCK 5	ZONE M-2	7/20/83 MAP 1
ELECT. DIST. 1		CENSUS TRACT 6012	
WATER CODE B01		SEWER CODE 2153000	

**SEDIMENT CONTROL PLAN**  
**BUILDING NO. 1**  
**BALTIMORE - WASHINGTON**  
**COMMERCE PARK**  
 ELECTION DISTRICT: 1 SCALE: 1" = 30'  
 HOWARD COUNTY, MARYLAND DATE: OCT. 5, 1995  
 DESIGNED: T.N.W. DRAWN: E.M.T. CHECKED: T.N.W. SHEET 4 OF 8

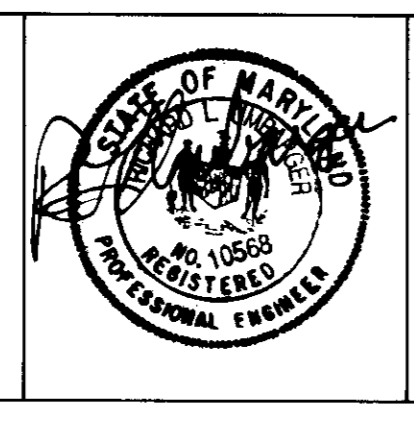


**Sediment Control Notes**

1. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (313-1855).
2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" AND REVISIONS THERETO.
3. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
  - A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1.
  - B) 14 DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 7, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING, SOIL TEMPORARY SEEDING AND MULCHING (SEC G), TEMPORARY STABILIZATION WITH MULCH ALONE SHALL ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
7. SITE ANALYSIS:
  - TOTAL AREA OF SITE 26.17 ACRES
  - AREA DISTURBED ~~2.91 AC~~ 2.91 AC / 126,727 SF
  - AREA TO BE ROOFED OR PAVED 1.89 ACRES - 82,194 SF.
  - AREA TO BE VEGETATIVELY STABILIZED 0.73 ACRES - 31,933 SF.
  - TOTAL CUT 4815 C.Y.
  - TOTAL FILL 1225 C.Y.
  - OFFSITE WASTE/BORROW AREA LOCATION: EXCESS CUT SHALL BE TAKEN TO A SITE WITH AN APPROVED SEDIMENT CONTROL PLAN.
8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
9. ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
10. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
11. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

NOTE:  
 The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building shown on this site. Development plan shall discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste into the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statement shall apply to all initial and future occupants or tenants.

**PREPARED BY:**  
**GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.**  
 Civil Engineers and Land Surveyors  
 658 Kenilworth Drive, Suite 100  
 Towson Maryland 21204  
 (410) 825-8120



**DEVELOPER CERTIFICATION:**  
 I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I/We authorize periodic on-site inspection by the Howard Soil Conservation District.  
 Developer Name: *John McNeill* Date: 2/22/96  
 Signature: *John McNeill*

**OWNER/DEVELOPER**  
**HILL MANAGEMENT SERVICES, INC.**  
 9640 Deereco Road  
 Timonium, Maryland 21093  
 410-666-1000

**ENGINEER CERTIFICATION:**  
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.  
 Signed: *Richard L. Umbarger* Date: 3/1/96  
 Name: RICHARD L. UMBARGER PE # 10588

DATE	REVISION	BY
12-29-95	PER. HOW. CO.	E.M.T.
01-18-96	PER. HOW. CO.	E.M.T.
8-2-96	STOCKPILE	K.E.

Stabilization Specifications

Section I - Vegetative Stabilization Structures and Materials

A. Site Preparation

- 1. Install erosion and sediment control structures...
2. Perform all grading operations at right angles to the slope...
3. Schedule required soil tests to determine soil amendment composition...

B. Soil Amendments (Fertilizer and Lime Specifications)

- 1. Soil tests must be performed to determine the exact ratios and application rates for both lime and fertilizer...
2. Fertilizers shall be uniform in composition, free flowing and suitable for accurate application...

C. Seedbed Preparation

- I. Temporary Seeding
a. Seedbed preparation shall consist of loosening soil to a depth of suitable agricultural or construction equipment...
II. Permanent Seeding
a. Minimum soil conditions required for permanent vegetative establishments

- 1. Soil pH shall be between 5.8 and 7.8.
2. Soluble salts shall be less than 500 parts per million total.
3. The soil shall contain less than 40% silt and enough of the graded material D 200 (silt plus clay) to provide the capacity to hold a moderate amount of moisture...

- b. Areas previously graded in conformance with the drawings shall be maintained in a true and even grade, then scarred or otherwise loosened to a depth of 3" - 5" to permit bonding of the topsoil to the surface area...

- 1. All seed must meet the requirements of the Maryland State Seed Law. All seed shall be subject to retesting by a recognized seed laboratory. All seed used shall have been tested within the 6 months immediately preceding the date of sowing such material in this job.

- 11. Inoculant - The inoculant for treating legume seed in the seed mixture shall be a pure culture of nitrogen-fixing bacteria prepared specifically for the species. Inoculants shall not be used unless the date indicated on the container, and fresh inoculant as directed on package. Use four times the recommended rate when hydroseeding. NOTE: It is very important to keep inoculants as cool as possible until used. Temperatures above 75 - 88 degrees F. can weaken bacteria and make inoculant less effective.

NOTE: SEED TAGS SHALL BE MADE AVAILABLE TO THE INSPECTOR TO VERIFY TYPE AND RATE OF SEED USED.

E. Methods of Seeding

- 1. Hydroseeding: Apply seed uniformly with hydroseeder (slurry application seed and fertilizer/broadcast or drop seeder) or a cultipacker seeder.
a. Fertilizer is being applied at the time of seeding, the application rates should not exceed the following: nitrogen - 100 lbs. per acre, total available nitrogen 220 (phosphorus) 200 lbs./ac, K2O (potassium) 200 lbs./ac.

- 11. Dry Seeding: This includes use of conventional drop or broadcast seeders.
a. Seed spread dry shall be incorporated into the subsoil at the rates prescribed on the Temporary or Permanent Seeding Summaries or Tables 25 or 26. The seeded area shall then be rolled with a weighted roller to provide good seed to soil contact.

- 11. Drill or Cultipacker Seeding: Mechanized seeders that apply and cover seed with soil.
a. Cultipacker seeders are required to bury the seed in such a fashion as to provide at least 1/4 inch of soil covering. Seedbed must be firm after planting.

- b. Where practical, seed should be applied in two directions perpendicular to each other. Apply half the seeding rate in each direction.

F. Mulch Specifications (In order of preference)

- 1. Straw shall consist of thoroughly threshed wheat, rye or oat straw, reasonably bright in color, and shall not be mostly moldy, coated, decayed or excessively dirty and shall be free of noxious weed seeds as specified in the Maryland Seed Law.
a. WCFM shall consist of specially prepared wood cellulose processed into a uniform fibrous physical state. WCFM shall be dyed green or contain a green dye in the package that will provide an appropriate color to facilitate visual inspection of the uniformly spread slurry.

- a. WCFM material shall contain no elements or compounds at concentration levels that will be phytotoxic.
f. WCFM must conform to the following physical requirements: fiber length to approximately 18 mm, diameter approximately 1 mm, pH range of 4.8 to 8.5, ash content of 1.5% maximum and water holding capacity of 90% minimum.

NOTE: ONLY STERILE STRAW MULCH SHOULD BE USED IN AREAS WHERE ONE SPECIES OF GRASS IS DESIRED.

G. Mulching Seeded Areas - Mulch shall be applied to all seeded areas immediately after seeding.

- 1. If grading is completed outside of the seeding season, mulch alone shall be applied as prescribed in this section and maintained until the seeding season returns and seeding can be performed in accordance with these specifications.

- 11. When straw mulch is used, it shall be spread over all seeded areas at the rate of 2 tons/acre. Mulch shall be applied to a uniform loose depth of between 1" and 2". Mulch applied shall achieve a uniform distribution and depth so that the soil surface is not exposed. If a mulch anchoring tool is to be used, the rate should be increased to 2.5 tons/acre.
111. Wood cellulose fiber should be applied at a net dry weight of 1,500 lbs. per acre. The wood cellulose fiber shall be mixed with water, and the mixture shall contain a maximum of 30 lbs. of wood cellulose fiber per 100 gallons of water.
H. Securing Straw Mulch (Mulch Anchoring): Mulch anchoring shall be performed immediately following mulch and shall be performed immediately following application to minimize loss by wind or water. This may be done by one of the following methods:
1. A mulch anchoring tool is a tractor drawn implement designed to punch and anchor mulch into the soil surface to a minimum of 2" inches. This practice is most effective on large areas, but is limited to flatter slopes where equipment can operate safely. If used on sloping land, this practice should be used on the contour if possible.
2. Wood cellulose fiber may be used for anchoring straw. The fiber binder shall be applied at a net dry weight of 750 pounds/acre. The wood cellulose fiber shall be mixed with water and the mixture shall contain a maximum of 30 lbs. of wood cellulose fiber per 100 gallons of water.
3. Application of liquid binders should be heavier at the edges where wind catches mulch, such as in valleys and on the windward side of banks. The remainder of the binder should appear uniform or fair binder application. Synthetic binders - such as Acrylic (LR-76), Pectin, Terra (LR-76), Terra Lock (LR-76) or other approved equal may be used at rates recommended by the manufacturer to anchor mulch.
4. Lightweight plastic netting may be stapled over the mulch according to manufacturer's recommendations. Netting is usually available in rolls 4' to 15' feet wide and 300 to 3000 feet long.

Section II - Temporary Seeding

Vegetation - annual grass or grain used to provide cover on disturbed areas for up to 12 months. For longer duration of vegetative cover, Permanent Seeding is required.

- A. Seed Mixtures - Permanent Seeding
1. select one or more of the species or mixtures listed in Table 25 for the appropriate Plant Hardness Zone (from figure 5) and enter them in Permanent Seeding Summary below, along with application rates and seeding dates. Seeding depths can be estimated using Table 26. If this Summary is not put on the construction plans and completed then Table 25 must be put on the plans. Additional planting specifications for exceptional sites such as shorelines, streambanks, dunes or for special purposes such as wildlife or aesthetic treatment may be found in USGS Technical Field Office Guide, Section 342 - Critical Area Planting. For special lawn maintenance areas, see Sections IV Sod and V Turfgrass.
11. For sites having disturbed areas over 5 acres, the rates shown this table shall be deleted and the rates recommended by the testing agency shall be written in.

Section III - Permanent Seeding

Seeding grass and legumes to establish ground cover for a minimum period of one year on disturbed areas generally receiving low maintenance.

A. Seed Mixtures - Permanent Seeding

- 1. select one or more of the species or mixtures listed in Table 25 for the appropriate Plant Hardness Zone (from figure 5) and enter them in Permanent Seeding Summary below, along with application rates and seeding dates. Seeding depths can be estimated using Table 26. If this Summary is not put on the construction plans and completed then Table 25 must be put on the plans. Additional planting specifications for exceptional sites such as shorelines, streambanks, dunes or for special purposes such as wildlife or aesthetic treatment may be found in USGS Technical Field Office Guide, Section 342 - Critical Area Planting. For special lawn maintenance areas, see Sections IV Sod and V Turfgrass.
11. For sites having disturbed areas over 5 acres, the rates shown this table shall be deleted and the rates recommended by the testing agency shall be written in.

Section IV - Sod: To provide quick cover on disturbed areas (2:1 grade or flatter).

A. General specifications

- 1. Class of turfgrass sod shall be Maryland or Virginia State Certified or Approved. Sod labels shall be made available to the job foreman and inspector.
11. Sod shall be machine cut at a uniform soil thickness of 3/4", plus or minus 1/4", at the time of cutting. Measurement for thickness shall include top growth and thatch. Individual pieces of sod shall be cut to the suppliers width and length. Maximum allowable deviation from standard width and length shall be 5 percent broken pads and torn or uneven ends will not be acceptable.
111. Standard size sections of sod shall be strong enough to support their own weight and retain their size and shape when suspended vertically with a firm grasp on the upper 10 percent of the section.
1111. Sod shall not be harvested or transplanted when moisture content is excessively dry or wet may adversely affect its survival.
11111. Sod shall be harvested, delivered, and installed within a period of 36 hours. Sod not transplanted within this period shall be approved by an agronomist or soil scientist prior to its installation.

B. Sod Installation

- 1. During periods of excessively high temperature or in areas having dry subsoil, the sod shall be lightly irrigated immediately prior to laying the sod.
11. The first row of sod shall be laid in a straight line with subsequent rows placed parallel to and tightly wedged against each other. Lateral joints shall be staggered to promote new uniform growth and strength. Ensure that sod is not stretched or overlapped and that all joints are butted tight in order to prevent voids which would cause drying of the roots.
111. Wherever possible, sod shall be laid with the long edges parallel to the contour and with staggering joints. Sod shall be rolled and topped, pegged or otherwise secured to prevent slippage on slopes and to ensure solid contact between sod roots and the underlying soil surface.
1111. Sod shall be watered immediately following rolling or tamping until the underside of the new sod pad and soil surface below the sod are thoroughly wet. The operations of laying, tamping and irrigating for any piece of sod shall be completed within eight hours.

C. Sod Maintenance

- 1. In the absence of adequate rainfall, watering shall be performed daily or as often as necessary during the first week and in sufficient quantities to maintain root soil to a depth of 4". Watering should be done during the heat of the day to prevent wilting.
11. After the first week, sod watering is required as necessary to maintain adequate moisture content.
111. The first mowing of sod should not be attempted until the sod is firmly rooted. No more than 1/3 of the grass leaf shall be removed by the initial cutting or subsequent cuttings. Grass height shall be maintained between 2" and 3" unless otherwise specified.

Section IV - Turfgrass Establishment

Areas where turfgrass may be desired include lawns, parks, playgrounds, and commercial sites which will receive a medium to high level of maintenance. Careful selection of turfgrass of a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. Also authorize periodic on-site inspection by the Howard Soil Conservation District.

A. Turfgrass Mixtures

- 1. Kentucky Bluegrass - Full sun mixture - For use in areas that receive intensive management, irrigation required in the areas of central Maryland and eastern shore. Recommended Certified Kentucky Bluegrass Cultivars Seeding Rate: 1.5 to 2.0 pounds/1000 square feet. A minimum of three bluegrass cultivars should be chosen ranging from a minimum of 10% to a maximum of 35% of the mixture by weight.
11. Kentucky Bluegrass/Perennial Ryegrass - Full sun mixture - For use in full sun areas where rapid establishment is necessary and when turf will receive medium to intensive management. Certified Kentucky Bluegrass Cultivars Seeding Rate: 1.5 to 2.0 pounds/1000 square feet. A minimum of three Kentucky Bluegrass Cultivars must be chosen, with each cultivar ranging from 10% to 35% of the mixture by weight.

- 11. Tall Fescue/Kentucky Bluegrass - Full sun mixture - For use in drought prone areas and/or for areas receiving low to medium management in full sun to medium shade. Recommended mixture includes certified Kentucky Bluegrass Cultivars 45 - 100%, certified Kentucky Bluegrass Cultivars 8 - 5%, Seeding rate 5 to 8 lbs./1000 square feet. One or more cultivars may be blended.
111. Kentucky Bluegrass/Fine Fescue - Shade Mixture - For use in areas with shade in Bluegrass lawns. For establishment in high quality, intensively managed turf areas. Mixture includes certified Kentucky Bluegrass Cultivars 30 - 40% and certified Fine Fescue and 60 - 70%. Seeding rate: 1.1/2 - 3 lbs./1000 square feet. A minimum of 3 Kentucky bluegrass cultivars must be chosen, with each cultivar ranging from a minimum of 10% to a maximum of 35% of the mixture by weight.
NOTE: Turfgrass varieties should be selected from those listed in the most current University of Maryland Publication, Agronomy Memo #77, "Turfgrass Cultivar Recommendations for Maryland."
B. Ideal times of seeding
Western MD: March 15-June 1, August 1-October 1 (Hardiness Zones - 5a, 5b)
Central MD: March 1-May 15, August 15-October 15 (Hardiness Zones - 6a)
Southern MD, Eastern Shore: March 1-May 15, August 15-October 15 (Hardiness Zones - 7a, 7b)
C. Irrigation
If soil moisture is deficient, supply new seedlings with adequate water for plant growth 1/2" - 1" every 3 to 4 days depending on soil texture until they are firmly established. This is especially true when seedlings are made late in the planting season, in abnormally dry or hot seasons, or on adverse sites.
D. Repairs and Maintenance
Inspect all seeded areas for failures and make necessary repairs, replacements, and reseedings within the planting season.
1. Once the vegetation is established, the site shall have 95% groundcover to be considered adequately stabilized.
11. If the stand provides less than 40% ground coverage, reestablish following original line, fertilizer, seeded preparation and seeding recommendations.
111. If the stand provides between 40% and 94% ground coverage, overseeding and fertilizing using half of the rates originally applied may be necessary.
1111. Maintenance fertilizer rates for permanent seedings are shown in Table 24. For lawns and other medium to high maintenance turfgrass areas, refer to the University of Maryland publication "Lawn Care in Maryland Bulletin No. 171."

Table 24 - Stabilized Construction Entrance
DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE
DETAIL 23A - STANDARD INLET PROTECTION
DETAIL 22 - SILT FENCE

Fertilizer Rates

Table with columns: Temporary Seeding, Permanent Seeding, Fertilizer Rate (lb/1000 sq ft), Lime Rate (lb/1000 sq ft)

Table 25 - Permanent Seeding for Low Maintenance Areas
Table with columns: Species, Seeding Rate, Planting Rate, Site Conditions, Hardiness Zones, Recommended Planting Dates

Table 25 - Permanent Seeding for Low Maintenance Areas

Table 25 - Permanent Seeding for Low Maintenance Areas (Detailed)
Table with columns: Species, Seeding Rate, Planting Rate, Site Conditions, Hardiness Zones, Recommended Planting Dates

Table 26 - Temporary Seeding Rates, Depths, and Dates

Table 26 - Temporary Seeding Rates, Depths, and Dates
Table with columns: Species, Minimum Seeding Rate, Planting Depth, Hardiness Zones and Seeding Dates

PREPARED BY: GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC. CIVIL Engineers and Land Surveyors
658 Kenilworth Drive, Suite 100 Towson, Maryland 21204 (410) 825-8120
DEVELOPER CERTIFICATION: I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will be of a Certificate of Attendance of a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project.
OWNER/DEVELOPER: HILL MANAGEMENT SERVICES, INC. 9640 Deereco Road Timonium, Maryland 21093 410-666-1000
ENGINEER CERTIFICATION: I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

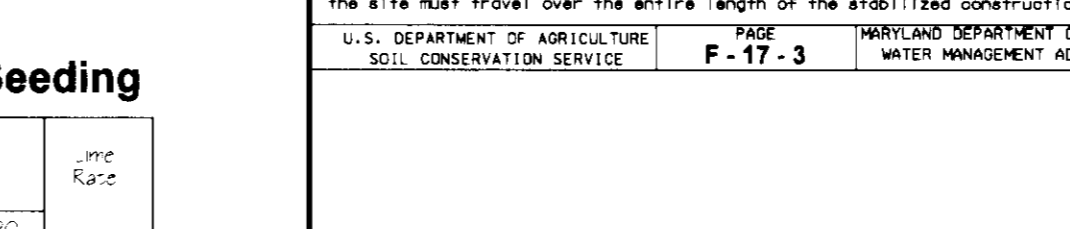
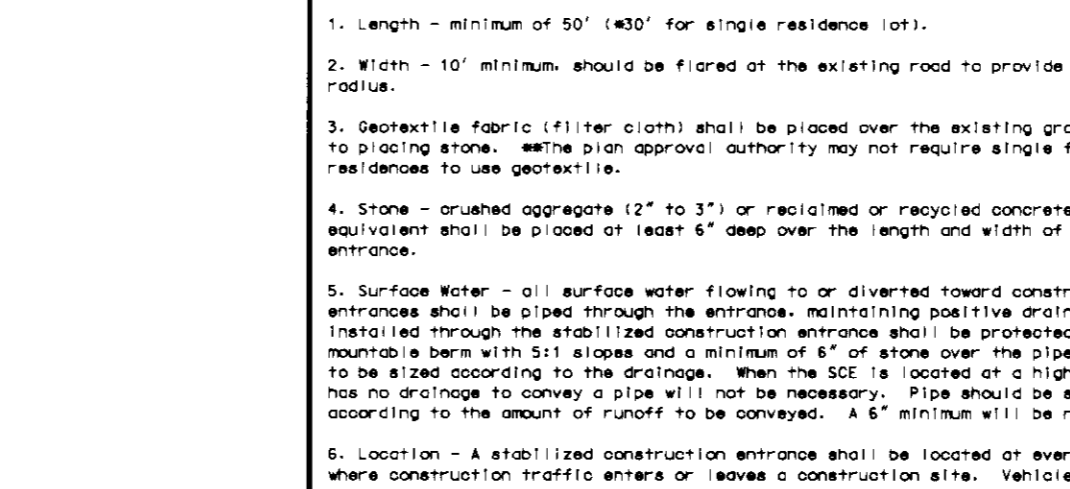
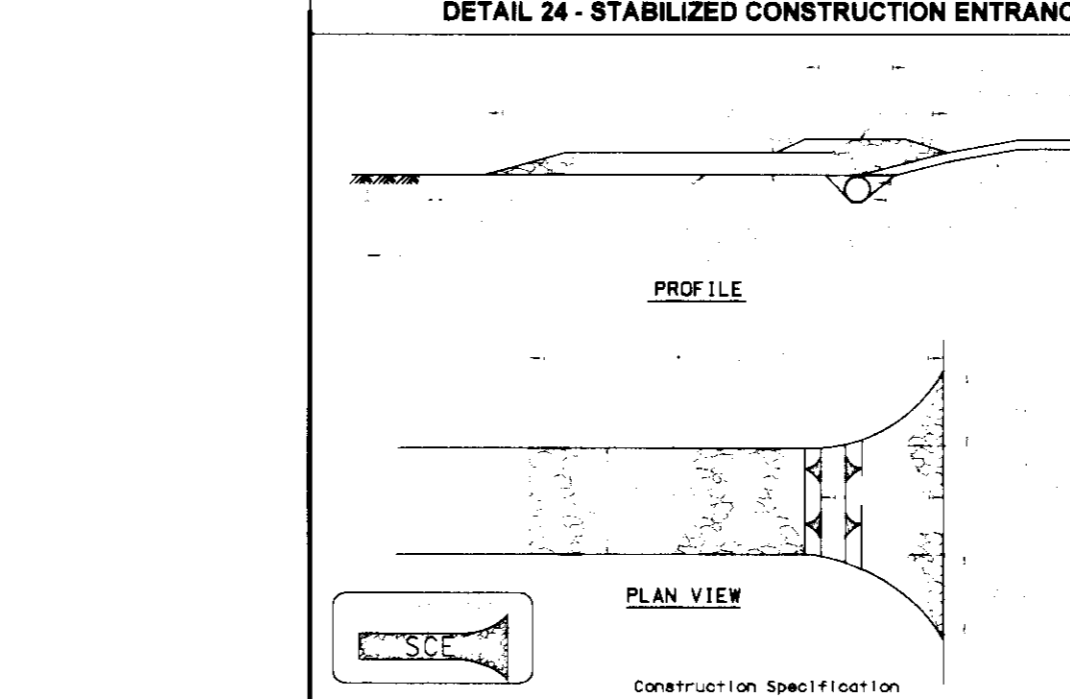
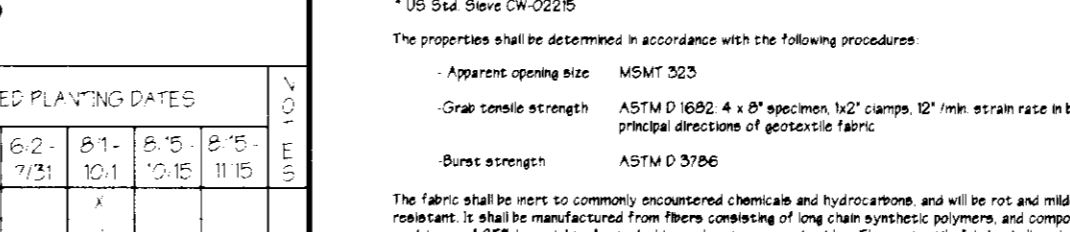
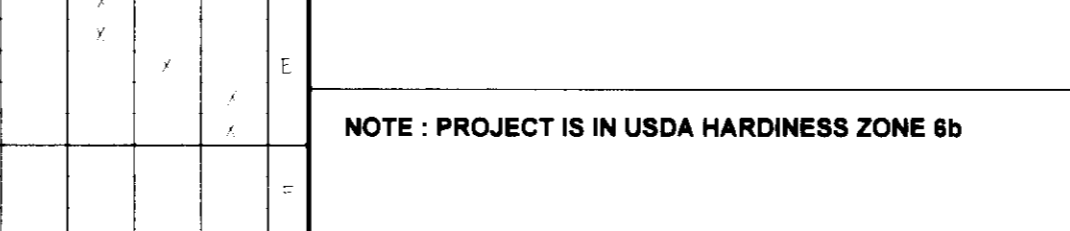


Table with columns: CLASS, APPLICATOR, OPENING SIZE, GRAIN TENSILE STRENGTH, BURST STRENGTH



- 1. Excavate completely around the inlet to a depth of 18" below the inlet elevation.
2. Drive the 2" x 4" construction grade lumber posts 1" into the ground at each corner of the inlet. Place nail strips between the posts on the ends of the inlet. Assemble the top portion of the 2" x 4" frame using the overlap joint shown on Detail 23A. The top of the frame "seal" must be 6" below adjacent roadway where flooding and safety issues may arise.
3. Stretch the 1/2" x 1/2" wire mesh tightly around the frame and fasten securely. The ends must meet and overlap at a joint.
4. Stretch the geotextile fabric 8" tight over the wire mesh with the geotextile extending from the top of the frame to 18" below the inlet bottom elevation. Fasten the geotextile to the frame. The ends of the geotextile must meet at a joint, be overlapped and folded, then fastened down.
5. Backfill around the inlet in compacted 6" layers until the top of earth is level with the inlet elevation on the ends and top elevation on the inlet.
6. If the inlet is not in a sub, construct a compacted earth dike across the ditch line directly below it. The top of the earth dike should be at least 6" higher than the top of the frame.
7. The structure must be inspected periodically and after each rain and the geotextile replaced when it becomes clogged.

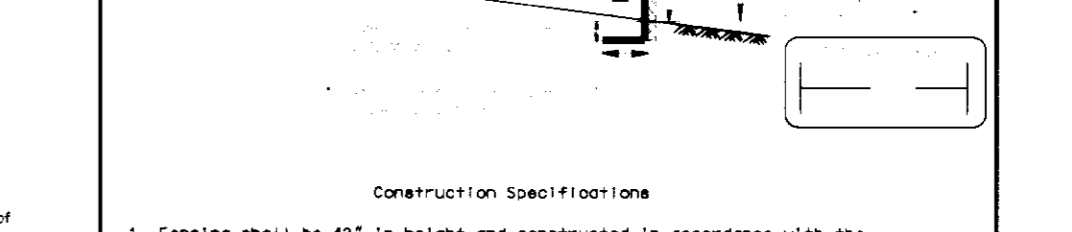
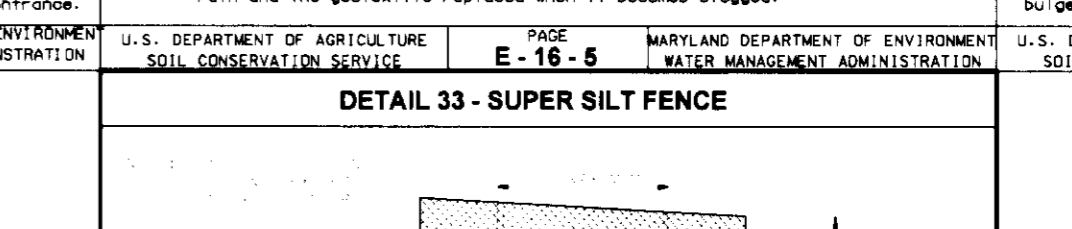
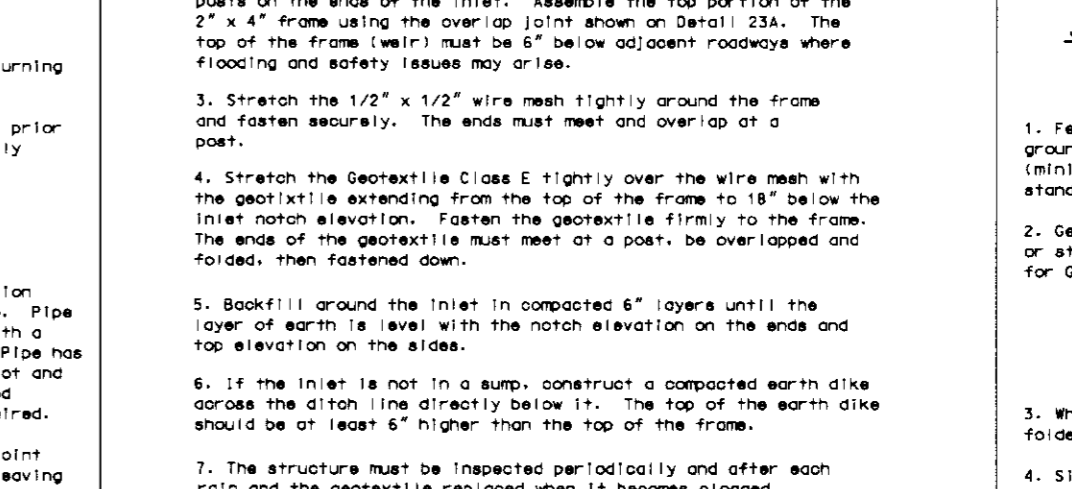
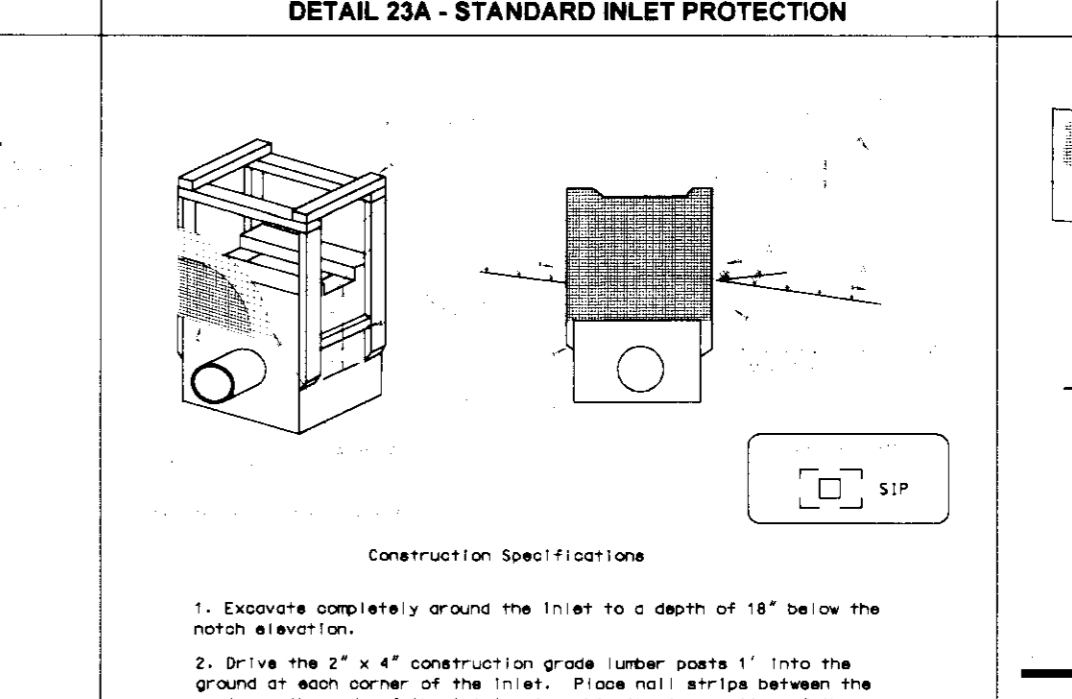


- 1. Fencing shall be 42" in height and constructed in accordance with the Howard County State Highway Details for Chain Link Fencing. The standard specification for 42" fence shall be used, substituting 42" for 36" and 6' length posts.
2. The posts do not need to be set in concrete.
3. Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, brace and ratchet rods, or the onchore and post cover, do not need to be set in concrete. The chain link fencing shall be six gauge 16" or heavier.
4. Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" on the top and mid section.
5. Filter cloth shall be embedded a minimum of 6" into the ground.
6. When two sections of geotextile fabric adjoin each other, they shall be overlapped by 6" and fastened.
7. Maintenance shall be performed as needed and all bulges removed when "bulges" develop in the silt fence, or when all reaches 50% of fence height.

NOTE: PROJECT IS IN USDA HARDINESS ZONE 6b

These plans for soil erosion and sediment control meet the requirements of Howard Soil Conservation District.
APPROVED: HOWARD SOIL CONSERVATION DISTRICT 3/11/96
Reviewed for the Howard Conservation District and meets technical requirements.
APPROVED: Howard County Department of Planning and Zoning
DEVELOPMENT ENGINEERING DIVISION M.K. 3/11/96
CHIEF, DIVISION OF LAND DEVELOPMENT 3/22/96
DIRECTOR 3/22/96

Table with columns: DATE, REVISION, BY
2-29-95 PER, HO, CO. E.M.T.



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DEVELOPMENT ENGINEERING DIVISION M.K. 3/11/96
CHIEF, DIVISION OF LAND DEVELOPMENT 3/22/96
DIRECTOR 3/22/96

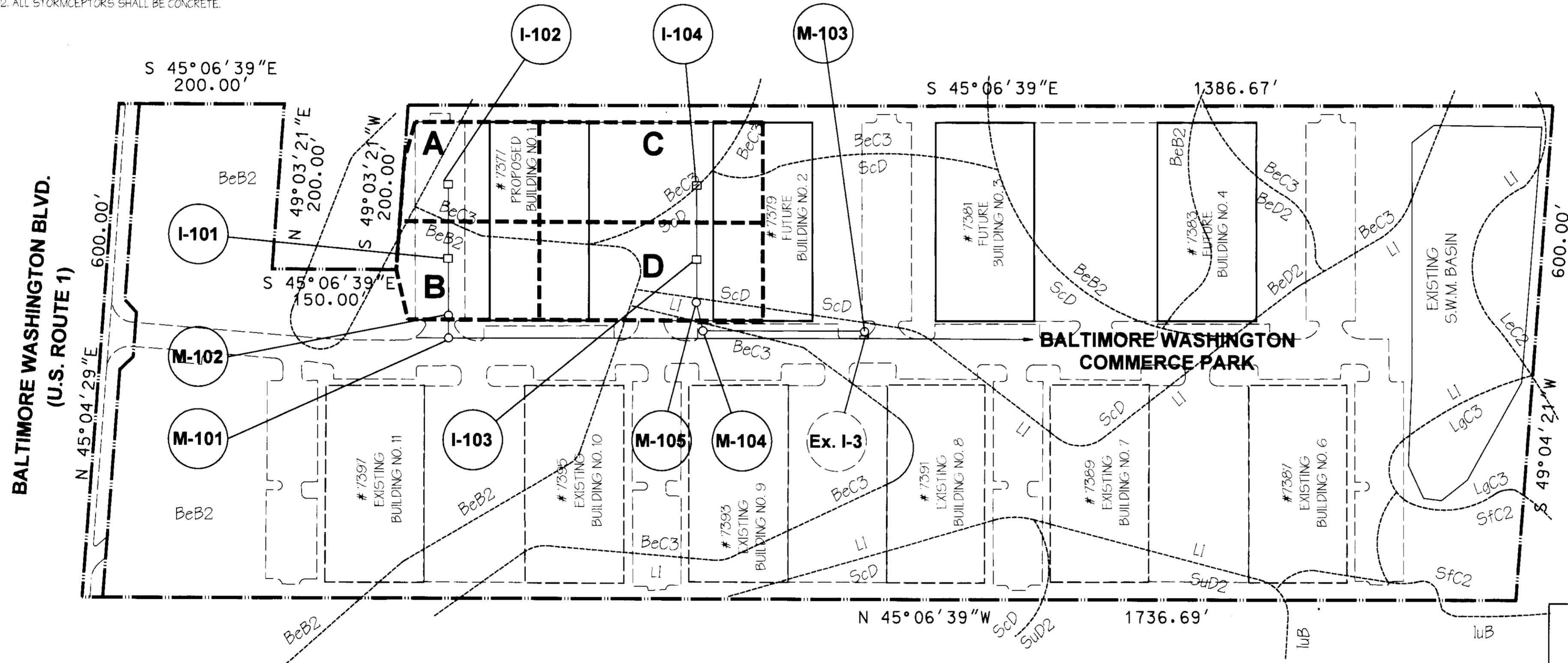
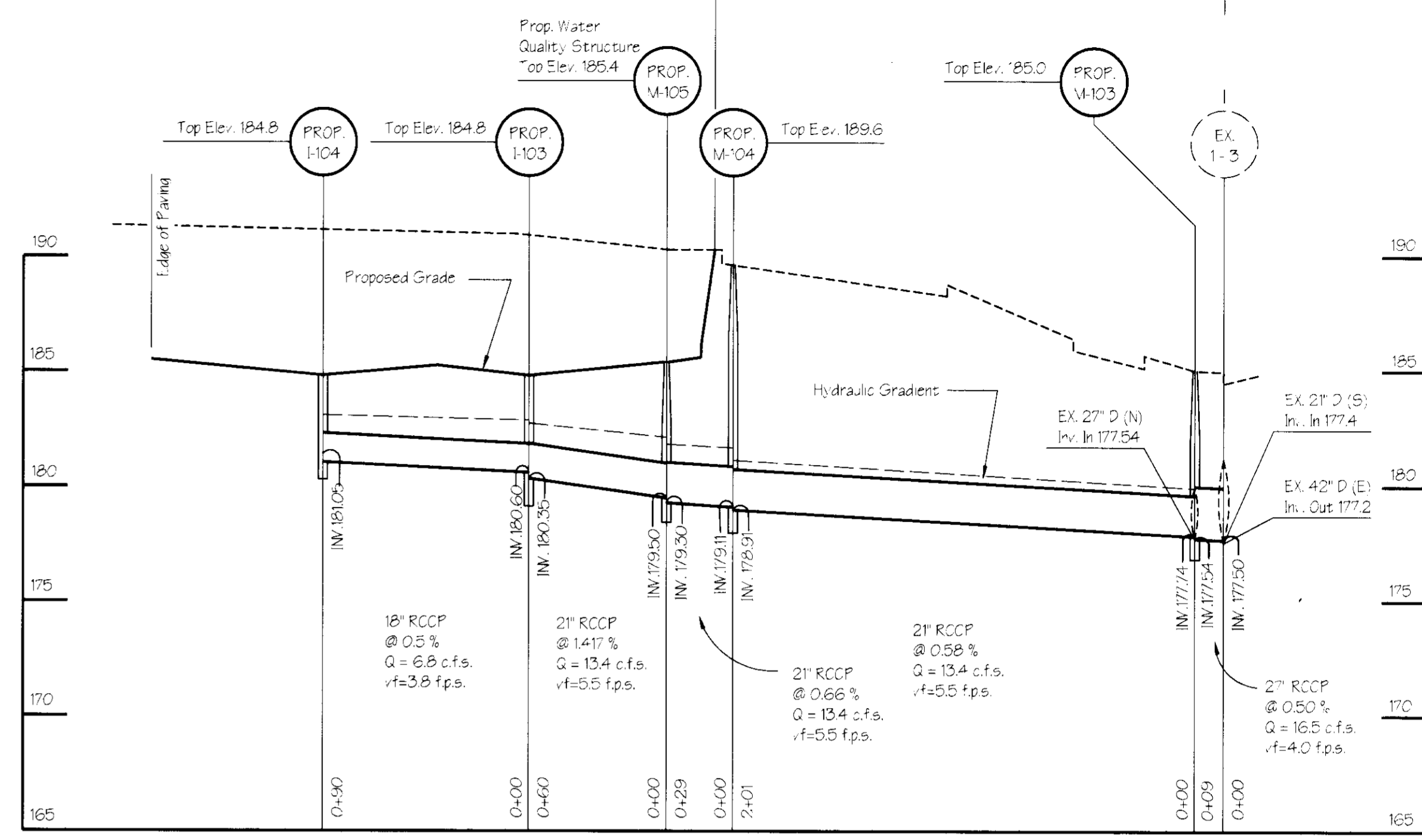
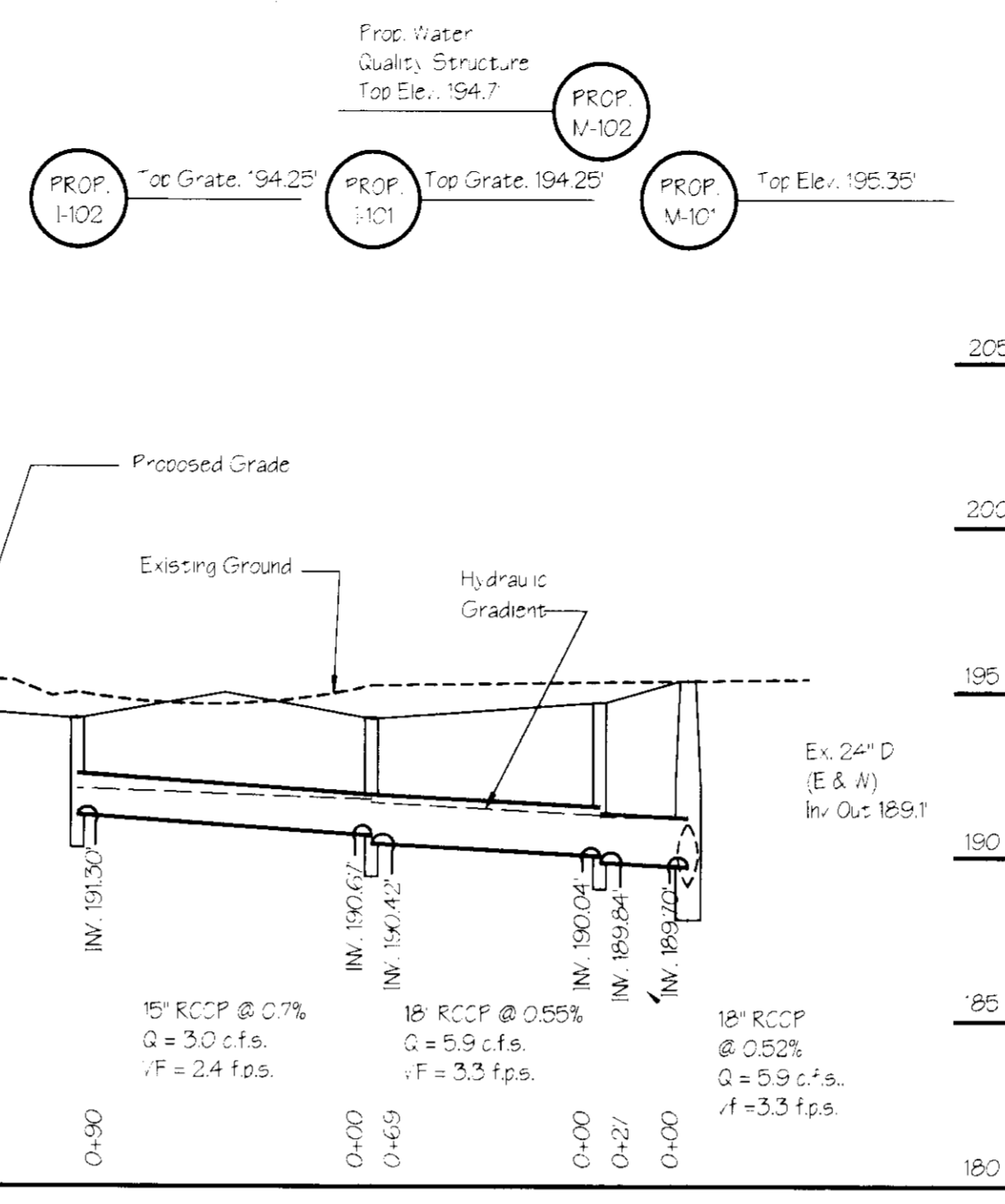
ADDRESS CHART
BUILDING NO. STREET ADDRESS
1 7377 BALTIMORE WASHINGTON BOULEVARD

Table with columns: SUBDIVISION NAME, SECTION NAME, PARCEL #, PLAT #, BLOCK #, ZONE, ELECT. DIST., CENSUS TRACT, WATER CODE, SEWER CODE

SEDIMENT CONTROL DETAILS BUILDING NO. 1 BALTIMORE - WASHINGTON COMMERCE PARK
ELECTION DISTRICT: 1 HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: OCT. 5, 1995
DESIGNED: T.N.W. DRAWN: E.M.T. CHECKED: T.N.W. SHEET 5 OF 8
SDP-96-45

# Construction Notes

- TOPOGRAPHY AND BOUNDARY INFORMATION SHOWN HEREON IS BASED ON SURVEY PREPARED BY DUAL & ASSOCIATES.
- THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS CONSTRUCTION INSPECTION DIVISION AT 410-313-1880 AT LEAST 24 HOURS PRIOR TO STARTING ANY OF THE WORK SHOWN HEREON.
- ALL PLAN DIMENSIONS ARE GIVEN TO FACE OF CURB UNLESS OTHERWISE NOTED. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS.
- THE CONTRACTOR SHALL NOTE THAT IN CASE OF DISCREPANCY BETWEEN ANY SCALED DIMENSIONS AND THE FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN.
- CONTRACTOR SHALL MEET ALL EXISTING IMPROVEMENTS SMOOTHLY FOR LINE, GRADE AND FINISH.
- ALL WORK SHOWN ON THESE PLANS SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS AND OF THE MARYLAND STATE HIGHWAY ADMINISTRATION AND THE HOWARD COUNTY PLUMBING CODE, UNLESS OTHERWISE NOTED.
- IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THIS PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PERFORM SUCH WORK. THE COST OF SUCH WORK SHALL BE INCLUDED IN THE BASE BID.
- THE CONTRACTOR SHALL INSPECT THE SITE TO DETERMINE IF ANY TREES, PAVING, ETC. ARE TO BE REMOVED PRIOR TO PLACING A BID ON SUCH ITEMS.
- THE LOCATIONS OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY AND ARE PROVIDED FOR THE CONVIENENCE OF THE CONTRACTOR ONLY. THE LOCATIONS ARE TAKEN FROM EXISTING RECORDS AND DO NOT REPRESENT FIELD-VERIFIED LOCATIONS. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-287-7777 A MINIMUM OF 5 WORKING DAYS PRIOR TO DIGGING. THE CONTRACTOR SHALL CONFIRM TO HIS OWN SATISFACTION THE LOCATION OF ALL UTILITIES PRIOR TO ANY EXCAVATION OR PLACEMENT OF MATERIALS. IF ANY CONFLICT IS FOUND BETWEEN UNDERGROUND UTILITIES AND THE PROPOSED LOCATION OF ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT G. W. STEPHENS AND THE OWNER OF THE UTILITY IMMEDIATELY. ANY DAMAGE OR DISRUPTION OF SERVICE SHALL BE AT THE EXPENSE OF THE CONTRACTOR. RELOCATION OF ANY EXISTING UTILITIES, IF NECESSARY, SHALL BE AT THE EXPENSE OF THE OWNER. THE CONTRACTOR SHALL COORDINATE RELOCATION OF THESE FACILITIES IF NECESSARY.
- CONTRACTOR SHALL PROTECT ALL EXISTING TREES OUTSIDE THE LIMIT OF DISTURBANCE AT ALL TIMES DURING CONSTRUCTION.
- CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS NOT SCHEDULED FOR REMOVAL OR DEMOLITION. COST OF REPAIR TO EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE BASE BID. ALL EXISTING SITE FEATURES NOT BEING RETAINED SHALL BE REMOVED AND DISPOSED OF AT AN APPROVED LOCATION. ANY DAMAGE TO OFFSITE ROADS, RIGHTS OF WAY, OR ADJACENT PROPERTY SHALL BE REPAIRED IMMEDIATELY AT THE EXPENSE OF THE CONTRACTOR.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY G. W. STEPHENS OF ANY DEVIATION FROM THIS PLAN PRIOR TO ANY CHANGE BEING MADE. ANY DEVIATION FROM THIS PLAN WITHOUT WRITTEN AUTHORIZATION FROM G. W. STEPHENS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL CONFORM TO ALL GRADES AND DIMENSIONS SHOWN WITHIN A TOLERANCE OF 0.1 FOOT.
- THE CONTRACTOR SHALL CLEAR THE PROJECT SITE OF ALL TREES, PAVING, STRUCTURES, ETC. WITHIN THE CONSTRUCTION AREA UNLESS OTHERWISE NOTED ON THE PLAN.
- ONLY SUITABLE MATERIAL SHALL BE USED AS FILL AND ALL FILL SHALL BE PLACED AND COMPACTED AS SPECIFIED IN THE SOILS REPORT PREPARED FOR THIS SITE OR AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. ALL 2:1 SLOPES SHOWN HEREON, EXCEPT THOSE ASSOCIATED WITH LANDSCAPE BERMING, SHALL BE APPROVED BY A GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL PROVIDE MINIMUM 4 FOOT BENCH AT EDGE OF PAVING IN FILL AREAS. MAXIMUM SLOPE OF BENCH SHALL BE 4% (1/4 IN PER FOOT).
- MAXIMUM SLOPE SHALL BE 2 HORIZONTALLY TO 1 VERTICALLY.
- CONTRACTOR SHALL PLACE 4" MINIMUM TOPSOIL IN LANDSCAPE AREAS. TOPSOIL SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL PLACE A WITNESS POST AT THE TERMINUS OF ALL UTILITY STUBS.
- ALL UTILITIES INSTALLED SHALL RECEIVE FULL TRENCH COMPACTION.
- CONTRACTOR SHALL PROVIDE A MINIMUM OF 1 FOOT OF PROTECTIVE FILL OVER STORM DRAIN PIPES DURING CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN TRAFFIC ON ADJACENT ROAD AT ALL TIMES DURING CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE ALL PAVEMENT MARKINGS AND SIGNAGE FOR HANDICAP PARKING SPACES INDICATED HEREON IN ACCORDANCE WITH ALL APPLICABLE CODES. ALL PAVEMENT MARKINGS TO BE TRAFFIC WHITE.
- ALL HANDICAPPED FACILITIES TO BE CONSTRUCTED IN ACCORDANCE WITH THE "DESIGN OF BARRIER FREE FACILITIES" AND THE MARYLAND BUILDING CODE FOR THE HANDICAPPED AND AGED, LATEST EDITION.
- ALL TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES." ALL STREET AND REGULATORY SIGNS SHALL BE INSTALLED PRIOR TO INSTALLATION OF FINISHED PAVING.
- THE CONTRACTOR SHALL REPLACE ANY EXISTING BITUMINOUS PAVING OR SUB-BASE WHICH IS DAMAGED OR REMOVED DURING CONSTRUCTION. ALL EXCAVATED AREAS SHALL BE BACKFILLED AND IN ACCORDANCE WITH THE SOILS REPORT AND/OR AS DIRECTED BY GEOTECHNICAL ENGINEER. ANY AREAS TO BE PAVED WHICH EXHIBIT UNSTABLE SUBGRADE CONDITIONS SHALL BE EXCAVATED TO BEARING SOIL, REILLED AND COMPACTED.
- THE CONTRACTOR SHALL PLACE PROPOSED SURFACE COURSE OVERLAYS 5 FEET BEYOND LIMITS OF REPLACEMENT PAVING, UNLESS DIRECTED OTHERWISE BY THE ENGINEER IN THE FIELD. ALL OVERLAYS SHALL HAVE SMOOTH, STRAIGHT EDGES, STRIP AND RESURFACE EXISTING PAVING AS NEEDED TO PROVIDE SMOOTH TRANSITION.
- ALL AREAS NOT BEING PAVED OR RECEIVING BUILDING COVERAGE SHALL BE STABILIZED IN ACCORDANCE WITH THE PLANS APPROVED BY THE HOWARD SOIL CONSERVATION DISTRICT.
- SIDEWALK SHALL CONFORM TO DETAIL R-305 OF THE AFOREMENTIONED HOWARD COUNTY STANDARDS. SLOPE, WIDTH, AND LOCATION AS SHOWN HEREON. SIDEWALK SHALL BE PLACED ON A 4" CRUSHED STONE BASE AND IS SHALL BE REINFORCED WITH WIRE MESH.
- PERFORMED ELASTOMERIC COMPRESSION JOINT MATERIAL SHALL BE INSTALLED AT ALL MEETINGS OF EXISTING AND PROPOSED CONCRETE PAVING AND SIDEWALKS.
- STORMCEPTORS SHALL BE AS MANUFACTURED BY THE STORMCEPTOR CORPORATION 600 E. JEFFERSON STREET, SUITE 304 ROCKVILLE, MARYLAND 20852 TELEPHONE: 301-762-8361
- ALL STORMCEPTORS SHALL BE CONCRETE.



DRAINAGE AREAS			
AREA	A <sub>c</sub>	C Factor	IMPER
A	0.42	0.81	8%
B	0.42	0.82	8%
C	0.74	0.95	100%
D	0.74	0.95	100%

NOTE: The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard manhole and other waste treatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statement shall apply to all initial and future occupants or tenants.

Structure Schedule		
NO.	TYPE	HOW. CO. STD DETAIL
I-101	5' Grate	SD-4.22
I-102	5' Grate	SD-4.22
I-103	Double 5' Grate	SD-4.23
I-104	Double 5' Grate	SD-4.23
M-101	4'-0" Shallow Precast Manhole	G-5.12
M-102	Stormceptor Model STC-L-800	-
M-103	4'-0" Std. Precast Manhole	G-5.13
M-104	Stormceptor Model STC-L-1200	-

APPROVED: Howard County Department of Planning and Zoning

DEVELOPMENT ENGINEERING DIVISION M.K. DATE 3/19/96

CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH DATE 3/22/96

DIRECTOR DATE 3/22/96

ADDRESS CHART

BUILDING NO.	STREET ADDRESS
1	7377 BALTIMORE WASHINGTON BOULEVARD

SUBDIVISION NAME: BALTO. WASH. COMM. PARK SECTION NAME: BUILDING NO. 1 PARCEL #: 62

DEED #	BLOCK #	ZONE	TAX/ZONE MAP	ELECT. DIST.	CENSUS TRACT
1700/137	5	M-2	43	1	6012

WATER CODE: B01 SEWER CODE: 2153000

PREPARED BY:

**GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.**  
Civil Engineers and Land Surveyors  
658 Kenilworth Drive, Suite 100  
Towson Maryland 21204  
(410) 825-8120

DEVELOPER CERTIFICATION:

I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project, later authorize periodic on-site inspection by the Howard Soil Conservation District.

Developer: *Almond McManis* Date: 3/22/96  
Name: *Clyde McManis*

OWNER/DEVELOPER

**HILL MANAGEMENT SERVICES, INC.**  
9640 Deercro Road  
Towson, Maryland 21093  
410-666-1000

ENGINEER CERTIFICATION:

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signed: *Richard L. Umbarger* Date: 3/11/96  
Name: RICHARD L. UMBARGER PE # 10588

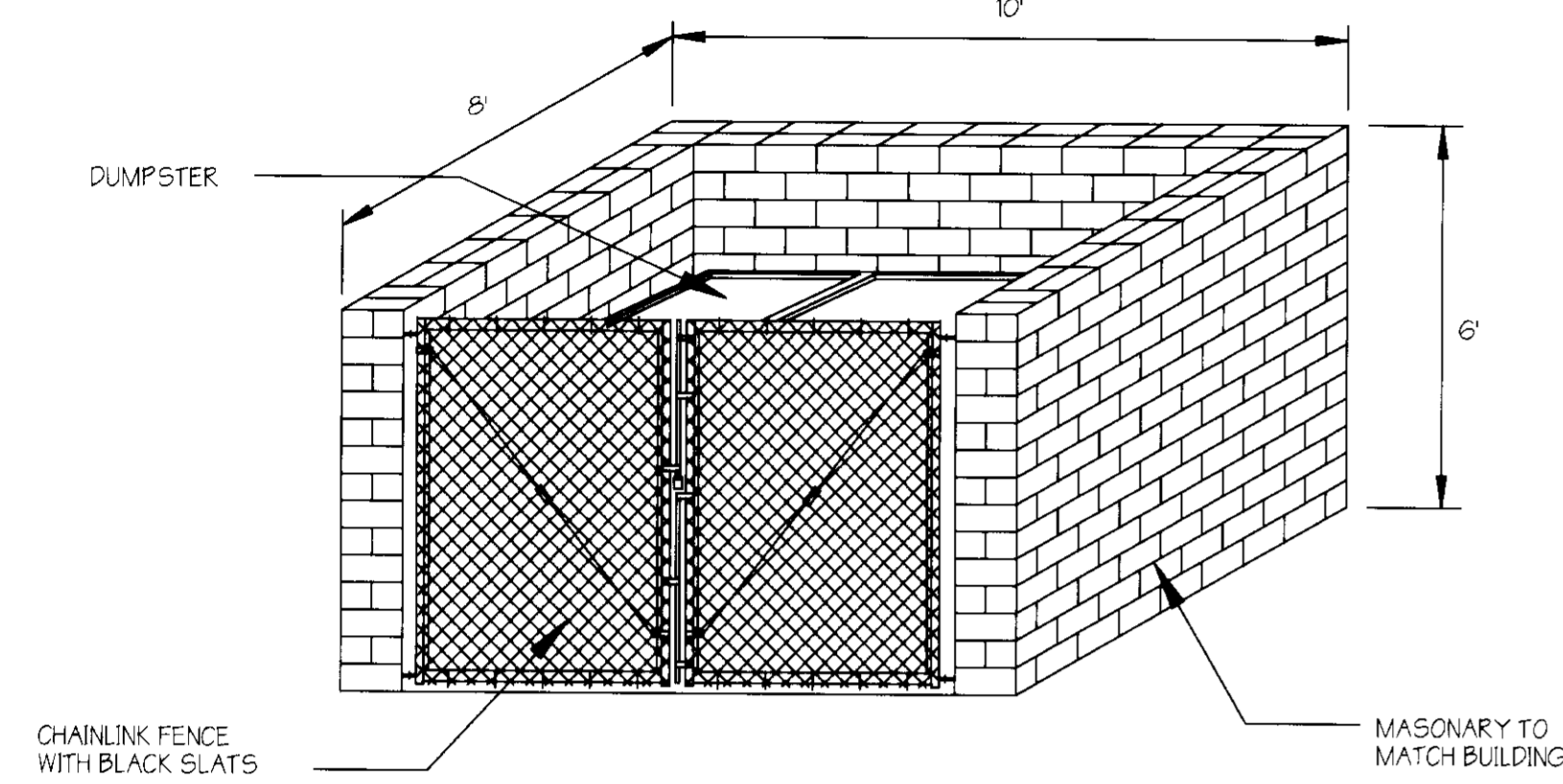
DATE: 3-29-95 REVISION: PER. NO. CO. BY: E.M.T.

UTILITY PROFILES AND SECTIONS  
**BUILDING NO. 1**  
**BALTIMORE - WASHINGTON COMMERCE PARK**

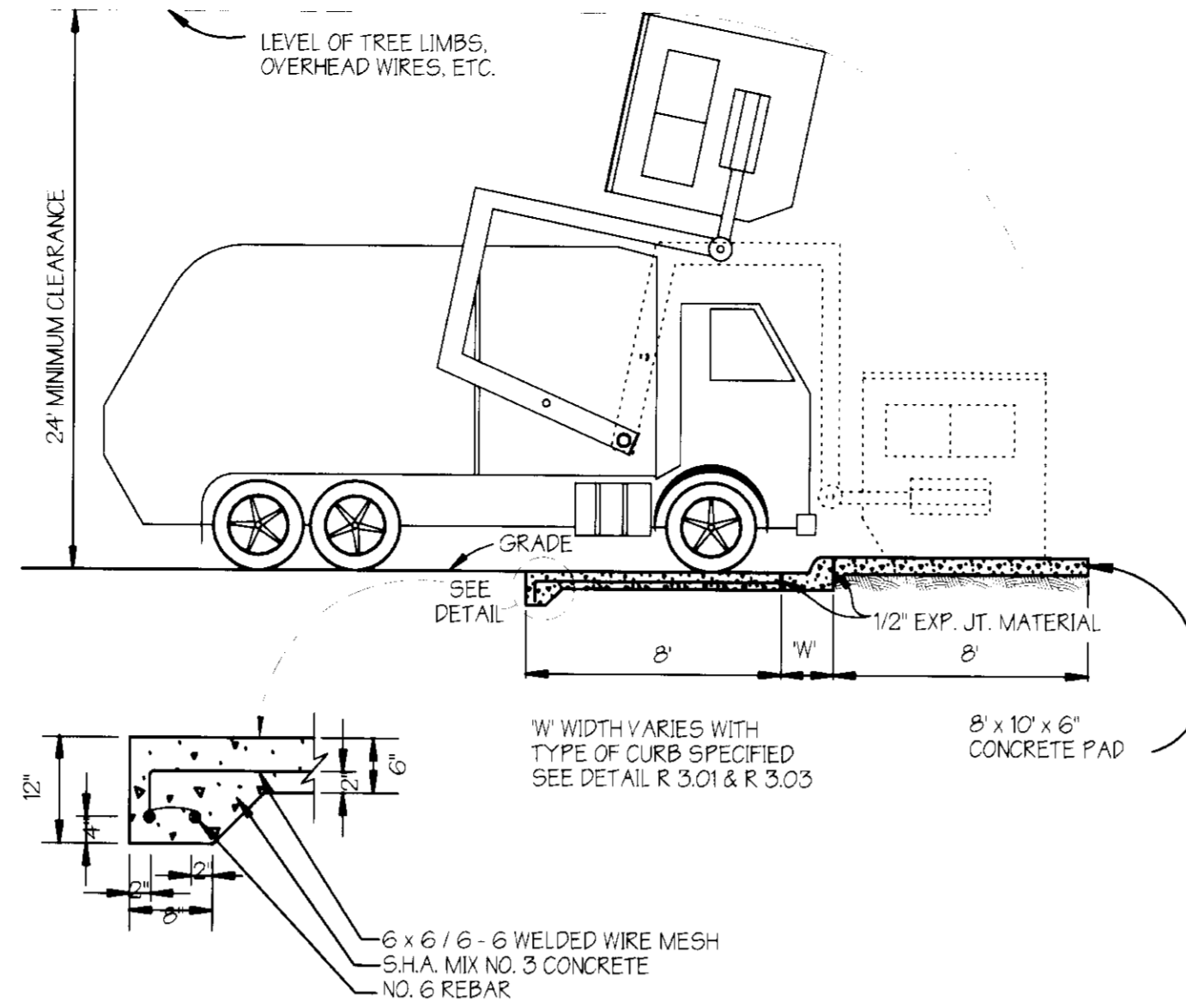
ELECTION DISTRICT: 1 HOWARD COUNTY, MARYLAND SCALE: AS SHOWN DATE: OCT. 5, 1995

DESIGNED: T.N.W. DRAWN: E.M.T. CHECKED: T.N.W. SHEET 6 OF 8

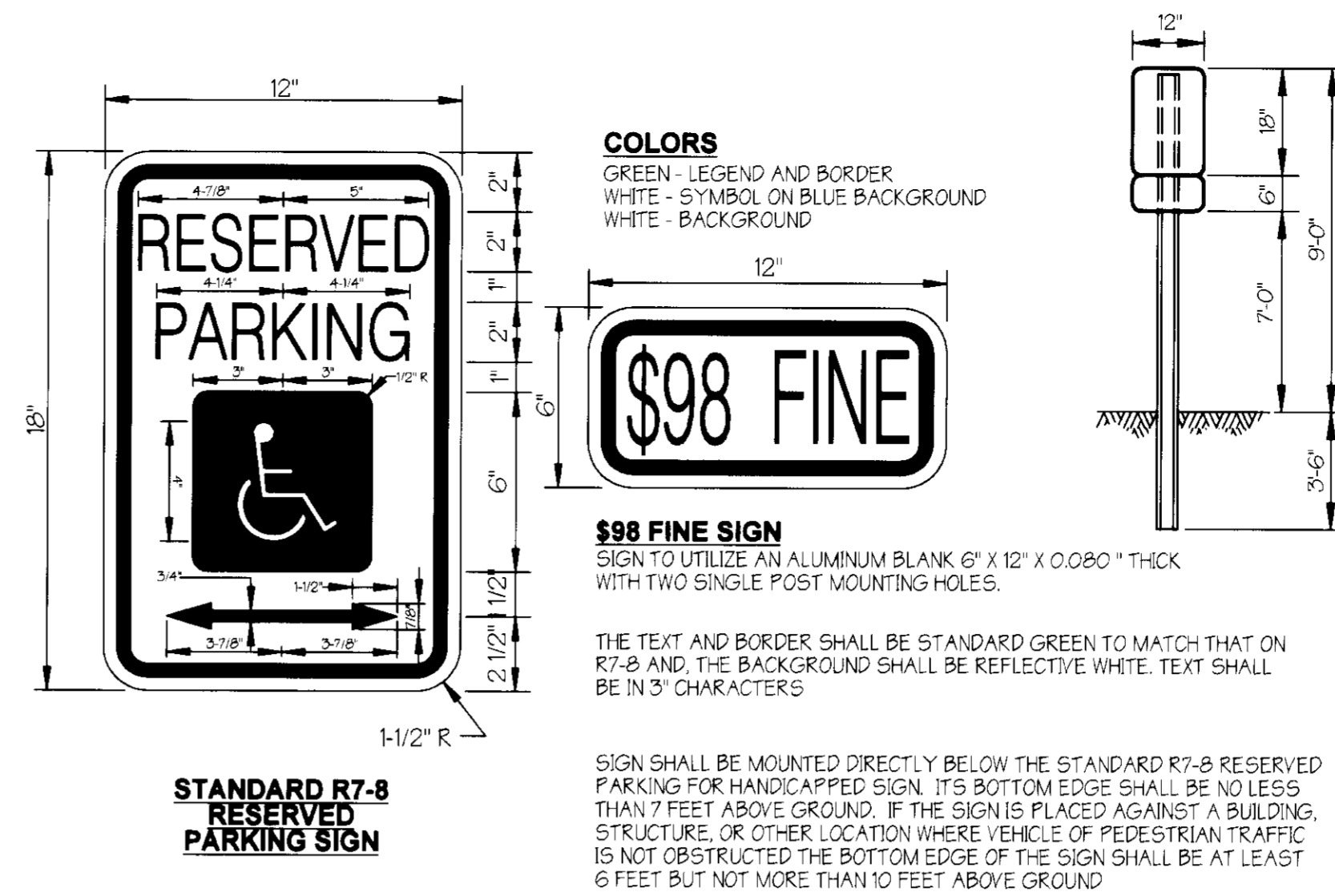
SDP-96-45 P/N: 7889 JOB NAME: profiles.agn E.M.T. 02-16-96



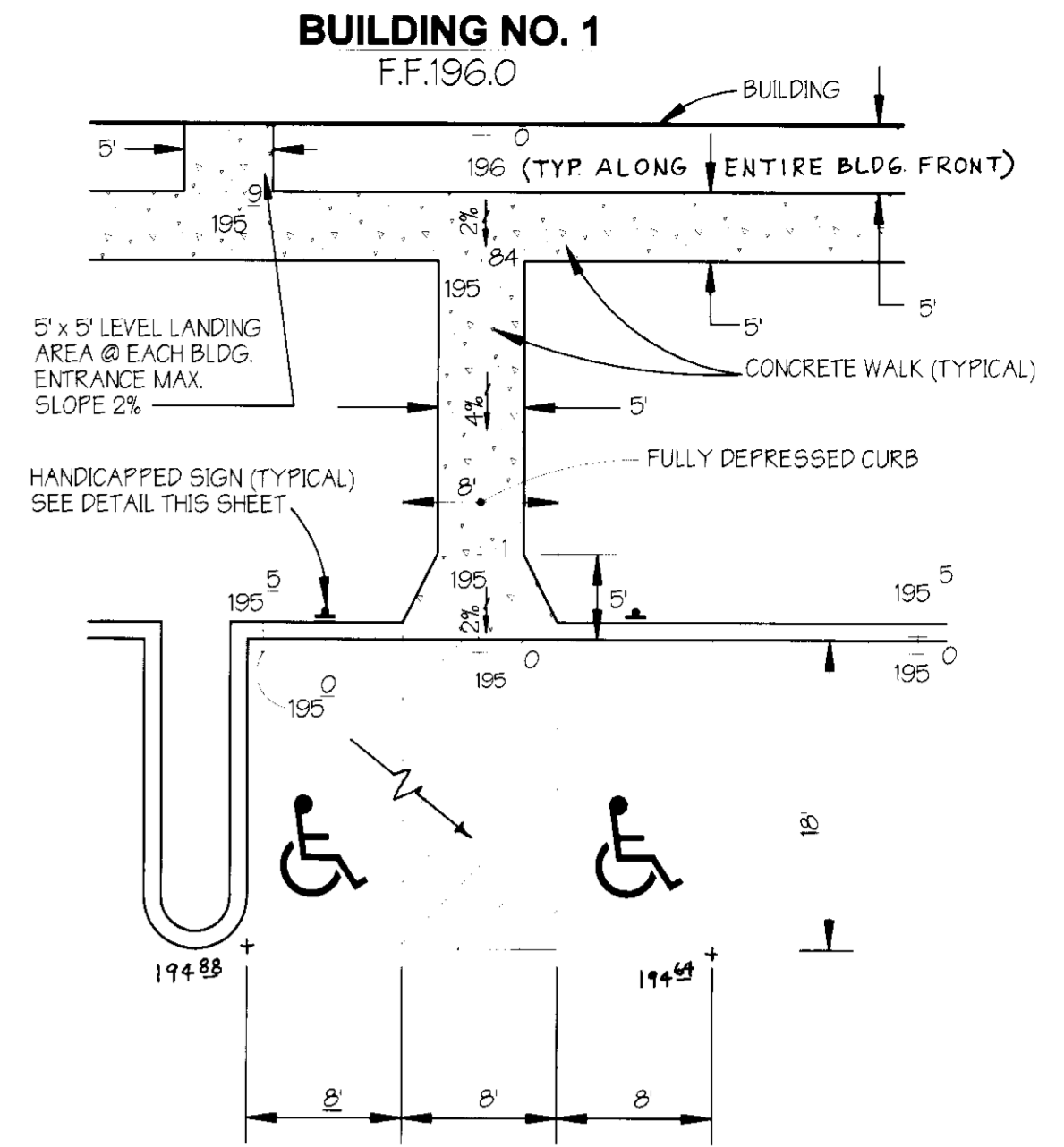
**Dumpster Enclosure Detail**  
NOT TO SCALE



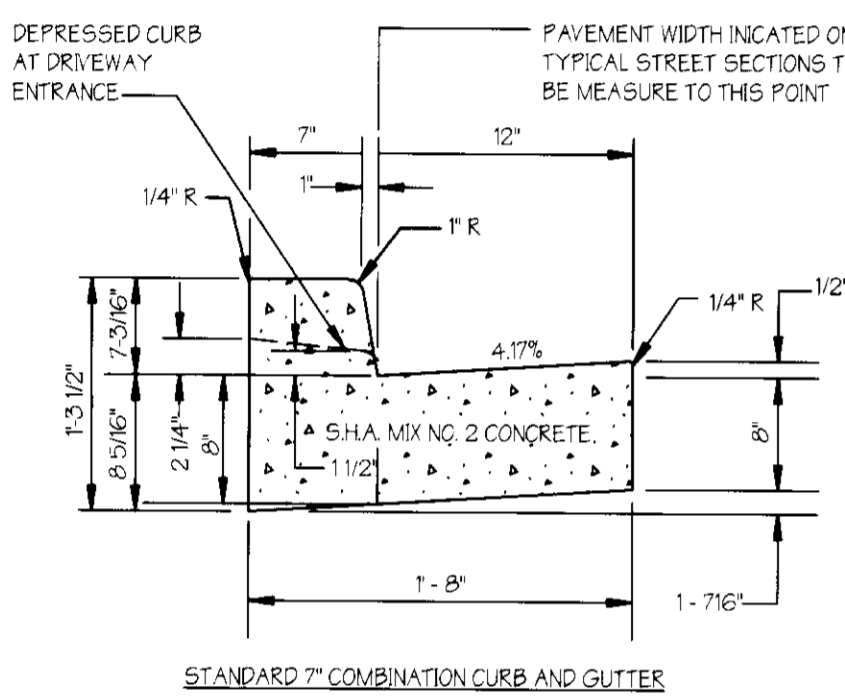
**Solid Waste Service Pad**  
NOT TO SCALE



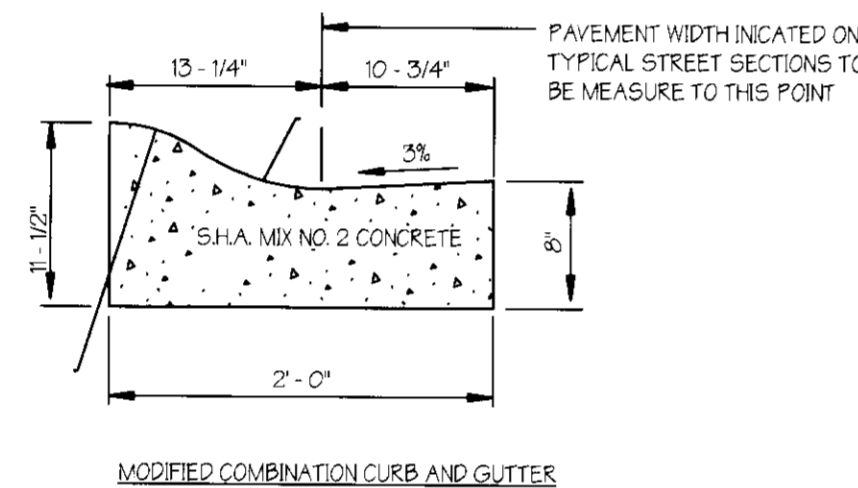
**Handicapped Parking Sign Detail**  
NOT TO SCALE



**Handicapped Parking Detail**  
NOT TO SCALE



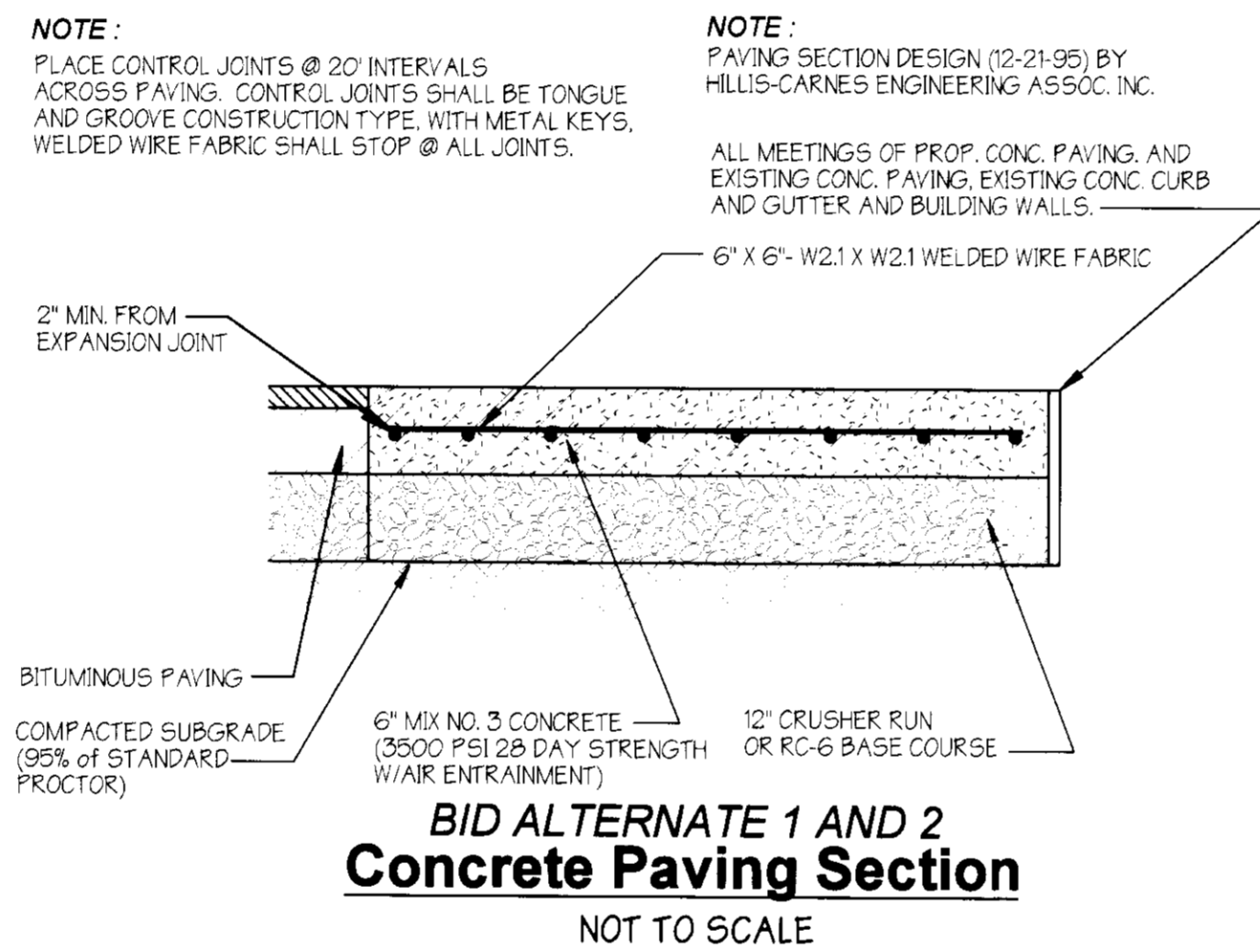
STANDARD 7" COMBINATION CURB AND GUTTER



MODIFIED COMBINATION CURB AND GUTTER

NOTE:  
MODIFIED COMBINATION CURB AND GUTTER TO BE USED ONLY ON CUL-DE-SAC STREETS, LOCAL ROADS OR MINOR COLLECTOR ROADS.  
GUTTER PAN AT THE MEDIAN EDGE OF INTERMEDIATE ARTERIALS OR THE HIGH SIDE OF SUPERELEVATED SECTIONS SHALL BE SLOPED AT THE SAME RATE AND IN THE SAME DIRECTION AS THE PAVEMENT CROSS-SLOPE WHEN CURB IS LOCATED ON THE LOW SIDE OF THE SUPERELEVATED SECTION AND THE RATE OF SUPERELEVATION IS GREATER THAN 3% FOR MODIFIED CURB AND GUTTER.

**Howard County Curb and Gutter Detail**  
NOT TO SCALE

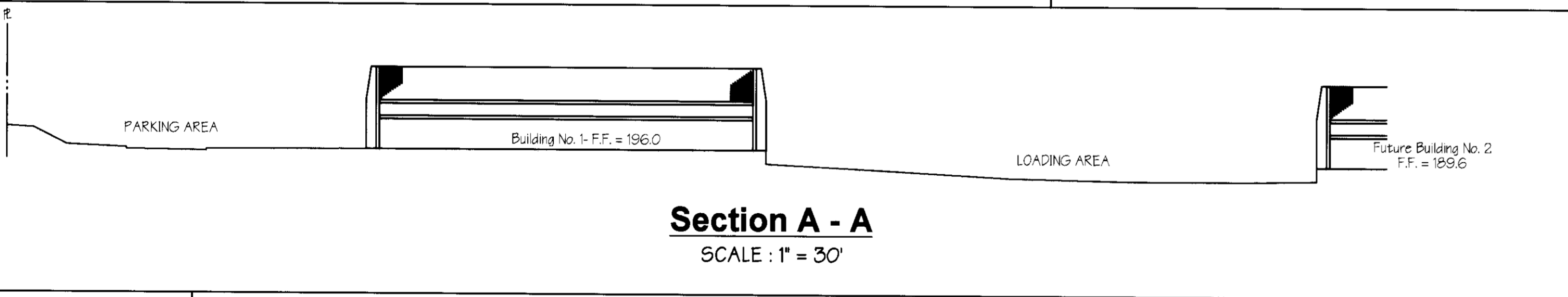


NOTE:  
PLACE CONTROL JOINTS @ 20' INTERVALS ACROSS PAVING. CONTROL JOINTS SHALL BE TONGUE AND GROOVE CONSTRUCTION TYPE, WITH METAL KEYS. WELDED WIRE FABRIC SHALL STOP @ ALL JOINTS.

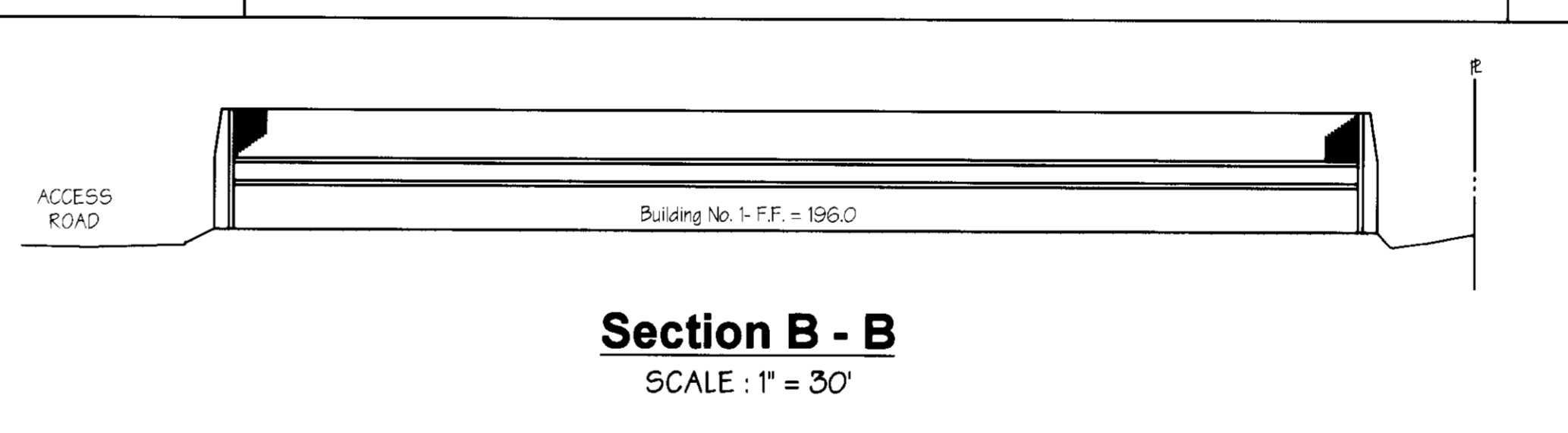
NOTE:  
PAVING SECTION DESIGN (12-21-95) BY HILLIS-CARNES ENGINEERING ASSOC. INC.

ALL MEETINGS OF PROP. CONC. PAVING AND EXISTING CONC. PAVING, EXISTING CONC. CURB AND GUTTER AND BUILDING WALLS.

**BID ALTERNATE 1 AND 2 Concrete Paving Section**  
NOT TO SCALE

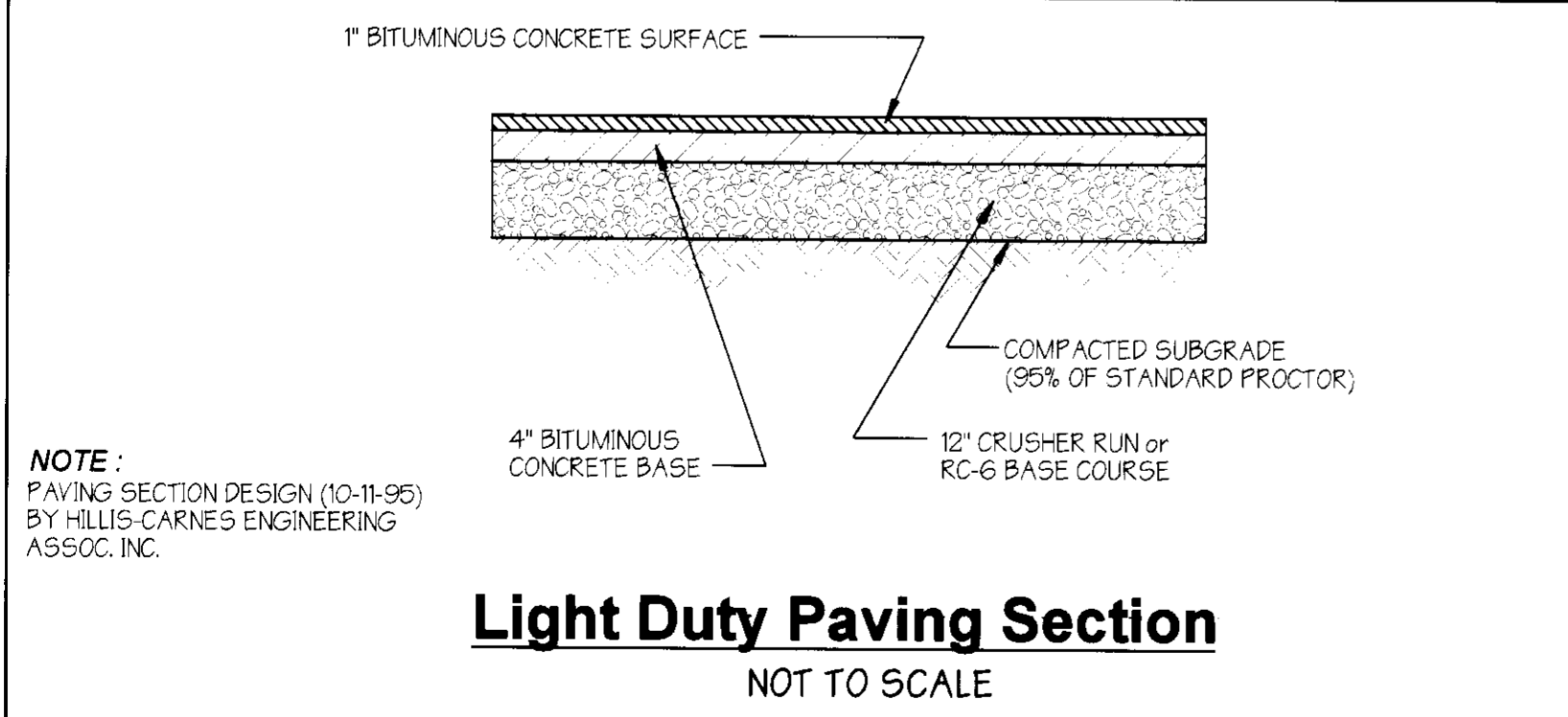


**Section A - A**  
SCALE : 1" = 30'

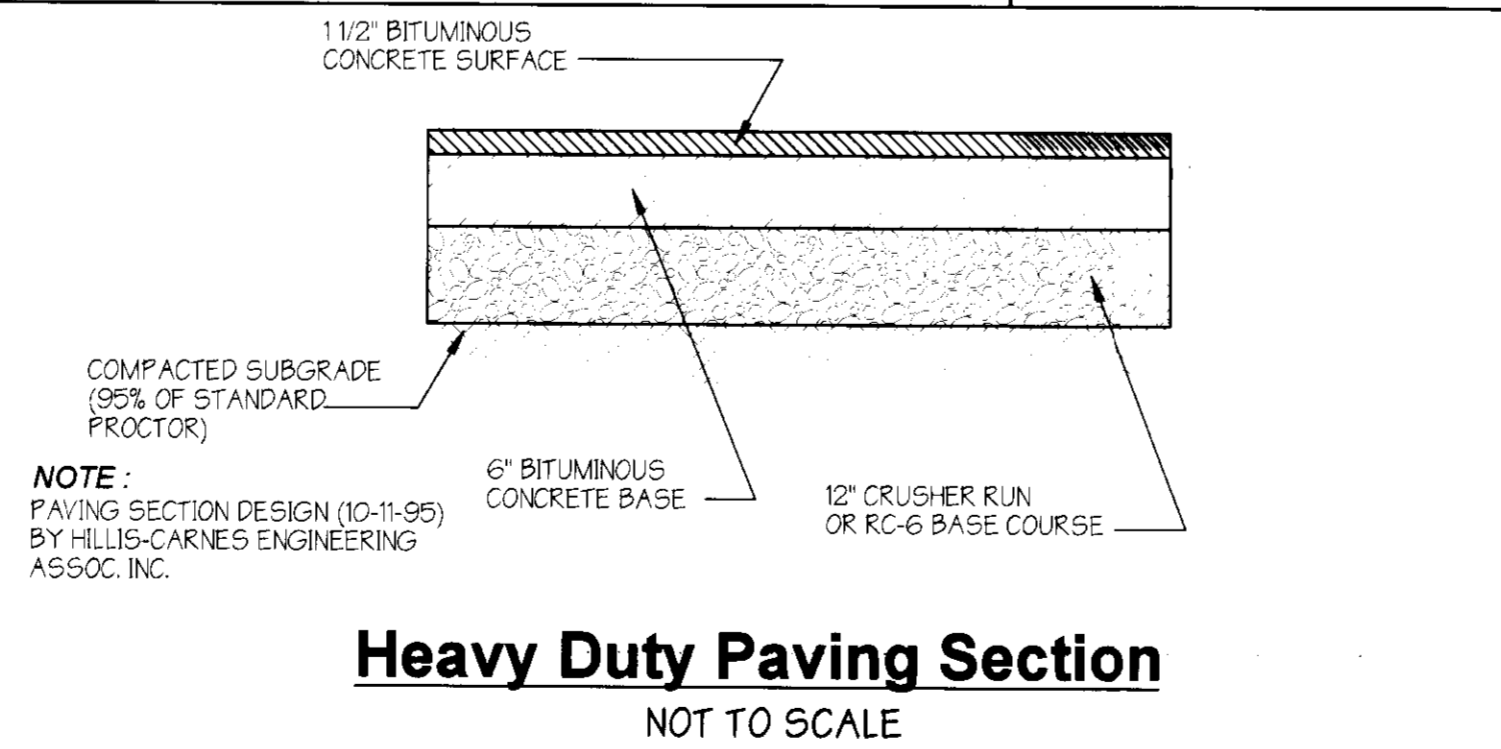


**Section B - B**  
SCALE : 1" = 30'

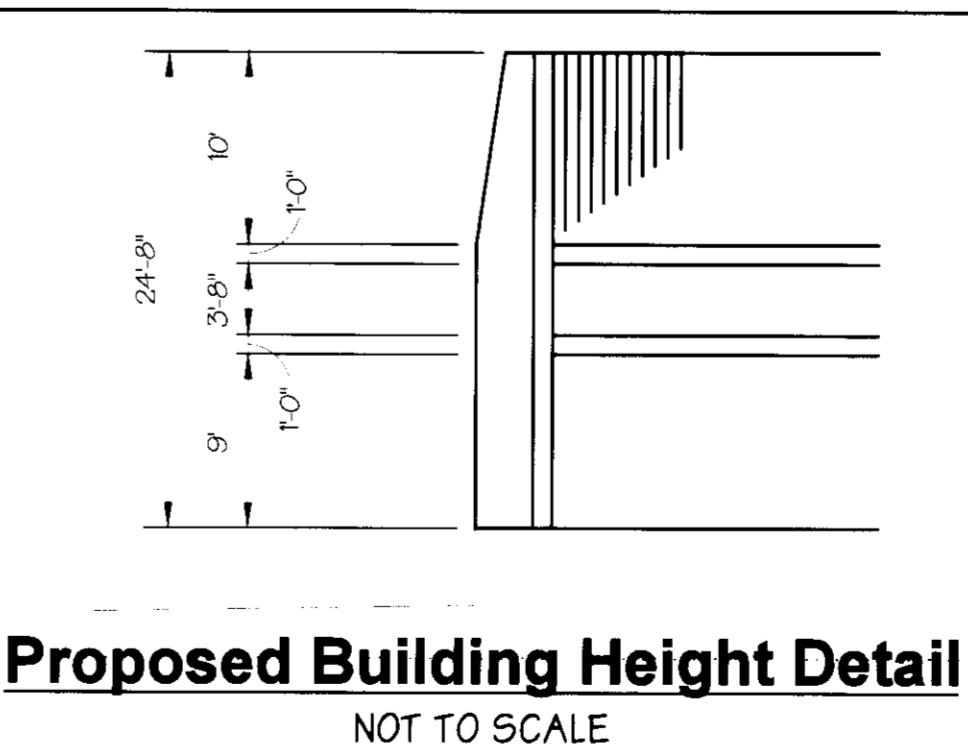
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**Light Duty Paving Section**  
NOT TO SCALE



**Heavy Duty Paving Section**  
NOT TO SCALE



**Proposed Building Height Detail**  
NOT TO SCALE

APPROVED: Howard County Department of Planning and Zoning

CHIEF DEVELOPMENT ENGINEERING DIVISION M.R. DATE 3/2/96  
 Gina J. Hartman  
 CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH DATE 3/22/96  
 David V. Hengel DIRECTOR DATE 3/22/96

ADDRESS CHART	
BUILDING NO.	STREET ADDRESS
1	7377 BALTIMORE WASHINGTON BOULEVARD

SUBDIVISION NAME	SECTION NAME	PARCEL #
BALTO. WASH. COMM. PARK	BUILDING NO. 1	62

DEED #	BLOCK #	ZONE	TAX/ZONE MAP	ELECT. DIST.	CENSUS TRACT
1700/137	5	M-2	43	1	6012

WATER CODE B.01 SEWER CODE 2153000

**PREPARED BY:**

**GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.**  
 Civil Engineers and Land Surveyors  
 658 Kenilworth Drive, Suite 100  
 Towson, Maryland 21284  
 (410) 825-8120

**OWNER / DEVELOPER**

**HILL MANAGEMENT SERVICES, INC.**  
 9640 Deerpoo Road  
 Timonium, Maryland 21093  
 410-666-1000

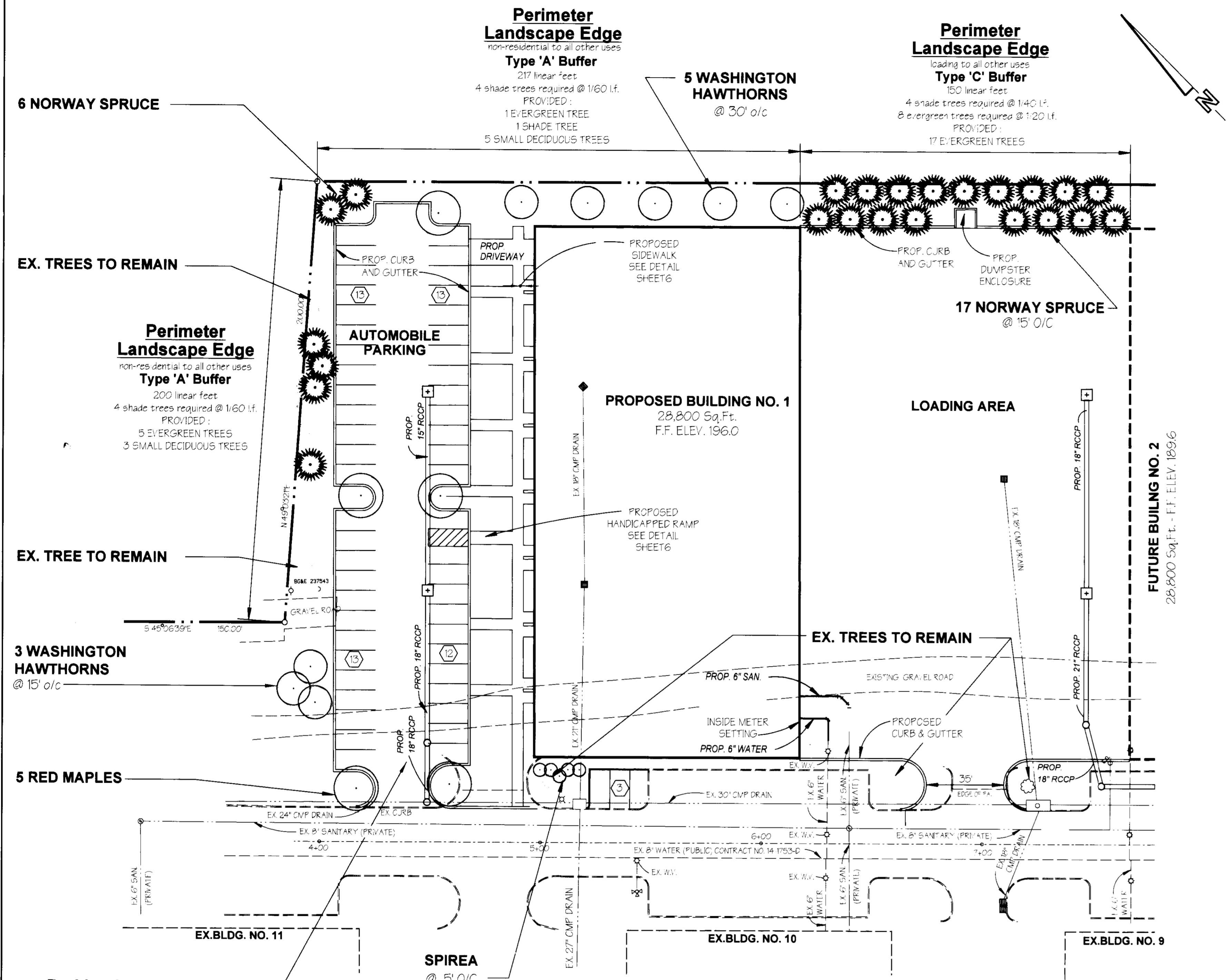
**DATE** | **REVISION** | **BY**

12-29-95	PER. HOW. CO.	E.M.T.
01-18-96	PER. HILL	E.M.T.
02-14-96	PER. HOW. CO.	E.M.T.
3-20-96	PER. HOW. CO.	K.E.

**SITE DETAILS / SECTIONS**

**BUILDING NO. 1**  
**BALTIMORE - WASHINGTON**  
**COMMERCE PARK**

ELECTION DISTRICT : 1 SCALE : AS SHOWN  
 HOWARD COUNTY, MARYLAND DATE : OCT. 5, 1995  
 DESIGNED : T.N.W. DRAWN : E.M.T. CHECKED : T.N.W. SHEET 7 OF 8



**Plan**  
SCALE: 1" = 30'

PROPOSED BUILDING NO. 1  
28,800 Sq.Ft.  
F.F. ELEV. 196.0

PROPOSED HANDICAPPED RAMP  
SEE DETAIL SHEET 6

EX. BLDG. NO. 11  
EX. BLDG. NO. 10  
EX. BLDG. NO. 9

SPIREA @ 5' O/C

**Parking Lot Internal Landscaping**  
51 parking spaces  
3 shade trees required @ 1/20 sp.  
PROVIDED:  
4 SHADE TREES

**SCHEDULE B  
PARKING LOT INTERNAL LANDSCAPING**

Number of Parking Spaces	54
Number of Trees Required	3
Number of Trees Provided	4
Shade Trees	
Other Trees (2x sub.)	
Number of landscaped Islands required (1 per 9 Spaces - 6)	6
Number of landscaped Islands provided -	6

**SCHEDULE A  
PERIMETER LANDSCAPE EDGE**

CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES
	A	B C
Landscape Type	-	-
Linear Feet of Roofway Frontage	-	377 150
Credit for existing Vegetation (Yes, No)	-	NO NO
Credit for Wall, Fence or Berm (Yes, No) (Linear Feet)	-	NO NO
Number of Plants Required	-	8 4
Shade Trees	-	- 8
Evergreen Trees	-	-
Other Trees (2x sub.)	-	-
Shrubs	-	-
Number of Plants Provided	-	1 -
Shade Trees	-	-
Evergreen Trees	-	6 7
Other Trees (2x sub.)	-	8 -
Shrubs	-	-
Comments:		

**Plant List**

QUANT.	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
5	CRATAEGUS PHAENOPYROM	WASHINGTON HAWTHORN	1 1/2" - 2" CAL.	
23	PICEA ABIES	NORWAY SPRUCE	6 - 8' HT.	
5	SPIREA X BUMALDA 'ANTHONY WATERKER'	SPIREA (COMPACT VAR.)	8" - 12"	
5	ACER RUBRUM 'RED SUNSET'	RED MAPLE (RED SUNSET)	2" - 2 1/2" CAL.	

PREPARED BY:  
**GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.**  
Civil Engineers and Land Surveyors  
658 Kenilworth Drive, Suite 100  
Towson, Maryland 212 04  
(410) 825-8120



OWNER/DEVELOPER  
**HILL MANAGEMENT SERVICES, INC.**  
9640 Deeroo Road  
Timonium, Maryland 21093  
410-666-1000

**Landscape Notes**

- I. GENERAL**
- THESE PLANS SHALL BE USED FOR PLANTING INSTALLATION ONLY.
  - IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THIS PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PERFORM SUCH WORK. THE COST OF SUCH WORK SHALL BE INCLUDED IN THE BASE BID.
  - THE CONTRACTOR SHALL NOTE THAT IN THE CASE OF ANY DISCREPANCY BETWEEN ANY SCALED DIMENSIONS AND THE FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN.
  - THE CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS NOT SCHEDULED FOR REMOVAL OR DEMOLITION. COST OF REPAIR TO EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE BASE BID.

- II. UTILITIES**
- THE LOCATION OF EXISTING UTILITIES SHOWN HEREON IS APPROXIMATE ONLY AND IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE LOCATIONS ARE TAKEN FROM EXISTING RECORDS AND DO NOT REPRESENT FIELD-VERIFIED LOCATIONS. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 A MINIMUM OF 5 WORKING DAYS PRIOR TO DIGGING. THE CONTRACTOR SHALL CONFIRM TO HIS OWN SATISFACTION THE LOCATION OF ALL UTILITIES PRIOR TO PLACEMENT OF ANY MATERIALS. IF ANY CONFLICT IS FOUND BETWEEN UNDERGROUND UTILITIES AND THE PROPOSED LOCATION OF ANY CONSTRUCTION THE CONTRACTOR SHALL CONTACT G. W. STEPHENS AND THE OWNER OF THE UTILITY IMMEDIATELY. ANY DAMAGE OR DISRUPTION OF SERVICE SHALL BE AT THE EXPENSE OF THE CONTRACTOR.

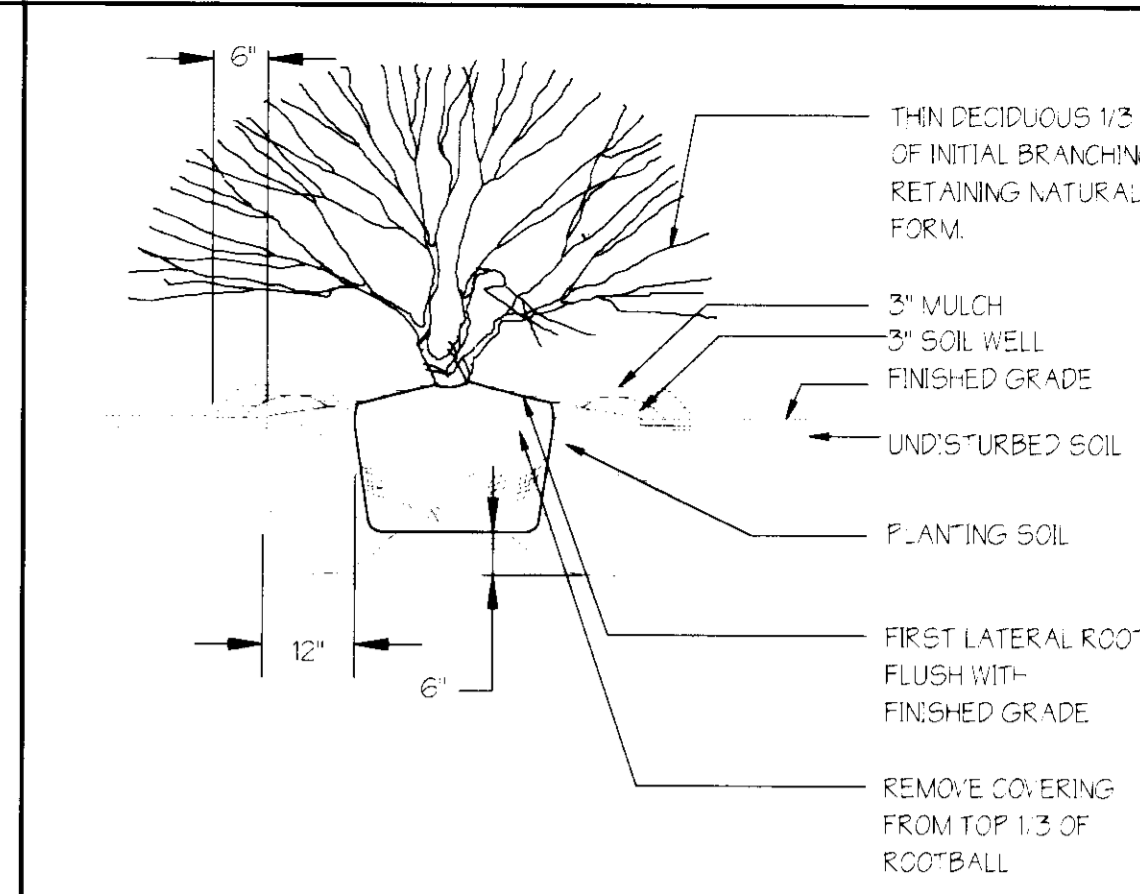
- III. LANDSCAPING**
- A. STANDARDS:**
- ALL PLANT MATERIAL, CONSTRUCTION METHODS AND MATERIALS, PLACEMENT SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. THE "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS" AS PROPOSED BY THE LANDSCAPE CONTRACTORS ASSOCIATION, THE "HOWARD COUNTY LANDSCAPE MANUAL" AND THE LATEST EDITION OF THE "STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS" OF THE MARYLAND STATE DEPARTMENT OF TRANSPORTATION.
  - ALL TREES SHALL BE DELIVERED TO THE SITE BALLED AND BURLAPPED. ALL SHRUBS SHALL BE BALLED AND BURLAPPED OR IN CONTAINERS. ALL GRASSES & PERENNIALS SHALL BE IN CONTAINERS.

- B. MAINTENANCE:**
- AFTER THE PLANTING HAS BEEN APPROVED BY THE LANDSCAPE ARCHITECT AND THE OWNER, THE MAINTENANCE OF WATERING AND WEEDING OF SUCH PLANTS AND PLANTED AREAS SHALL BE PROVIDED BY THE OWNER. SINCE THE PLANTS ARE TO BE GUARANTEED BY THE CONTRACTOR, THE CONTRACTOR SHALL PERIODICALLY CHECK THE MAINTENANCE CONDUCTED BY THE OWNER. IF THE CONTRACTOR IS NOT SATISFIED WITH THE MAINTENANCE OF THE PLANTS, A WRITTEN REPORT, IN TRIPPLICATE, STATING APPROPRIATE CHANGES SHALL BE GIVEN IMMEDIATELY TO THE LANDSCAPE ARCHITECT. TWO COPIES WILL BE FORWARDED TO THE OWNER. BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING.
  - MAINTAIN TREES UNTIL FINAL ACCEPTANCE, BUT IN NO CASE LESS THAN 60 DAYS AFTER FINAL ACCEPTANCE OF PLANTING. MAINTAIN ALL PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS, TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WRAPPINGS. SPRAY AS REQUIRED TO KEEP ALL PLANTS FREE OF INSECTS AND DISEASE.

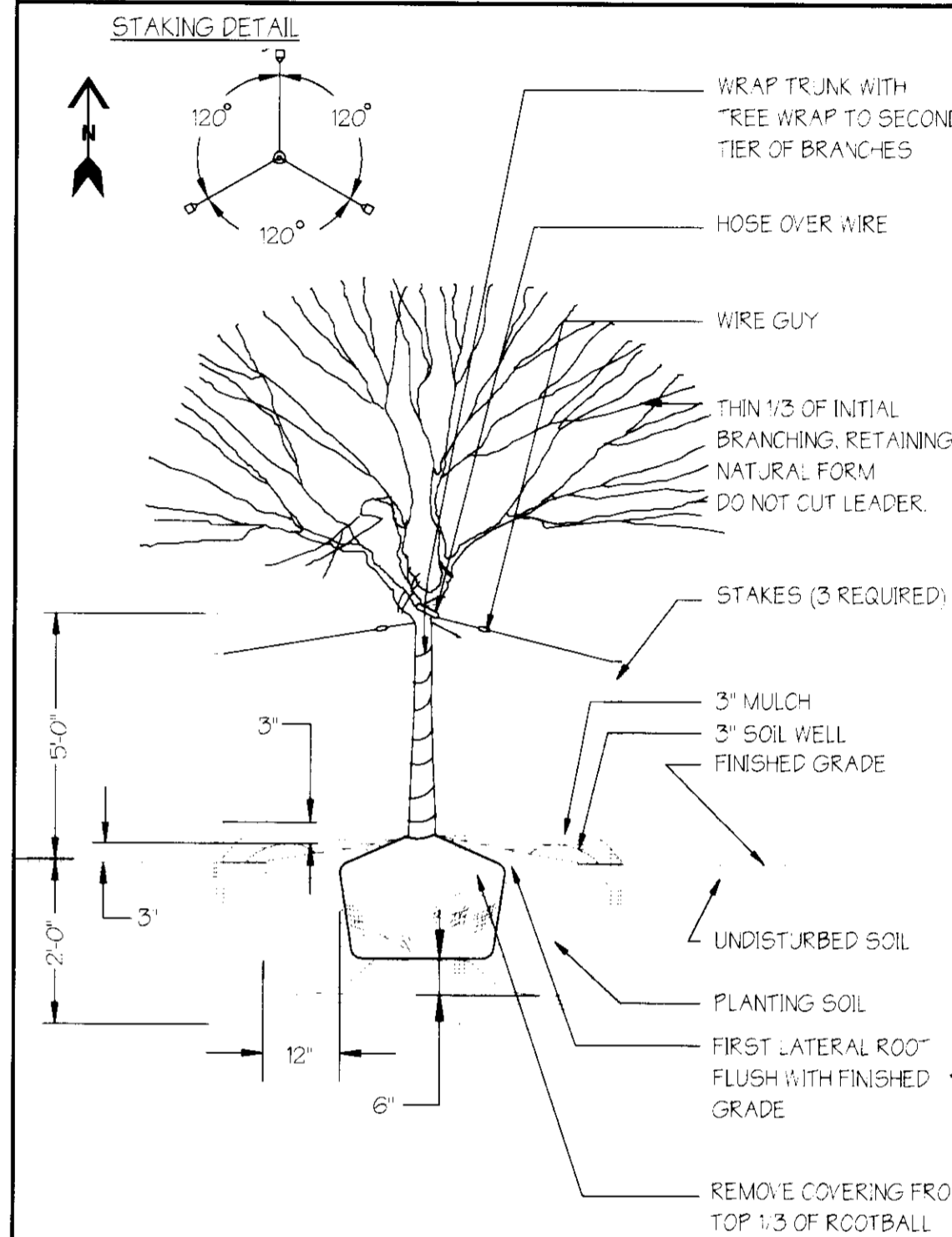
- C. WATERING**
- IN THE ABSENCE OF ADEQUATE RAINFALL, WATERING SHALL BE PERFORMED DAILY OR AS OFTEN AS NECESSARY DURING THE FIRST WEEK AND IN SUFFICIENT QUANTITIES TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATERING SHALL NOT BE DONE DURING THE HEAT OF THE DAY. CONTRACTOR SHALL PROVIDE A SEPARATE LUMP SUM PRICE IN THE OVERALL LANDSCAPE BID FOR WATERING TO ALL NEW PLANTINGS DURING ONE GROWING SEASON.

- D. EXCAVATION:**
- DEPTH AND WIDTH OF EXCAVATION FOR PLANTING OF ALL PLANTS SHALL BE TO TWICE THE DEPTH AND WIDTH OF ROOT BALL OR CONTAINER OF PLANT TO BE INSTALLED, EXCEPT AS NOTED ON DETAILS.
- E. TOPSOIL, PLANTING MIX, FERTILIZER, MULCH AND SOIL AMENDMENTS:**
- ALL TOPSOIL SHALL BE WELL-GRADED LOAM OF GOOD UNIFORM QUALITY AND SHALL BE A NATURAL FRIABLE SOIL FREE OF OBJECTS LARGER THAN ONE INCH IN ANY DIMENSION, AND FREE OF TOXIC SUBSTANCES, WEEDS AND ANY MATERIAL OF SUBSTANCES THAT MAY BE HARMFUL TO PLANT GROWTH. TOPSOIL SHALL CONTAIN AT LEAST ORGANIC MATTER. IF SUFFICIENT TOPSOIL IS NOT AVAILABLE ON THE SITE TO MEET THE DEPTH AS SPECIFIED HEREIN, THE CONTRACTOR SHALL FURNISH ADDITIONAL TOPSOIL PRIOR TO TOPSOIL DELIVERY. THE CONTRACTOR SHALL OBTAIN THE LANDSCAPE ARCHITECT'S APPROVAL OF THE SOURCE FROM WHICH TOPSOIL IS TO BE FURNISHED.

- F. SUBSTITUTIONS:**
- IF A PLANT IS FOUND NOT TO BE SUITABLE OR AVAILABLE, THE LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE BIDDING. THE OWNER OR LANDSCAPE ARCHITECT WILL THEN SELECT A REASONABLE ALTERNATE OR INFORM ALL LANDSCAPE CONTRACTORS OF THE AVAILABILITY OF THE ORIGINAL PLANT.
- G. PRUNING, CLEANUP, PROTECTION OF EXISTING MATERIALS AND RESTORATION**
- THE CONTRACTOR SHALL PRUNE PLANT MATERIAL WITHIN TWO (2) DAYS OF INSTALLATION IN ACCORDANCE WITH THE DETAILS AND AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
  - DURING COURSE OF PLANTING, EXCESS AND WASTE MATERIALS SHALL BE CONTINUOUSLY AND PROMPTLY REMOVED. LAWN AREAS KEPT CLEAR, AND ALL REASONABLE PRECAUTIONS TAKEN TO AVOID DAMAGE TO ANY EXISTING LAWNS, PAVING, ETC. NOT SCHEDULED FOR REMOVAL. WHEN PLANTING IN AN AREA HAS BEEN COMPLETED, THE AREA SHALL BE CLEANED UP THOROUGHLY. DEBRIS, RUBBISH, SUBSOIL, AND WASTE MATERIALS SHALL BE CLEANED UP AND REMOVED FROM THE PROPERTY. EXISTING GRASS AREAS WHICH HAVE BEEN JUDGED BY THE WORK SHALL BE REGRADED AND SOEDED TO MATCH THE EXISTING LAWN. THE ENTIRE AREA SHALL BE NEAT AND CLEAN TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT.
  - CONTRACTOR SHALL AT ALL TIMES PROTECT ALL PLANTS AND LAWNS FROM DAMAGE. THE MOVING OF HEAVY EQUIPMENT OR MATERIAL OVER THE LAWN AREAS SHALL BE DONE ON PLANKS OR PONTOONS.
  - THE CONTRACTOR SHALL RESTORE TO THEIR ORIGINAL CONDITION ALL PLACEMENTS, SOEDED OR PLANTED AREAS, STRUCTURES OR SUBSTRUCTURES NOT SCHEDULED FOR REMOVAL WHICH ARE DISTURBED BY THE CONTRACTOR DURING PLANTING OPERATIONS. SUCH RESTORATION SHALL BE IN A MANNER SATISFACTORY TO THE LANDSCAPE ARCHITECT AND AT NO ADDITIONAL COST TO THE OWNER.
- H. FINAL INSPECTION AND GUARANTEE:**
- AFTER PLANTING IS COMPLETED (INCLUDING MULCHING AND CLEAN-UP) THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING TO REQUEST FINAL INSPECTION OF THE TOTAL PLANTING. THE LANDSCAPE ARCHITECT SHALL MAKE A FINAL INSPECTION VISIT AS SOON AS POSSIBLE. LANDSCAPE ARCHITECT SHALL NOTIFY THE LANDSCAPE CONTRACTOR, IN WRITING, WHEN ALL WORK IS SATISFACTORILY COMPLETE. IF WORK IS NOT SATISFACTORILY COMPLETE, THE LANDSCAPE ARCHITECT WILL NOTIFY THE LANDSCAPE CONTRACTOR, IN WRITING, AS TO THE DEFICIENCIES IN THE WORK AND THE NECESSARY CORRECTIVE MEASURES. THE LANDSCAPE CONTRACTOR WILL BE GIVEN A REASONABLE AMOUNT OF TIME TO CORRECT THE DEFICIENCIES, AND ANOTHER FINAL INSPECTION WILL BE SCHEDULED BY THE LANDSCAPE ARCHITECT.
  - ALL PLANT MATERIAL AND LAWN AREAS SHALL BE GUARANTEED TO BE IN A VIGOROUS GROWING CONDITION ONE YEAR FROM THE DATE OF FINAL INSPECTION AND ACCEPTANCE. AT THE TERMINATION OF THIS PERIOD, THE CONTRACTOR SHALL HAVE COMPLETED THE PRECEDING MAINTENANCE SCHEDULE. ANY PLANTS INFECTED WITH DISEASE OR INSECTS WILL BE REMOVED OR TREATED. ALL DEAD OR UNACCEPTABLE PLANTS WILL BE REPLACED BY THE SAME PLANTS AND SIZES DESIGNATED ON THE PLANT LIST. THESE PLANTS SHALL BE PLANTED, MULCHED AND GUYED AS SPECIFIED HEREIN AND WITHOUT EXTRA COMPENSATION TO THE CONTRACTOR. AT THE COMPLETION OF ALL SUCH WORK AND WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT, THE CONTRACT WILL BE CONSIDERED COMPLETE.



**Shrub Planting Detail**  
NOT TO SCALE



**Tree Planting Detail**  
NOT TO SCALE

**Notes**

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPE MUST BE POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF \$250,000.

APPROVED: Howard County Department of Planning and Zoning

CHIEF DEVELOPMENT ENGINEERING DIVISION M.K. DATE: 3/10/96

CHIEF DIVISION OF LAND DEVELOPMENT AND RESEARCH DATE: 3/20/96

DIRECTOR DATE: 3/21/96

**ADDRESS CHART**

BUILDING NO.	STREET ADDRESS
1	7377 BALTIMORE WASHINGTON BOULEVARD

**SUBDIVISION NAME** BALTO. WASH. COMM. PARK **SECTION NAME** BUILDING NO. 1 **PARCEL #** 62

**DEED #** 1700/137 **BLOCK #** 5 **ZONE** M-2 **TAX/ZONE MAP** 43 **ELECT. DIST.** 1 **CENSUS TRACT** 6012

**WATER CODE** B01 **SEWER CODE** 2153000

**LANDSCAPE PLAN DETAILS / SPECIFICATIONS**  
**BUILDING NO. 1**  
**BALTIMORE - WASHINGTON**  
**COMMERCE PARK**

ELECTION DISTRICT: 1  
HOWARD COUNTY, MARYLAND

SCALE: AS SHOWN  
DATE: OCT. 5, 1995

DESIGNED: T.N.W. DRAWN: E.M.T. CHECKED: T.N.W. SHEET 8 OF 8



DATE	REVISION	BY
12-29-95	PER. HOW. CO.	E.M.T.
01-18-96	PER. HILL	E.M.T.
02-14-96	PER. HOW. CO.	E.M.T.

**Site Data :**

AREA OF PARCEL : 26.17 Ac. +/-  
 LIMIT OF SUBMISSION AREA : 2.62 Ac. +/-  
 EXISTING ZONING : M-2  
 PROPERTY REFERENCE : 1700 / 137  
 EXISTING USE : VACANT  
 PROPOSED USE : WAREHOUSE / OFFICE / 1 STORY (NO MEZZANINE OR 2ND LEVEL)  
 FLOOR AREA : 28,800 Sq.Ft.  
 AREA TO BE PAVED : EXISTING PAVING 4.96 Ac.  
 PROPOSED PAVED AREA : 117 Ac.  
 TOTAL PAVED AREA : 6.13 Ac.  
 % BUILDING COVERAGE : 28,800 Sq.Ft. Each x 7 = 201,600 Sq.Ft. = (18%)  
 % BUILDING COVERAGE W/PAVING : 468,623 Sq.Ft. 10.75 Ac. (41%)(TOTAL SITE)  
 TOTAL AREA OF PARKING : EXISTING 134 Ac. (5%)(TOTAL SITE)  
 PROPOSED 0.33Ac. (1.2%)(TOTAL SITE)  
 PARKING TOTAL 167 Ac. (6.0%)(TOTAL SITE)  
 AREA OF LANDSCAPED ISLANDS : EXISTING 0.50 Ac.  
 PROPOSED 0.10 Ac.  
 TOTAL 0.60 Ac.  
 AREA TO BE DISTURBED : 2.62 Ac. (10%)(TOTAL SITE)  
 AREA TO BE VEGETATIVELY STABILIZED : 15.42 Ac. (59 %)(TOTAL SITE)  
 6 EX. BLDGS @ 28,800 SF EA. = 172,800 SF  
 NO. OF EMPLOYEES  
 OFFICE - 34560 SF @ 1/250 = 138 SPACES  
 WAREHOUSE - 120960 SF @ 1/1000 = 121 SPACES  
 LT. MANUF. /ASSEMBLY 17,280 SF @ 1/1500 = 35 SPACES  
 TOTAL = 294 SPACES  
 PARKING REQUIRED  
 EX. BLDGS.  
 OFFICE = 138 EMPLOYEES (0.7) = 97 SPACES  
 WAREHOUSE = 121 EMPLOYEES = 121 SPACES  
 LT. MANUF. /ASSEMBLY = 35 EMPLOYEES = 35 SPACES  
 PARKING SPACES REQUIRED = 253 SPACES  
 PROP. BLDG. NO. 1  
 28,800 @ 2.5/1000 SF = 72 SPACES REQUIRED  
 TOTAL PARKING REQUIRED = 361 SPACES REQUIRED  
 PARKING PROVIDED  
 EXISTING = 390 SPACES  
 PROPOSED = 51 SPACES  
 TOTAL PARKING PROPOSED = 441 SPACES

**BID ALTERNATE :**

- CONTRACTOR SHALL PROVIDE A SEPARATE PRICE FOR ALL WORK AND MATERIALS TO INSTALL THE FOLLOWING
- ① 30' WIDE CONC. PAVING
  - ② 50' WIDE CONC. PAVING
  - ③ 150' WIDE HEAVY DUTY BITUMINOUS CONC. PAVING

**Benchmark :**

① INLET (I-5) AT FACE OF CURB NORTH-EAST SIDE ENTRANCE ROAD.  
 N 90924.25  
 E 66530.12  
 ELEVATION 193.61

**Construction Notes :**

- 1 SEE SHEET 6, FOR ADDITIONAL CONSTRUCTION NOTES.
- 2 TO BE REMOVED.
- 3 ADJUST TOP TO CONFORM TO GRADE.
- 4 REMOVE EXISTING PIPE AND INSTALL 6" THICK BRICK BULKHEAD ON SIDE OF INLET.
- 5 ALL CURB SHALL BE REVERSE SLOPE CURB AND GUTTER UNLESS OTHERWISE NOTED

**Legend**

PROPERTY LINE	---	CONSTRUCTION NOTE	②
EXISTING CURB AND GUTTER	=====	CENTERLINE OF ROAD	---
PROPOSED CURB AND GUTTER	=====	PARKING COUNT	⑬
EXISTING WATER LINE	---	HEAVY DUTY PAVING	[Hatched Pattern]
EXISTING STORM DRAIN	---	LIGHT DUTY PAVING	[Dotted Pattern]
EXISTING SANITARY	---	SECTION LINE	---
EXISTING FENCE LINE	x x x	CONC. PAVING	[Diagonal Pattern]

BID ALTERNATIVE ②  
 APPROVED: Howard County Department of Planning and Zoning

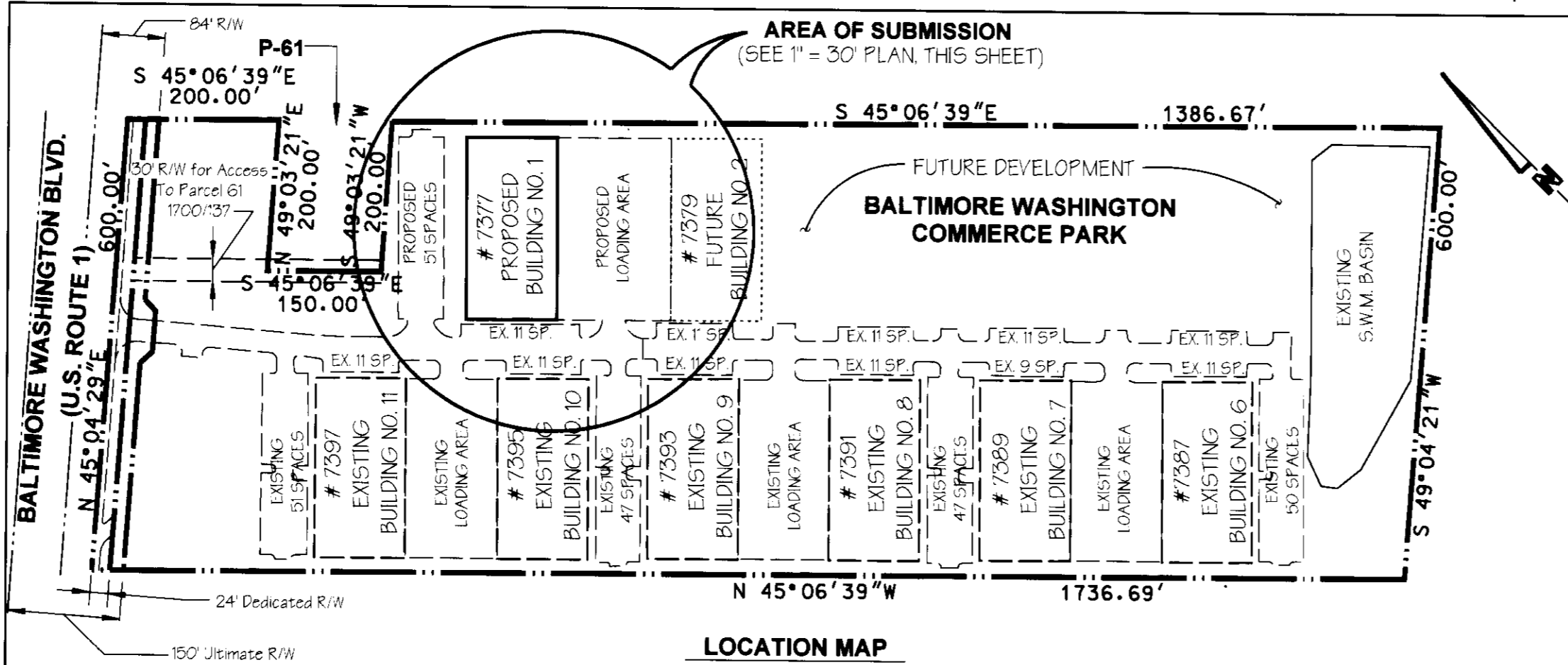
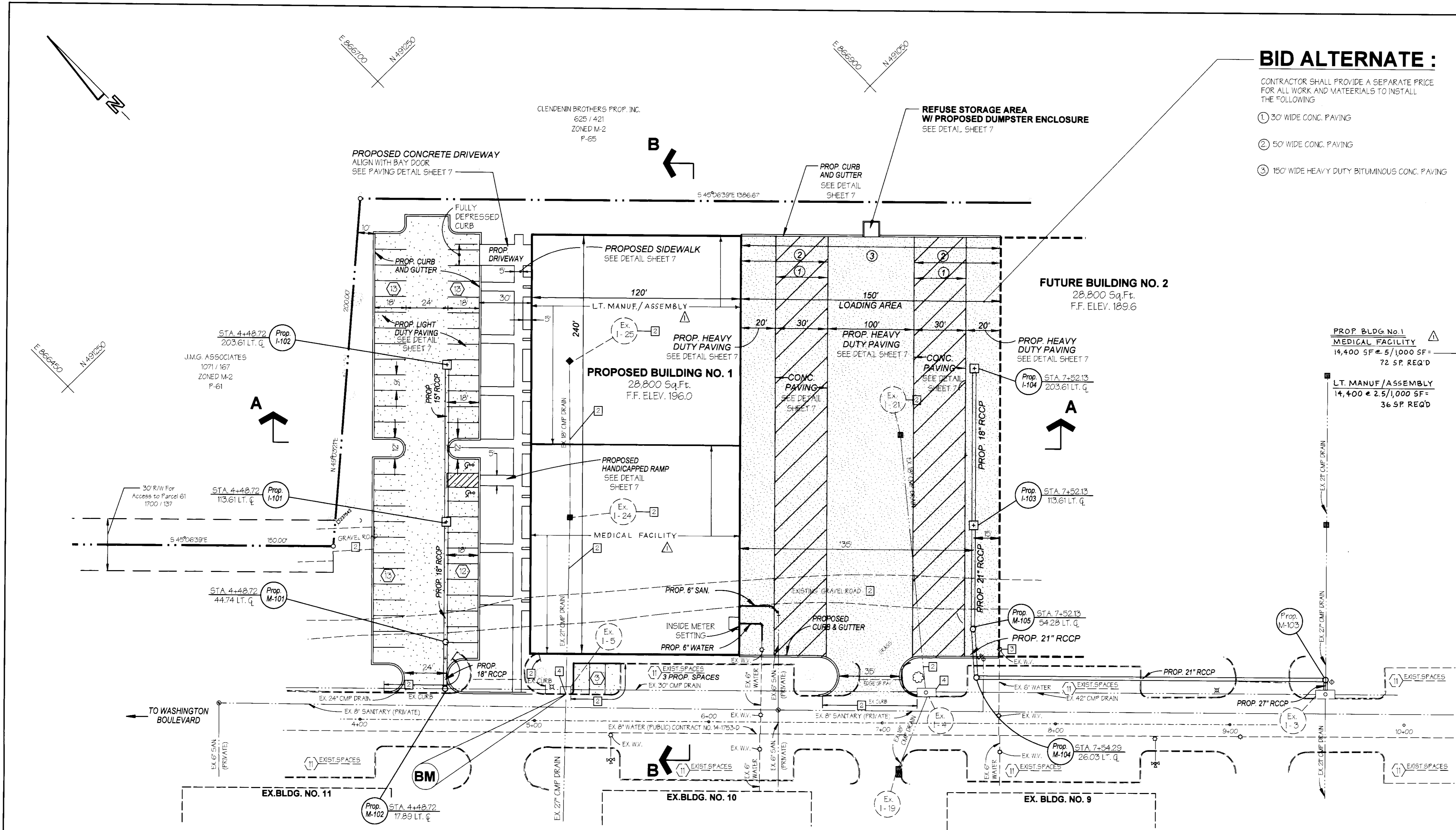
*Jim Stumm*  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION M.K. DATE 7/18/16  
 CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH DATE 3/22/16  
*David C. Sawyer*  
 DIRECTOR DATE 3/22/16

ADDRESS CHART					
BUILDING NO.	STREET ADDRESS				
1	7377 BALTIMORE WASHINGTON BOULEVARD				
SUBDIVISION NAME					
BALTO. WASH. COMM. PARK	BUILDING NO. 1				
62	62				
DEED # 1700/137	BLOCK # 5	ZONE M-2	TAX MAP 43	ELECT. DIST. 1	CENSUS TRACT 6012
WATER CODE 801		SEWER CODE 2153000			

**SITE DEVELOPMENT PLAN**  
**BUILDING NO. 1**  
**BALTIMORE - WASHINGTON**  
**COMMERCE PARK**

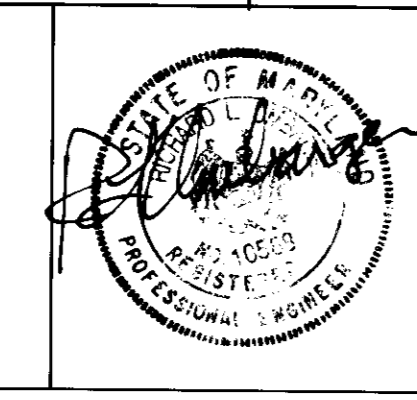
ELECTION DISTRICT : 1  
 HOWARD COUNTY, MARYLAND  
 DATE : OCT. 5, 1995  
 DESIGNED : T.N.W. DRAWN : E.M.T. CHECKED : T.N.W. SHEET 2 OF 8  
 SCALE : 1" = 30'

SDP-96-45 P/N : 7889 JOB NAME : siteplan.dgn TNW 02-29-96



**NOTE:**  
 The owner shall provide a separate and independent sewer connect on for each tenant or occupants of any building shown on this site development plan who will discharge non-domestic waste to the public sewerage system. Each separate and independent sewer connect on shall include a standard manhole and other wastes pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be deepened, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupants of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connect on and related interior waste lines. The above statements shall apply to all initial and future occupants or tenants.

**PREPARED BY :**  
**GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.**  
 Civil Engineers and Land Surveyors  
 658 Kenilworth Drive, Suite 100  
 Towson Maryland 21204  
 (410) 825-8120



**OWNER/DEVELOPER**  
**HILL MANAGEMENT SERVICES, INC.**  
 9640 Deereco Road  
 Timonium, Maryland 21083  
 410-666-1000

DATE	REVISION	BY
12-22-95	PER. H.C.C.D.	E.M.T.
01-18-96	PER HILL	E.M.T.
02-16-96	PER H.C.C.D.	E.M.T.
10/15/16	PROP. USE	E.M.T.
	SITE TAB	G.W.S.

### Construction Notes :

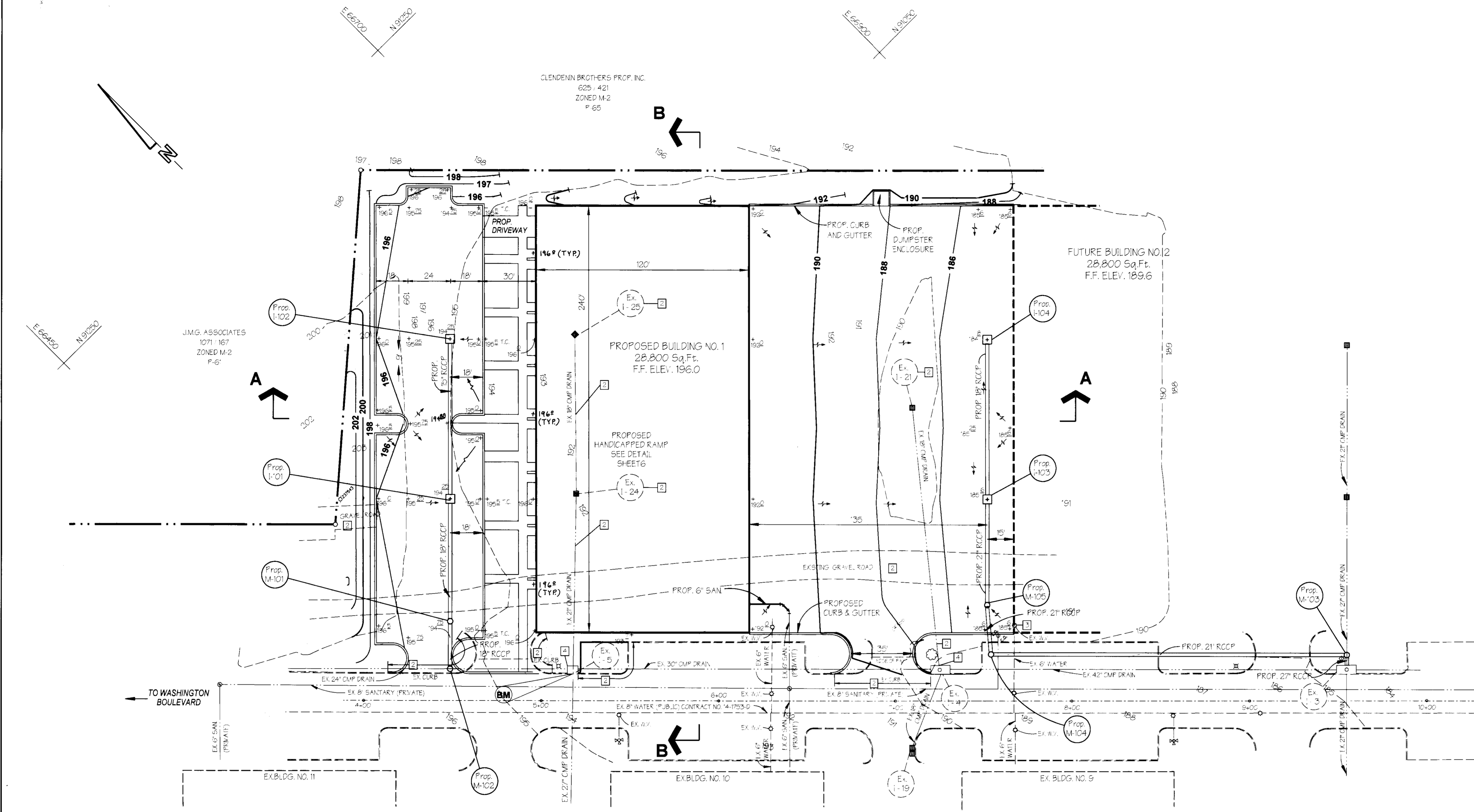
- 1 SEE SHEET 6, FOR ADDITIONAL CONSTRUCTION NOTES.
- 2 TO BE REMOVED.
- 3 ADJUST TOP TO CONFORM TO GRADE.
- 4 REMOVE EXISTING PIPE AND INSTALL 8" THICK BRICK BULK-HEAD ON N SIDE NEET.
- 5 ALL CURB SHALL BE REVERSE SLOPE CURB AND GUTTER UNLESS OTHERWISE NOTED.

### Benchmark :

C INLET (I-5) AT FACE OF CURB NORTHEAST SIDE ENTRANCE ROAD. ELEVATION 193.61'

### Legend

PROPERTY LINE	---	EXISTING FENCE LINE	
EXISTING CURB AND GUTTER	=====	CONSTRUCTION NOTE	2
PROPOSED CURB AND GUTTER	=====	DIRECTION OF SURFACE FLOW	→
EXISTING WATER LINE	---	CENTERLINE OF ROAD	---
EXISTING STORM DRAIN	---	PARKING COUNT	13
EXISTING SANITARY	---	PROPOSED 2' CONTOURS	198
EXISTING 1' CONTOURS	22	PROPOSED 5' CONTOURS	195
EXISTING 5' CONTOURS	25	PROPOSED SPOT ELEVATION	193.61



**NOTE:**  
The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines, the above statement shall apply to all initial and future occupants or tenants.

APPROVED: Howard County Department of Planning and Zoning

*[Signature]*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION M.K. 3/19/96  
DATE  
*[Signature]*  
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH 3/22/96  
DATE  
*[Signature]*  
DIRECTOR 3/22/96  
DATE

ADDRESS CHART		
BUILDING NO.	STREET ADDRESS	
1	7377 BALTIMORE WASHINGTON BOULEVARD	
SUBDIVISION NAME SECTION NAME PARCEL #		
BALTO. WASH. COMM. PARK	BUILDING NO. 1	62
DEED # 1700 /137	BLOCK # 5	ZONE M-2
TAX MAP 43	ELECT. DIST. 1	CENSUS TRACT 6012
WATER CODE 801 SEWER CODE 2153000		

PREPARED BY:

**GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.**  
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(410) 825-8120

OWNER/DEVELOPER

**HILL MANAGEMENT SERVICES, INC.**  
9640 Deereco Road  
Timonium, Maryland 21093  
410-666-1000

DATE	REVISION	BY
12-29-95	PER. HOW. CO.	E.M.T.
01-18-96	PER. HILL	E.M.T.
3-20-96	PER. HOW. CO.	K.E.

**GRADING PLAN**  
**BUILDING NO. 1**  
**BALTIMORE - WASHINGTON**  
**COMMERCE PARK**

ELECTION DISTRICT: 1 SCALE: 1" = 30'  
HOWARD COUNTY, MARYLAND DATE: OCT. 5, 1995

DESIGNED: T.N.W. DRAWN: E.M.T. CHECKED: T.N.W. SHEET 3 OF 3  
SDP-96-45 P/N: 7889 NAME: grading.dgn 01-16-96 E.M.T.