

"This project is subject to WP-05-99 for a waiver from Sections 16.119 and 16.120(a)(2) of the Regulations to allow direct access onto a restricted minor arterial road, Cedar Lane for a relocated main entrance and to establish a dedicated delivery service circular entrance as approved on April 4, 2005".

"A building and grading permit for the proposed site work including the new relocated entrances and the revised parking lot shall be applied for within 1 year from the DED approval for this red-line revision request".

"This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Landscape Manual".

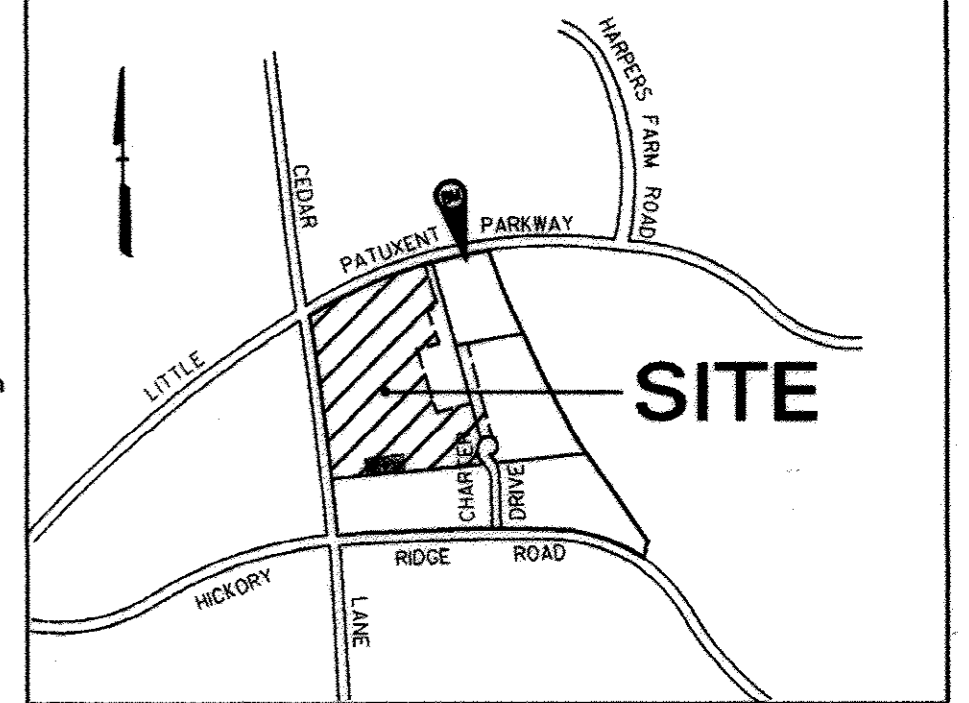
**GENERAL NOTES**

- All work shall be performed in accordance with the Howard County Design Manual, Volume IV, i.e. Standard Specifications and Details for Construction, 1990 Amendments.
- Approximate location of existing utilities are shown from best available information. The contractor shall take all necessary precautions to protect the existing utilities and maintain uninterrupted service. Any damage incurred due to contractor's operation shall be repaired immediately at the contractor's expense.
- The contractor shall test pit existing utilities at least 15 days before starting work shown on these drawings to verify their location and elevation. The contractor shall notify the engineer immediately if location of utilities is other than shown.
- Contractor to notify the following utilities or agencies at least five days before starting work shown on these drawings:

MSS UTILITY 1-800-257-7777  
 C&P Telephone 725-8976  
 Howard County Bureau of Utilities 313-4900  
 AT&T Cable Location Division 393-3553  
 Baltimore Gas & Electric Company 685-0123  
 State Highway Administration 531-5533  
 Howard County Construction / Inspection Survey Division (24hrs notice prior to commencement of work) 313-8860

**SHEET INDEX**

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- 28 OF 32 PHASING & SEDIMENT CONTROL PLAN (PHASE SEVEN & EIGHT)
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- 31 OF 32 STORM DRAIN PLAN
- 32 OF 32 SEWER EXTENSION PLAN
- 33 OF 32 SAND FILTER RETROFIT



**LOCATION MAP**

ELEVATIONS HEREON ARE BASED ON THE GRID MERIDIAN OF THE MARYLAND COORDINATE SYSTEM AND DERIVED FROM THE FOLLOWING HOWARD COUNTY CONTROL SYSTEM:

2639003  
 3/4" IRON BAR ELEVATION = 475.559  
 LOCATED SOUTH OF LITTLE PATUXENT PKWY.  
 12' FROM FACE OF CONC. CURB, 0.16 MILES  
 EAST OF CEDAR LANE

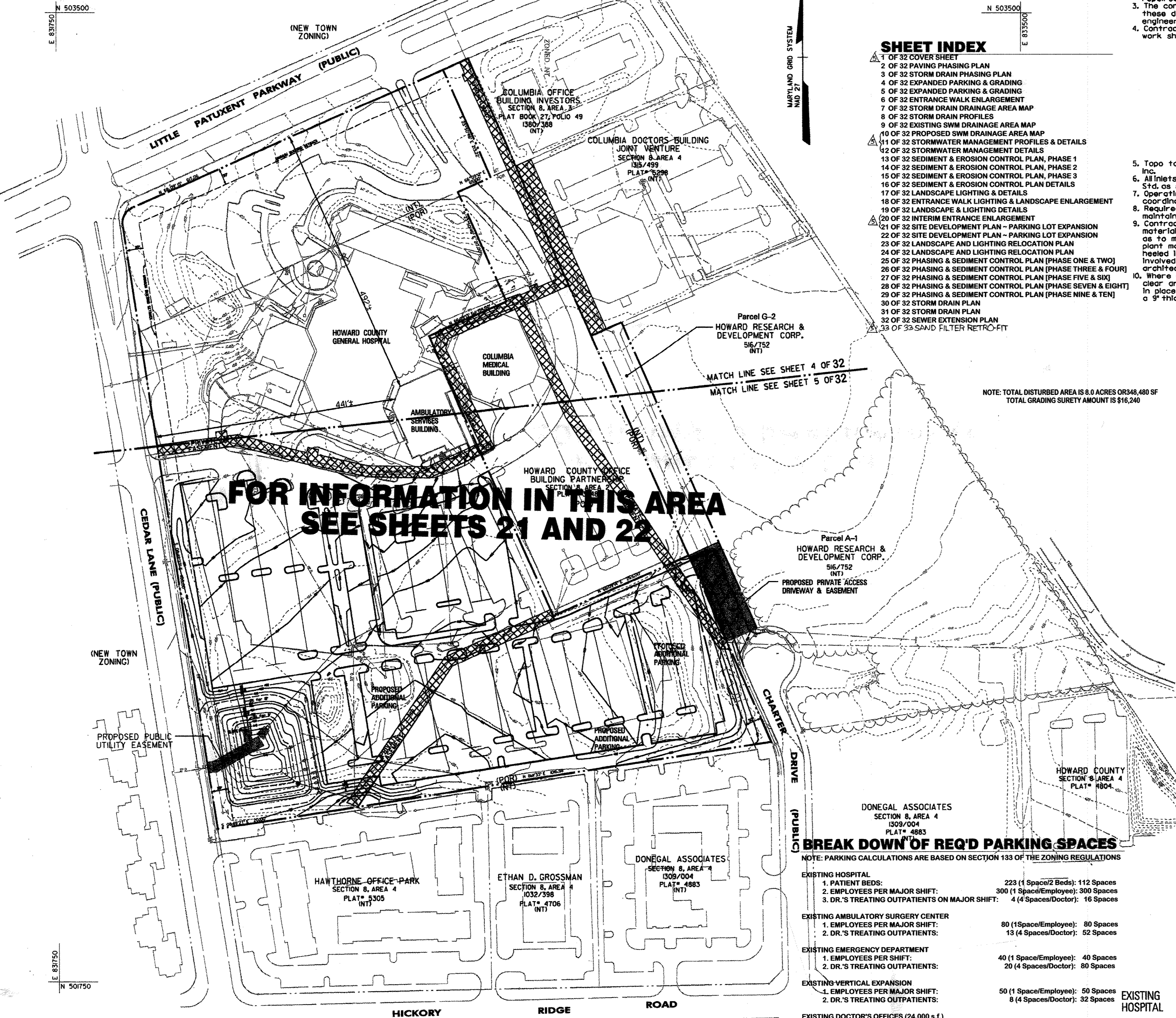
BM#1 GRID POINT NO. B-3: A PK NAIL IN THE BITUMINOUS CONCRETE PAVING DRIVEWAY ENTRANCE. ELEV. 474.73, 1929 U.S.C.G.S. GENERAL DATUM.

BM#2 GRID POINT NO. F-3: A PK NAIL IN THE BITUMINOUS CONCRETE PAVING DOCTORS' PARKING LOT WEST OF THE MAIN BUILDING. ELEV. 470.44, 1929 U.S.C.G.S. GENERAL DATUM.

BM#3 SQUARE CUT IN TOP OF SOUTHEAST CORNER OF CONCRETE PEDESTAL LIGHT BASE MAIN PARKING LOT SOUTHWEST SECTION. ELEV. 463.75, 1929 U.S.C.G.S. GENERAL DATUM.

REFERENCE: S90-32, AA-90-09, WP-90-106, BA-90-36V, SDP-86-269, SDP-86-207, SDP-85-17, FDP-83, F-76-10, F-9-65, SDP-90-190, SDP-94-04, AA95-23, F-07-56

\* ON AUGUST 3, 1995 AN ADMINISTRATIVE ADJUSTMENT TO INCREASE THE MAXIMUM HEIGHT OF 80 FEET TO 96 FEET FOR A PARAPET AND PENTHOUSE WAS GRANTED.



**FOR INFORMATION IN THIS AREA SEE SHEETS 21 AND 22**

NOTE: TOTAL DISTURBED AREA IS 8.0 ACRES OR 348,480 SF  
 TOTAL GRADING SURVEY AMOUNT IS \$16,240

SITE ANALYSIS DATA CHART	
<b>1. General Site Data</b>	
a. Present Zoning	NT, PDR
b. Applicable DPZ File References	SDP-86-207, FDP-83, SDP-85-17, F-76-10, SDP-86-296, F-9-65, S-90-32, PB-266, SDP-94-04, AA-90-09, AA-95-23, WP-90-106, BA-90-36V, SDP-86-269, SDP-86-207, SDP-85-17, FDP-83, F-76-10, F-9-65, SDP-90-190, SDP-94-04, AA95-23, F-07-56
c. Proposed Use of Site or Structures	HOSPITAL & ACCESSORY USES
d. Proposed Water and Sewer Systems	Public Private
e. Any Other Information Which May be Relevant	
<b>2. Area Tabulation</b>	
a. Total Project Area	19,606 Acres
b. Net Area of Site	19,606 Acres
c. Area of This Plan Submittal	19,606 Acres
d. Limit of Disturbed Area	11.85 Acres
e. Building Coverage of Site	NA Acres and NA % of Gross Area (Permitted)
f. Other Area	1.14 Acres and 5 % of Gross Area (Proposed)
<b>3. Unit / Lot Tabulation</b>	
a. Total Number of Residential Units / Lots Allowed for Project	NA
b. Total Number of Residential Units / Lots Proposed on This Submittal	NA
c. Density of Project per Net Acre	NA
d. Total Number of Non-Residential Lots / Parcels on This Submittal	NA
e. Overall Total Number of Lots / Parcels on This Submittal	NA
<b>4. Open Space Data</b>	
a. Open Space on Site	8.09 Acres, 41% of Gross Area
b. Area of Recreation Open Space Required by Subdivision and Land Development Regulations	NA Acres
c. Other	
<b>5. Parking Space Data</b>	
a. Floor Space on Each Level per Building per Use	THIS SITE PLAN ONLY: 12,000 sq ft / FLOOR
b. Maximum Number of Employees, Tenants On-Site per Use	4 FLOORS, AMBULATORY MEDICAL SERVICES (Retail, Office, Warehouse, etc.)
c. Number of Parking Spaces Required by Zoning Regulations and/or 199 Criteria	802
d. Total Number of Parking Spaces Provided On-Site	804, 92%
e. Number of Handicapped Parking Spaces Provided	37 - 40 H.S. 12 V = 52 TOTAL
<b>BREAK DOWN OF REQ'D PARKING SPACES</b>	
NOTE: PARKING CALCULATIONS ARE BASED ON SECTION 133 OF THE ZONING REGULATIONS	
EXISTING HOSPITAL	223 (1 Space/2 Beds): 112 Spaces
1. PATIENT BEDS	
2. EMPLOYEES PER MAJOR SHIFT	300 (1 Space/Employee): 300 Spaces
3. DR.'S TREATING OUTPATIENTS ON MAJOR SHIFT	4 (4 Spaces/Doctor): 16 Spaces
EXISTING AMBULATORY SURGERY CENTER	80 (1 Space/Employee): 80 Spaces
1. EMPLOYEES PER MAJOR SHIFT	
2. DR.'S TREATING OUTPATIENTS	13 (4 Spaces/Doctor): 52 Spaces
EXISTING EMERGENCY DEPARTMENT	40 (1 Space/Employee): 40 Spaces
1. EMPLOYEES PER SHIFT	
2. DR.'S TREATING OUTPATIENTS	20 (4 Spaces/Doctor): 80 Spaces
EXISTING VERTICAL EXPANSION	50 (1 Space/Employee): 50 Spaces
1. EMPLOYEES PER MAJOR SHIFT	
2. DR.'S TREATING OUTPATIENTS	8 (4 Spaces/Doctor): 32 Spaces
EXISTING DOCTOR'S OFFICES (24,000 s.f.)	50 (1 Space/Employee): 50 Spaces
1. EMPLOYEES PER MAJOR SHIFT	
2. DR.'S TREATING OUTPATIENTS	24 (4 Spaces/Doctor): 96 Spaces
<b>TOTAL REQUIRED PARKING</b>	<b>908 Spaces</b>

DATE	NO.	REVISION DESCRIPTION
07-21-17	1	AS-BUILT FOR SAND FILTER RETROFIT
03/07/06	1	REVISED MAIN ENTRANCE, STORM DRAIN, LIGHTING, LANDSCAPING AND INSTALL NEW "DRY" SEWER FOR FUTURE SERVICE

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER: DWINE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION: 10/25/06

CHIEF, DIVISION OF LAND DEVELOPMENT: 11/5/06

DIRECTOR: 11/16/06

Date	No.	Revision Description
10-24-97	1	CHANGE FUTURE PARKING TO PROPOSED.
9-17-16	1	SAND FILTER ADDITION FOR WQV TREATMENT

**HOWARD COUNTY GENERAL HOSPITAL TOWN CENTER SECTION 8 - AREA 2 - LOT 4**

OWNER/DEVELOPER: HOWARD COUNTY GENERAL HOSPITAL, INC. 5755 CEDAR LANE COLUMBIA, MARYLAND 21044

SUBMISSION TRACK		REVISIONS		APPROVALS	
NO. OF PLANS	NO. OF SHEETS	NO. OF REVISIONS	NO. OF SHEETS	DATE	BY
3846	5	8/2	5th	8/2/06	8053.02
TITLE		COVER SHEET SITE DEVELOPMENT PLAN			
Des By	Scale	1" = 100'		Proj. No. 89015L	
Drn By	Date	8-30-95			
Chk By	Approved			1 OF 32.33	

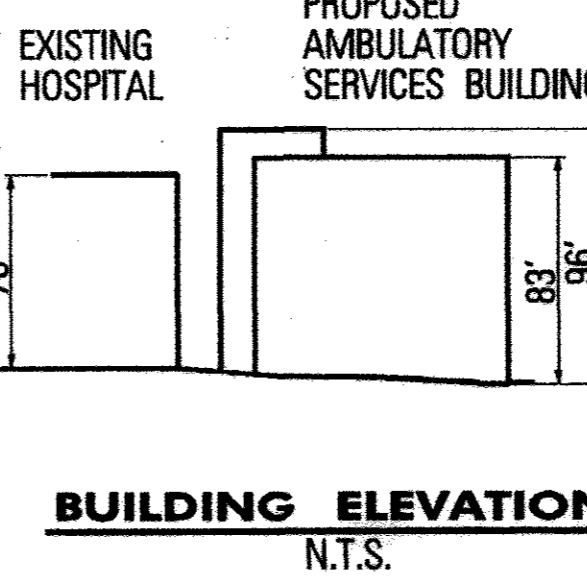
**PURPOSE STATEMENT**

IN ACCORDANCE WITH THE SEPT. 22, 2006 LETTER BY THE HOWARD COUNTY DEPT. OF PLANNING, ZONING, & DEVELOPMENT ENGINEERING DIVISION, THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO RELOCATE THE ENTRANCE ALONG CEDAR LANE, RECONFIGURE THE EXISTING PARKING LOTS ON THE SOUTH SIDE OF THE HOSPITAL, THIS WILL REQUIRE MINOR STORM DRAIN ADJUSTMENTS TO THE CURRENT APPROVED / INSTALLED SYSTEM. IN ADDITION, THE RED LINE INDICATES A 9" SEWER MAIN TO BE INSTALLED AS A DRY SYSTEM. THE PURPOSE OF ALL THE REQUESTED REVISIONS IS TO ACCOMMODATE A FUTURE TOWER BED ADDITION & CANOPY TO THE HOSPITAL AND DETACHED PARKING GARAGE.

**AS BUILT**  
 by SCI#155.1  
**AS-BUILT CERTIFICATION**

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.  
 EUGENE L. FLEAGLE PE#44289 08/04/2017

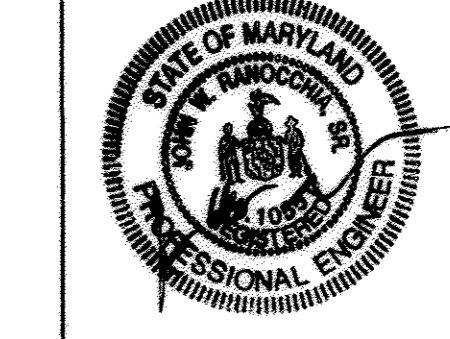
PROFESSIONAL ENGINEER  
 EUGENE L. FLEAGLE  
 No. 33079

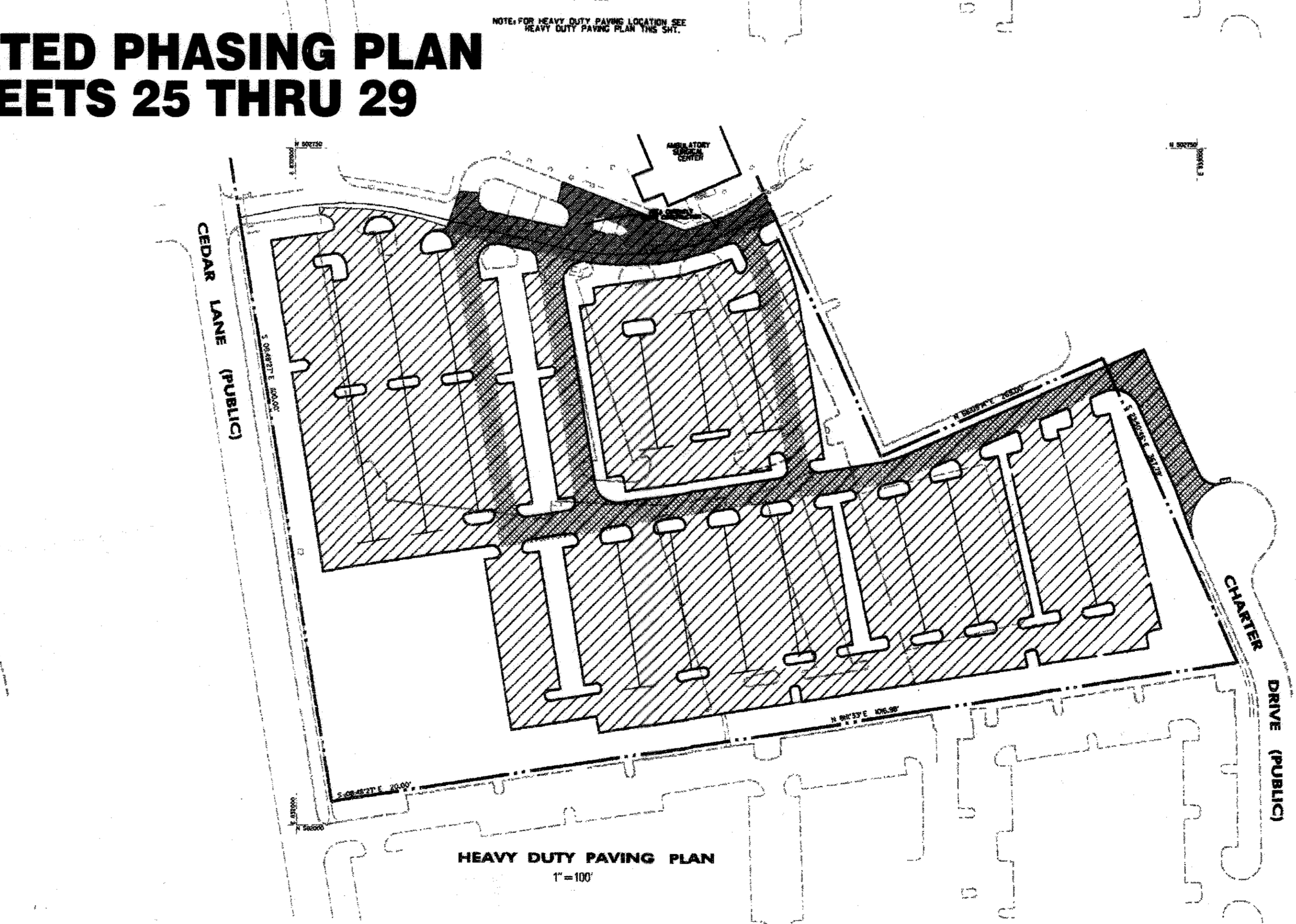
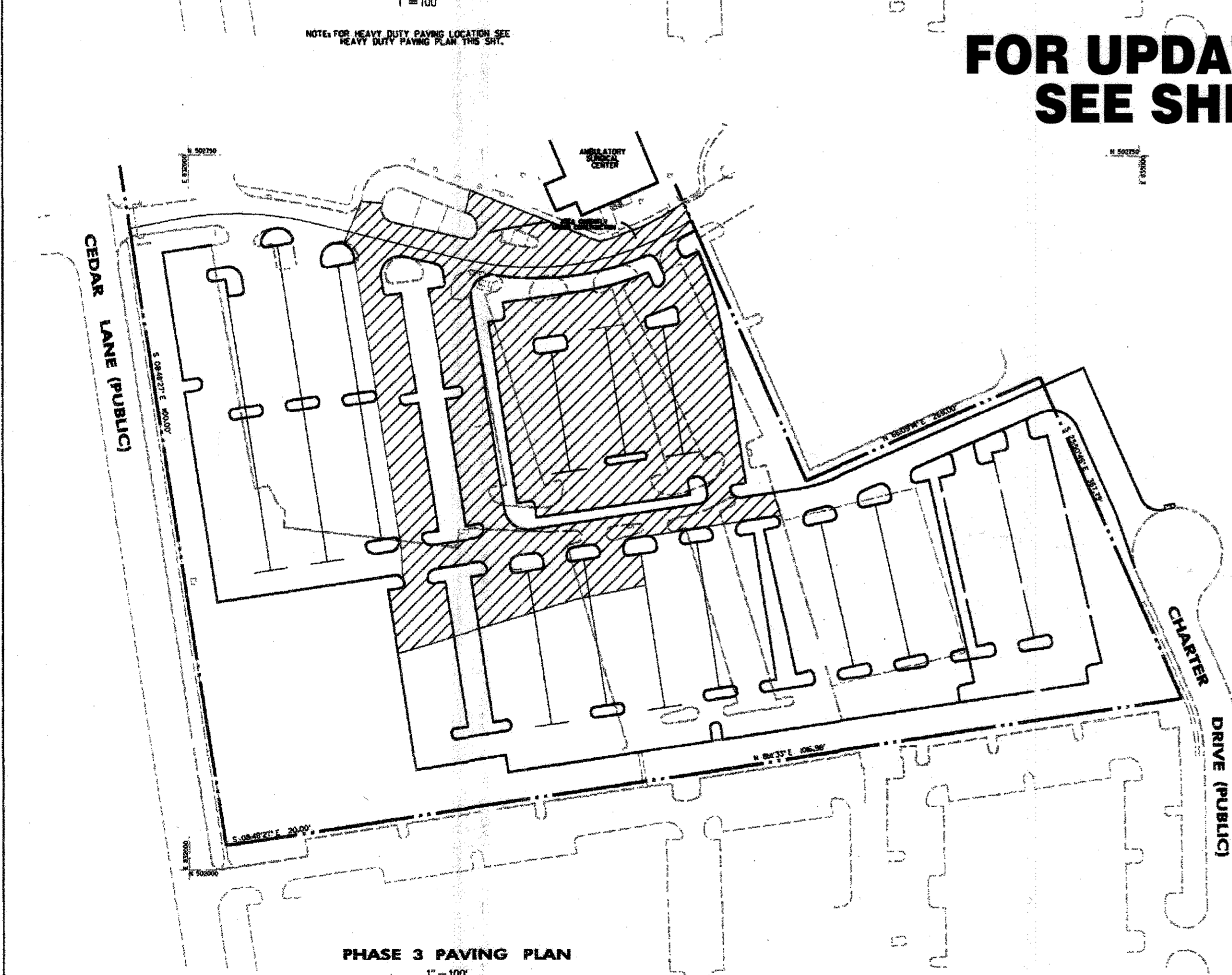
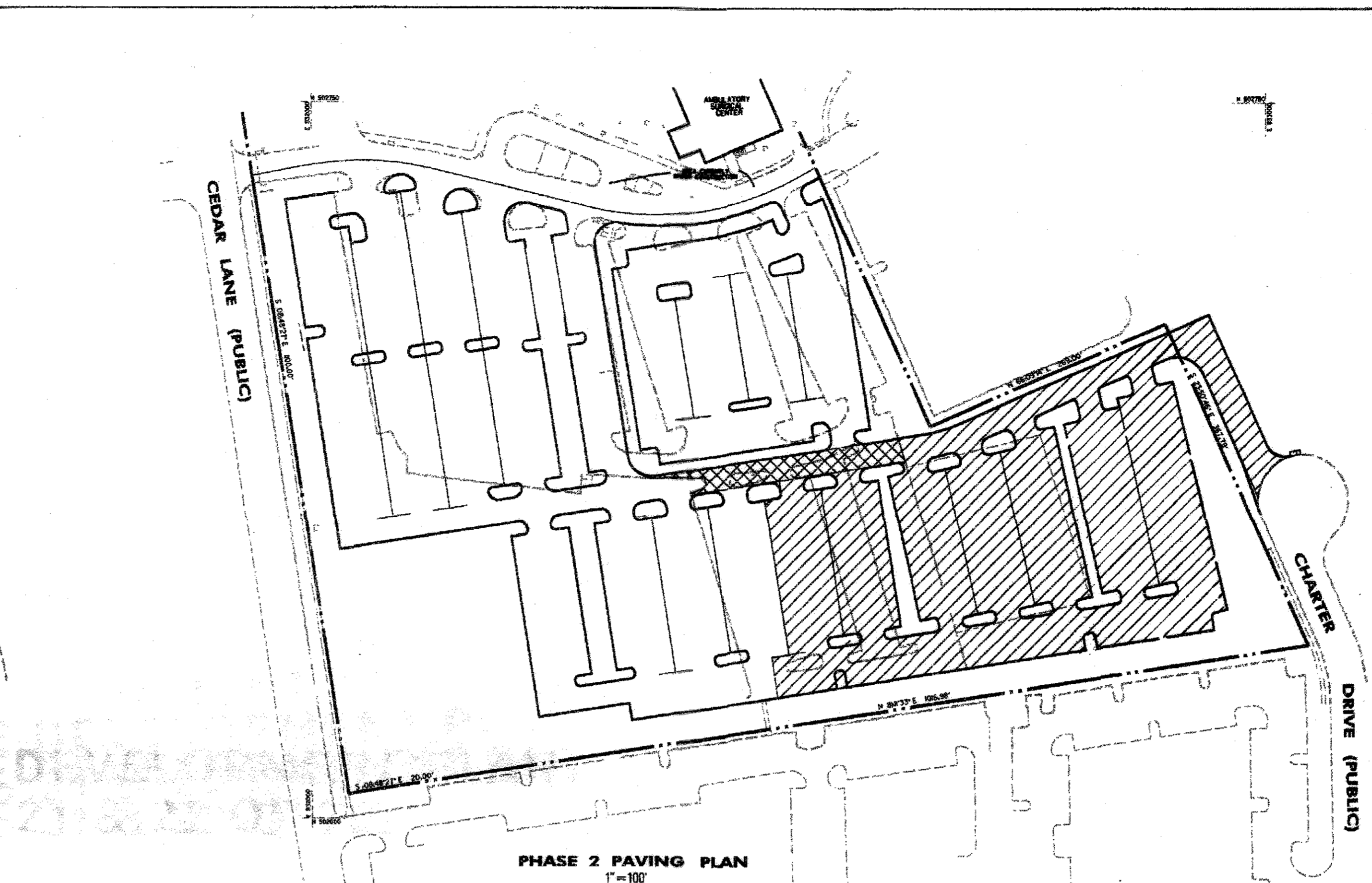
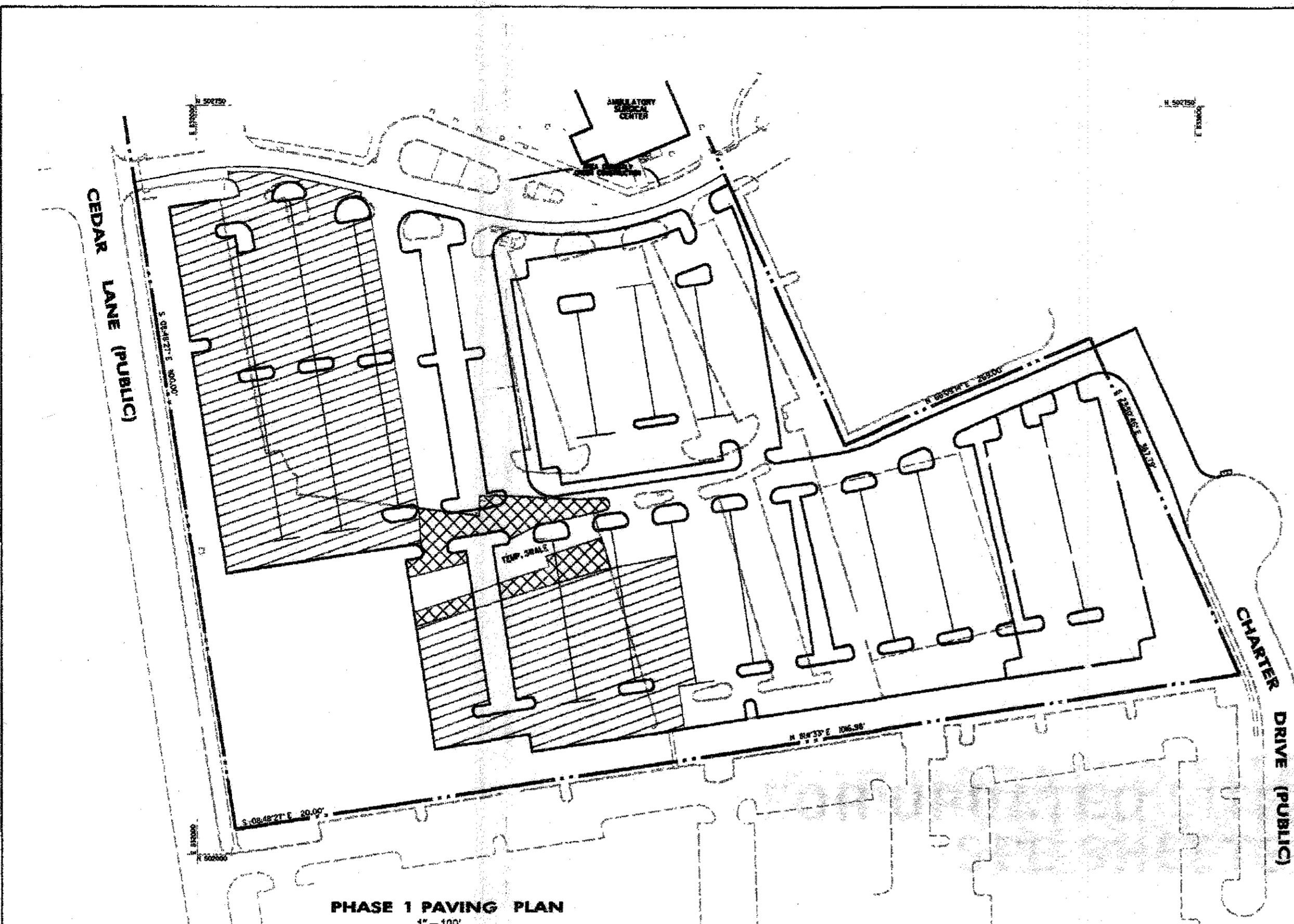


REVISIONS MADE AFTER 07-12-99 BY JOYCE ENGINEERING CORP.

10/09/06 Date  
 9-1-95 Date

Professional Engr. No. 27729  
 Professional Engr. No. 10551





**FOR UPDATED PHASING PLAN  
SEE SHEETS 25 THRU 29**

**LEGEND**

	FINISHED PAVING
	PAVED TO BASE COURSE
	HEAVY DUTY PAVING

Date	No.	Revision Description
03/07/06	1	REVISED MAIN ENTRANCE, STORM DRAIN, LIGHTING, LANDSCAPING AND INSTALL NEW "DRY" SEWER FOR FUTURE SERVICE

REVISIONS MADE AFTER 07-12-09  
BY JOYCE ENGINEERING CORP.

10/09/06  
Date

Professional Engr. No. 27729

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS,  
HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER	DATE
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING	
<i>[Signature]</i>	11/10/06
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
<i>[Signature]</i>	11/10/06
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
<i>[Signature]</i>	11/10/06
DIRECTOR	DATE

Date	No.	Revision Description
10-24-97	1	CHANGE FUTURE PARKING TO PROPOSED

**HOWARD COUNTY GENERAL HOSPITAL  
TOWN CENTER  
SECTION 8 - AREA 2 - LOT 4**

OWNER/DEVELOPER:  
HOWARD COUNTY GENERAL HOSPITAL, INC.  
5755 CEDAR LANE  
COLUMBIA, MARYLAND 21044

**DMW**  
Darr-McCune-Walker, Inc.  
200 East Pennsylvania Avenue  
Towson, Maryland 21286  
(410) 296-3333  
Fax: 296-4700

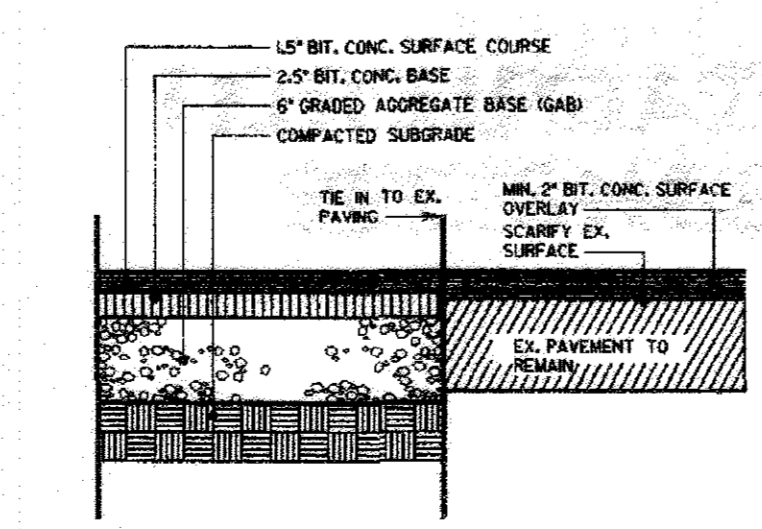
A Team of Land Planners,  
Landscape Architects,  
Engineers, Surveyors &  
Environmental Professionals

9-1-95  
Date

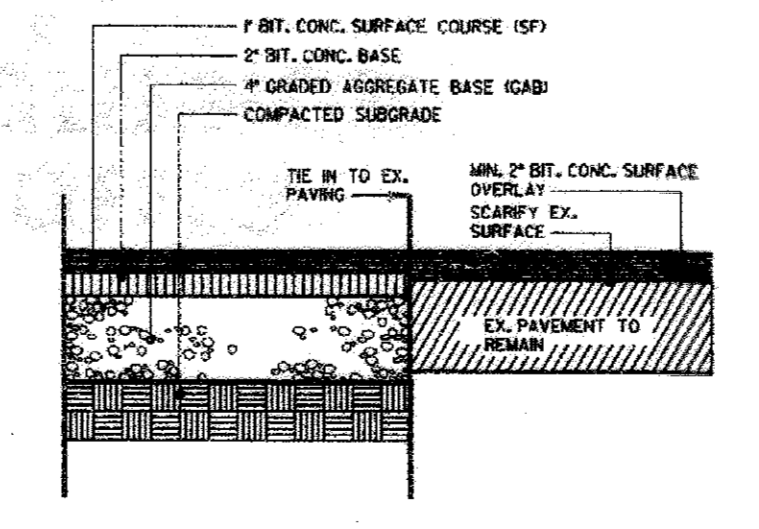
Professional Engr. No. 10557

**'PURPOSE STATEMENT'**

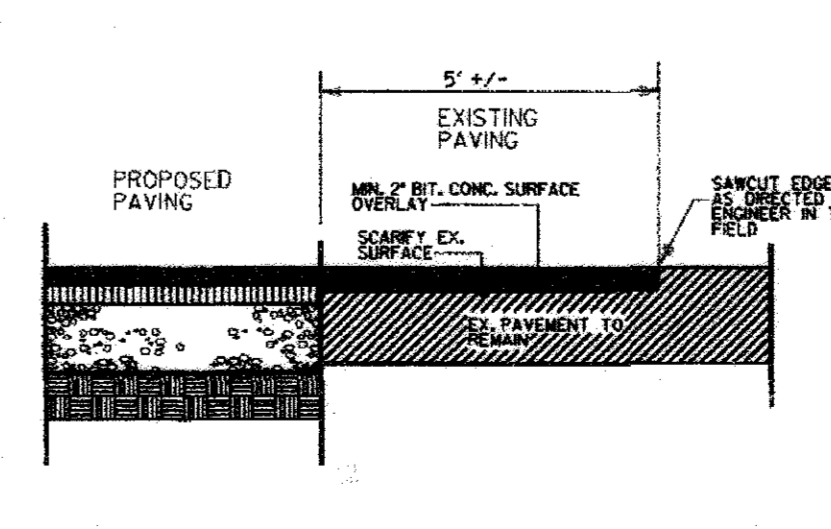
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**Heavy Duty Paving**  
Not To Scale



**Light Duty Paving**  
Not To Scale



**Transition Paving**  
Not To Scale

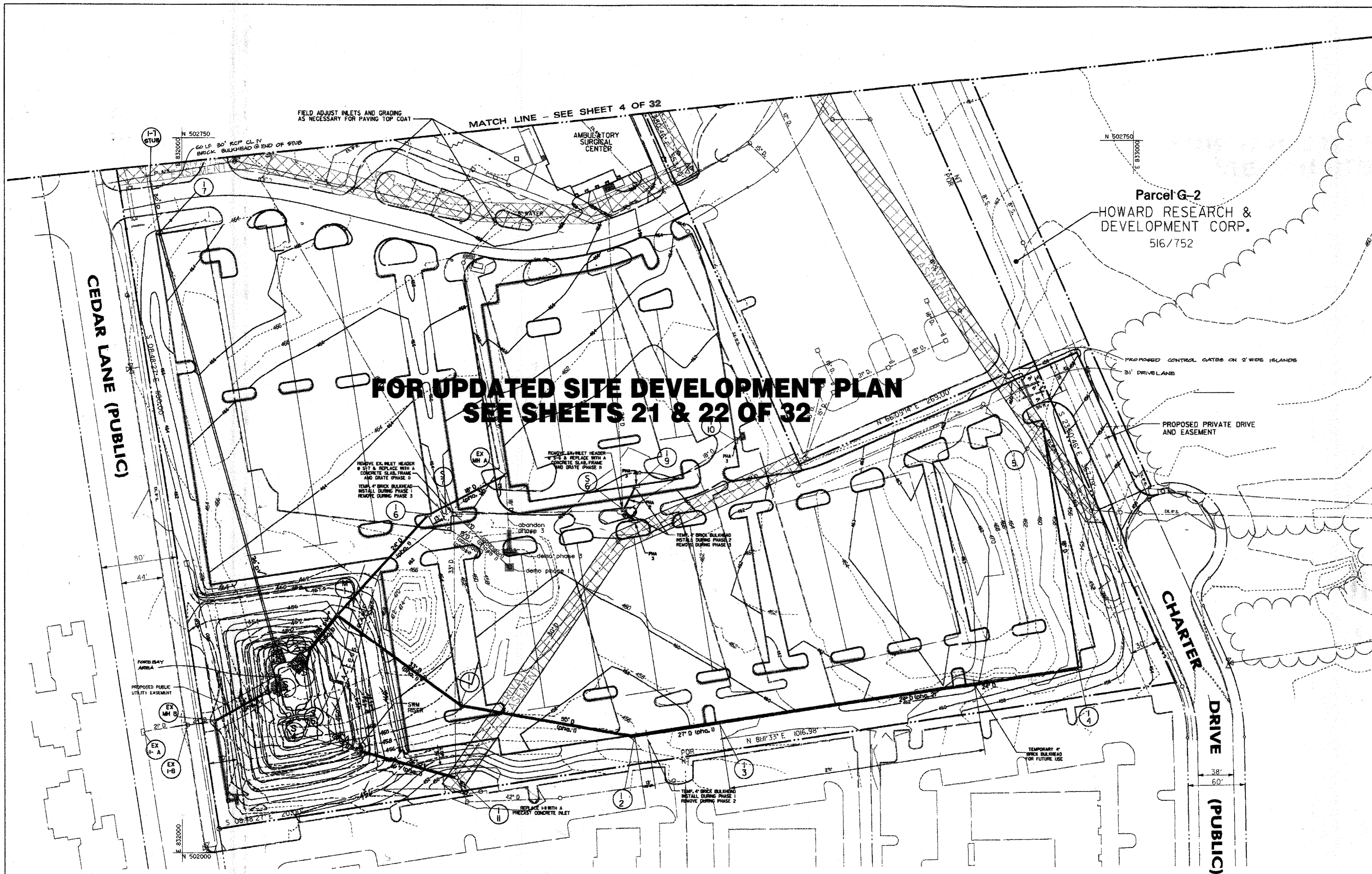
9-1-95  
Date

Professional Engr. No. 10557

Revision	Date	Description
1	9/1/95	AS SHOWN

**SITE DEVELOPMENT PLAN  
PAVING PHASING PLAN**

Des By	Scale	1" = 100'	Proj. No.	88015L
Drn By	NB	Date	8-30-95	
Chk By	Approved			2 OF 32 33



**LEGEND**

PROPOSED STORM DRAIN ————

STANDARD 7" C&G ————

REVERSE 7" C&G ————

STORM DRAINS TO BE DEMOLISHED ————

NOTE: ALL PROP. CURB RADI ARE 5' TYPICAL UNLESS OTHERWISE NOTED

REVISIONS MADE AFTER 07-12-99 BY JOYCE ENGINEERING CORP.

10/09/06  
Date

Professional Engr. No. 27729

DATE	NO.	REVISION DESCRIPTION
03/07/06	1	REVISED MAIN ENTRANCE, STORM DRAIN, LIGHTING, LANDSCAPING AND INSTALL NEW "DRY" SEWER FOR FUTURE SERVICE

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION *[Signature]* 10/8/06 DATE

CHIEF, DIVISION OF LAND DEVELOPMENT *[Signature]* 11/5/06 DATE

DIRECTOR *[Signature]* 11/6/06 DATE

Date	No.	Revision Description
10-31-97	1	CHANGE FUTURE PARKING TO PROPOSED
8-7-98	4	REVISED POND GRADING

**HOWARD COUNTY GENERAL HOSPITAL**  
TOWN CENTER  
SECTION 8 - AREA 2 - LOT 4

OWNER/DEVELOPER:  
HOWARD COUNTY GENERAL HOSPITAL, INC.  
5755 CEDAR LANE  
COLUMBIA, MARYLAND 21044

**DMW**  
1000 Old Columbia Walkway, Suite 200  
Baltimore, Maryland 21286  
(410) 206-5333  
Fax 206-4706

A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

DATE: 9-1-95

**SITE DEVELOPMENT PLAN**  
**STORM DRAIN PHASING PLAN**

Des By: HCH Scale: 1" = 50' Proj. No.: 89015L

Drn By: NB Date: 8-30-95

Chk By: Approved 3 OF 3233

Professional Engr. No. 10557

**Storm Drain Phasing Sequence**

- Refer to the Sequence of Operation on sheet 4 of 20 for timing of sediment control installation and sheet 2 of 19 for the paving phasing plan. Refer to the Erosion and Sediment Control Plans for inlet blocking and inlet protection (SHTS 13, 14, and 15 of 20).
- Phase I**
  - Concurrent with excavation of inlet pits with 6" precast concrete and demolish the existing curb, frame and grate, install 15" S.D. from S-6 to S-7 and 15" S.D. from S-6 to S-8.
  - Remove the existing inlet headers, curb, frame and grate.
  - Demolish the existing yard inlet and dewatering device within the existing pond (Note: the existing dewatering device will be re-used in the stormwater management pond).
  - Abandon the following storm drains:
    - 15" S.D. from existing pond to S-7.
    - 15" S.D. from existing inlet into pond.
- Phase II** - Construct the following storm drains:
  - Remove the temporary bulkhead at I-2 and continue thru I-3 to stub.
  - Construct the storm drain from S-6 to I-8 and provide temporary bulkhead. Do not install the inlet.
  - Construct the storm drain from S-6 to I-9 and provide temporary bulkhead.
  - Construct inlets I-8, I-9 and I-2.
- Abandon the 18" drain below existing MH A to swale and demolish the existing headwall.
- Upon sediment basin conversion to stormwater management attach the dewatering device from the existing pond and proposed 1/2" orifice plate (SHT 12 of 20) at structure S-5.

**FOR UPDATED SEQUENCE**  
**SEE SHEETS 25 OF 29**

NOTE: REMOVE EXISTING STORM DRAIN FROM EX. MH B. FILL AND COMPACT AS PER SPECIFICATION ON SHEET 12 OF 32

**AS-BUILT POND LEGEND**

EXISTING CONTOURS: - - - - -

PROPOSED CONTOURS: \_\_\_\_\_

AS-BUILT CONTOURS: - - - - -

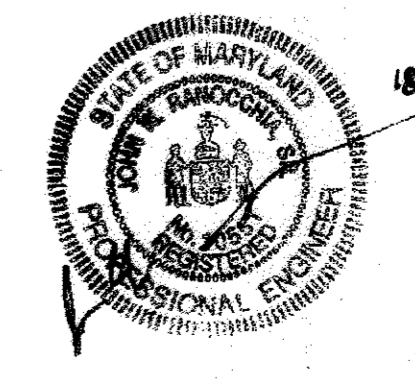
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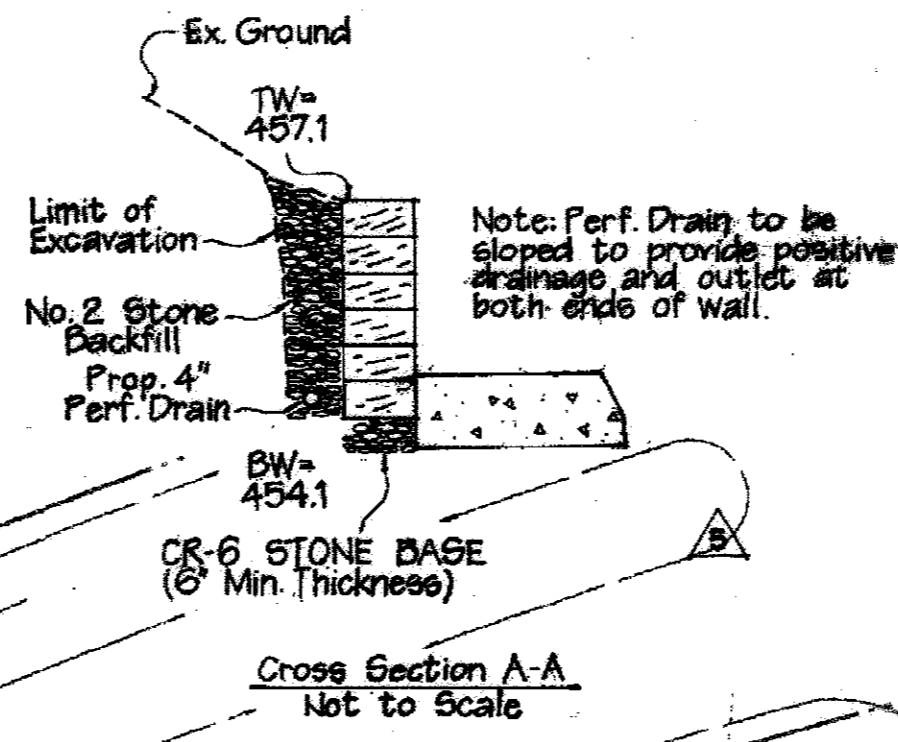
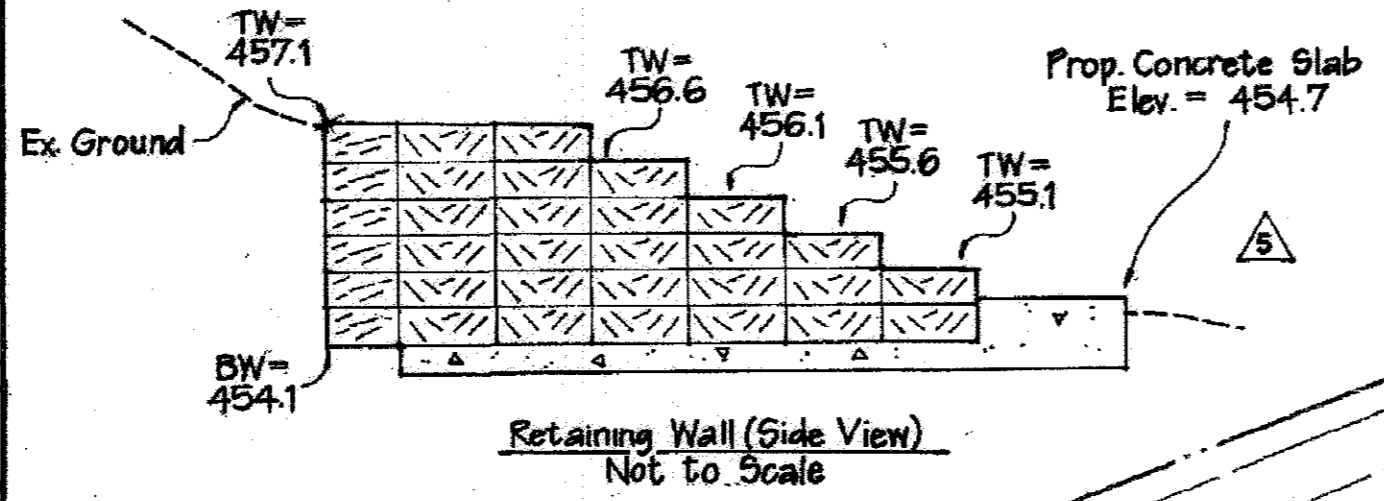
I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS.

*[Signature]* 09.11.00 Date

William A. Joyce, P.E.



Note: Concrete slab thickness, base course thickness, slab reinforcement, and slab bearing capacity shall be in accordance with tank supplier's specifications.

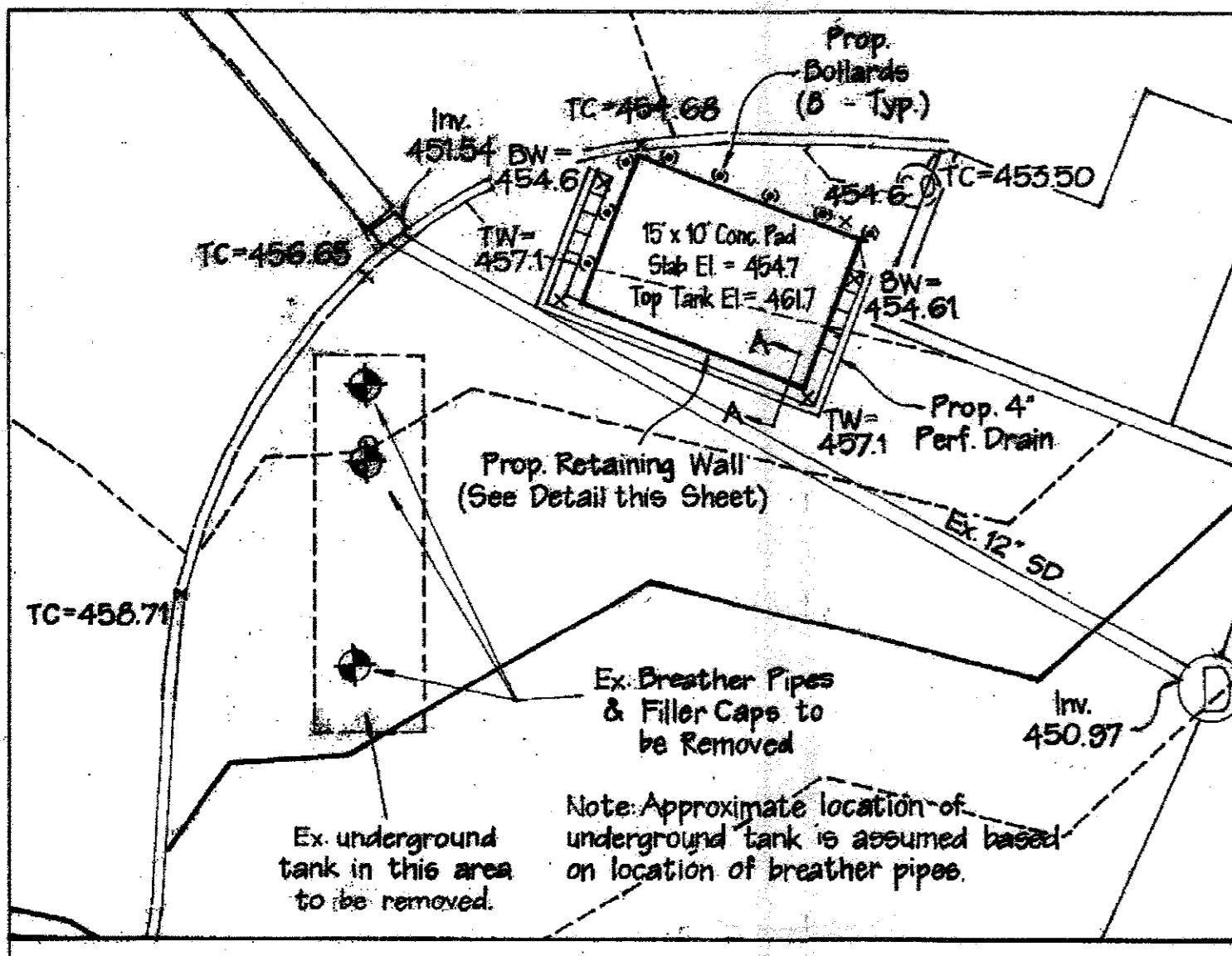


Sequence of Operation

1. Obtain necessary permits for construction.
2. Notify Howard County Office of Inspections and Permits (400 33-895) a minimum of 48 hours prior to the start of any construction.
3. Notify the Engineer in charge of the As-Built Inspection at (400) 296-3333.
4. Clear, grub and install Erosion and Sediment Control (ESC) measures.
  - a. Stabilize construction entrances with 1/4\"/>
5. Excavate and construct cutoff trench. Concurrently, grade sediment basin/SWM pond, construct embankment, principal roadway, low flow collecting pipe, etc.
  - a. Clear and grub pond area.
  - b. Excavate and construct cutoff trench. Concurrently, grade sediment basin/SWM pond, construct embankment, principal roadway, low flow collecting pipe, etc.
  - c. Install the ESC dam.
  - d. Conduct a partial-as-built of the end and top of embankment. Stabilize.
6. With approval of ESC Inspector, demolish existing curb and mass grade site for Phase 1 conditions.
  - a. Demolish Phase 1 ESC measures Earth (SHT 13 of 32).
  - b. With approval of ESC Inspector, demolish existing curb and mass grade site for Phase 1 conditions.
  - c. Install remaining Phase storm drains (SHT 3 of 32) and construct islands in Phase 1 (SHT 5 of 32) with the exception of the islands in vicinity of temporary, stable, construction of islands in vicinity of temporary waste pit occur in Phase 3.
  - d. Construct temporary swale from 5-6 to sediment basin/SWM pond (SHT 13 of 32).
  - e. Construct the new curb and new parking areas to subgrade and pave to finished grade as shown on paving phasing plan (SHT 2 of 32).
  - f. Stabilize of Phase 1 disturbances as directed by ESC Inspector.
7. With the approval of the ESC Inspector, remove earth dike and portion of all fence along Cedar Lane. Stabilize immediately.
  - a. Inspect and repair Erosion and Sediment Control measures. Begin Phase 2.
  - b. Demolish Phase 2 paving and curbs.
  - c. Install the storm drains from I-2 stub to the backhead beyond the limit of current Phase 2 parking.
  - d. Mass grade site to Phase 2 conditions (SHT 5 of 32).
  - e. Construct proposed curbs, islands, access road from Charter Drive and new parking area to subgrade (SHT 2 of 32). Construct access road curb up to the existing curb below existing Inlet I-10.
  - f. Scarify the existing paved areas and pave Phase 2 to finished grade (SHT 2 of 32).
8. Demolish Phase 3 paving and curbs. Demolish existing I-10 and construct new I-10. Construct I-5.
  - a. Demolish Phase 3 paving and curbs. Demolish existing I-10 and construct new I-10. Construct I-5.
  - b. Construct proposed curbs, islands, and new parking areas to subgrade (SHT 3 of 32).
  - c. With approval from ESC Inspector, remove remaining ESC measures including temporary swale and construct islands. Install Inlet header at I-5.
  - d. Scarify the existing paved areas and pave Phase 3 to finish grade.
  - e. Stabilize remaining Phase 3 disturbed areas.
  - f. Convert sediment basin to stormwater management pond per approved plans.
  - g. Install remaining (SHTS 6, 7, 8 and 19 of 32).

**FOR UPDATED PHASING PLAN SEE SHEETS 25 AND 30**

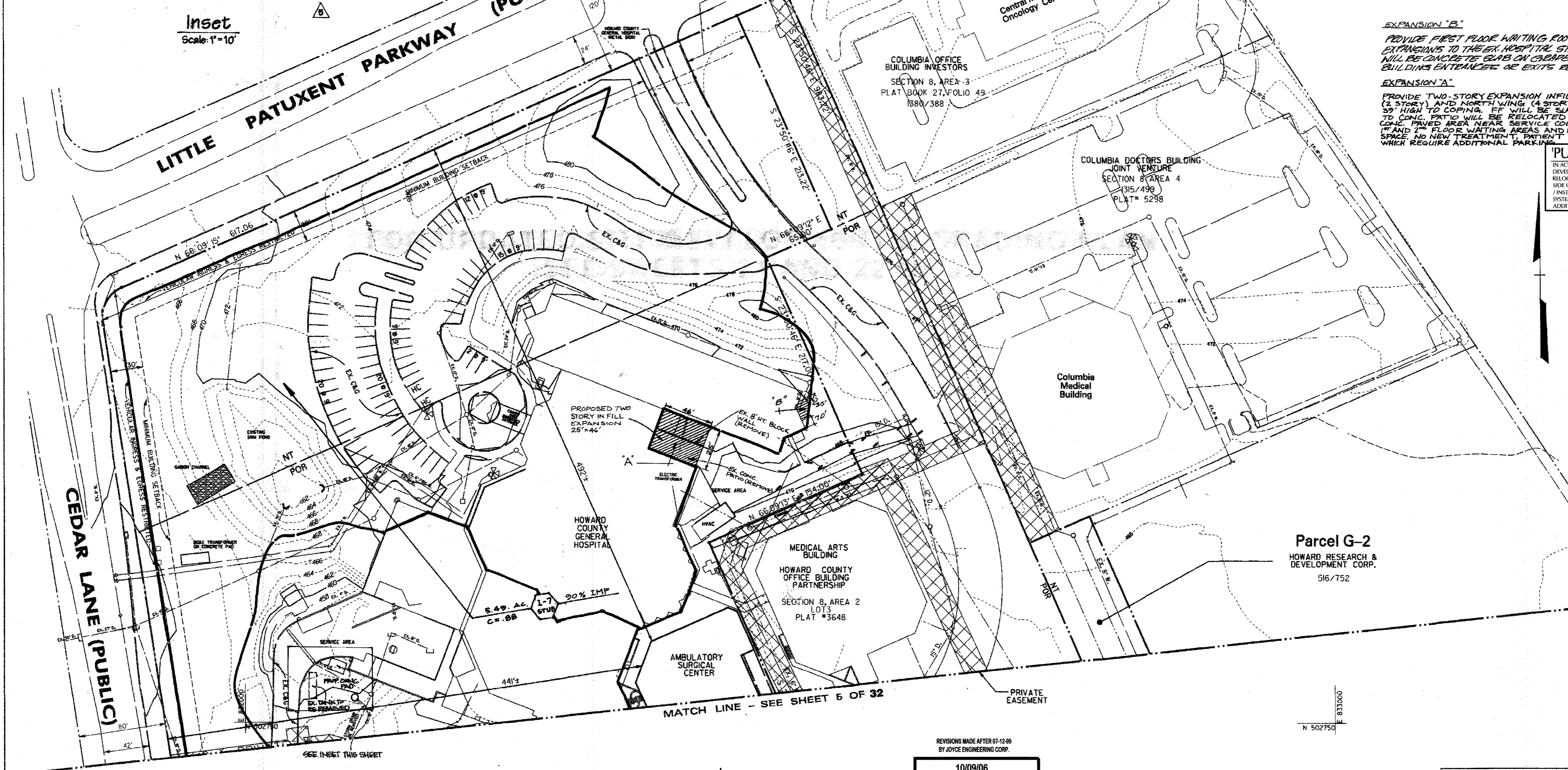
**Inset**  
Scale: 1"=10'



**EXPANSION "B"**  
PROVIDE FIRST FLOOR WAITING ROOMS (LABELED "B") AS EXPANSIONS TO THE EX. HOSPITAL STRUCTURES. EXPANSION WILL BE CONCRETE SLABS ON GRADE CONSTRUCTION WITH NO NEW BUILDING ENTRANCES OR EXITS REQUIRED OR PROVIDED.

**EXPANSION "A"**  
PROVIDE TWO-STORY EXPANSION INFILL BETWEEN OLD BUILDING (2 STORY) AND NORTH WING (4 STORY). EXPANSION IS 25'-4" AND 39' HIGH TO COPING. FF WILL BE SLABS ON GRADE EXISTING EXIT TO CONC. EXITS WILL BE RELOCATED TO NEW EXITS WALL AND CONC. PAVED AREA NEAR SERVICE COURT. EXPANSION WILL HOUSE 1<sup>ST</sup> AND 2<sup>ND</sup> FLOOR WAITING AREAS AND NEW SERVICE/MAINTENANCE SPACE. NO NEW TREATMENT, PATIENT OR OFFICE SPACE IS PROPOSED WHICH REQUIRE ADDITIONAL PARKING.

**PURPOSE STATEMENT**  
IN ACCORDANCE WITH THE SEPT. 22, 2006 LETTER BY THE HOWARD COUNTY DEPT. OF PLANNING, ZONING, & DEVELOPMENT ENGINEERING DIVISION, THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO RELOCATE THE ENTRANCE ALONG CEDAR LANE, RECONFIGURE THE EXISTING PARKING LOTS ON THE SOUTH SIDE OF THE HOSPITAL. THIS WILL REQUIRE MINOR STORM DRAIN ADJUSTMENTS TO THE CURRENT APPROVED / INSTALLED SYSTEM. IN ADDITION, THE RED LINE INDICATES A 9" SEWER MAIN TO BE INSTALLED AS A DRY SYSTEM. THE PURPOSE OF ALL THE REQUESTED REVISIONS IS TO ACCOMMODATE A FUTURE TOWER BED ADDITION & CANOPY TO THE HOSPITAL AND DETACHED PARKING GARAGE.



APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER	DATE
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING	DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION	10/25/06
CHIEF, DIVISION OF LAND DEVELOPMENT & PLANNING	11/5/06
DIRECTOR	11/16/06

1-7-95	2	BUILDING EXPANSION "A"
8-5-96	1	BUILDING EXPANSION "B"
Date	No.	Revision Description

**HOWARD COUNTY GENERAL HOSPITAL TOWN CENTER SECTION 8 - AREA 2 - LOT 4**

OWNER/DEVELOPER:  
HOWARD COUNTY GENERAL HOSPITAL, INC.  
5755 CEDAR LANE  
COLUMBIA, MARYLAND 21044

**DMW**  
Date: 9-1-95

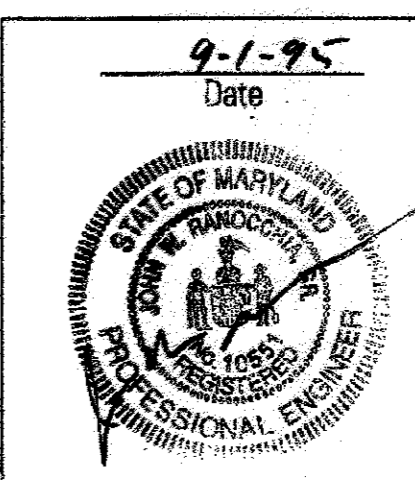
PROJECT NO.	3648	DATE	9/1/95
PROJECT NAME	HOWARD COUNTY GENERAL HOSPITAL	SECTION	8/2
PROJECT TYPE	FOR	DATE	8/30/95
PROJECT CODE	106	DATE	8/30/95

**SITE DEVELOPMENT PLAN EXPANDED PARKING & GRADING PLAN**

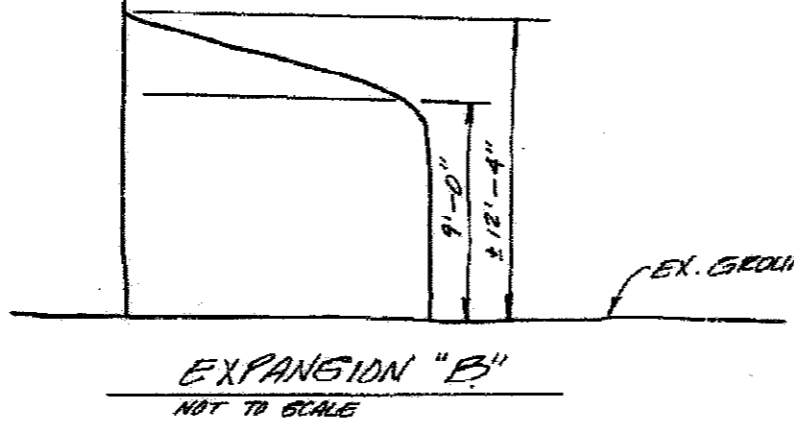
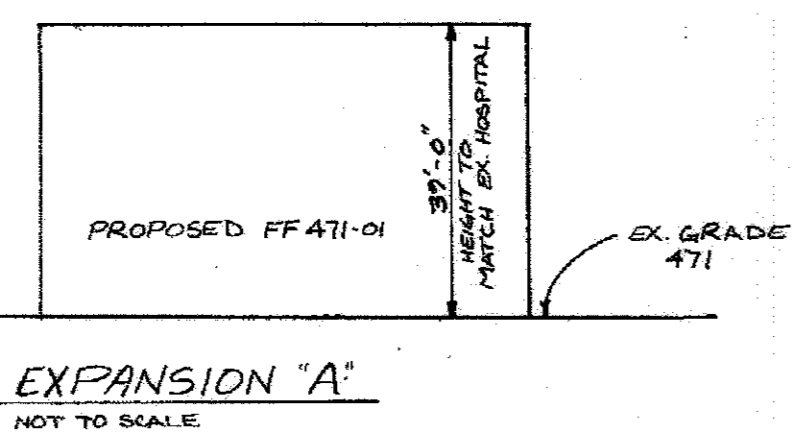
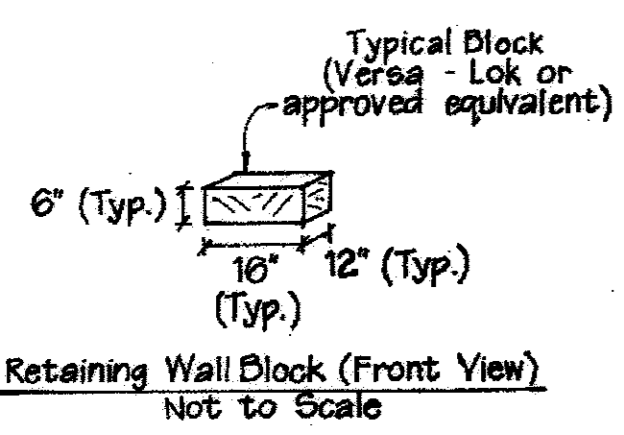
Des By	Scale	1"=50'	Proj. No.
Drn By	Date	8-30-95	4 OF 32
Chk By	Approved		

10/09/06  
Date  
Professional Engr. No. 27729

NOTE: NO SITE WORK IS PROPOSED ON THIS SHEET



03/07/06	1	REVISED MAIN ENTRANCE, STORM DRAIN, LIGHTING, LANDSCAPING AND INSTALL NEW DRY SEWER FOR FUTURE SERVICE.
07/1/06	4	ADDED D.A. FOR STUB.
11/17/06	5	ADDED FUEL TANK CONCRETE PAD.



FOR 20 SCALE ENLARGEMENT OF THIS AREA SEE SHT. 6 OF 32

FIELD ADJUST INLETS AND GRADING AS NECESSARY FOR FINISHED PAVING

MATCH LINE - SEE SHEET 4 OF 32

LEGEND

- PROPOSED STORM DRAIN
- STANDARD 7" C&G
- REVERSE 7" C&G

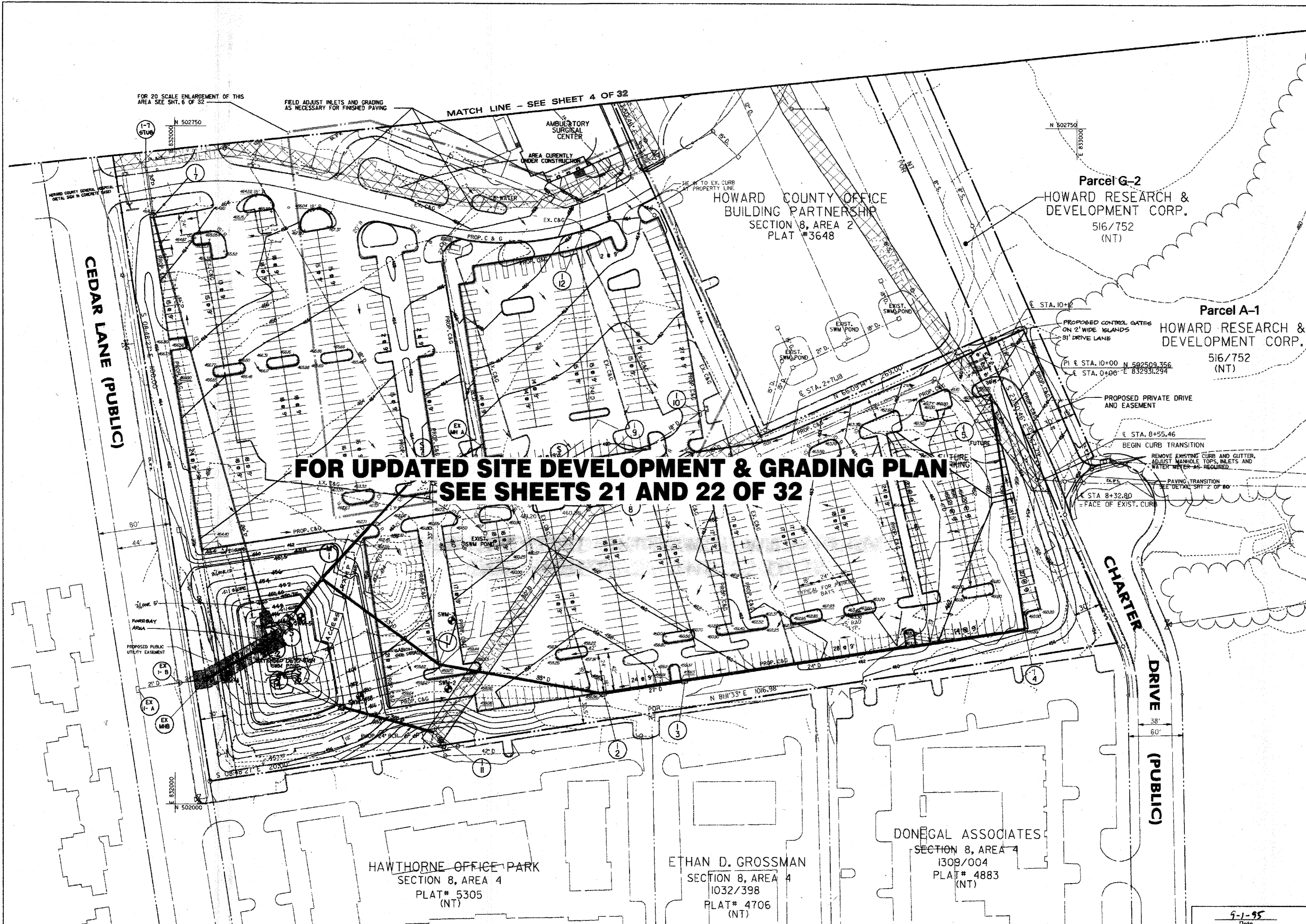
NOTE: ALL PROP. CURB RADII ARE 5' TYPICAL UNLESS OTHERWISE NOTED

NOTE: SEE SHT 6 OF 32 FOR HANDICAP PARKING AND PEDESTRIAN DETAILS

REVISIONS MADE AFTER 07-12-99 BY JOYCE ENGINEERING CORP.

10/09/06  
Date

Professional Engr. No. 27729



**FOR UPDATED SITE DEVELOPMENT & GRADING PLAN  
SEE SHEETS 21 AND 22 OF 32**

03/07/06	1	REVISED MAIN ENTRANCE, STORM DRAIN, LIGHTING, LANDSCAPING AND INSTALL NEW DRY SEWER FOR FUTURE SERVICE
DATE	NO.	REVISION DESCRIPTION

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER	DATE
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING	DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION	10/25/06
CHIEF, DIVISION OF LAND DEVELOPMENT & RECREATION	11/5/06
DIRECTOR	11/8/06

10-31-97	1	CHANGE FUTURE PARKING TO PROPOSED
10-26-97	2	REVISED POND GRADING
Date	No.	Revision Description

HOWARD COUNTY GENERAL HOSPITAL  
TOWN CENTER  
SECTION 8 - AREA 2 - LOT 4

OWNER/DEVELOPER:  
HOWARD COUNTY GENERAL HOSPITAL, INC.  
5755 CEDAR LANE  
COLUMBIA, MARYLAND 21044

**DMW**  
Dunkley-McCann-Williams, Inc.  
300 East Pennsylvania Avenue  
Towson, Maryland 21286  
(410) 294-3485  
Fax: 888-4705

A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

9-1-95  
Date

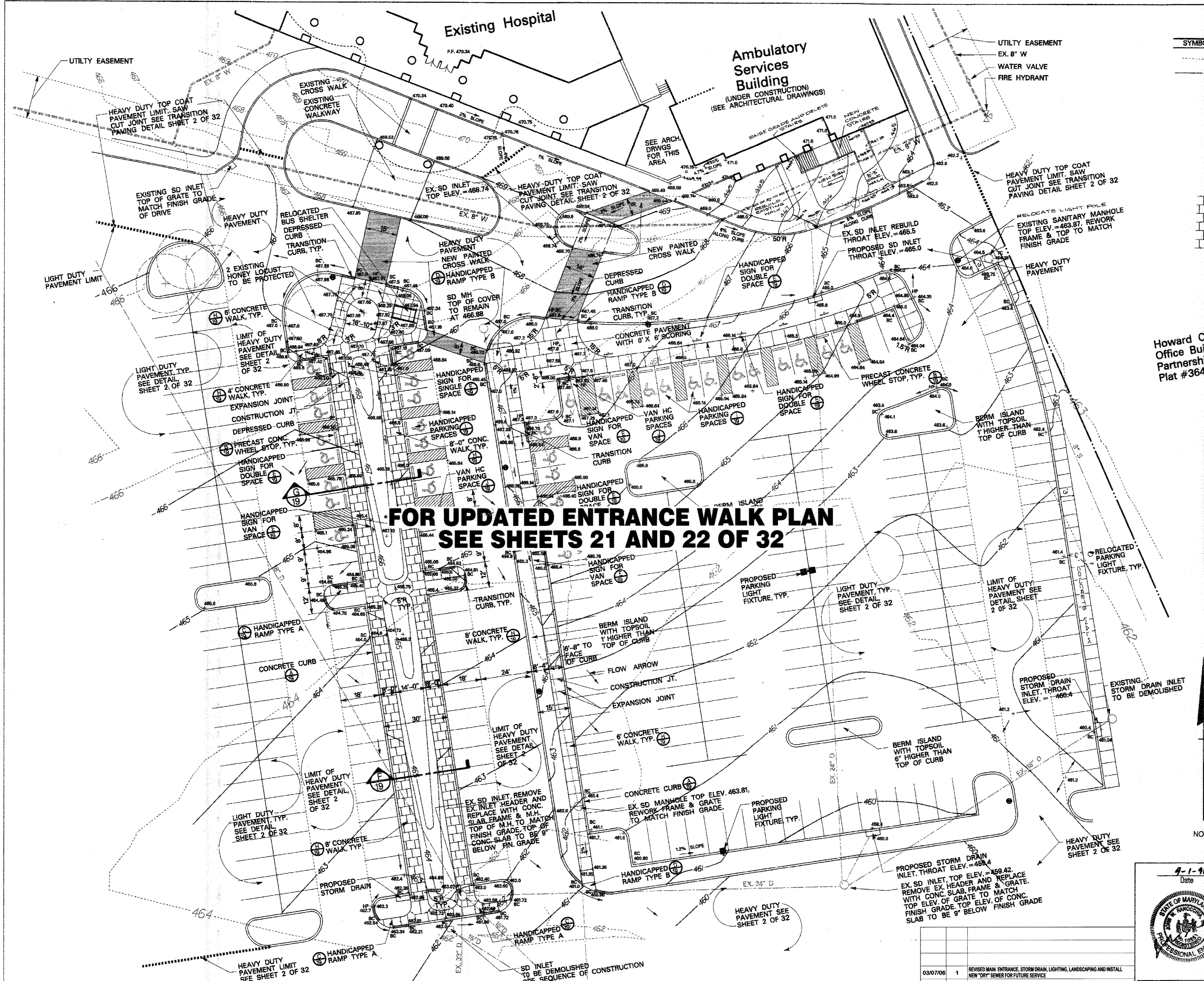
Professional Engr. No. 27729

DESIGNED BY	HCBH	CHECKED BY	8/7	DRAWN BY	4/216
DATE	3/94	SCALE	AS SHOWN	DATE	8/03/02
TITLE	SITE DEVELOPMENT PLAN EXPANDED PARKING & GRADING PLAN				
Des By	Scale	1" = 50'	Proj. No.	89015L	
Drn By	NB	Date	8-30-95	5 OF 3233	
Chk By	Approved				

**PURPOSE STATEMENT**

IN ACCORDANCE WITH THE SEPT. 22, 2006 LETTER BY THE HOWARD COUNTY DEPT. OF PLANNING, ZONING, & DEVELOPMENT ENGINEERING DIVISION, THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO RELOCATE THE ENTRANCE ALONG CEDAR LANE, RECONFIGURE THE EXISTING PARKING LOTS ON THE SOUTH SIDE OF THE HOSPITAL. THIS WILL REQUIRE MINOR STORM DRAIN ADJUSTMENTS TO THE CURRENT APPROVED / INSTALLED SYSTEM. IN ADDITION, THE RED LINE INDICATES A 6" SEWER MAIN TO BE INSTALLED AS A DRY SYSTEM. THE PURPOSE OF ALL THE REQUESTED REVISIONS IS TO ACCOMMODATE A FUTURE TOWER BED ADDITION & CANOPY TO THE HOSPITAL AND DETACHED PARKING GARAGE.

NOTE: TREES, SHRUBS AND OTHER WOODY VEGETATION NOT ALLOWED WITHIN FIFTY (50) FEET OF THE INLET STRUCTURE AND NOT ALLOWED WITHIN TWENTY-FIVE (25) FEET OF ANY PORTION OF THE EMBANKMENT. (SEE LANDSCAPE PLAN SHEET 17 OF 32)



### LEGEND

SYMBOL	DESCRIPTION
--- 470 ---	EXISTING CONTOUR
--- 463 ---	PROPOSED CONTOUR
■	PROPOSED DOUBLE PARKING LIGHT FIXTURE
■	PROPOSED SINGLE PARKING LIGHT FIXTURE
●	EXISTING PARKING LIGHT FIXTURE OR PARKING LIGHT FIXTURE TO BE RELOCATED (SEE SHEET 17 OF 32)
▬	CONCRETE CURB
▬	CONCRETE WALK
▬	CONSTRUCTION JT.
▬	EXPANSION JT.
▬	DEPRESSED CURB
▬	WHEEL STOP
▬	HANDICAPPED PARKING SPACE
▬	PARKING ALSE SEE DETAILS I & J, SHEET 19
▬	TRANSITION CURB
▬	VAN HANDICAPPED PARKING SPACE
▬	CONCRETE CURB, SEE DETAILS A, SHEET 19

### PURPOSE STATEMENT

IN ACCORDANCE WITH THE SEPT. 22, 2006 LETTER BY THE HOWARD COUNTY DEPT. OF PLANNING, ZONING, & DEVELOPMENT ENGINEERING DIVISION, THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO RELOCATE THE ENTRANCE ALONG CEDAR LANE, RECONFIGURE THE EXISTING PARKING LOTS ON THE SOUTH SIDE OF THE HOSPITAL. THIS WILL REQUIRE MINOR STORM DRAIN ADJUSTMENTS TO THE CURRENT APPROVED / INSTALLED SYSTEM. IN ADDITION, THE RED LINE INDICATES A 6" SEWER MAIN TO BE INSTALLED AS A DRY SYSTEM. THE PURPOSE OF ALL THE REQUESTED REVISIONS IS TO ACCOMMODATE A FUTURE TOWER BED ADDITION & CANOPY TO THE HOSPITAL AND DETACHED PARKING GARAGE.

- ### NOTES:
- SEE PAVING PLAN, SHEET 2, FOR FURTHER INFORMATION CONCERNING PAVEMENT TYPES, PAVEMENT LOCATIONS, AND PAVEMENT TRANSITION AREAS.
  - ALL SPOT ELEVATIONS ALONG CURB ARE TO TOP OF CURB UNLESS OTHERWISE NOTED.
  - SEE SHEET 18 FOR ENTRANCE WALK LIGHTING AND LANDSCAPING ENLARGEMENT

Howard County Office Building Partnership Plat #3648

REVISIONS MADE AFTER 07-12-99 BY JOYCE ENGINEERING CORP.

10/09/06  
Date

Professional Engr. No. 27729

**FOR UPDATED ENTRANCE WALK PLAN SEE SHEETS 21 AND 22 OF 32**

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER	DATE
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING	
Chief, Development Engineering Division	10/25/06
Chief, Division of Land Development & Regulation	11/8/06
Director	11/16/06

Date	No.	Revision Description
9-28-95		SPOT ELEVATIONS
7-8-96		REVISE BUILDING ENTRY, ADD SIDEWALKS

HOWARD COUNTY GENERAL HOSPITAL  
TOWN CENTER  
SECTION 8 - AREA 2 - LOT 4

OWNER/DEVELOPER:  
HOWARD COUNTY GENERAL HOSPITAL, INC.  
5755 CEDAR LANE  
COLUMBIA, MARYLAND 21044

**DMW**  
Darrin C. Walker, Inc.  
300 East Pennsylvania Avenue  
Towson, Maryland 21286  
(410) 286-3359  
Fax: 286-4706

A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

DATE	NO.	REVISION DESCRIPTION
03/07/06	1	REVISED MAIN ENTRANCE, STORM DRAIN, LIGHTING, LANDSCAPING AND INSTALL NEW "DRY" SEWER FOR FUTURE SERVICE

Professional Engr. No. 10551

9-1-95  
Date

Professional Engr. No. 27729

DATE	NO.	REVISION DESCRIPTION
03/07/06	1	REVISED MAIN ENTRANCE, STORM DRAIN, LIGHTING, LANDSCAPING AND INSTALL NEW "DRY" SEWER FOR FUTURE SERVICE

MATCH LINE - SEE SHEET 4 OF 32

HOWARD COUNTY OFFICE  
BUILDING PARTNERSHIP  
SECTION 8, AREA 2  
PLAT #3648

Parcel A-1  
HOWARD RESEARCH &  
DEVELOPMENT CORP.  
516/752  
(NT)

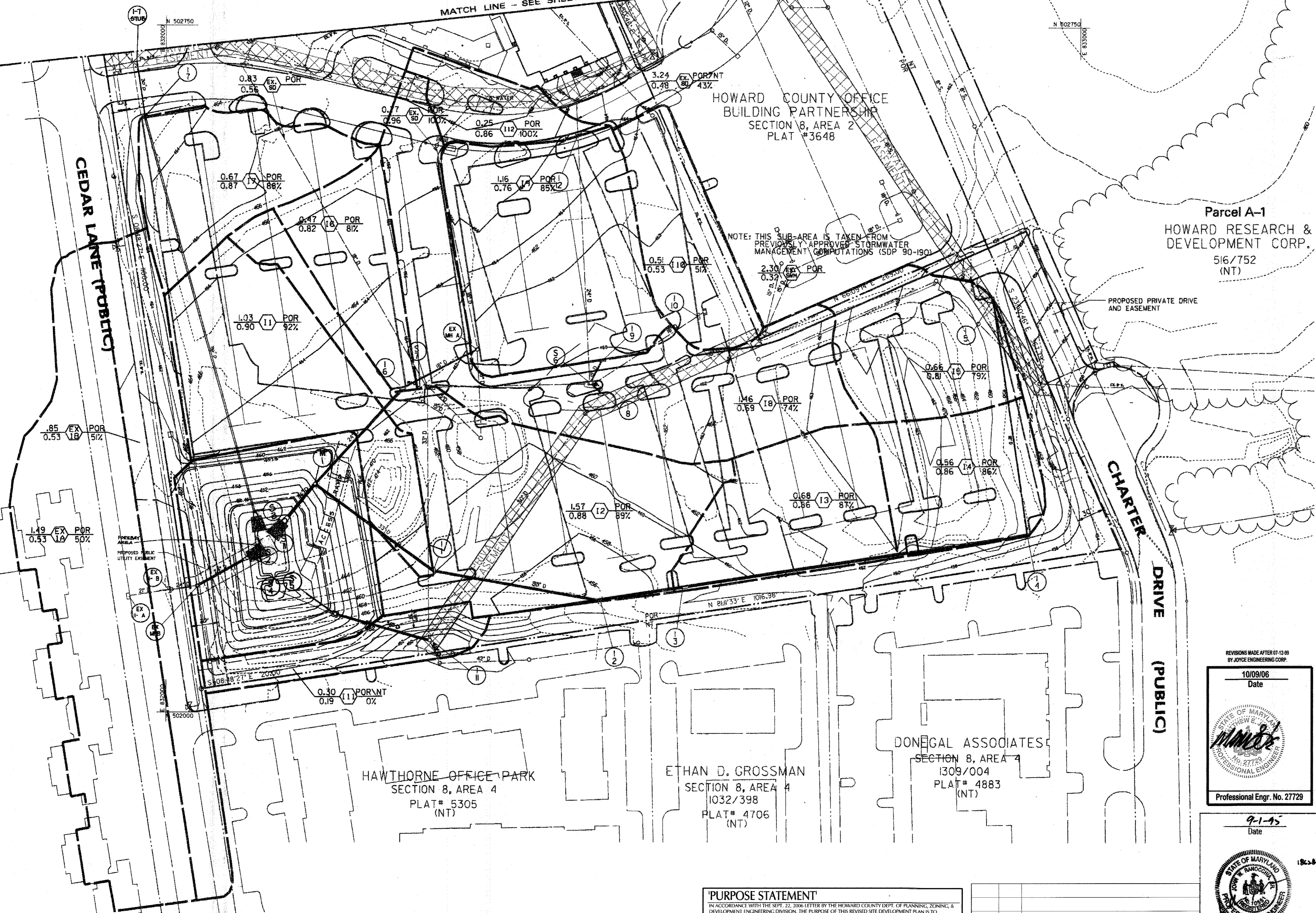
CHARTER DRIVE  
(PUBLIC)

CEDAR LANE (PUBLIC)

**LEGEND**

- DRAINAGE AREA BOUNDARY
- AC. ZONING
- % IMPERVIOUS

NOTE: THIS SUB-AREA IS TAKEN FROM PREVIOUSLY APPROVED STORMWATER MANAGEMENT COMPUTATIONS (SDP 90-190)



HAWTHORNE OFFICE PARK  
SECTION 8, AREA 4  
PLAT # 5305  
(NT)

ETHAN D. GROSSMAN  
SECTION 8, AREA 4  
1032/398  
PLAT # 4706  
(NT)

DONIGAL ASSOCIATES  
SECTION 8, AREA 4  
1309/004  
PLAT # 4883  
(NT)

**'PURPOSE STATEMENT'**  
IN ACCORDANCE WITH THE SEPT. 22, 2006 LETTER BY THE HOWARD COUNTY DEPT. OF PLANNING, ZONING, & DEVELOPMENT ENGINEERING DIVISION, THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO RELOCATE THE ENTRANCE ALONG CEDAR LANE, RECONFIGURE THE EXISTING PARKING LOTS ON THE SOUTH SIDE OF THE HOSPITAL. THIS WILL REQUIRE MINOR STORM DRAIN ADJUSTMENTS TO THE CURRENT APPROVED / INSTALLED SYSTEM. IN ADDITION, THE RED LINE INDICATES A 9" SEWER MAIN TO BE INSTALLED AS A "DRY" SYSTEM. THE PURPOSE OF ALL THE REQUESTED REVISIONS IS TO ACCOMMODATE A FUTURE TOWER BED ADDITION & CANOPY TO THE HOSPITAL AND DETACHED PARKING GARAGE.

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS,  
HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER	DATE
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING	
CHIEF, DEVELOPMENT ENGINEERING DIVISION	10/25/06
CHIEF, DIVISION OF LAND DEVELOPMENT & REGULATION	11/5/06
DIRECTOR	11/2/06

REVISIONS MADE AFTER 07-12-99  
BY JOYCE ENGINEERING CORP.

10/09/06  
Date

Professional Engr. No. 27729

HOWARD COUNTY GENERAL HOSPITAL  
TOWN CENTER  
SECTION 8 - AREA 2 - LOT 4

OWNER/DEVELOPER:  
HOWARD COUNTY GENERAL HOSPITAL, INC.  
5755 CEDAR LANE  
COLUMBIA, MARYLAND 21044

**DMW**  
Dan McCaskey-Walker, Inc.  
300 East Pennsylvania Avenue  
Towson, Maryland 21286  
(410) 296-3353  
Fax 410-296-4708

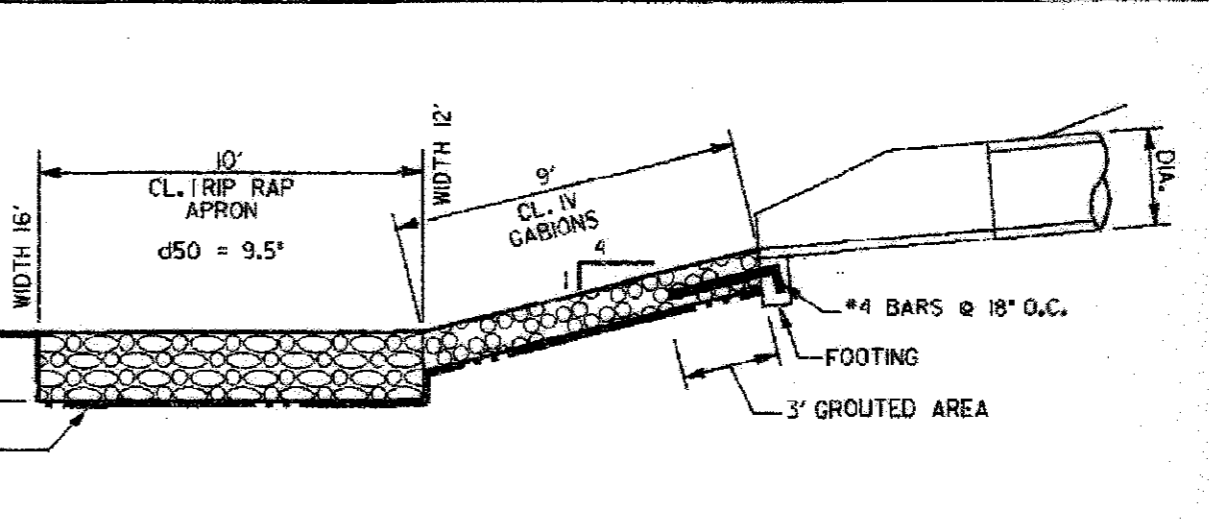
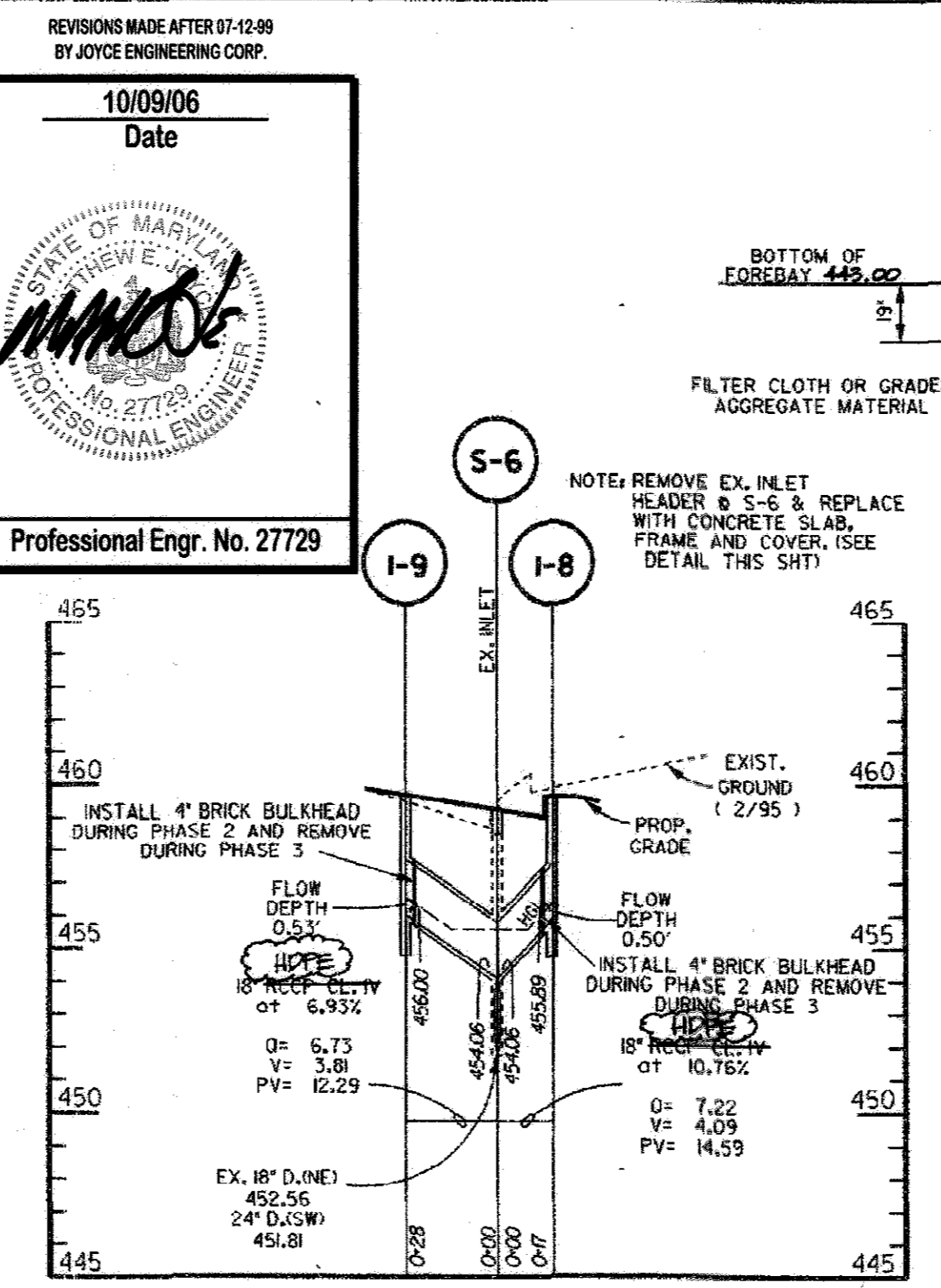
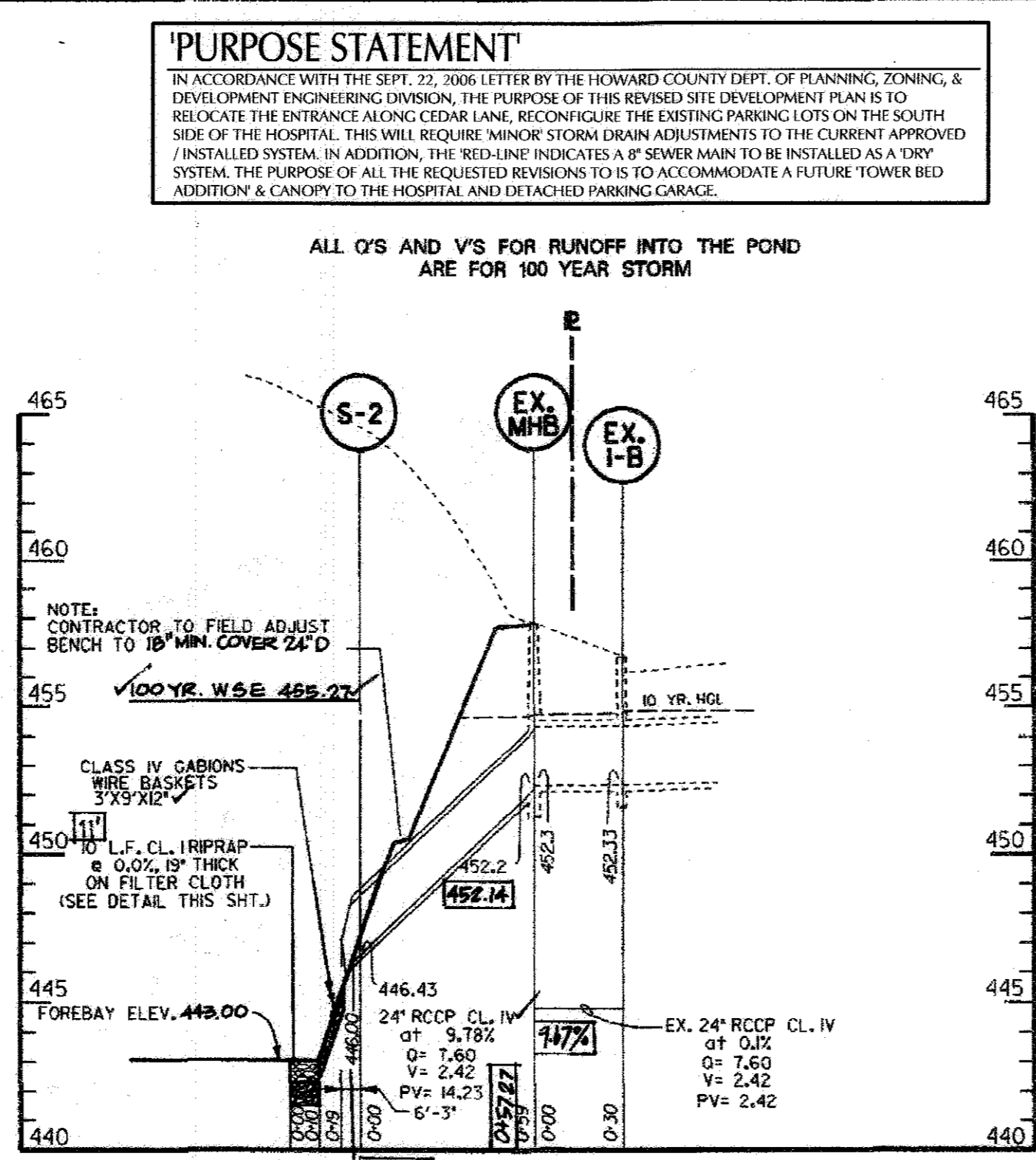
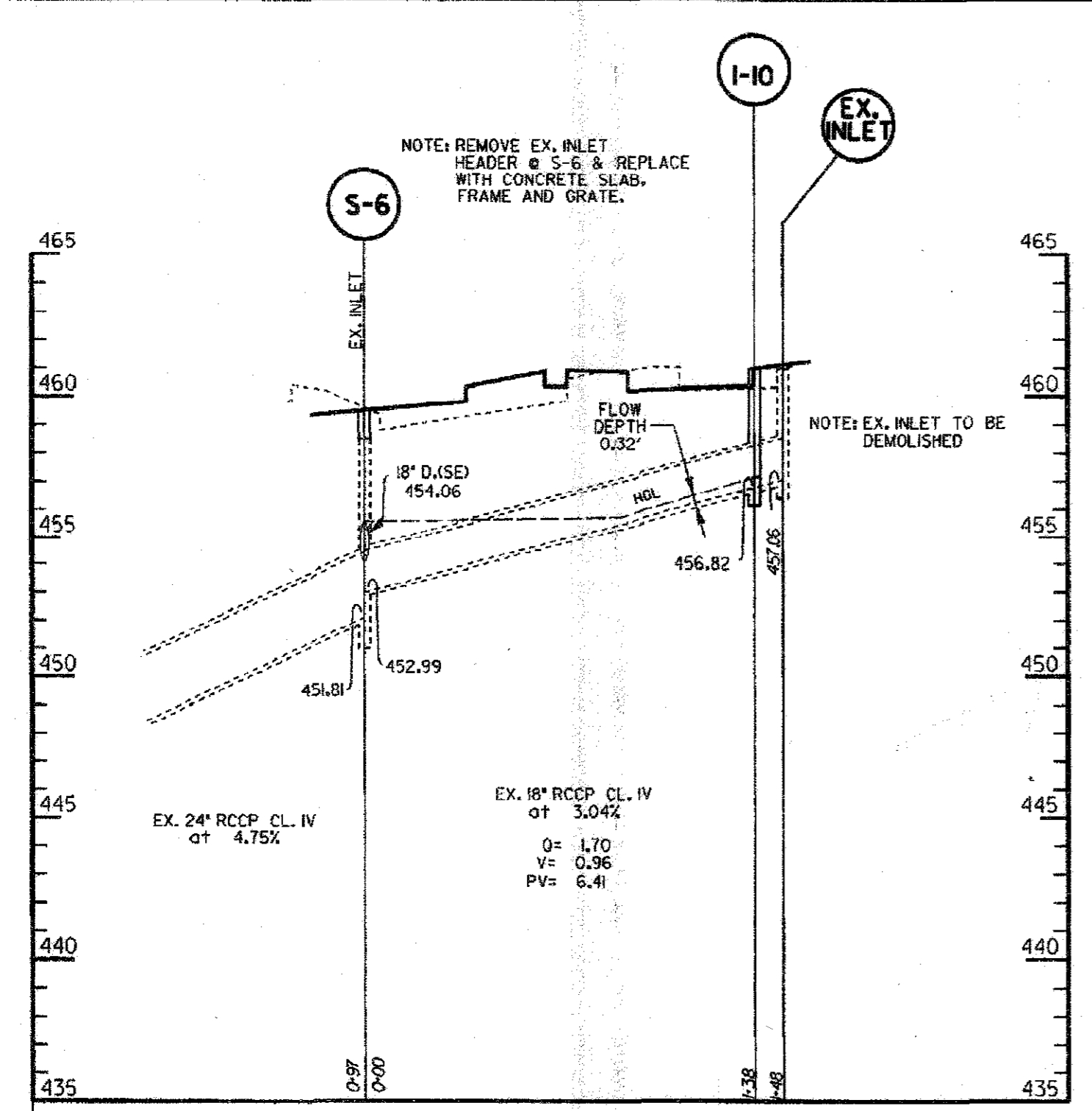
A Team of Land Planners,  
Landscape Architects,  
Engineers, Surveyors &  
Environmental Professionals

REVISION #	DATE	DESCRIPTION
1	03/07/06	REVISED MAIN ENTRANCE, STORM DRAIN, LIGHTING, LANDSCAPING AND INSTALL NEW DRY SEWER FOR FUTURE SERVICE.

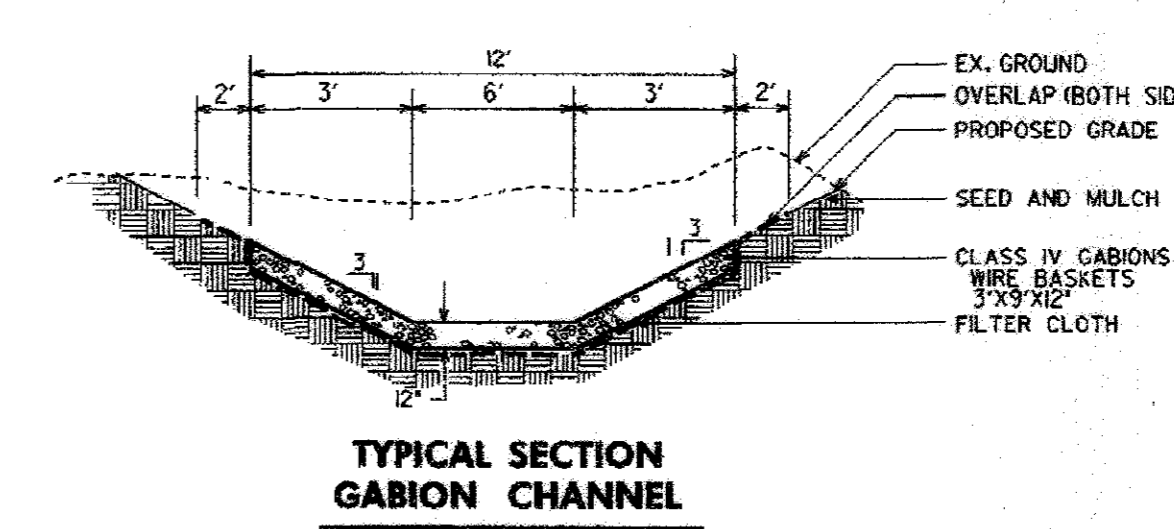
DATE	NO.	REVISION DESCRIPTION
03/07/06	1	REVISED MAIN ENTRANCE, STORM DRAIN, LIGHTING, LANDSCAPING AND INSTALL NEW DRY SEWER FOR FUTURE SERVICE.

9-1-95  
Date

Professional Engr. No. 10551



OUTLET PROTECTION DETAIL  
NOT TO SCALE



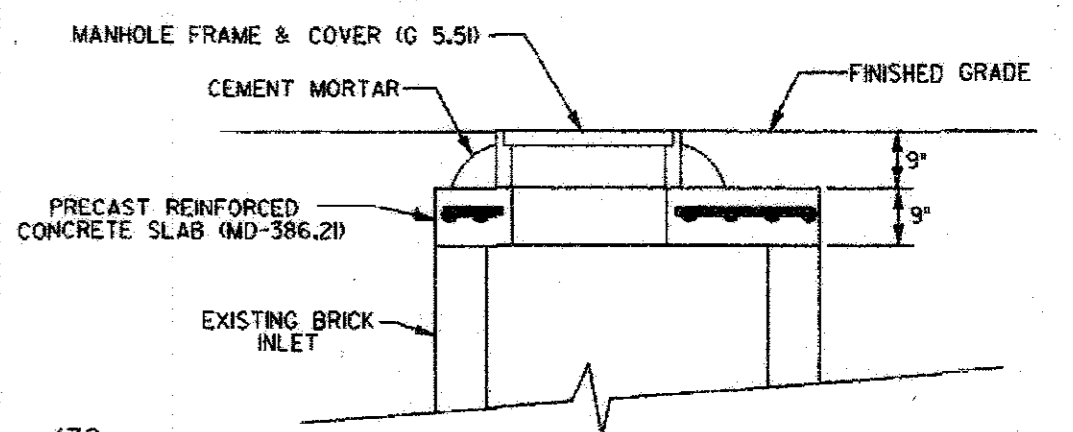
TYPICAL SECTION GABBION CHANNEL  
NOT TO SCALE

INLET SCHEDULE					
NO.	TYPE	Q	INV. OUT	TOP ELEV. *	DETAIL
I-1	A-10	11.90	450.30	459.70	S.D. 4.02
I-2	A-15	16.09	495.59	456.96	S.D. 4.02
I-3	A-10	6.69	452.55	459.33	S.D. 4.02
I-4	A-5	5.48	454.70	459.80	S.D. 4.01
I-5	A-5	5.86	456.00	460.00	S.D. 4.01
I-6	A-10	4.34	455.78	462.95	S.D. 4.02
I-7	A-5	6.73	452.92	464.20	S.D. 4.01
I-8	A-5	7.22	455.89	459.60	S.D. 4.01
I-9	A-5	6.73	456.00	460.00	S.D. 4.01
I-10	A-5	1.70	456.82	461.04	S.D. 4.01
I-11	Y-1	0.30	440.76	449.00	SHT. @ OF 19
I-12	A-5	1.87	455.24	465.60	S.D. 4.01

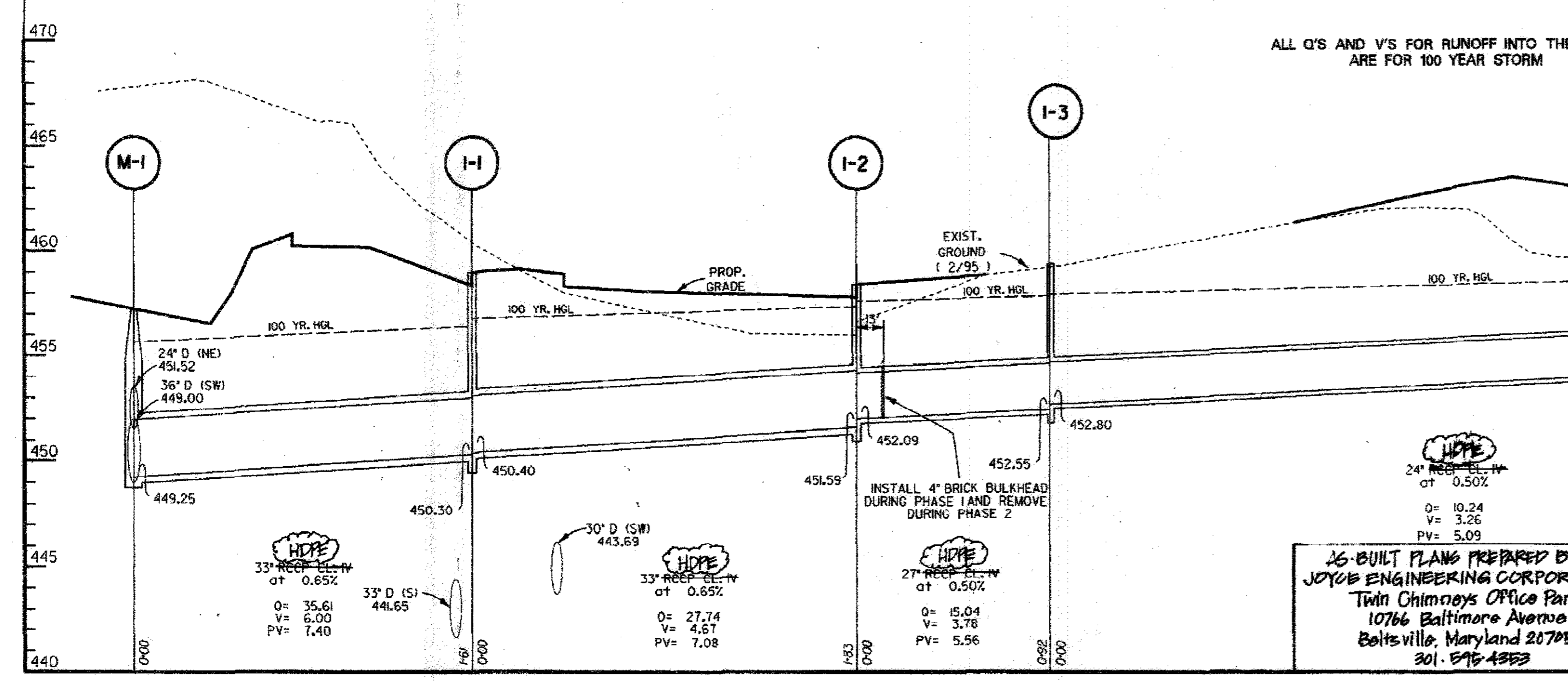
\* NOTE: ELEVATIONS REPRESENT TOP OF CURB @ HEADPIECE FOR A-5 & A-10 INLETS

STRUCTURE SCHEDULE				
NO.	TYPE	SIZE	INV. OUT	DETAIL NO.
S1	END SECTION	36"	449.00	SD 5.51
S2	END SECTION	36"	446.00	SD 5.51
S3	END SECTION	36"	449.00	SD 5.51
S6	CONC. SLAB ON EX. INLET	27"	451.81	MD 386.21
S7	CONC. SLAB ON EX. INLET	18"	442.71	MD 386.21

MANHOLE SCHEDULE				
NO.	TYPE	INV. OUT	TOP ELEV.	DETAIL NO.
M1	48" DIA	449.74	456.0	G 5.12



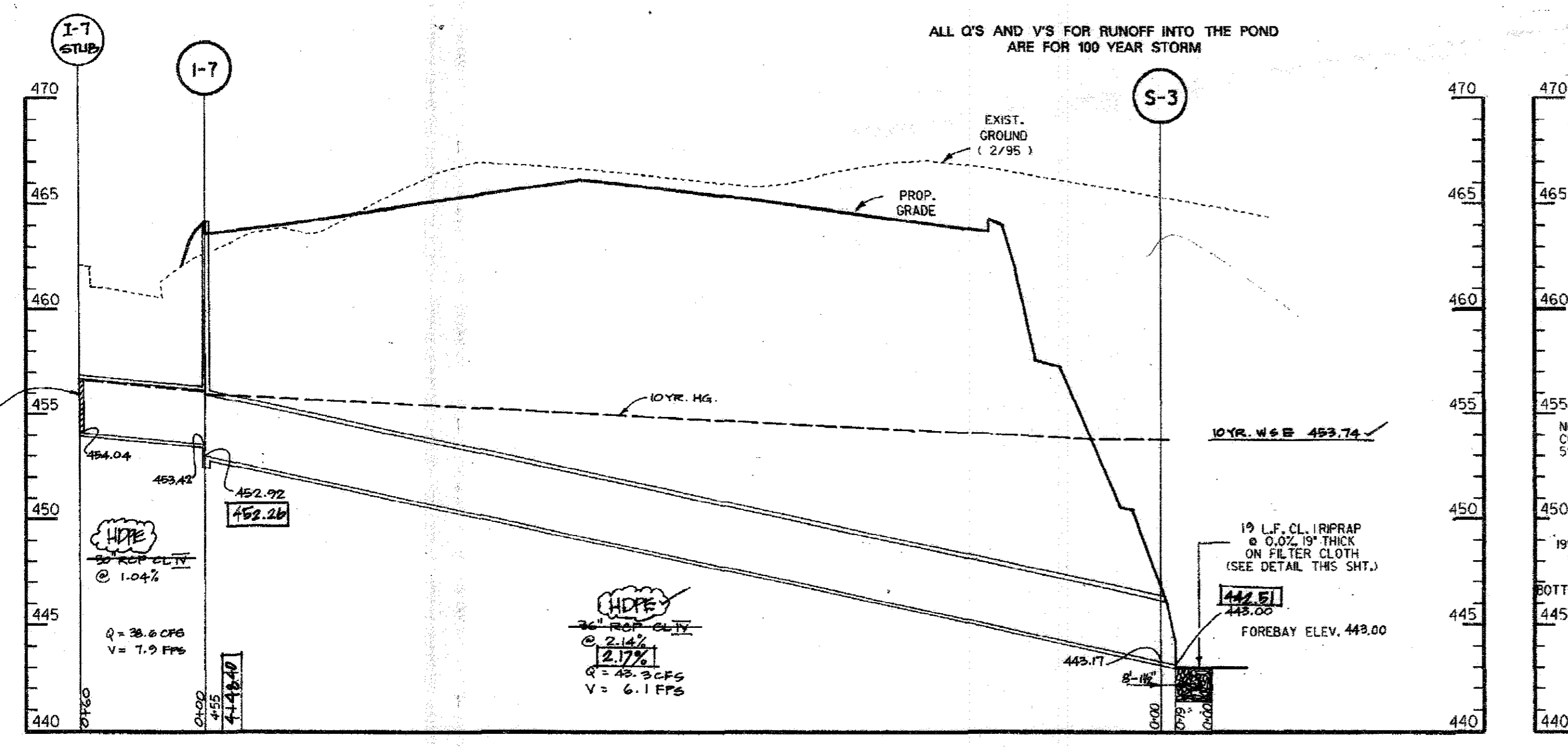
DETAIL OF S-6 & S-7 PRECAST REINFORCED CONCRETE SLAB OPENING  
NOT TO SCALE



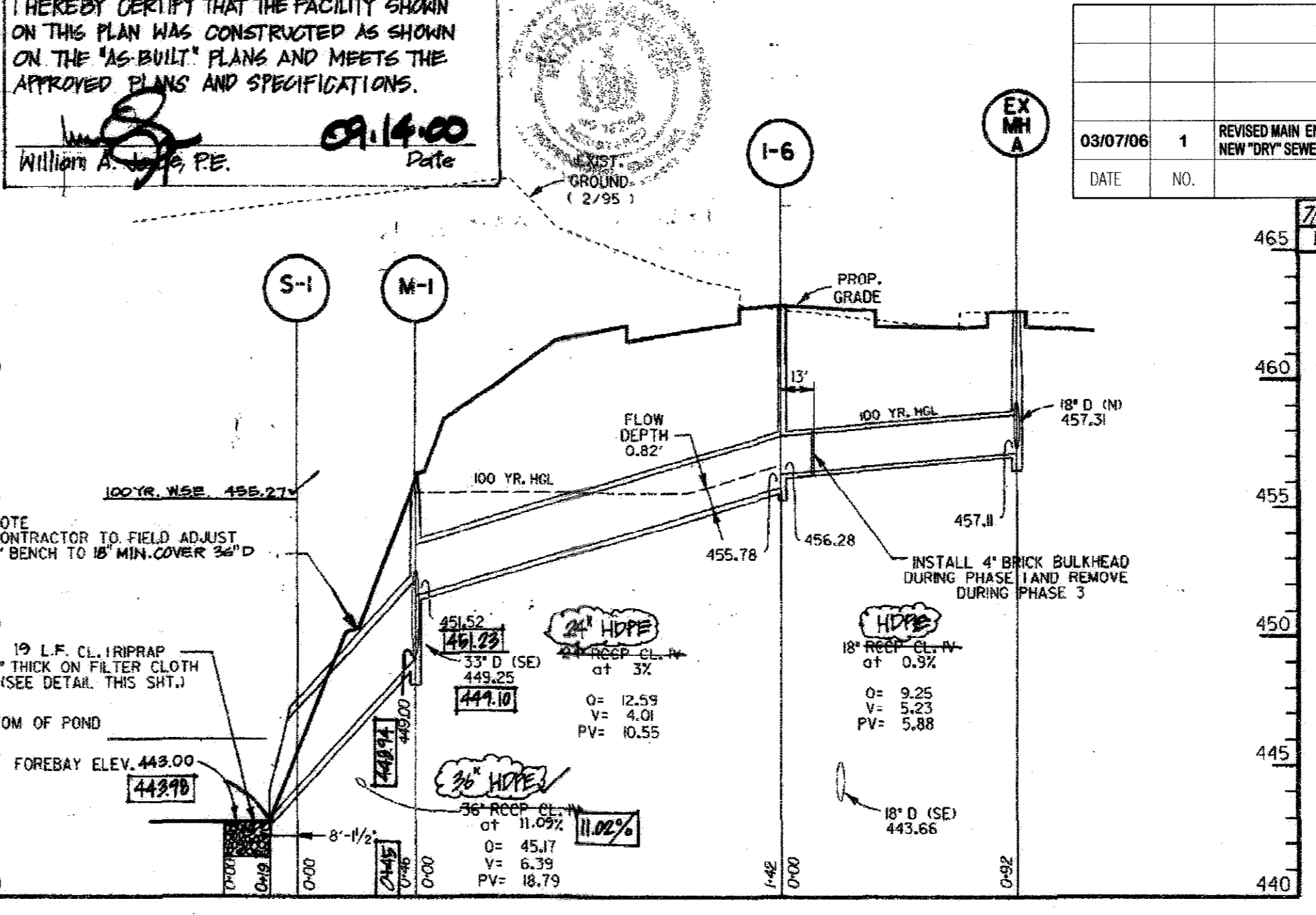
AS-BUILT PLANS PREPARED BY:  
JOYCE ENGINEERING CORPORATION  
Twin Chimneys Office Park  
10766 Baltimore Avenue  
Beltsville, Maryland 20705  
301-876-4933

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS.

William A. [Signature] PE. 09/14/00 Date



STORM DRAIN PROFILES  
SCALE: HOR. 1" = 50'  
VER. 1" = 5'



DATE	NO.	REVISION DESCRIPTION
03/07/06	1	REVISED MAIN ENTRANCE, STORM DRAIN, LIGHTING, LANDSCAPING AND INSTALL NEW "DRY" SEWER FOR FUTURE SERVICE

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER [Signature] DATE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION [Signature] DATE

CHIEF, DIVISION OF LAND DEVELOPMENT & CONSTRUCTION [Signature] DATE

DIRECTOR [Signature] DATE

HOWARD COUNTY GENERAL HOSPITAL  
TOWN CENTER  
SECTION 8 - AREA 2 - LOT 4

OWNER/DEVELOPER:  
HOWARD COUNTY GENERAL HOSPITAL, INC.  
5755 CEDAR LANE  
COLUMBIA, MARYLAND 21044

DMW  
Dunn, McCreary & Williams, Inc.  
300 East Pennsylvania Avenue  
Towson, Maryland 21286  
(410) 294-3330  
Fax 294-5705

A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

PROJECT NAME	PROJECT NO.	DATE
HOSPITAL	82	4/27/95
DATE	DATE	DATE
2/2/95	5/1/95	8/1/95
3/1/95	5/1/95	8/1/95

STORM DRAIN PROFILES			
Des By	Scale	AS NOTED	Proj. No.
Des By	Scale	AS NOTED	Proj. No. 89015L
Drn By	Date	8-30-95	8 OF 32 33
Chk By	Approved		



**Inspection Schedule**

Prior notification shall be given to the engineer so that inspections may be made at the following stages:

- Upon completion of excavation to subfoundation and where required, installation of structural supports or reinforcement for structures, including but not limited to:
  - Cove trenches for structural embankments;
  - Inlet-outlet structures and anti-seep structures, watertight connectors on pipes; and
  - Trenches for enclosed storm drainage facilities.
- During placement of structural fill, concrete, and installation of piping and catch basins;
- During backfill of foundations and trenches;
- During embankment construction; and
- Upon completion of final grading and establishment of permanent stabilization.

No work shall proceed until the engineer inspects and approves the work previously completed.

**Maintenance Schedule**

**Routine Maintenance**

- The facility shall be inspected annually and after major storms. Inspections should be performed during wet weather to determine if the pond is functioning properly. The facility shall be inspected in accordance with the checklist and requirements contained within USDA, NRCS "Standards and Specifications for Ponds" (MD-378). The pond owner(s) and any heirs, successors, or assigns shall be responsible for the safety of the pond and the continued operation, surveillance, inspection, and maintenance thereof. The pond owner(s) shall promptly notify the Soil Conservation District of any unusual observations that may be indications of distress such as excessive seepage, turbid seepage, slumping, or slumping.
- The top and side slopes of the embankment shall be mowed a minimum of two (2) times a year, once in June and once in September. Other side slopes, the bottom of the pond, and maintenance access should be mowed as needed.
- Debris and litter near to the outlet structure shall be removed during regular mowing operations and as needed.
- Visible signs of erosion in the pond as well as rip rap outlet areas shall be repaired as soon as it is noticed.

**Non-Routine Notices**

- Structural components of the pond such as the dam, the riser, and the pipes shall be repaired upon the detection of any damage. The components should be inspected during routine maintenance operations.
- Sediment should be removed when its accumulation significantly reduces the design storage, interferes with the function of the riser, when deemed necessary for aesthetic reasons, or when deemed necessary by Howard County's Department(s) of Public Works/Zoning.

**Design Flow Summary**

Design Point "B"

	2-Year	10-Year	100-Year
Existing Conditions (cfs)			
Developed Peak w/Ex. SWM Pond	38.57	70.51	109.69
Proposed Conditions (cfs)	24.03	68.49	107.45

Design Point "C"

	2-Year	10-Year	100-Year
Existing Conditions (cfs)			
Developed Peak w/Ex. SWM Pond	10.00	34.51	61.48
Proposed Conditions (cfs)	9.47	32.61	57.61

**Proposed Pond In Drainage Area "B-C" (Structure 02)**

	2-Year	10-Year	100-Year
Proposed Inflow (cfs)	30.73	62.50	76.23
Allowable Release (cfs)	4.53	28.38	45.52
Proposed Outflow (cfs)	0.94	25.62	46.81
Water Surface Elevation (ft)	452.75	453.70	454.42
Storage Provided (Ac-Ft)	1.40	1.77	2.18

\* Calculated by adding peaks from B-2 + B-4 + B-5 (ADDYD 003) + B-1 (DRYPT 004)

**Structure Type** Dry, Extended Detention

**Structure Classification** A

**Structure Location** Urban

**Watershed Area to Facility (Ac.)** 5.66

**Maximum Height of FIB (ft.)** 6.2

**Storage Height Product (Ac-Ft<sup>2</sup>)** 8.7

**Minimum Top of Dam Width (ft.)** 12

**Freeboard Provided (ft.)** 2.60

**AS-BUILT CERTIFICATION**

HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS.

SIGNATURE: \_\_\_\_\_ PE No. \_\_\_\_\_ DATE: \_\_\_\_\_

CERTIFY MEANS TO STATE OR DECLARE A PROFESSIONAL OPINION BASED UPON ON-SITE INSPECTIONS AND MATERIAL TESTS WHICH ARE CONDUCTED DURING CONSTRUCTION, THE ON-SITE INSPECTIONS AND MATERIAL TESTS ARE THOSE REQUIRED AND TESTS DEEMED SUFFICIENT AND APPROPRIATE BY COMMONLY ACCEPTED ENGINEERING STANDARDS. CERTIFY DOES NOT MEAN OR IMPLY A GUARANTEE BY THE ENGINEER NOR DOES AN ENGINEER'S CERTIFICATION RELIEVE ANY OTHER PARTY FROM MEETING REQUIREMENTS IMPOSED BY CONTRACT, EMPLOYMENT, OR OTHER MEANS, INCLUDING MEETING COMMONLY ACCEPTED INDUSTRY PRACTICES.

**AS-BUILT CERTIFICATION**

INSPECTION OF THE POND SHOWN HEREON SHALL BE PERFORMED AT LEAST ANNUALLY, IN ACCORDANCE WITH THE CHECKLIST AND REQUIREMENTS CONTAINED WITHIN USDA, NRCS "STANDARDS AND SPECIFICATIONS FOR PONDS" (MD-378). THE POND OWNER(S) AND ANY HEIRS, SUCCESSORS, OR ASSIGNS SHALL BE RESPONSIBLE FOR THE SAFETY OF THE POND AND THE CONTINUED OPERATION, SURVEILLANCE, INSPECTION, AND MAINTENANCE THEREOF. THE POND OWNER(S) SHALL PROMPTLY NOTIFY THE SOIL CONSERVATION DISTRICT OF ANY UNUSUAL OBSERVATIONS THAT MAY BE INDICATIONS OF DISTRESS SUCH AS EXCESSIVE SEEPAGE, TURBID SEEPAGE, SLIDING OR SLUMPING.

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

SIGNATURE: *George P. Barker* DATE: 12/19/96

U.S.D.A. NATURAL RESOURCES CONSERVATION SERVICE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: *Robert W. Ziehm* DATE: 1/2/96

HOWARD SOIL CONSERVATION DISTRICT

PLAN NUMBER: \_\_\_\_\_

**DEVELOPERS CERTIFICATE:**

I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

SIGNATURE OF DEVELOPER: *George P. Barker* DATE: 10/17/95

PRINT NAME BELOW SIGNATURE: GEORGE P. BARKER

**ENGINEERS CERTIFICATE:**

I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

SIGNATURE OF ENGINEER: *John W. Ramonach, Sr.* DATE: 10-11-95

PRINT NAME BELOW SIGNATURE: JOHN W. RAMONACH, SR.

DATE	NO.	REVISION DESCRIPTION
03/07/06	1	REVISED MAIN ENTRANCE, STORM DRAIN, LIGHTING, LANDSCAPING AND INSTALL NEW "DRY" SEWER FOR FUTURE SERVICE

10-11-95  
Date

*John W. Ramonach, Sr.*  
Professional Engr. No. 71551

**LEGEND**

D. A. LIMIT ————

SOIL LIMITS - - - - -

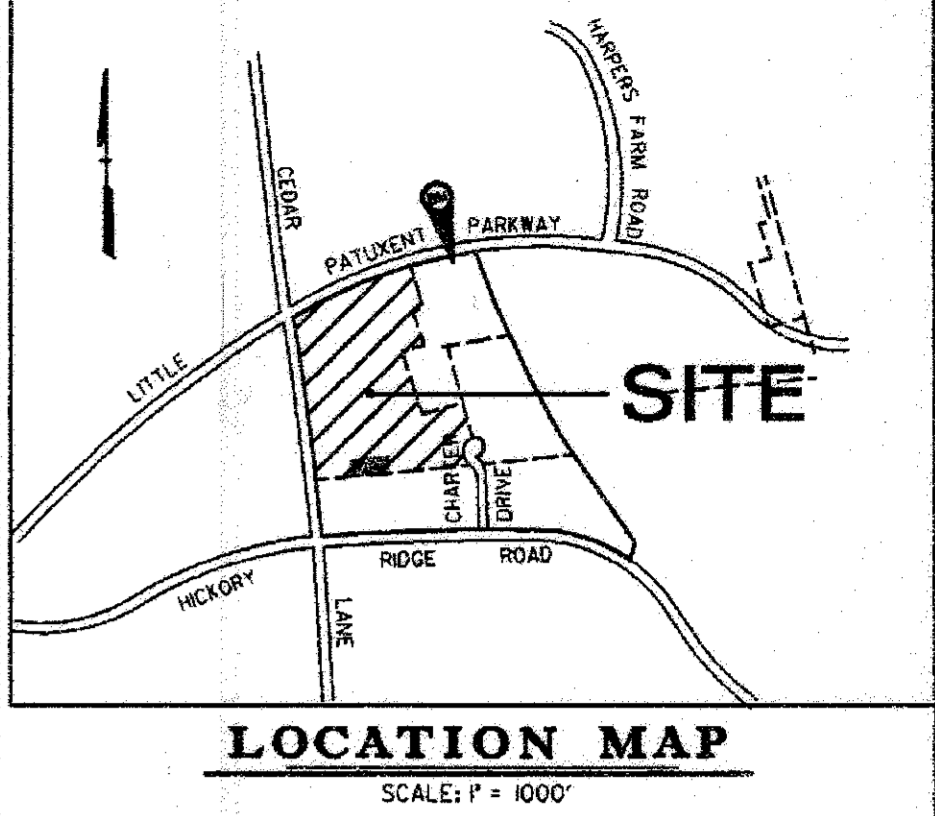
SOIL GROUP (B)

SOIL TYPE MC2

DESIGN POINT B

TR - 20 X-SECTION

M<sup>2</sup>/A<sup>2</sup> ZONING RCN 1/2 IMP.



**PURPOSE STATEMENT**

IN ACCORDANCE WITH THE SEPT. 22, 2006 LETTER BY THE HOWARD COUNTY DEPT. OF PLANNING, ZONING, & DEVELOPMENT ENGINEERING DIVISION, THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO RELOCATE THE ENTRANCE ALONG CEDAR LANE, RECONFIGURE THE EXISTING PARKING LOTS ON THE SOUTH SIDE OF THE HOSPITAL. THIS WILL REQUIRE MINOR STORM DRAIN ADJUSTMENTS TO THE CURRENT APPROVED / INSTALLED SYSTEM. IN ADDITION, THE REDLINE INDICATES A 6" SEWER MAIN TO BE INSTALLED AS A "DRY" SYSTEM. THE PURPOSE OF ALL THE REQUESTED REVISIONS IS TO ACCOMMODATE A FUTURE TOWER BED ADDITION & CANOPY TO THE HOSPITAL AND DETACHED PARKING GARAGE.

- NOTE:**
- THE PROPOSED POND LIES WITHIN THE LITTLE PATUXENT RIVER WATERSHED.
  - THIS FACILITY IS PRIVATE AND SHALL BE MAINTAINED BY THE PROPERTY OWNER
  - DRAINAGE AREAS TO DESIGN POINT "A" HAVE NOT CHANGED OR HAVE DECREASED IN SIZE, THEREFORE, THERE IS NO ADVERSE IMPACT TO THE EXISTING POND.
  - EXISTING CONDITIONS SHOWN ON THIS PLAN REPRESENT PREVIOUS SITE CONDITIONS PRIOR TO 1990 AND DO NOT NECESSARILY REFLECT CURRENT CONDITIONS.

REVISIONS MADE AFTER 07-12-99 BY JOYCE ENGINEERING CORP.

10/09/06  
Date

*John W. Ramonach, Sr.*  
Professional Engr. No. 27729

**APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT**

COUNTY HEALTH OFFICER	DATE
<i>John W. Ramonach, Sr.</i>	10/05/06
<b>APPROVED: HOWARD COUNTY DEPT. OF PLANNING &amp; ZONING</b>	
<i>John W. Ramonach, Sr.</i>	11/8/06
<i>John W. Ramonach, Sr.</i>	11/8/06
<i>John W. Ramonach, Sr.</i>	11/8/06

**HOWARD COUNTY GENERAL HOSPITAL TOWN CENTER SECTION 8 - AREA 2 - LOT 4**

OWNER/DEVELOPER: HOWARD COUNTY GENERAL HOSPITAL, INC.  
5755 CEDAR LANE  
COLUMBIA, MARYLAND 21044

**DMW**

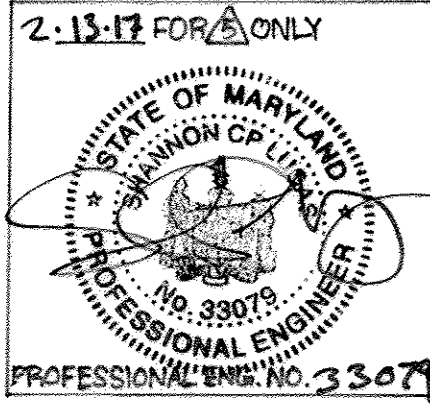
200 East Pennsylvania Avenue  
Towson, Maryland 21286  
(410) 326-3553  
Fax 396-6708

A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

STANDARD	NO.	DATE	REVISION	DATE
100	1	10/09/06	1	10/09/06

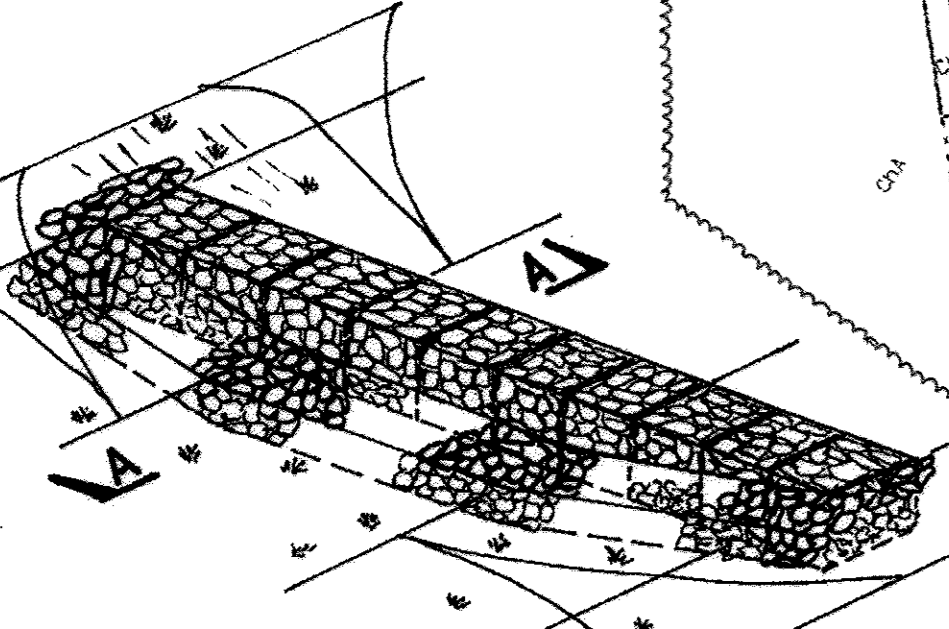
**SITE DEVELOPMENT PLAN EXIST. SWM DRAINAGE AREA MAP**

Des By	Scale	1" = 100'	Proj. No.	89015L
DMB <td>NB <td>Date</td> <td>8-30-95</td> <td>9 OF 3233</td> </td>	NB <td>Date</td> <td>8-30-95</td> <td>9 OF 3233</td>	Date	8-30-95	9 OF 3233

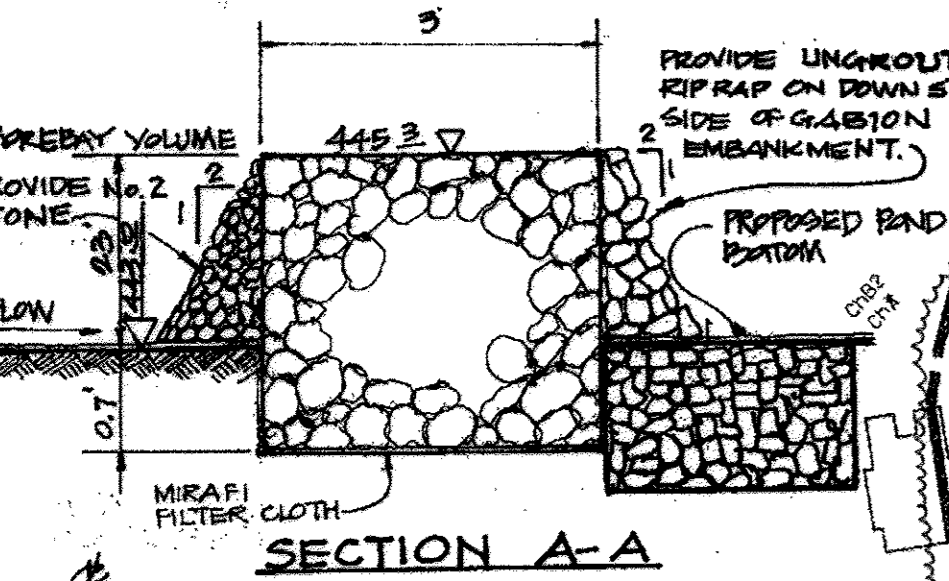


**GABION STRUCTURE NOTES**

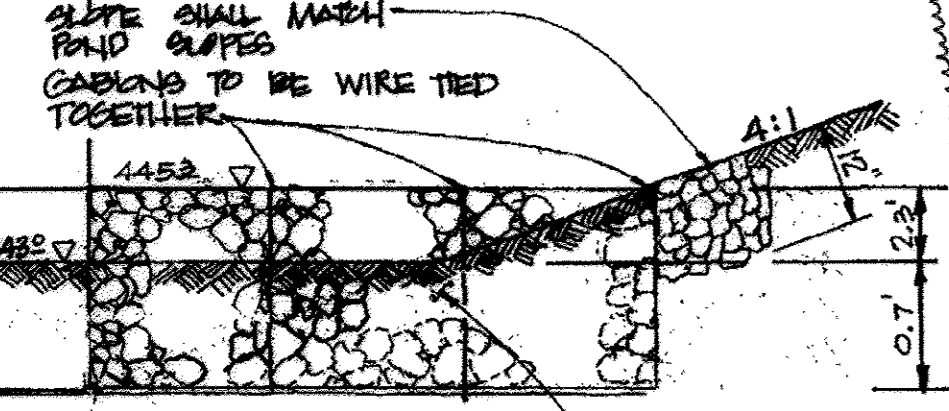
1. ALL WIRE USED IN GABION CONSTRUCTION SHALL BE GALVANIZED AND PLASTIC COATED. ALL PILES AND TOOLS SHALL BE PLASTIC COATED.
2. FILTER CLOTH SHALL BE PLACED WHENEVER GABION COMES IN CONTACT WITH SOIL.
3. STONE FILL SHALL CONSIST OF HARD, DURABLE, CLEAN STONE, 4" - 8" IN SIZE OR APPROVED BY THE ENGINEER.
4. CONSTRUCTION MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH MAGGAFERRI GABIONS INC. SPECS OR EQUAL.



**ISOMETRIC VIEW**  
N.T.S.



**SECTION A-A**



**SECTION THROUGH EMBANKMENT**

**3'x3'x3' GABION DETAIL FOR FOREBAY** N.T.S.

NOTE: DRAINAGE AREA B-3 IS FOR FUTURE DESIGN AND IS NOT PROPOSED UNDER THIS SDP 7514

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

APPROVED: *Blair Zahn* 11/2/06  
HOWARD SOIL CONSERVATION DISTRICT

**DEVELOPERS CERTIFICATE:**

I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: *George P. Barker* 9-1-95  
SIGNATURE OF DEVELOPER  
PRINT NAME BELOW SIGNATURE  
**GEORGE P. BARKER**

**ENGINEERS CERTIFICATE:**

I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

APPROVED: *John W. Ranechic* 9-1-95  
SIGNATURE OF ENGINEER  
PRINT NAME BELOW SIGNATURE  
**John W. Ranechic**

**AS-BUILT CERTIFICATION**

FOR REV A ONLY

IN ACCORDANCE WITH THE SEPT. 22, 2006 LETTER BY THE HOWARD COUNTY DEPT. OF PLANNING, ZONING, & DEVELOPMENT ENGINEERING DIVISION, THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO RELOCATE THE ENTRANCE ALONG CEDAR LANE, RECONFIGURE THE EXISTING PARKING LOTS ON THE SOUTH SIDE OF THE HOSPITAL. THIS WILL REQUIRE MINOR STORM DRAIN ADJUSTMENTS TO THE CURRENT APPROVED /INSTALLED SYSTEM. IN ADDITION, THE RED LINE INDICATES A 6" SEWER MAIN TO BE INSTALLED AS A DRY SYSTEM. THE PURPOSE OF ALL THE REQUESTED REVISIONS TO IS TO ACCOMMODATE A FUTURE TOWER BED ADDITION & CANOPY TO THE HOSPITAL AND DETACHED PARKING GARAGE.

APPROVED: *Eugene L. Fleagle* 08/04/2017  
EUGENE L. FLEAGLE PE#44289 08/04/2017

**PURPOSE STATEMENT**

IN ACCORDANCE WITH THE SEPT. 22, 2006 LETTER BY THE HOWARD COUNTY DEPT. OF PLANNING, ZONING, & DEVELOPMENT ENGINEERING DIVISION, THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO RELOCATE THE ENTRANCE ALONG CEDAR LANE, RECONFIGURE THE EXISTING PARKING LOTS ON THE SOUTH SIDE OF THE HOSPITAL. THIS WILL REQUIRE MINOR STORM DRAIN ADJUSTMENTS TO THE CURRENT APPROVED /INSTALLED SYSTEM. IN ADDITION, THE RED LINE INDICATES A 6" SEWER MAIN TO BE INSTALLED AS A DRY SYSTEM. THE PURPOSE OF ALL THE REQUESTED REVISIONS TO IS TO ACCOMMODATE A FUTURE TOWER BED ADDITION & CANOPY TO THE HOSPITAL AND DETACHED PARKING GARAGE.

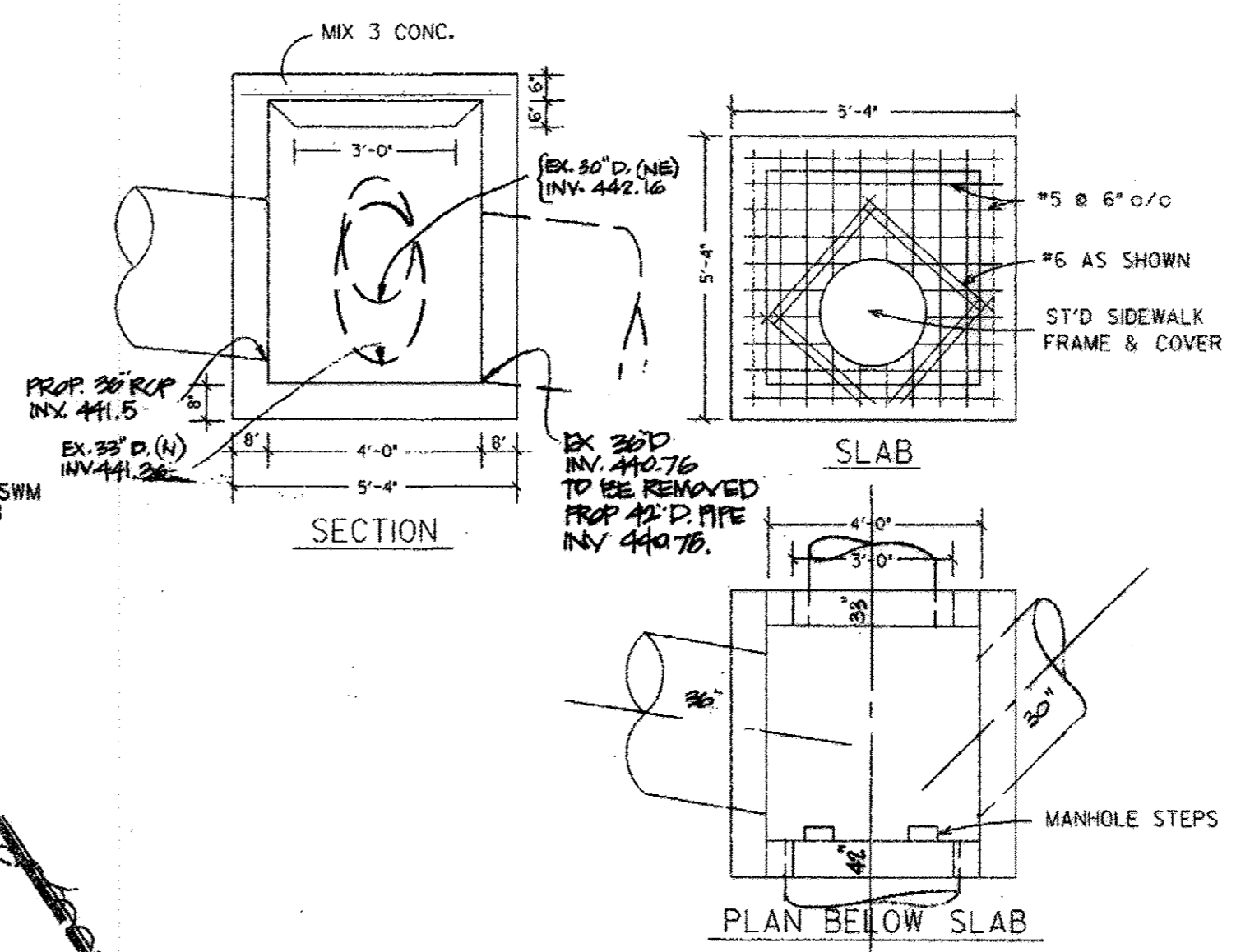
**LEGEND**

- D. A. LIMIT ———
- SOIL LIMITS - - - - -
- SOIL GROUP (B)
- SOIL TYPE MC2
- DESIGN POINT B
- TR - 20 X-SECTION ———

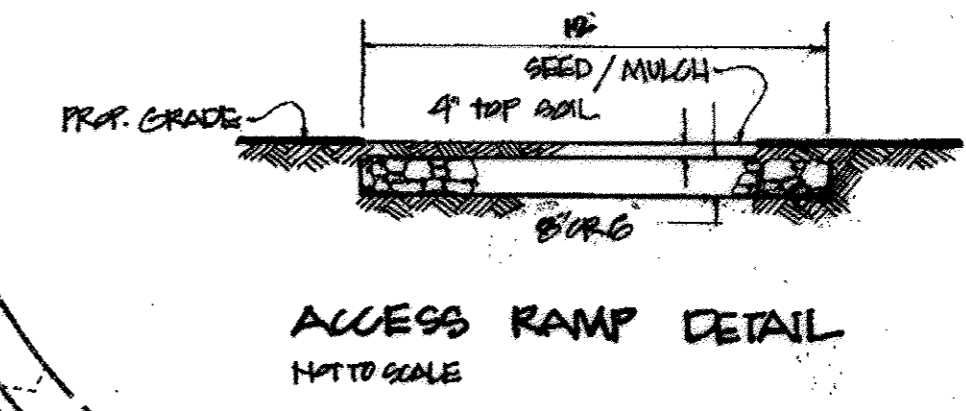
MI.2/AZ ZONING  
RCN 1/2 IMP.

NOTE:  
\* DRAINAGE AREAS TO DESIGN POINT 'A' HAVE NOT CHANGED OR HAVE DECREASED IN SIZE. THEREFORE, THERE IS NO ADVERSE IMPACT TO THE EXISTING POND.

DATE	NO.	REVISION DESCRIPTION
08-24-17	1	AS-BUILT FOR SAND FILTER RETROFIT
0-17-16	1	SAND FILTER ADDITION FOR WQV TREATMENT
03/07/06	1	REVISED MAIN ENTRANCE, STORM DRAIN, LIGHTING, LANDSCAPING AND INSTALL NEW "DRY" SEWER FOR FUTURE SERVICE



**MODIFIED Y-1 INLET (PRECAST)**  
NO SCALE



**ACCESS RAMP DETAIL**  
N.T.S.

REVISIONS MADE AFTER 07-12-99 BY JOYCE ENGINEERING CORP.

10/09/06  
Date

*Manuel A. Lough*  
Professional Engr. No. 27729

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*Chad Hamme* 11/8/06  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Manuel A. Lough* 11/8/06  
CHIEF, DIVISION OF LAND DEVELOPMENT & RECONSTRUCTION DATE

*Manuel A. Lough* 11/8/06  
DIRECTOR DATE

Date	No.	Revision Description
8-17-16	1	ADD DRAINAGE AREA A TO B-3 REV Y1 INLET - ADD DETAILS

**HOWARD COUNTY GENERAL HOSPITAL**  
TOWN CENTER  
SECTION 8 - AREA 2 - LOT 4

OWNER/DEVELOPER:  
HOWARD COUNTY GENERAL HOSPITAL, INC.  
5755 CEDAR LANE  
COLUMBIA, MARYLAND 21044

**DMW**  
Darrin M. Cunniff-Walker, Inc.  
200 West Pennsylvania Avenue  
Towson, Maryland 21286  
(410) 286-3883  
Fax: 286-6708

A Team of Land Planners,  
Landscape Architects,  
Engineers, Surveyors &  
Environmental Professionals

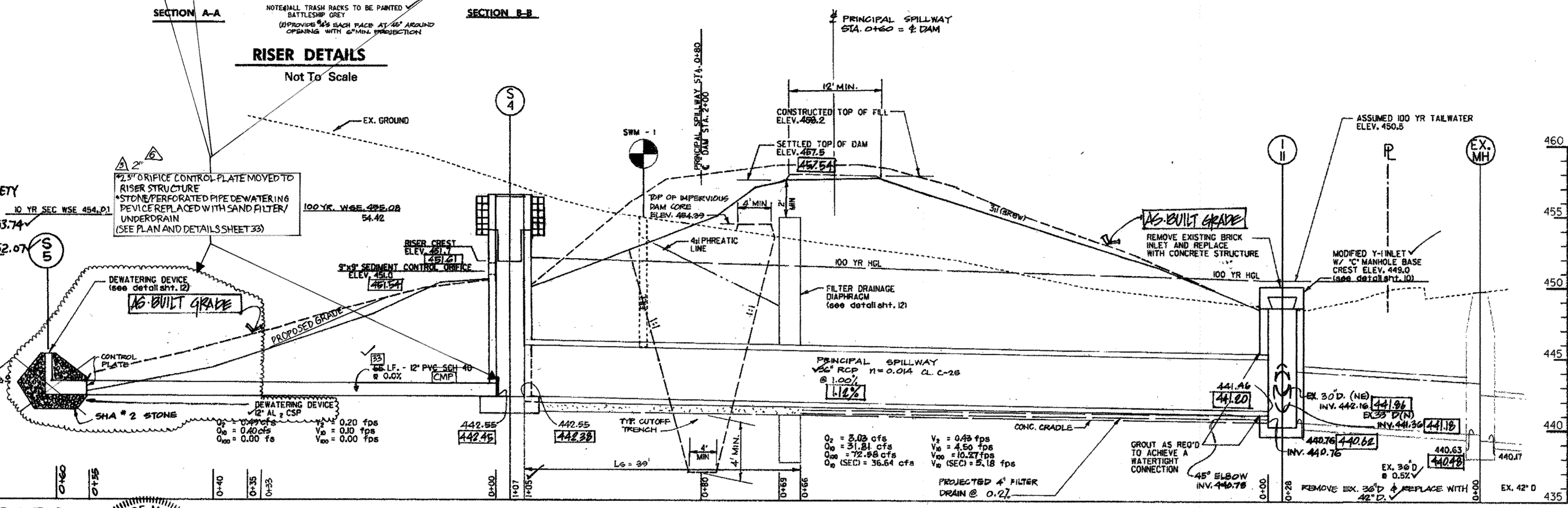
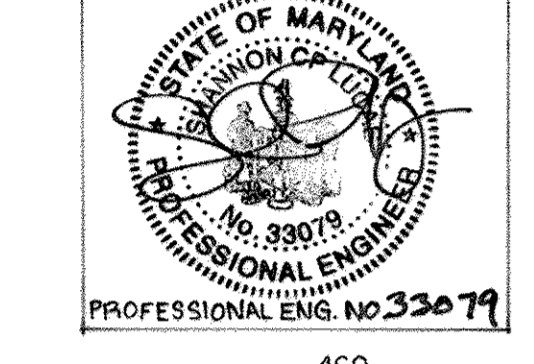
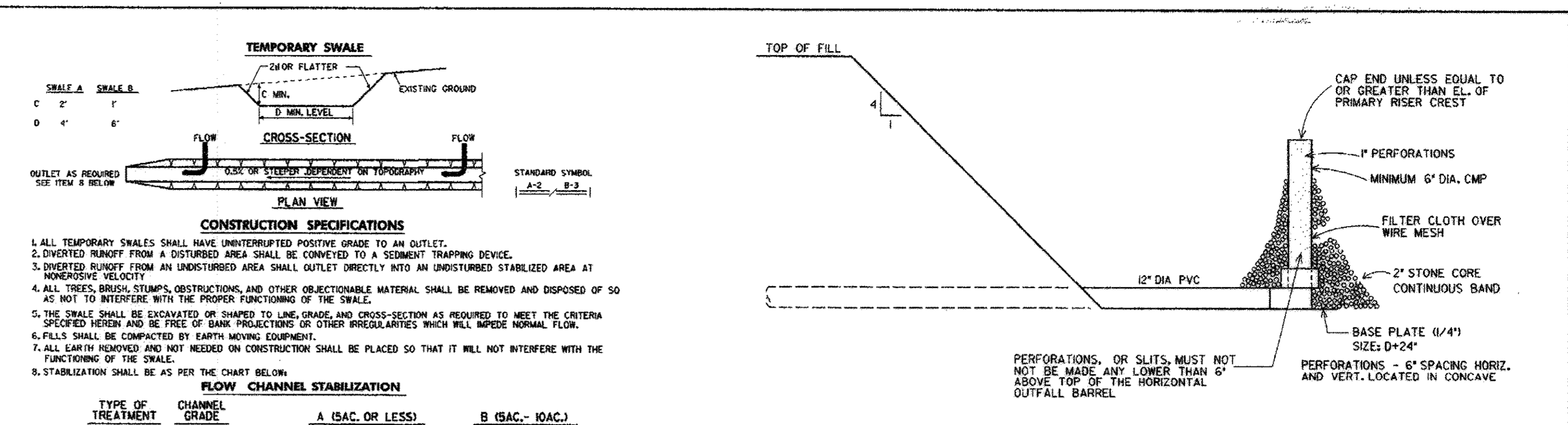
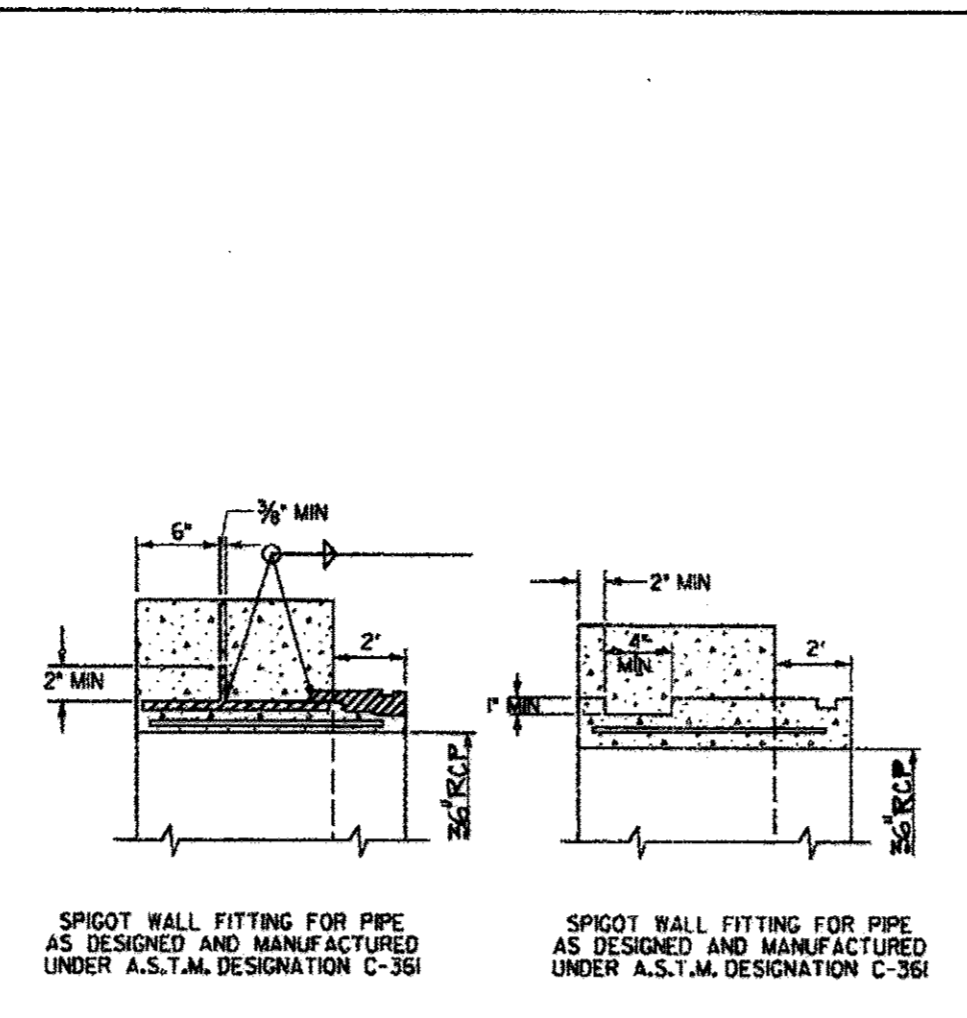
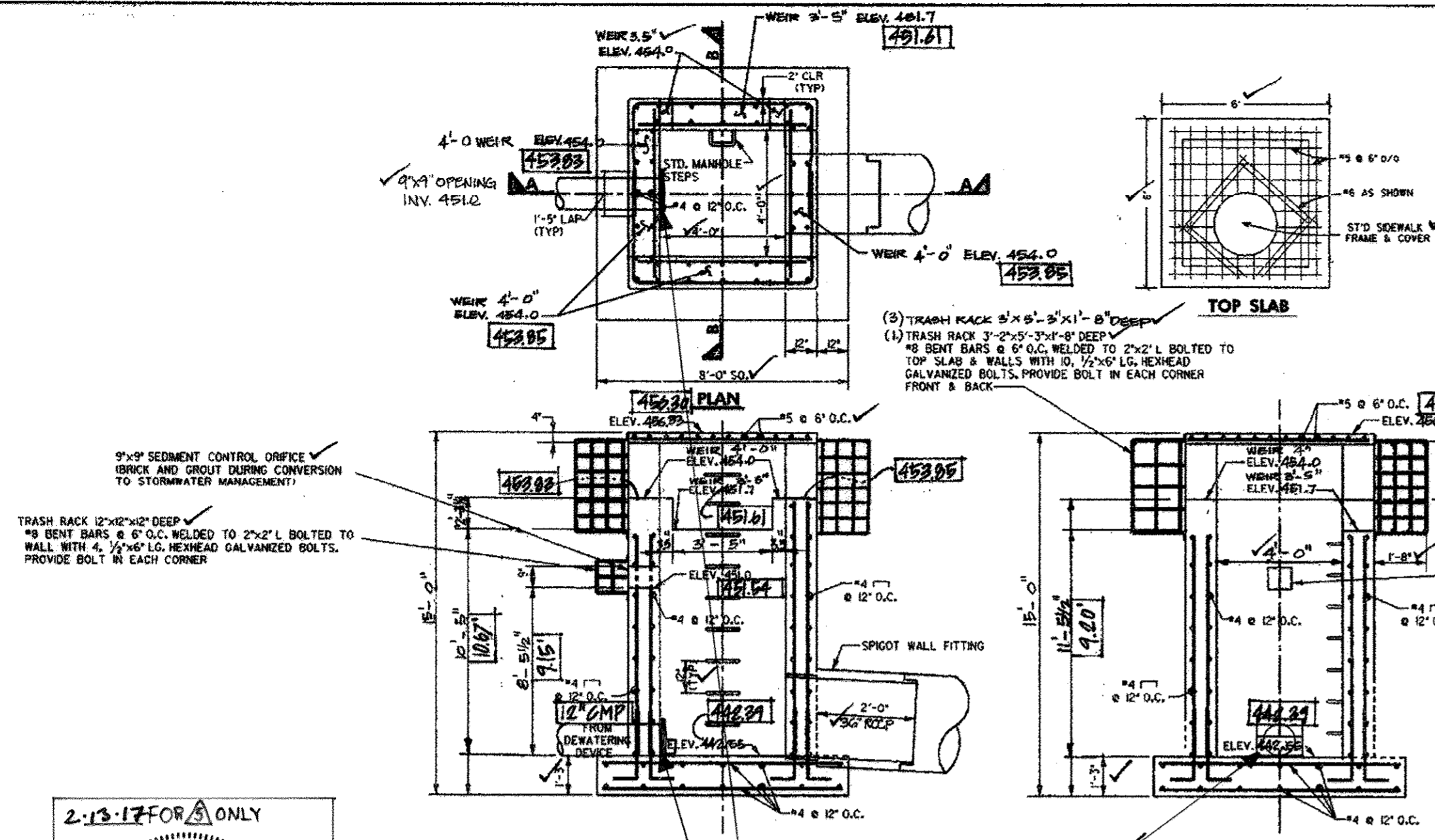
9-1-95  
Date

*Manuel A. Lough*  
Professional Engr. No. 27729

REVISION NO.	DATE	DESCRIPTION
1	8/24/2017	AS-BUILT CERTIFICATION

**SITE DEVELOPMENT PLAN**  
**POND & PROP. SWM DRAINAGE AREA MAP**

Des By	Scale	1" = 100'	Proj. No.	89015L
Drn By	Date	8-30-95	10 OF	3233



**REVISION DESCRIPTION**

DATE	NO.	REVISION DESCRIPTION
08-24-17	1	AS-BUILT FOR SAND FILTER RETROFIT
09-17-16	2	SAND FILTER ADDITION FOR WQV TREATMENT
03/07/06	1	REVISED MAIN ENTRANCE STORM DRAIN LIGHTING, LANDSCAPING AND INSTALL NEW 'DRY' SEWER FOR FUTURE SERVICE

**APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT**

COUNTY HEALTH OFFICER: [Signature] DATE: 10/25/06

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION: [Signature] DATE: 11/8/05

CHIEF, DIVISION OF LAND DEVELOPMENT & RECREATION: [Signature] DATE: 11/8/05

DIRECTOR: [Signature] DATE: 11/8/05

8-7-98 4 REV. PROFILES & DETAILS

HOWARD COUNTY GENERAL HOSPITAL  
TOWN CENTER  
SECTION 8 - AREA 2 - LOT 4

OWNER/DEVELOPER:  
HOWARD COUNTY GENERAL HOSPITAL, INC.  
5755 CEDAR LANE  
COLUMBIA, MARYLAND 21044

**IDMW**  
Dodd & Cunniff Walker, Inc.  
200 East Pennsylvania Avenue  
Towson, Maryland 21286  
(410) 286-3858  
Fax 286-4705

A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

SUBMITTER NAME: HCSH  
BLOCK # 5  
LOT # 35  
PARCEL MAP FILE NO. 5522500  
DATE: 9-1-95

**STATE OF MARYLAND PROFESSIONAL ENGINEER**

DATE: 9-1-95

DATE: 11/2/96

DATE: 11/2/96

**AS-BUILT CERTIFICATION**

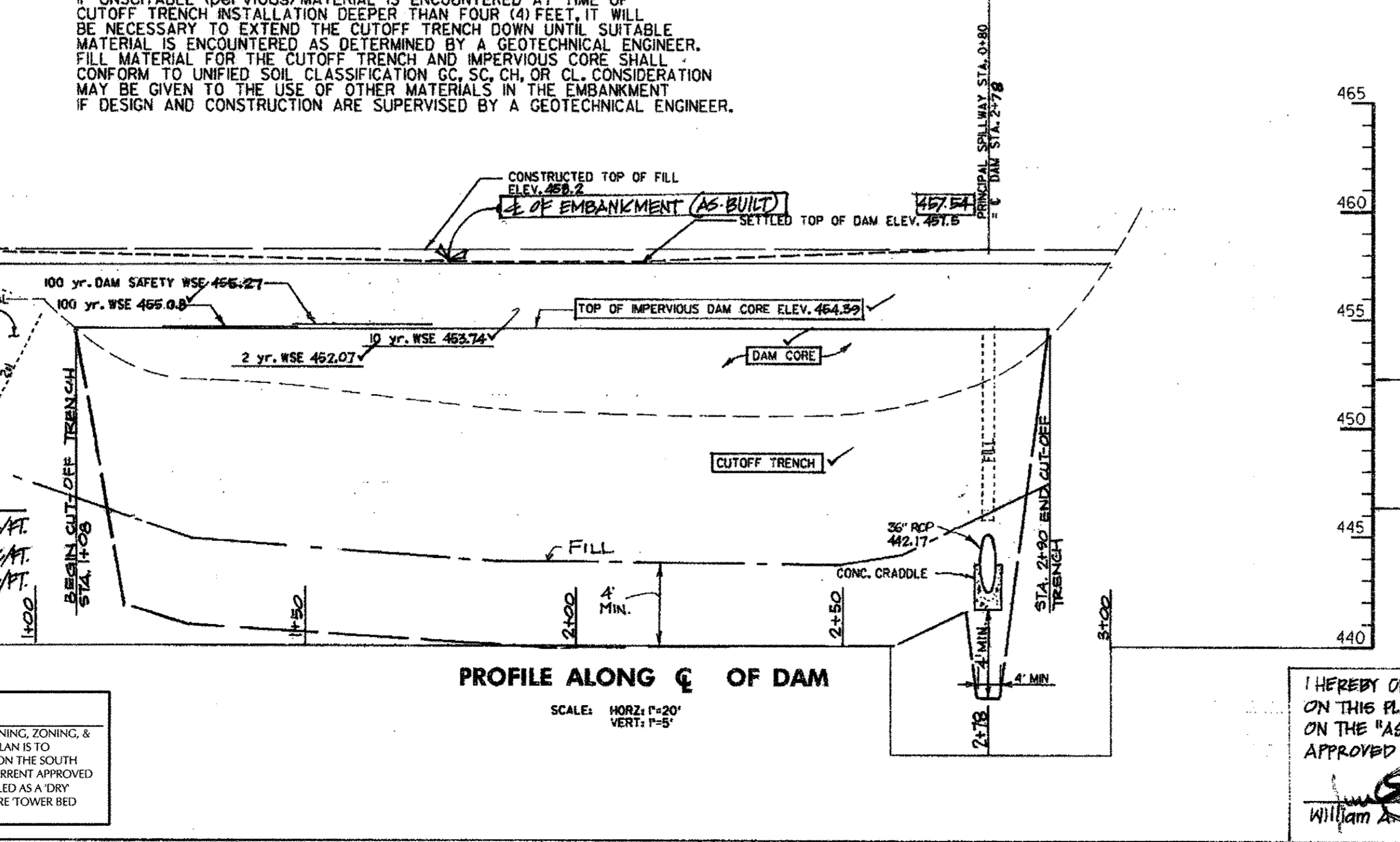
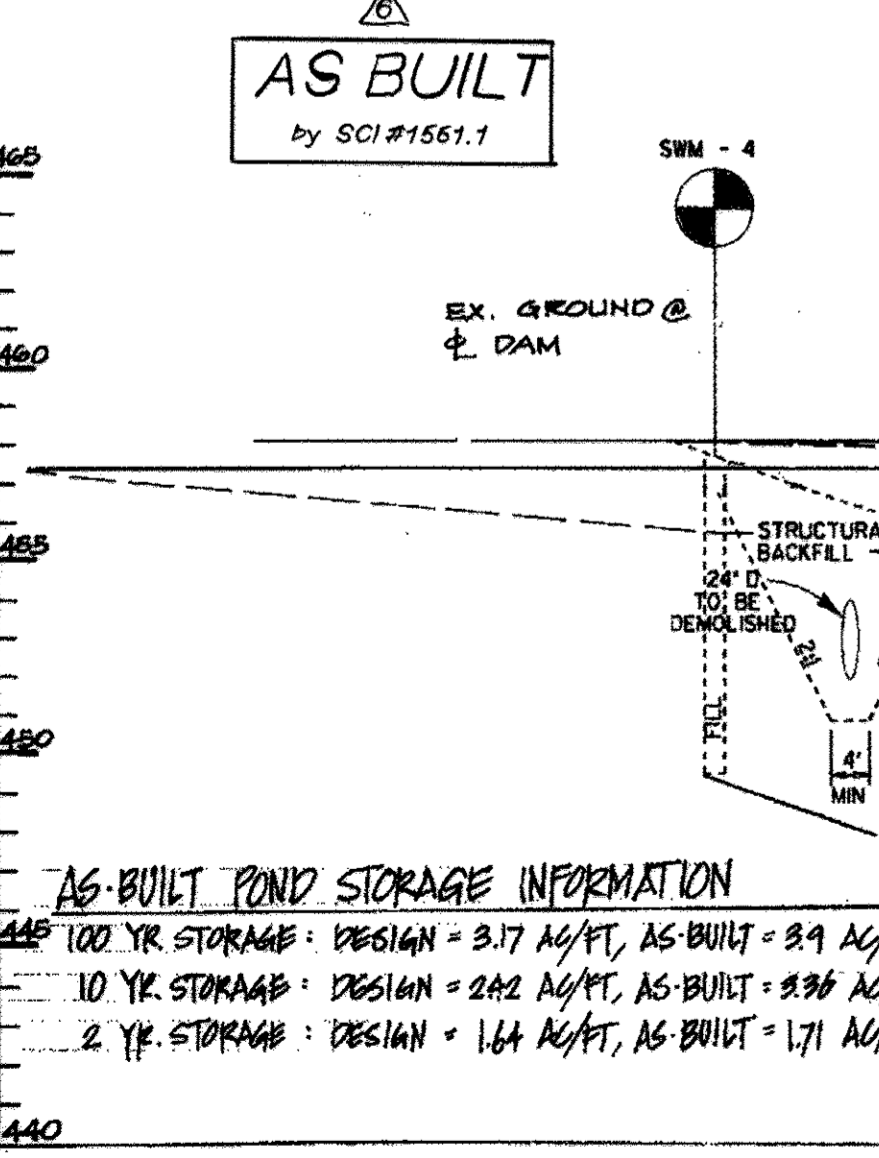
I HEREBY CERTIFY, BY MY SEAL, THAT THE FACILITIES SHOWN ON THIS PLAN WERE CONSTRUCTED AS SHOWN ON THE 'AS-BUILT' PLAN MEET THE APPROVED PLANS AND SPECIFICATIONS.

EUGENE L. FLEAGLE PE#44289 06/04/2017

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

License No. 41287, Expiration Date: 08/06/2019

6/24/2017 For Rev ONLY



**DEVELOPERS CERTIFICATE:**

I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN 'AS-BUILT' PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: [Signature] DATE: 7-1-95  
FRONT NAME BELOW SIGNATURE: GEORGE P. BARKER

**ENGINEERS CERTIFICATE:**

I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN 'AS-BUILT' PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

Signature: [Signature] DATE: 9-1-95  
FRONT NAME BELOW SIGNATURE: John W. Rawecki, Jr.

Professional Engr. No. 27729

AS-BUILT PLANS PREPARED BY:  
JOYCE ENGINEERING CORPORATION  
Twin Chimneys Office Park  
10766 Baltimore Avenue  
Beltsville, Maryland 20705  
301-516-4353

**PURPOSE STATEMENT**

IN ACCORDANCE WITH THE SEPT. 22, 2006 LETTER BY THE HOWARD COUNTY DEPT. OF PLANNING, ZONING, & DEVELOPMENT ENGINEERING DIVISION, THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO RELOCATE THE ENTRANCE ALONG CEDAR LANE, RECONFIGURE THE EXISTING PARKING LOTS ON THE SOUTH SIDE OF THE HOSPITAL. THIS WILL REQUIRE MINOR STORM DRAIN ADJUSTMENTS TO THE CURRENT APPROVED /INSTALLED SYSTEM. IN ADDITION, THE RED-LINE INDICATES A 6" SEWER MAIN TO BE INSTALLED AS A 'DRY' SYSTEM. THE PURPOSE OF ALL THE REQUESTED REVISIONS IS TO ACCOMMODATE A FUTURE TOWER BED ADDITION & CANOPY TO THE HOSPITAL, AND DETACHED PARKING GARAGE.

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

Signature: [Signature] DATE: 11/2/96  
U.S.D.A. NATURAL RESOURCES CONSERVATION SERVICE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: [Signature] DATE: 11/2/96  
FRONT NAME BELOW SIGNATURE: [Signature]

Professional Engr. No. 10551

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE 'AS-BUILT' PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS.

Signature: [Signature] DATE: 09-16-05  
FRONT NAME BELOW SIGNATURE: William A. [Signature] PE

**STATE OF MARYLAND PROFESSIONAL ENGINEER**

DATE: 9-1-95

DATE: 11/2/96

DATE: 11/2/96

Professional Engr. No. 10551

**SITE DEVELOPMENT PLAN SWM PROFILES & DETAILS**

Des By	Scale	AS NOTED	Proj. No.	89015L
Dwn By	NB	Date	8-30-95	11 OF 32
Chk By		Date	8-30-95	11 OF 32

Professional Engr. No. 10551



LIMIT OF DISTURBANCE PHASE I = 6.37 Ac. +

FOR ROOF DRAINAGE TO BASIN  
SEE SHEET 10 OF 32

MATCH LINE - SEE SHEET 4 OF 32

HOWARD COUNTY OFFICE  
BUILDING PARTNERSHIP  
SECTION 8, AREA 2  
PLAT #3648

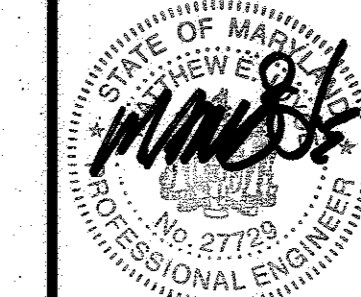
Parcel A-1  
HOWARD RESEARCH &  
DEVELOPMENT CORP.  
516/752  
(NT)

PURPOSE STATEMENT

IN ACCORDANCE WITH THE SEPT. 22, 2004 LETTER BY THE HOWARD COUNTY DEPT. OF PLANNING, ZONING & DEVELOPMENT ENGINEERING DIVISION, THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO RELOCATE THE ENTRANCE ALONG CEDAR LANE, RECONFIGURE THE EXISTING PARKING LOTS ON THE SOUTH SIDE OF THE HOSPITAL. THIS WILL REQUIRE MINOR STORAGE ADJUSTMENTS TO THE CURRENT APPROVED /INSTALLED SYSTEM. IN ADDITION, THE RED LINE INDICATES A 2" SEWER MAIN TO BE INSTALLED AS A DRY SYSTEM. THE PURPOSE OF ALL THE REQUESTED REVISIONS IS TO ACCOMMODATE A FUTURE TOWER BED ADDITION & CANOPY TO THE HOSPITAL AND DETACHED PARKING GARAGE.

REVISIONS MADE AFTER 07-12-09  
BY JOYCE ENGINEERING CORP.

10/09/06  
Date



Professional Engr. No. 27729

Basin Information Table

Basin Number	1
Existing Drainage Area Ac.	9.41
Interim Drainage Area Ac.	11.25
Proposed Drainage Area Ac.	11.95
Volume Required C.Y.	891.0
Volume Provided C.Y.	1207.0
Top of Dam Elevation	457.0
Emergency Spillway Elevation	NA
Riser Crest Elevation	451.0
Cleanout Elevation	450.0
Bottom Elevation	446.0
Q <sub>1</sub> into Basin C.F.S.	57.61
Q <sub>2</sub> out Basin C.F.S.	36.64
Q <sub>3</sub> out Emergency Spillway C.F.S.	NA
Design High Water	454.67
Freeboard Provided	2.13
Riser Interior Dimension	4' x 4'
Barrel Diameter	30"
Emergency Spillway Width	NA
Interim SWM Required	YES
Interim SWM Provided	YES

NOTE: TABLE REPRESENTS WORSE CASE SCENARIO (Phase 3)

LEGEND

- SS SUPER SILT FENCE
- S SILT FENCE
- EXISTING DA
- INTERM DA
- PROPOSED DA
- SP TEMP STOCK PILE
- TEMP SWALE
- EARTH DIKE
- STABILIZED CONSTRUCTION ENTRANCE
- MOUNTABLE BERM
- INLET PROTECTION
- LIMIT OF DISTURBANCE

NOTE: ON-SITE SOIL DISPOSAL MUST BE TRANSPORTED OFF SITE TO A SITE WITH AN APPROVED SEDIMENT AND EROSION CONTROL PLAN AND ACTIVE GRADING PERMIT TO BE DETERMINED BY THE CONTRACTOR AND APPROVED BY THE SEDIMENT AND EROSION CONTROL INSPECTOR.

NOTE: DURING PHASE 3 CONSTRUCTION TRAFFIC IS TO BE ROUTED TO CHARTER DRIVE TO ACCESS PHASE 2 AVAILABLE PARKING.

FOR UPDATED SEDIMENT & EROSION CONTROL PLAN  
SEE SHEETS 25 THRU 29 OF 32

DA TO 210' SILT FENCE (pha II)  
EX = 0.68 Ac. ±  
INT = 0.81 Ac. ±  
PROP = 0.07 Ac. ±

DA TO EARTH DIKE (pha II)  
EX = 0.45 Ac. ±  
INT = 0.20 Ac. ±  
PROP = 0.20 Ac. ±

PROPOSED PRIVATE DRIVE AND EASEMENT  
GRADE PROPOSED ACCESS ROAD TO SUBBASE ONLY. NO PAVING DURING PHASE I.  
DA TO 15' SUPER SILT FENCE & MOUNTABLE BERM (pha II)  
EX = 0.96 Ac. ±  
INT = 0.96 Ac. ±  
PROP = 0.96 Ac. ±

CEDAR LANE (PUBLIC)

CHARTER DRIVE (PUBLIC)

DA TO BASIN (pha II)  
EX = 9.41 Ac. ±  
INT = 11.25 Ac. ±  
PROP = 11.95 Ac. ±

DA TO 470' SUPER SILT FENCE (pha II)  
EX = 2.34 Ac. ±  
INT = 0.30 Ac. ±  
PROP = 0.30 Ac. ±

DA TO TEMP SWALE (pha II)  
EX = 4.85 Ac. ±  
INT = 4.72 Ac. ±  
PROP = 4.65 Ac. ±

DA TO 650' SILT FENCE (pha II)  
EX = 0.87 Ac. ±  
INT = 0.97 Ac. ±  
PROP = 0.97 Ac. ±

HAWTHORNE OFFICE PARK  
SECTION 8, AREA 4  
PLAT # 5305  
(NT)

ETHAN D. GROSSMAN  
SECTION 8, AREA 4  
1032/398  
PLAT # 4706  
(NT)

DONIGAL ASSOCIATES  
SECTION 8, AREA 4  
1309/004  
PLAT # 4883  
(NT)

DATE	NO.	REVISION DESCRIPTION
03/07/06	1	REVISED MAIN ENTRANCE, STORM DRAIN, LIGHTING, LANDSCAPING AND INSTALL NEW "DRY" SEWER FOR FUTURE SERVICE

NOTE: FOR SEQUENCE OF CONSTRUCTION SEE SHEET 4 OF 32

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

*George P. Barker* 1/2/96  
U.S. NATURAL RESOURCES CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: *Blade Zichner* 1/19/96  
HOWARD SOIL CONSERVATION DISTRICT DATE

PLAN NUMBER

DEVELOPERS CERTIFICATE:

I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I/WE SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN AS-BUILT PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I/WE ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

*George P. Barker* 9-1-95  
SIGNATURE OF DEVELOPER DATE  
PRINT NAME BELOW SIGNATURE  
GEORGE P. BARKER

ENGINEERS CERTIFICATE:

I/CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT I/WE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN AS-BUILT PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

*John W. Kananich* 9-1-95  
SIGNATURE OF ENGINEER DATE  
PRINT NAME BELOW SIGNATURE  
JOHN W. KANANICH

9-1-95  
Date

Professional Engr. No. 10551

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
*John W. Kananich* 10/25/06  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*John W. Kananich* 11/15/06  
CHIEF, DIVISION OF LAND DEVELOPMENT & RESEARCH DATE

*John W. Kananich* 11/6/06  
DIRECTOR DATE

8-7-98 4 REV. SWM POND GRADING

Date	No.	Revision Description

HOWARD COUNTY GENERAL HOSPITAL  
TOWN CENTER  
SECTION 8 - AREA 2 - LOT 4

OWNER/DEVELOPER:  
HOWARD COUNTY GENERAL HOSPITAL, INC.  
5755 CEDAR LANE  
COLUMBIA, MARYLAND 21044

**DMW**  
Dawn McCaskey-Walkers, Inc.  
300 East Pennsylvania Avenue  
Towson, Maryland 21286  
(410) 296-4339  
Fax 410-296-4705

A Team of Land Planners,  
Landscape Architects,  
Engineers, Surveyors &  
Environmental Professionals

PROJECT NAME: 8/2  
HCSH: 4/276  
DATE: 8/25/06  
SCALE: 1" = 50'  
SHEET NO.: 13 OF 32  
PROJECT NO.: 89015L

TITLE: SEDIMENT & EROSION CONTROL PLAN PHASE 1

DESIGNED BY: NB  
DATE: 8-30-95  
PROJECT NO.: 89015L

CHECKED BY: Approved  
DATE: 13 OF 32

LIMIT OF DISTURBANCE PHASE 2 = 5.27 Ac. ±

FOR ROOF DRAINAGE TO BASIN  
SEE SHT 10 OF 32


MATCH LINE - SEE SHEET 4 OF 32

**PURPOSE STATEMENT**

IN ACCORDANCE WITH THE SEPT. 22, 2006 LETTER BY THE HOWARD COUNTY DEPT. OF PLANNING, ZONING & DEVELOPMENT ENGINEERING DIVISION, THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO RELOCATE THE ENTRANCE ALONG CEDAR LANE, RECONFIGURE THE EXISTING PARKING LOTS ON THE SOUTH SIDE OF THE HOSPITAL. THIS WILL REQUIRE MINOR STORM DRAIN ADJUSTMENTS TO THE CURRENT APPROVED / INSTALLED SYSTEM. IN ADDITION, THE RED LINE INDICATES A "SEWER MAIN" TO BE INSTALLED AS A "DRY" SYSTEM. THE PURPOSE OF ALL THE REQUESTED REVISIONS IS TO ACCOMMODATE A FUTURE "TOWER BED" ADDITION & CANOPY TO THE HOSPITAL AND DETACHED PARKING GARAGE.

REVISIONS MADE AFTER 07-10-09  
BY JOYCE ENGINEERING CORP.

10/09/06  
Date



Professional Engr. No. 27729

**Basin Information Table**

Basin Number	1
Existing Drainage Area Ac.	8.95
Interim Drainage Area Ac.	8.50
Proposed Drainage Area Ac.	8.59
Volume Required C.Y.	804.0
Volume Provided C.Y.	1307
Top of Dam Elevation	457.0
Emergency Spillway Elevation	NA
Riser Crest Elevation	459.0
Cleanout Elevation	450.0
Bottom Elevation	446.0
Q <sub>in</sub> into Basin C.F.S.	67.67
Q <sub>out</sub> Barrel C.F.S.	36.64
Q <sub>out</sub> Emergency Spillway C.F.S.	NA
Design High Water	454.87
Freeboard Provided	2.13
Riser Interior Dimensions	4'x4'
Barrel Diameter	30"
Emergency Spillway Width	NA
Interim SWM Required	YES
Interim SWM Provided	YES

NOTE: TABLE REPRESENTS WORSE CASE SCENARIO (phase 3)

Parcel A-1  
HOWARD RESEARCH & DEVELOPMENT CORP.  
516/752 (NT)

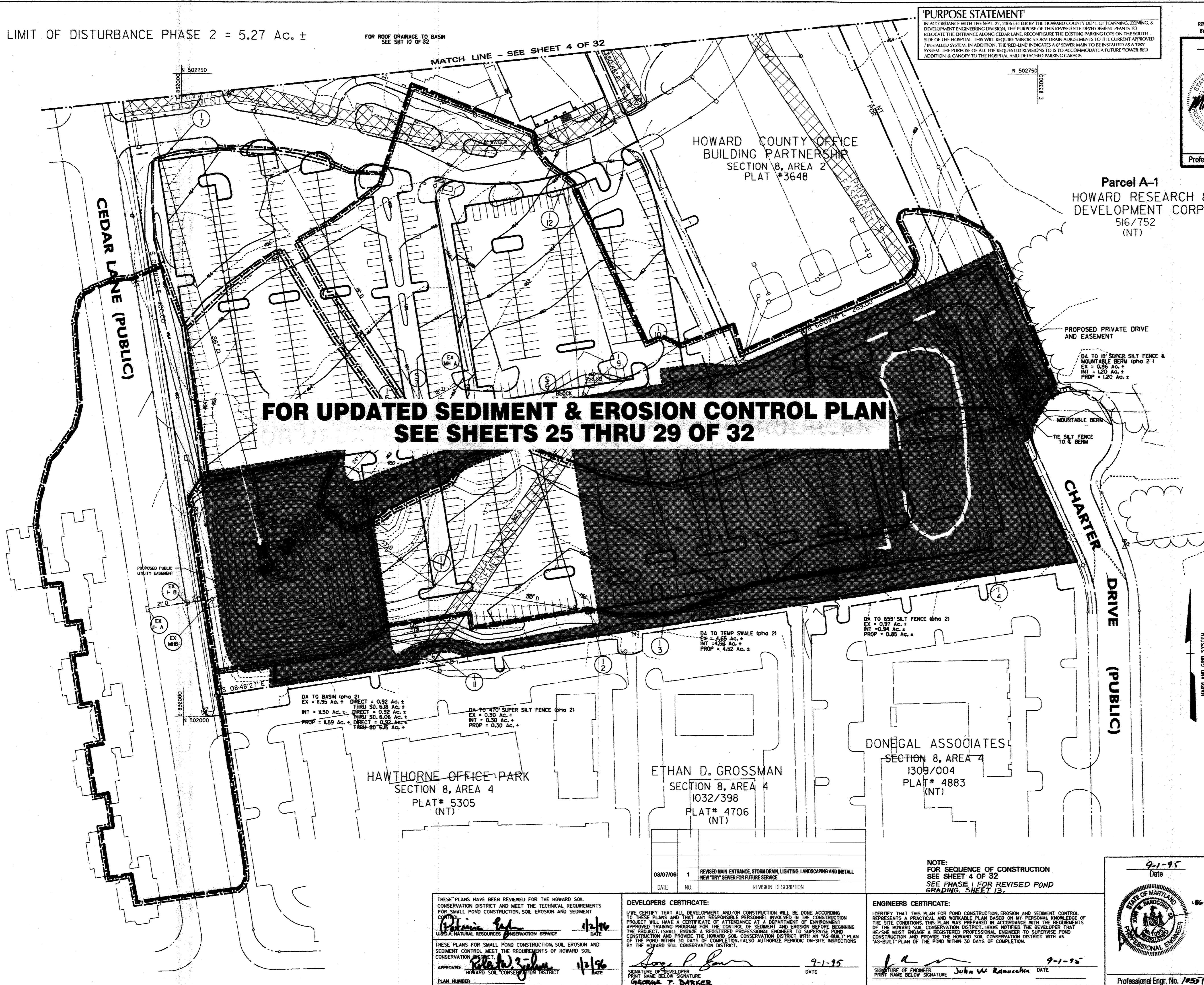
**LEGEND**

- SS SUPER SILT FENCE
- S SILT FENCE
- EXISTING DA
- INTERM DA
- PROPOSED DA
- TEMP STOCK PILE
- TEMP SWALE
- SCS STABILIZED CONSTRUCTION ENTRANCE
- MOUNTABLE BERM
- INLET PROTECTION
- LIMIT OF DISTURBANCE

NOTE: ON-SITE SOIL DISPOSAL MUST BE TRANSPORTED OFF SITE TO A SITE WITH AN APPROVED SEDIMENT AND EROSION CONTROL PLAN AND ACTIVE GRADING PERMIT TO BE DETERMINED BY THE CONTRACTOR AND APPROVED BY THE SEDIMENT AND EROSION CONTROL INSPECTOR.

NOTE: DURING PHASE 3 CONSTRUCTION TRAFFIC IS TO BE ROUTED TO CHARTER DRIVE TO ACCESS PHASE 2 AVAILABLE PARKING.

**FOR UPDATED SEDIMENT & EROSION CONTROL PLAN  
SEE SHEETS 25 THRU 29 OF 32**



APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS,  
HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION *[Signature]* 10/21/06 DATE

CHIEF, DIVISION OF LAND DEVELOPMENT & SUBDIVISION *[Signature]* 11/17/06 DATE

DIRECTOR *[Signature]* 11/16/06 DATE

8-7-98 4 ADJ. 36" D.; REV STORM DRAINAGE; SWM POND GRADING.

10-21-07 1 DELETE STOCKPILE

Date	No.	Revision Description

HOWARD COUNTY GENERAL HOSPITAL  
TOWN CENTER  
SECTION 8 - AREA 2 - LOT 4

OWNER/DEVELOPER:  
HOWARD COUNTY GENERAL HOSPITAL, INC.  
5755 CEDAR LANE  
COLUMBIA, MARYLAND 21044

**DMW**  
Dawn McCreary Walker, Inc.  
300 East Pennsylvania Avenue  
Towson, Maryland 21286  
410) 296-3532  
Fax: 396-4705

A Team of Land Planners,  
Landscape Architects,  
Engineers, Surveyors &  
Environmental Professionals

DESIGNER NAME HCBH	SCALE 8/2	DATE 4/27/06
PROJECT NO. 3848	DATE OF ISSUE 5	DATE OF REVISION 5th
DATE 106	PROJECT NO. 5527500	DATE 8/23/02
TITLE <b>SEDIMENT &amp; EROSION CONTROL PLAN PHASE 2</b>		
DESIGNED BY NB	SCALE 1" = 50'	PROJECT NO. 89015L
DRAWN BY NB	DATE 8-30-95	DATE 3/3
CHECKED BY Approved	DATE	DATE 14 OF 32

DA TO TEMP SWALE (pha 2)  
EX = 4.65 Ac. ±  
INT = 4.52 Ac. ±  
PROP = 4.52 Ac. ±

DA TO 655' SILT FENCE (pha 2)  
EX = 0.37 Ac. ±  
INT = 0.34 Ac. ±  
PROP = 0.85 Ac. ±

DA TO BASIN (pha 2)  
EX = 11.95 Ac. ± DIRECT = 0.92 Ac. ±  
THRU SD, 5.38 Ac. ±  
INT = 11.50 Ac. ± DIRECT = 0.92 Ac. ±  
THRU SD, 6.06 Ac. ±  
PROP = 11.59 Ac. ± DIRECT = 0.92 Ac. ±  
THRU SD, 6.15 Ac. ±

DA TO 470' SUPER SILT FENCE (pha 2)  
EX = 0.30 Ac. ±  
INT = 0.30 Ac. ±  
PROP = 0.30 Ac. ±

HAWTHORNE OFFICE PARK  
SECTION 8, AREA 4  
PLAT# 5305 (NT)

ETHAN D. GROSSMAN  
SECTION 8, AREA 4  
1032/398  
PLAT# 4706 (NT)

DONEGAL ASSOCIATES  
SECTION 8, AREA 4  
1309/004  
PLAT# 4883 (NT)

DATE	NO.	REVISION DESCRIPTION
03/07/06	1	REVISED MAIN ENTRANCE, STORM DRAIN, LIGHTING, LANDSCAPING AND INSTALL NEW "DRY" SEWER FOR FUTURE SERVICE.

NOTE:  
FOR SEQUENCE OF CONSTRUCTION  
SEE SHEET 4 OF 32  
SEE PHASE 1 FOR REVISED POND  
GRADING, SHEET 13.

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

*[Signature]* 11/2/06 DATE

U.S.D.A. NATURAL RESOURCES CONSERVATION SERVICE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: *[Signature]* 11/2/06 DATE

HOWARD SOIL CONSERVATION DISTRICT

PLAN NUMBER

**DEVELOPERS CERTIFICATE:**

I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

*[Signature]* 9-1-95 DATE

SIGNATURE OF DEVELOPER  
PRINT NAME BELOW SIGNATURE  
George P. Barker

**ENGINEERS CERTIFICATE:**

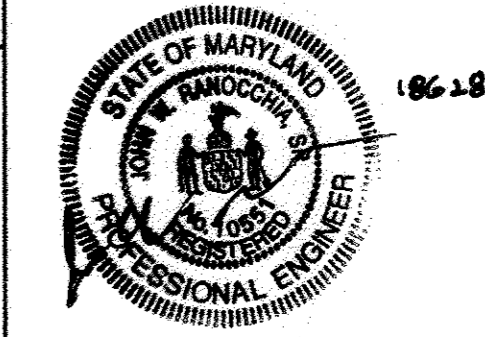
I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

*[Signature]* 9-1-95 DATE

SIGNATURE OF ENGINEER  
PRINT NAME BELOW SIGNATURE  
John W. Ranocchia

Professional Engr. No. 10557

9-1-95  
Date



Professional Engr. No. 10557

LIMIT OF DISTURBANCE PHASE 3 = 5.08 Ac. ±  
 TOTAL LIMIT OF DISTURBANCE = 11.65 Ac. ±

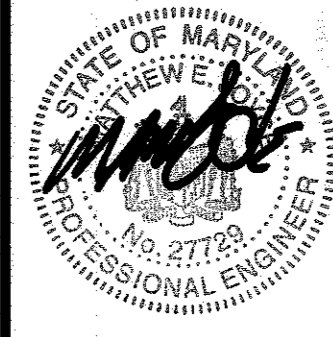
FOR ROOF DRAINAGE TO BASIN  
 SEE SHT 10 OF 32

**PURPOSE STATEMENT**

In accordance with the Sept. 22, 2006 letter by the Howard County Dept. of Planning, Zoning, & Development Engineering Division, the purpose of this revised Site Development Plan is to relocate the entrance along Cedar Lane, reconfigure the existing parking lots on the south side of the hospital. This will require minor storm drain adjustments to the current approved / installed system. In addition, the "Red Line" indicates a 12" Sewer main to be installed as a Dry System. The purpose of all the requested revisions is to accommodate a future Tower Bed Addition to the hospital and Detached Parking Garage.

REVISIONS MADE AFTER 07-12-09  
 BY JOYCE ENGINEERING CORP.

10/09/06  
 Date



Professional Engr. No. 27729

**Basin Information Table**

Basin Number	1
Existing Drainage Area Ac.	8.59
Interim Drainage Area Ac.	12.26
Proposed Drainage Area Ac.	12.26
Volume Required C.Y.	821.0
Volume Provided C.Y.	1307.0
Top of Dam Elevation	457.0
Emergency Spillway Elevation	NA
Riser Crest Elevation	451.0
Cleanout Elevation	450.0
Bottom Elevation	446.0
0 <sub>in</sub> into Basin C.F.S.	67.67
0 <sub>out</sub> Basin C.F.S.	36.64
0 <sub>in</sub> into Emergency Spillway C.F.S.	NA
Design High Water	454.87
Freeboard Provided	2.13
Riser Interior Dimensions	4'x4'
Barrel Diameter	30"
Emergency Spillway Width	NA
Interim SWM Required	YES
Interim SWM Provided	YES

NOTE: TABLE REPRESENTS WORSE CASE SCENARIO (Phase 3)

**LEGEND**

- SS SUPER SILT FENCE
- S SILT FENCE
- EXISTING DA
- INTERIM DA
- PROPOSED DA
- SP TEMP STOCK PILE
- TEMP SWALE
- SCE STABILIZED CONSTRUCTION ENTRANCE
- MOUNTABLE BERM
- INLET PROTECTION
- LIMIT OF DISTURBANCE

NOTE: ON-SITE SOIL DISPOSAL MUST BE TRANSPORTED OFF SITE TO A SITE WITH AN APPROVED SEDIMENT AND EROSION CONTROL PLAN AND ACTIVE GRADING PERMIT TO BE DETERMINED BY THE CONTRACTOR AND APPROVED BY THE SEDIMENT AND EROSION CONTROL INSPECTOR.

NOTE: DURING PHASE 3 CONSTRUCTION TRAFFIC IS TO BE ROUTED TO CHARTER DRIVE TO ACCESS PHASE 2 AVAILABLE PARKING.

**FOR UPDATED SEDIMENT & EROSION CONTROL PLAN  
 SEE SHEETS 26 THRU 29 OF 32**

Parcel A-1  
 HOWARD RESEARCH &  
 DEVELOPMENT CORP.  
 516/752  
 (NT)

HAWTHORNE OFFICE PARK  
 SECTION 8, AREA 4  
 PLAT # 5305  
 (NT)

ETHAN D. GROSSMAN  
 SECTION 8, AREA 4  
 1032/398  
 PLAT # 4706  
 (NT)

DONIGAL ASSOCIATES  
 SECTION 8, AREA 4  
 1309/004  
 PLAT # 4883  
 (NT)

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS,  
 HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER	DATE
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING	
CHIEF, DEVELOPMENT ENGINEERING DIVISION	10/28/06
CHIEF, DIVISION OF LAND DEVELOPMENT & ADMINISTRATION	11/15/06
DIRECTOR	11/15/06

8-7-98	4	REV. SWM POND GRADING
10-31-97	1	DELETE STOCKPILE

HOWARD COUNTY GENERAL HOSPITAL  
 TOWN CENTER  
 SECTION 8 - AREA 2 - LOT 4

OWNER/DEVELOPER:  
 HOWARD COUNTY GENERAL HOSPITAL, INC.  
 5755 CEDAR LANE  
 COLUMBIA, MARYLAND 21044

**DMW**  
 Dawn MacCune-Walters, Inc.  
 200 East Pennsylvania Avenue  
 Towson, Maryland 21286  
 (410) 286-3355  
 Fax: 286-4708

A Team of Land Planners,  
 Landscape Architects,  
 Engineers, Surveyors &  
 Environmental Professionals

SYMBOL NAME	SECTION	DATE
HCBH	8/2	4/776
REVISION	NO. OF PAGES	PAGES
3048	5	5th
DATE	SEWER CODE	5522500
106		
TITLE		
SEDIMENT & EROSION CONTROL PLAN PHASE 3		
Des By	Scale	Proj. No.
Drn By	Date	89015L
Chk By	Approved	15 OF 32

NOTE:  
 FOR SEQUENCE OF CONSTRUCTION  
 SEE SHEET 4 OF 32  
 SEE PHASE 1 FOR REVISED POND  
 GRADINGS. (SHEET 13).

DATE	NO.	REVISION DESCRIPTION
03/07/06	1	REVISED MAIN ENTRANCE, STORM DRAIN LIGHTING, LANDSCAPING AND INSTALL NEW DRY SILENTER FOR FUTURE SERVICE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

APPROVED: *George P. Barker* 12/16  
 U.S.D.A. NATURAL RESOURCES CONSERVATION SERVICE

THESE PLANS FOR SMALL POND CONSTRUCTION SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: *Blaine Zielinski* 12/16  
 HOWARD SOIL CONSERVATION DISTRICT

PLAN NUMBER

DEVELOPERS CERTIFICATE:  
 I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I/SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

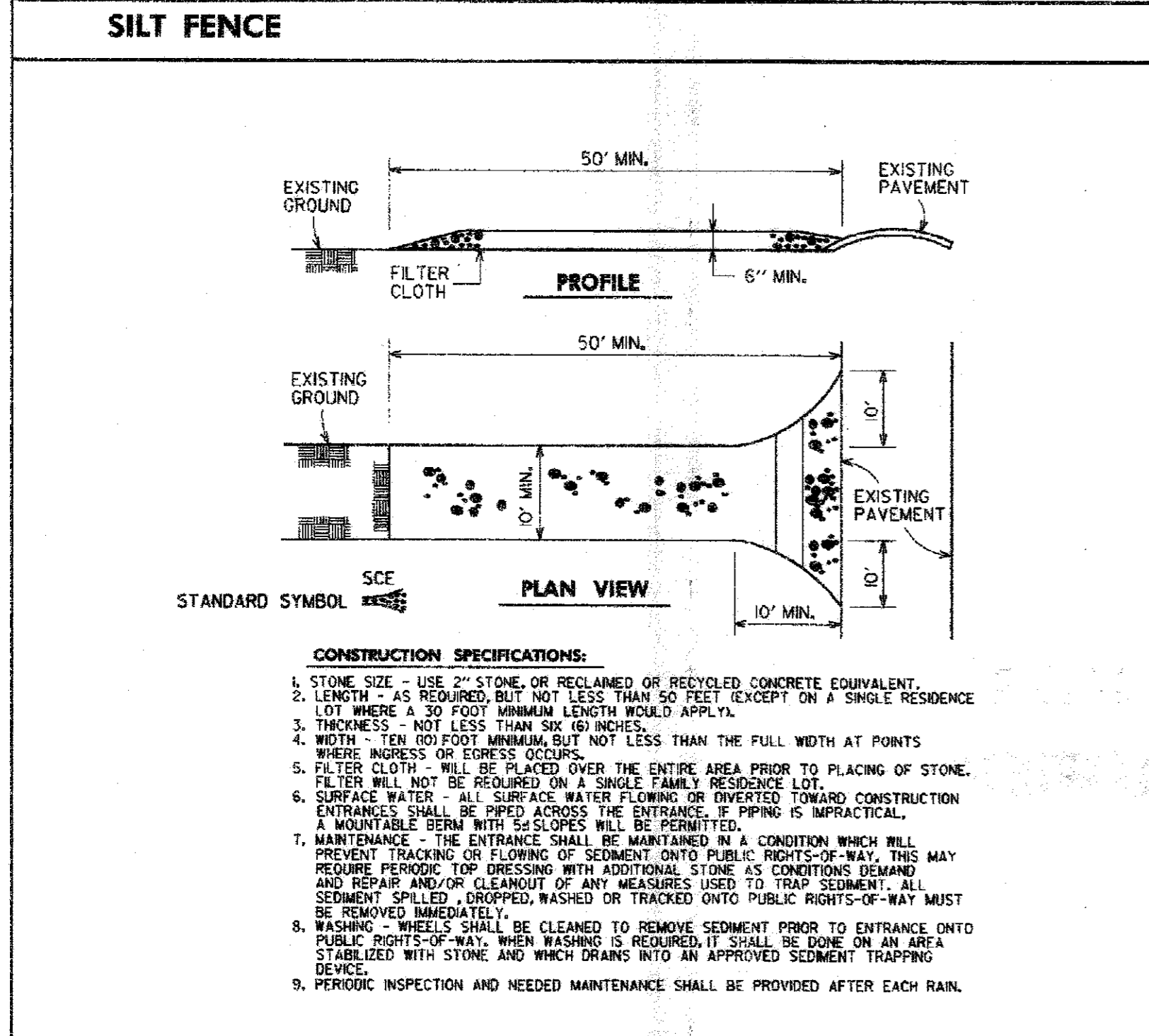
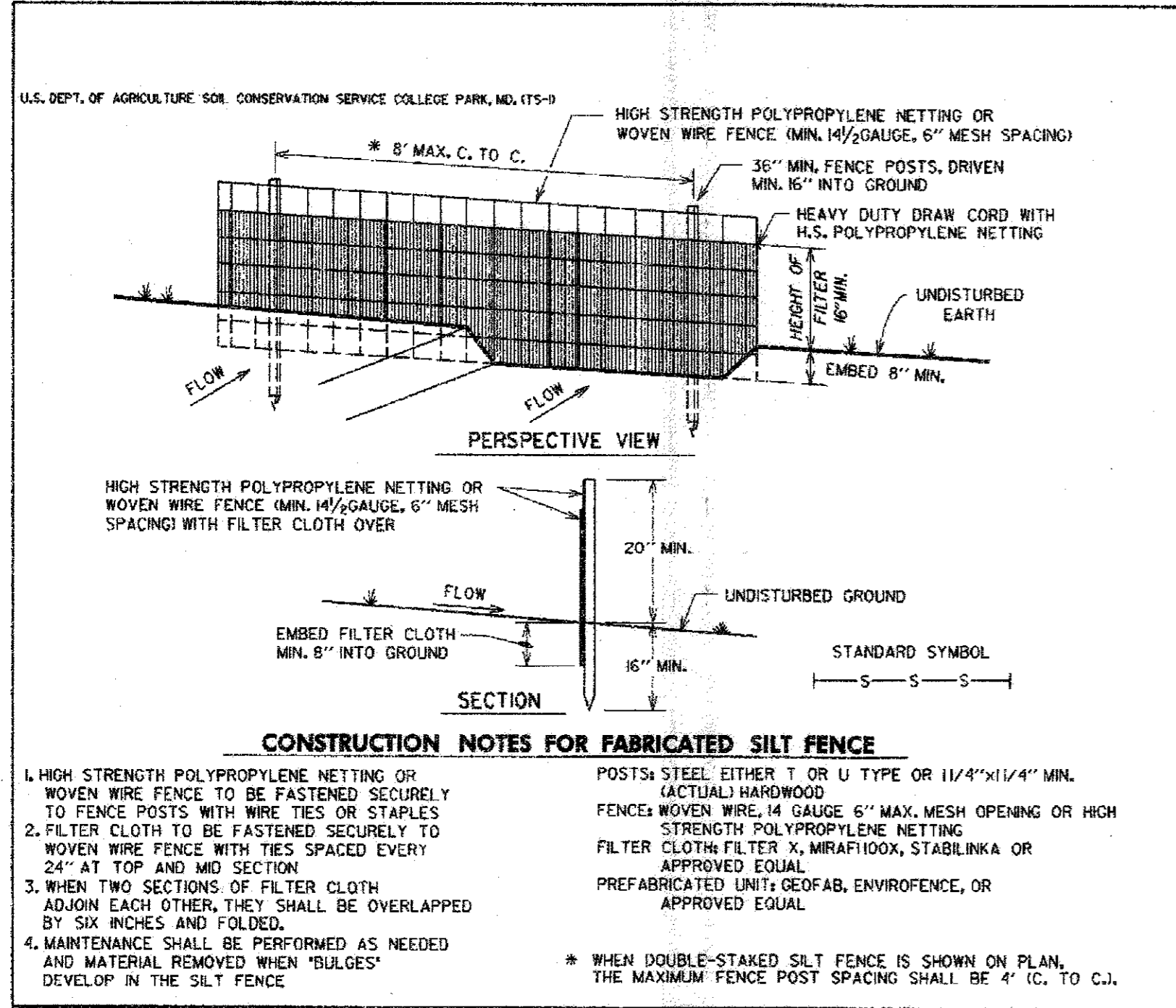
*George P. Barker* 9-1-95  
 SIGNATURE OF DEVELOPER  
 POINT NAME BELOW SIGNATURE  
 GEORGE P. BARKER

ENGINEERS CERTIFICATE:  
 I/CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTICED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

*John W. Kanouche* 9-1-95  
 SIGNATURE OF ENGINEER  
 POINT NAME BELOW SIGNATURE  
 JOHN W. KANOUCHE



Professional Engr. No. 10557

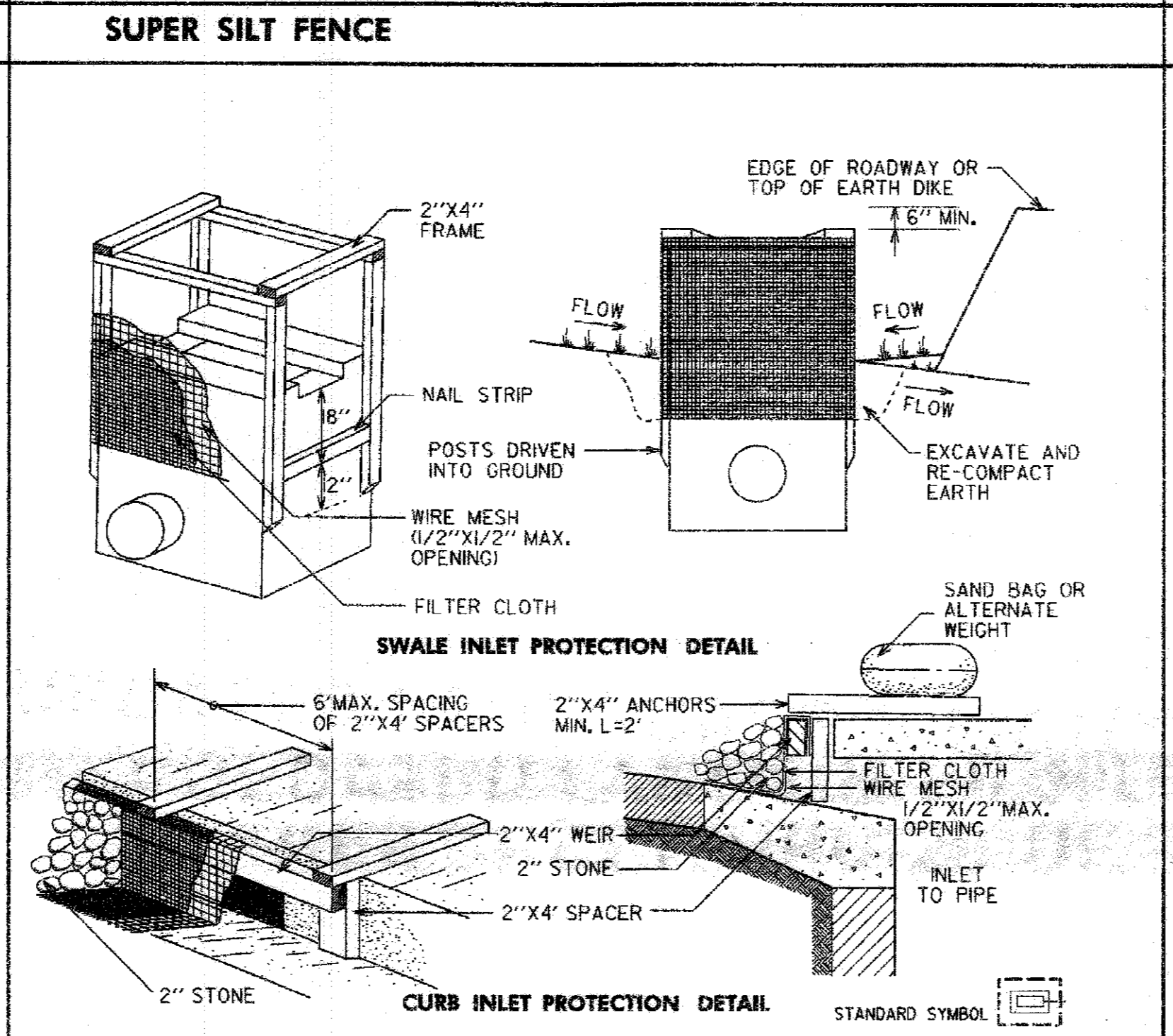
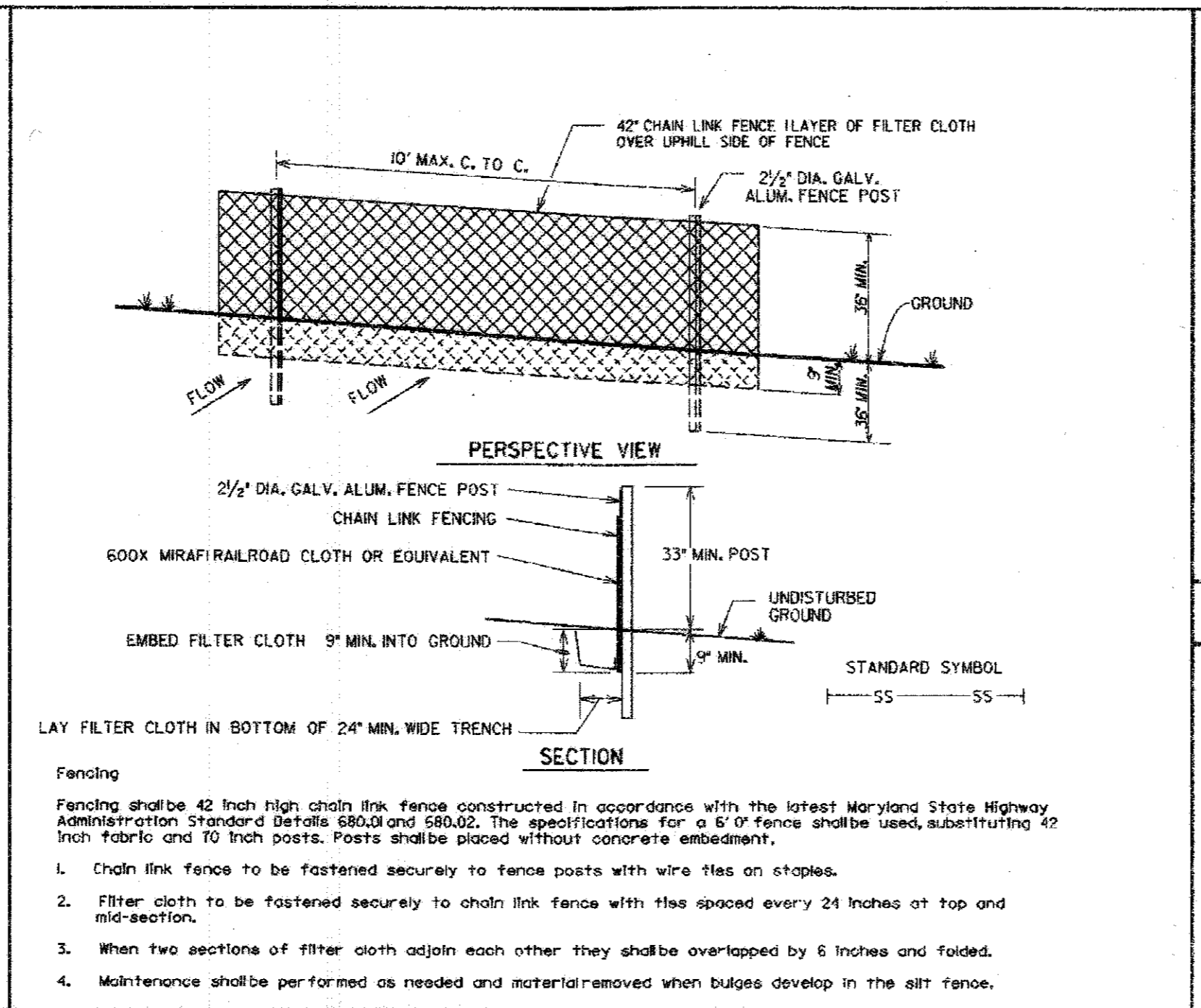


**CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**

- HIGH STRENGTH POLYPROPYLENE NETTING OR WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24\"/>

**CONSTRUCTION SPECIFICATIONS:**

- STONE SIZE - USE 2\"/>



**DUST CONTROL SPECIFICATIONS**

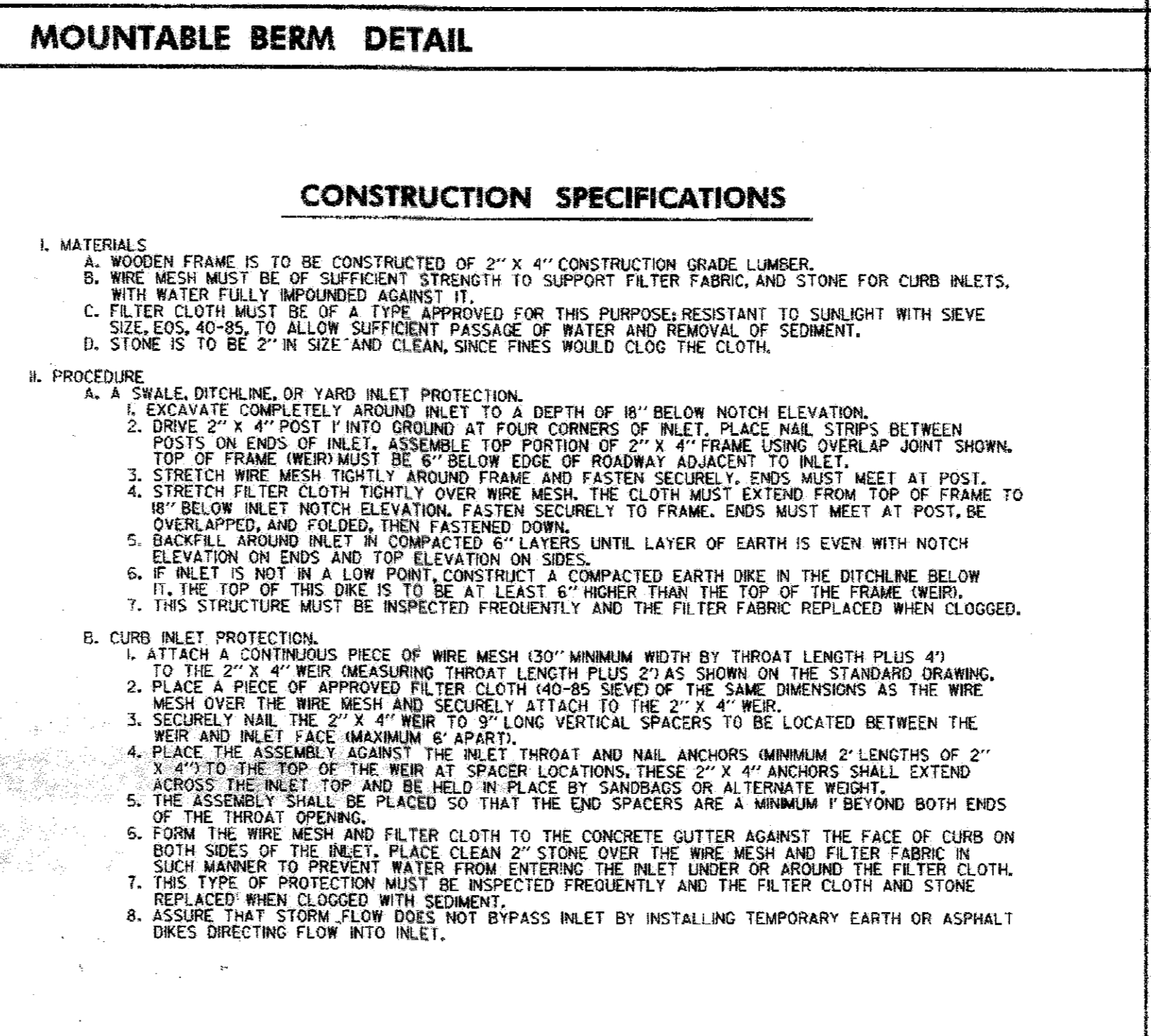
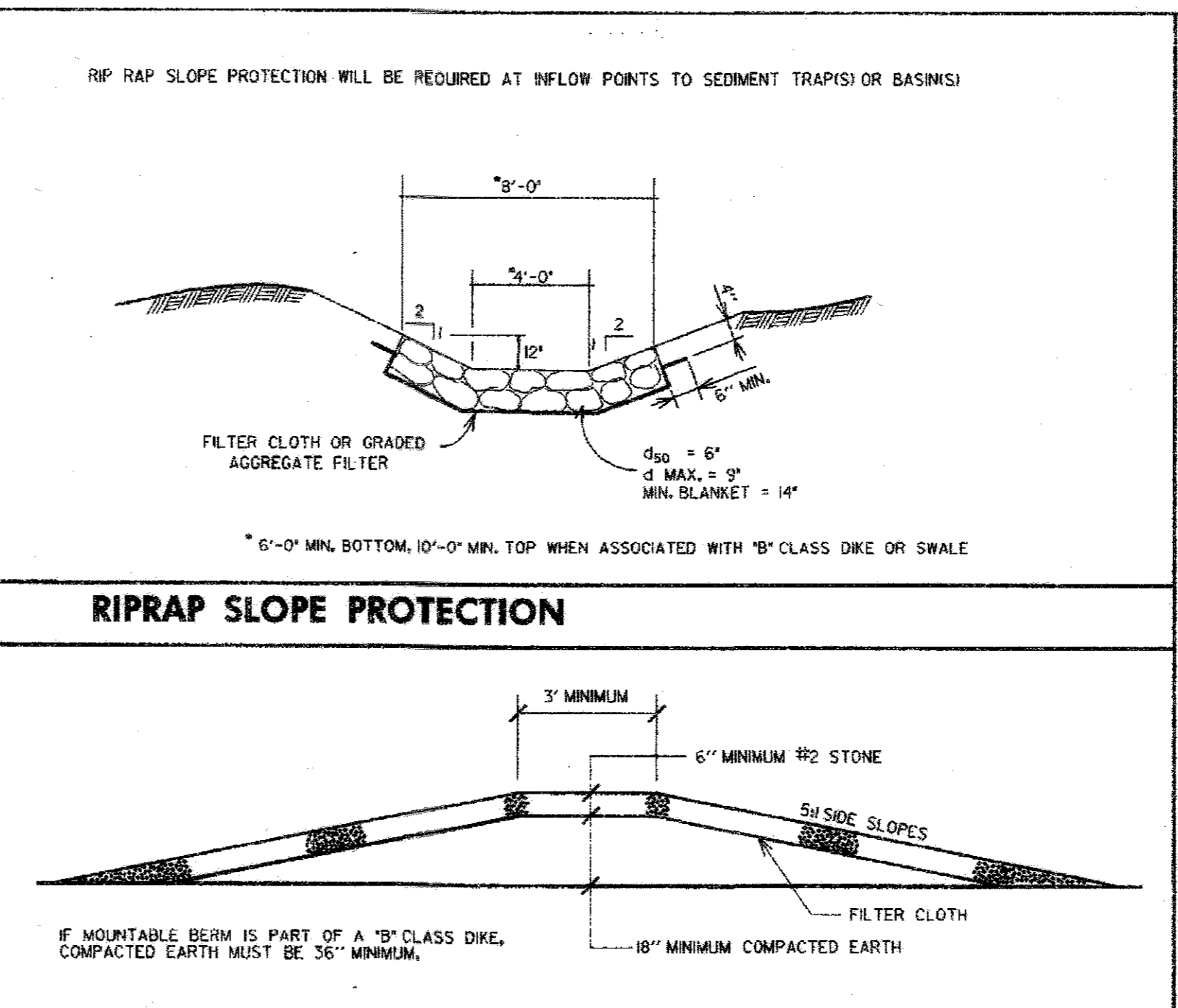
Temporary Methods

- Mulches - See standards for critical area stabilization with mulches only. Chemical mulches fiber blankets may be used instead of mulch to bind much material.
- Vegetative cover - See standards for temporary vegetative cover.
- Spray-on Adhesives - on mineral soils (not effective on much soils). Keep traffic off these areas.

Water Dilution	Type of Nozzle	Gallons/Ac.
Antonic asphalt emulsion	7/8 Coarse Spray	1200
Lafax emulsion	1/2 1/2 Fine Spray	225
Resin-in-water emulsion	4/8 Fine Spray	300

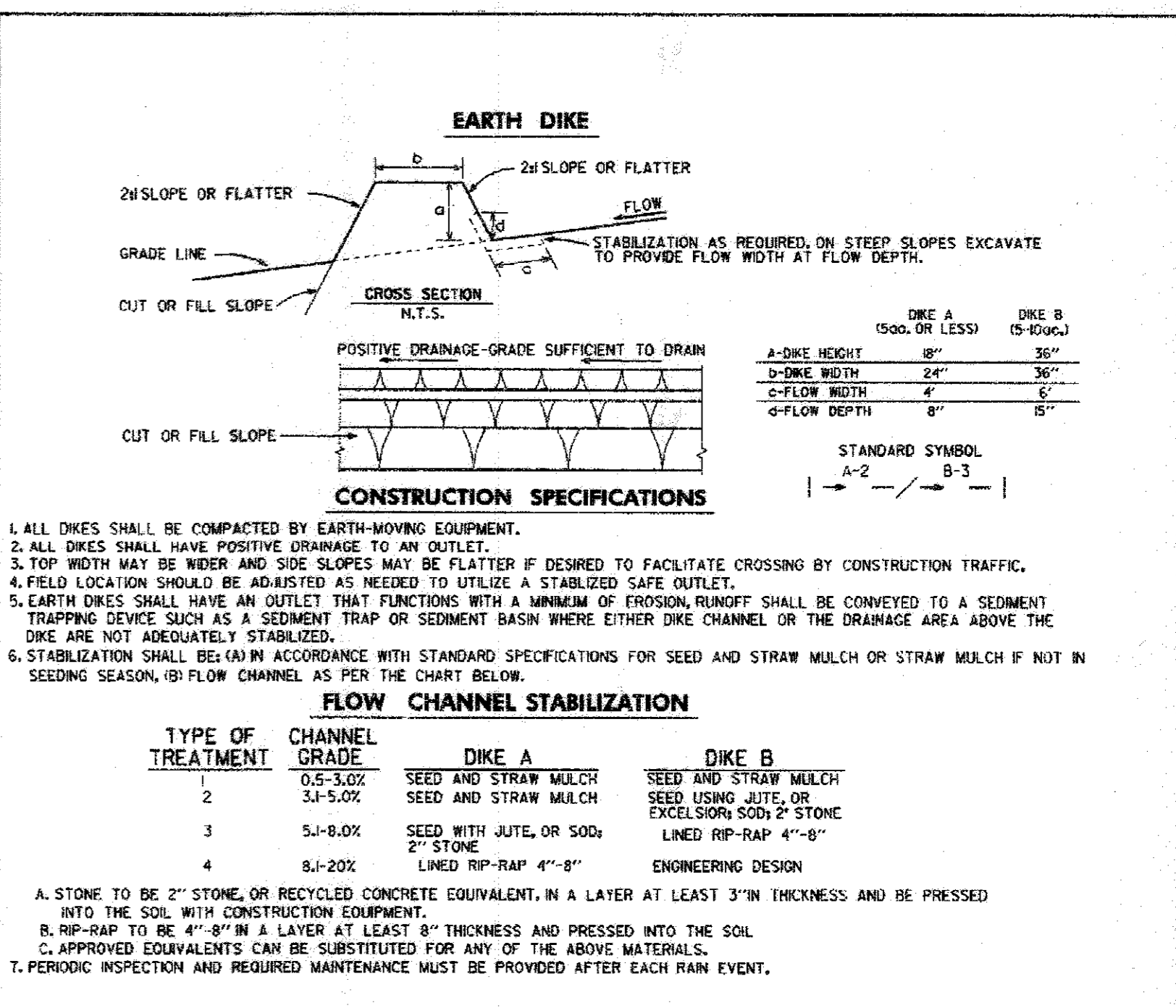
Permanent Methods

- Permanent Vegetation - See standards for permanent vegetative cover, and permanent stabilization with soil. Existing trees or large shrubs may afford valuable protection if left in place.
- Topsoiling - Covering with less erosive soil materials. See standards for topsoiling.
- Stone - Cover surface with crushed stone or coarse gravel.



**CONSTRUCTION SPECIFICATIONS**

- MATERIALS
  - WOODEN FRAME IS TO BE CONSTRUCTED OF 2\"/>
- PROCEDURE
  - SWALE, DITCHLINE OR YARD INLET PROTECTION.
    - EXCAVATE COMPLETELY AROUND INLET TO A DEPTH OF 18\"/>



**EARTH DIKE**

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

APPROVED: *John W. Kanawich* 12/26/06

APPROVED: *John W. Kanawich* 1/2/07

APPROVED: *John W. Kanawich* 9-1-95

APPROVED: *George P. Barker* 9-1-95

**REVISIONS MADE AFTER 07-12-99 BY JOYCE ENGINEERING CORP.**

Date	No.	Revision Description
03/07/06	1	REVISED MAIN ENTRANCE, STORM DRAIN, LIGHTING, LANDSCAPING AND INSTALL NEW "DIRTY" SEWER FOR FUTURE SERVICE

**PURPOSE STATEMENT**

IN ACCORDANCE WITH THE SEPT. 22, 2006 LETTER BY THE HOWARD COUNTY DEPT. OF PLANNING, ZONING, & DEVELOPMENT ENGINEERING DIVISION, THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO RELOCATE THE EXISTING PARKING LOTS ON THE SOUTH SIDE OF THE HOSPITAL. THIS WILL REQUIRE MINOR STORM DRAIN ADJUSTMENTS TO THE CURRENT APPROVED / INSTALLED SYSTEM. IN ADDITION, THE RED-LINE INDICATES A 9\"/>

**APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS - HOWARD COUNTY HEALTH DEPARTMENT**

**COUNTY HEALTH OFFICER**

**APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING**

**CHIEF, DEVELOPMENT ENGINEERING DIVISION** 10/25/06

**CHIEF, DIVISION OF LAND DEVELOPMENT & REVENUE** 11/07/06

**DIRECTOR** 11/6/06

**HOWARD COUNTY GENERAL HOSPITAL**

TOWN CENTER  
SECTION 8 - AREA 2 - LOT 4

OWNER/DEVELOPER:  
HOWARD COUNTY GENERAL HOSPITAL, INC.  
5755 CEDAR LANE  
COLUMBIA, MARYLAND 21044

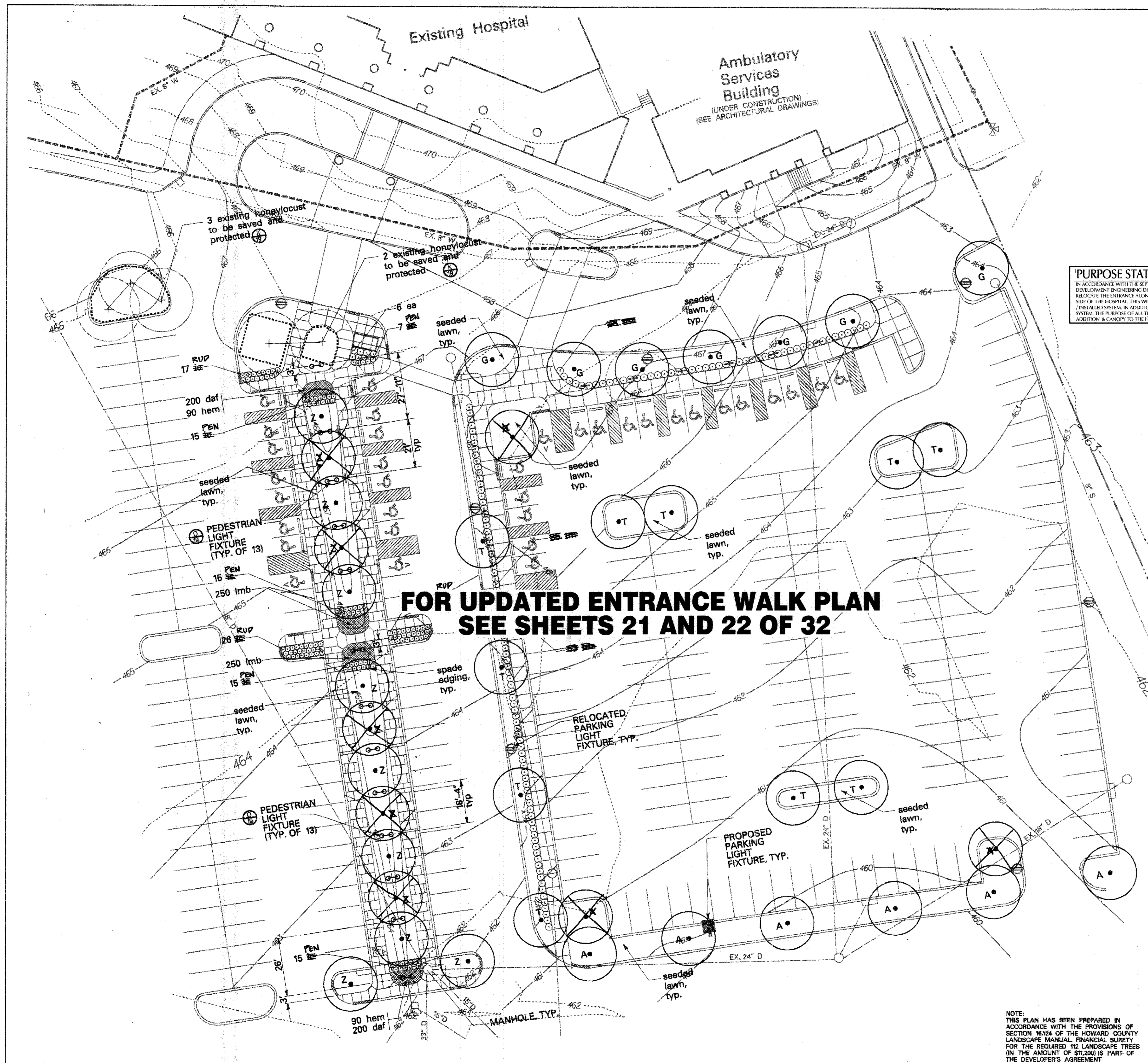
**DMW**  
Dwight McCreary-Walton, Inc.  
200 East Pennsylvania Avenue  
Towson, Maryland 21286  
(410) 286-4356  
Fax 286-4705

**SEDIMENT AND EROSION CONTROL DETAILS**

Dist By	Scale	NTS	Proj No.
Dist By	NB	Date	8-30-95
Chk By	Approved		16 OF 32







**FOR UPDATED ENTRANCE WALK PLAN  
SEE SHEETS 21 AND 22 OF 32**

**PLANT LIST FOR THIS SHEET ONLY**

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	REMARKS
<b>OVERSTORY TREES</b>						
A	9	Acer Saccharum 'Green Mountain'	Green Mountain Sugar Maple	12-14', 2-2 1/2" cal	R&B	
G	7	Gleditsia inaequalis var. inermis	Thornless Honeylocust	2-2 1/2" cal	R&B	Match variety exist. on site
T	10	Thuja cordata 'Greenspire'	Greenspire Loblolly Linden	2-2 1/2" cal	R&B	
<b>SHRUBS</b>						
hem	180	Hemerocallis 'Stella d'Or'	Stella d'Or Day Lily	1 pint		12" O.C.
lmb	500	Liriope muscari 'Big Blue'	Big Blue Lily Turf	1 pint		8" O.C.
<b>BULBS</b>						
dfl	400	Narcissus species	Daffodils 'Ice Follies'		Sub	8" O.C.
RUP	69	RUDBECKIA 'GOLD SATURN'	BLACK EYED SUSAN	1 GAL.		
PEN	67	PENNIPETUM 'HUMBELIN'	DWARF FOUNTAIN PENN	1 GAL.		

**FOR UPDATED PLANT LIST  
SEE SHEETS 24 AND 25 OF 32**

**PURPOSE STATEMENT**  
IN ACCORDANCE WITH THE SEPT. 22, 2006 LETTER BY THE HOWARD COUNTY DEPT. OF PLANNING, ZONING, & DEVELOPMENT ENGINEERING DIVISION, THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO RELOCATE THE ENTRANCE ALONG CEDAR LANE, RECONFIGURE THE EXISTING PARKING LOTS ON THE SOUTH SIDE OF THE HOSPITAL. THIS WILL REQUIRE MINOR STORM DRAIN ADJUSTMENTS TO THE CURRENT APPROVED /INSTALLED SYSTEM. IN ADDITION, THE RED-LINE INDICATES A 8" SEWER MAIN TO BE INSTALLED AS A DRY SYSTEM. THE PURPOSE OF ALL THE REQUESTED REVISIONS IS TO ACCOMMODATE A FUTURE TOWER BED ADDITION & CANOPY TO THE HOSPITAL AND DETACHED PARKING GARAGE.

DATE	NO.	REVISION DESCRIPTION
03/07/06	1	REVISED MAIN ENTRANCE, STORM DRAIN, LIGHTING, LANDSCAPING AND INSTALL NEW "DRY" SEWER FOR FUTURE SERVICE

- NOTES:**
- SEE SHEET 17 FOR LANDSCAPE NOTES AND ADDITIONAL PLANTING
  - SEE SHEET 19 FOR DETAILS FOR THIS AREA
  - SEE SHEET 6 FOR GRADING AND UTILITIES FOR THIS AREA
  - SEE SHEET 17 FOR LIGHTING NOTES

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS - HOWARD COUNTY HEALTH DEPARTMENT

<b>COUNTY HEALTH OFFICER</b>	DATE
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING	DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION	10/25/06
CHIEF, DIVISION OF LAND DEVELOPMENT & WRECKRECH	11/15/06
DIRECTOR	11/16/06

REVISIONS MADE AFTER 07-12-99 BY JOYCE ENGINEERING CORP.

10/09/06  
Date

Professional Engr. No. 22729

**HOWARD COUNTY GENERAL HOSPITAL  
TOWN CENTER  
SECTION 8 - AREA 2 - LOT 4**

OWNER/DEVELOPER:  
HOWARD COUNTY GENERAL HOSPITAL, INC.  
5755 CEDAR LANE  
COLUMBIA, MARYLAND 21044

**DMW**  
Dunn, McCreary-Walton, Inc.  
300 East Pennsylvania Avenue  
Towson, Maryland 21286  
(410) 286-4343  
Fax 286-4705

A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

9/1/95  
Date

STATE OF MARYLAND  
LANDSCAPE ARCHITECT

DESIGN DATE: 8/2  
PROJECT NO.: 3648  
SHEET NO.: 5  
DATE: 8/27/06  
SCALE: 1/8" = 1'-0"  
PROJECT: 89015  
SHEET: 33 OF 32

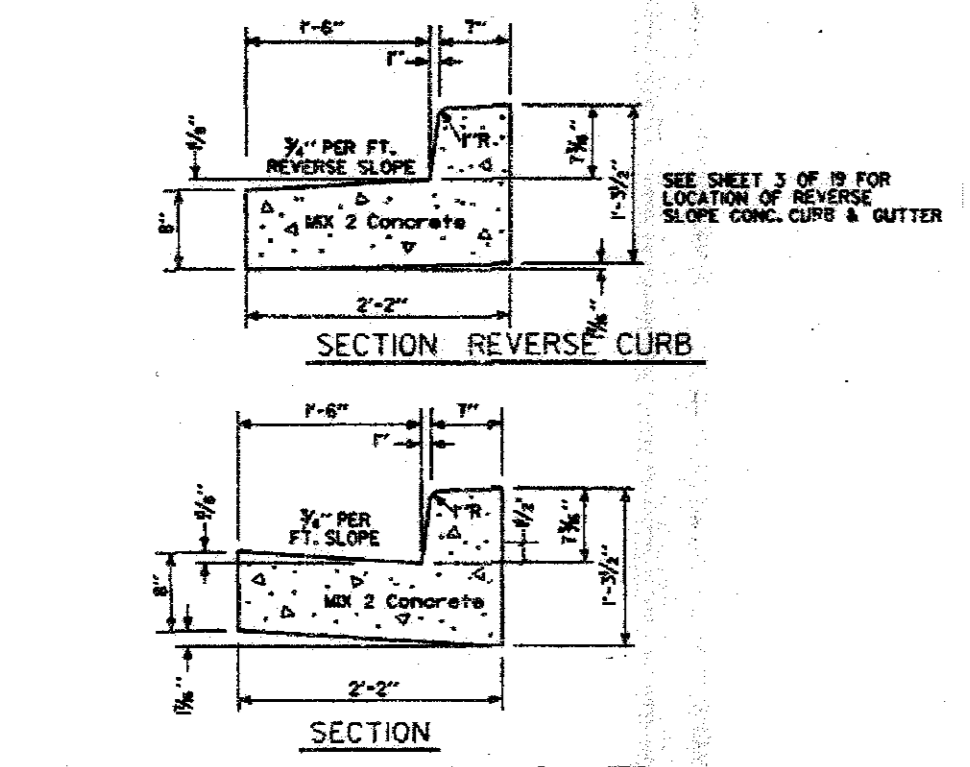
**ENTRANCE WALK LIGHTING & LANDSCAPE ENLARGEMENT**

Des By: TPC  
Dm By: TPC  
Cnk By: Approved

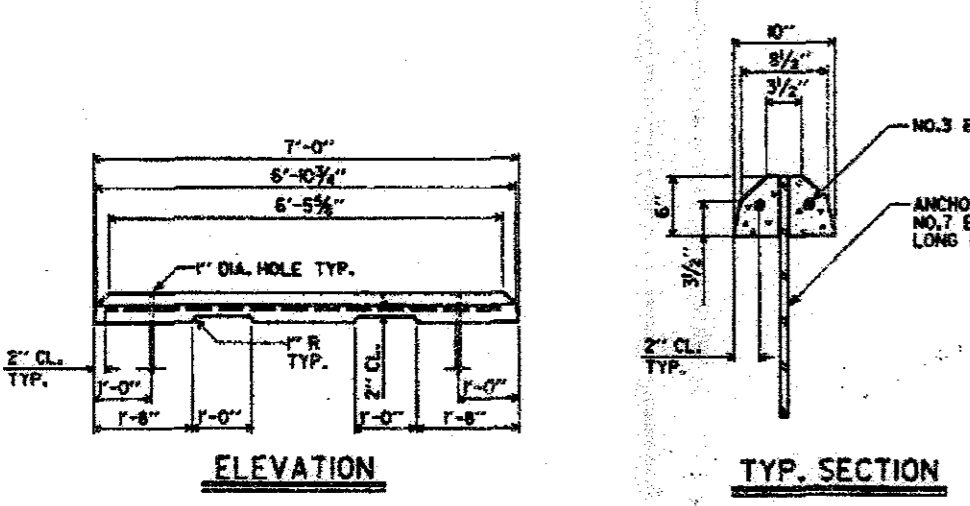
Scale: 1" = 20'  
Date: 8-30-95  
Approved: [Signature]

Proj. No.: 89015L  
18 OF 32

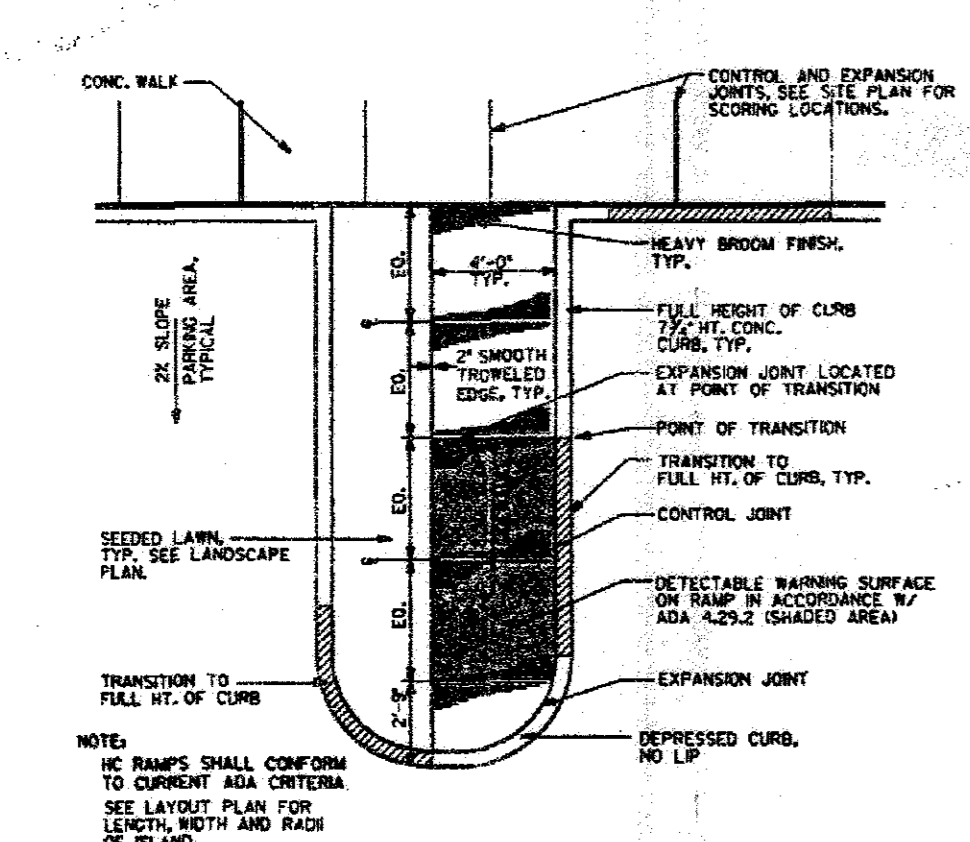
NOTE: THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE REQUIRED 112 LANDSCAPE TREES (IN THE AMOUNT OF \$11,200) IS PART OF THE DEVELOPER'S AGREEMENT



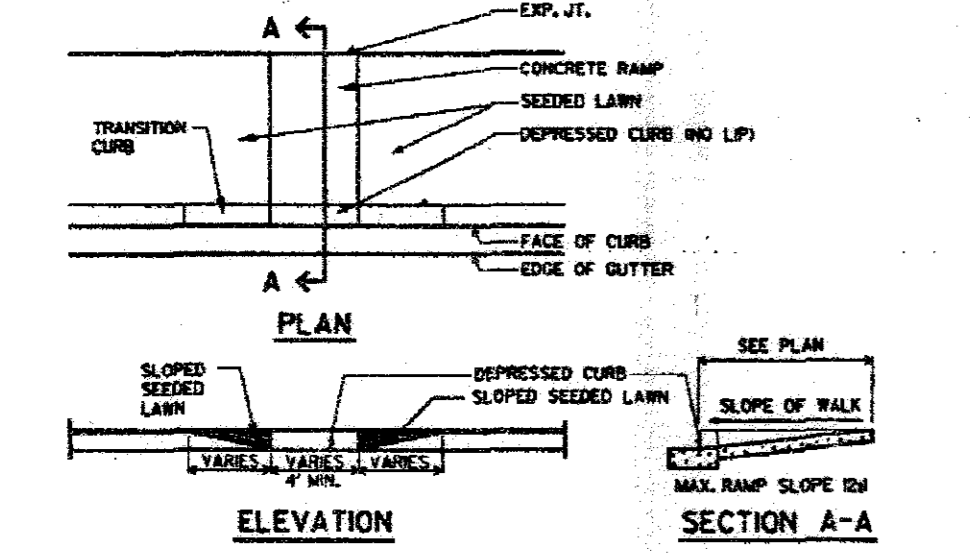
**A Concrete Curb, Typ.**  
19 Not To Scale



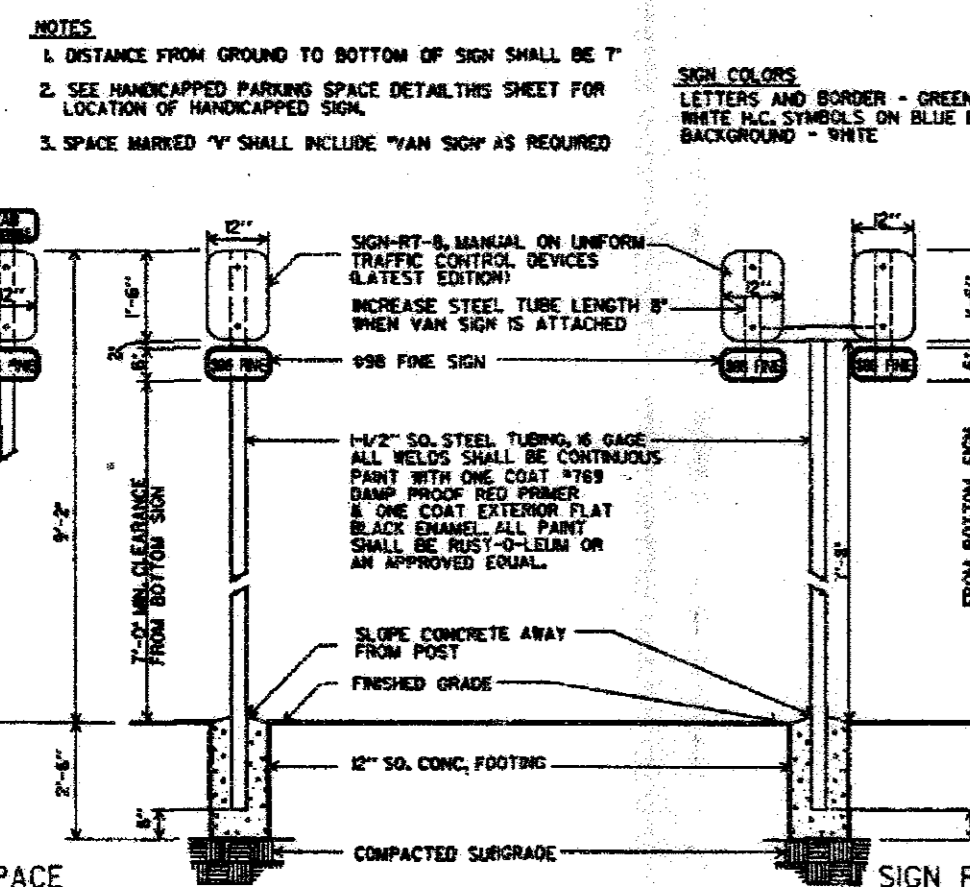
**B Precast Concrete Wheel Stop**  
19 Not To Scale



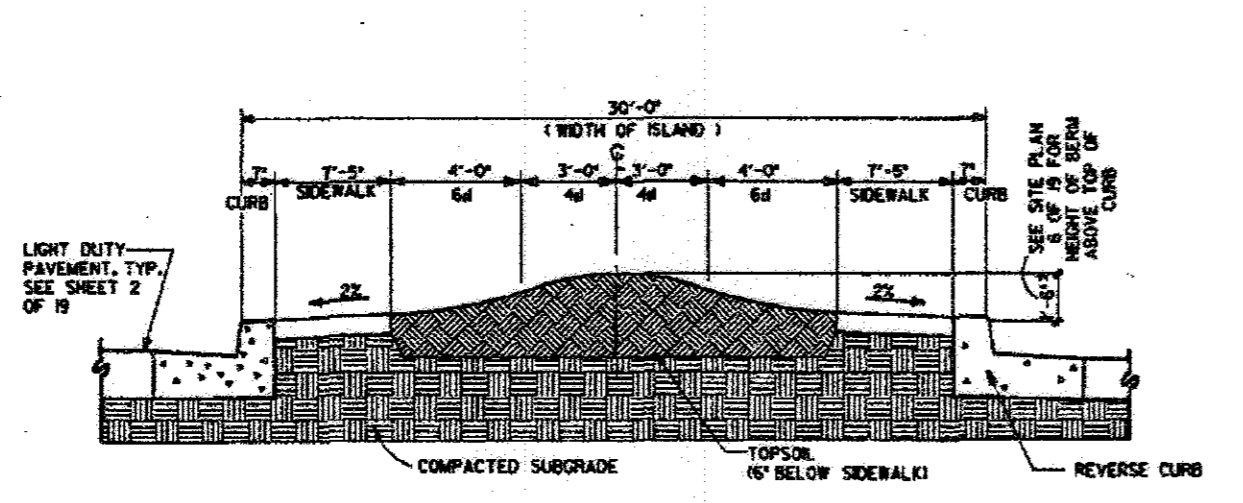
**C Handicapped Ramp Type A**  
19 Not To Scale



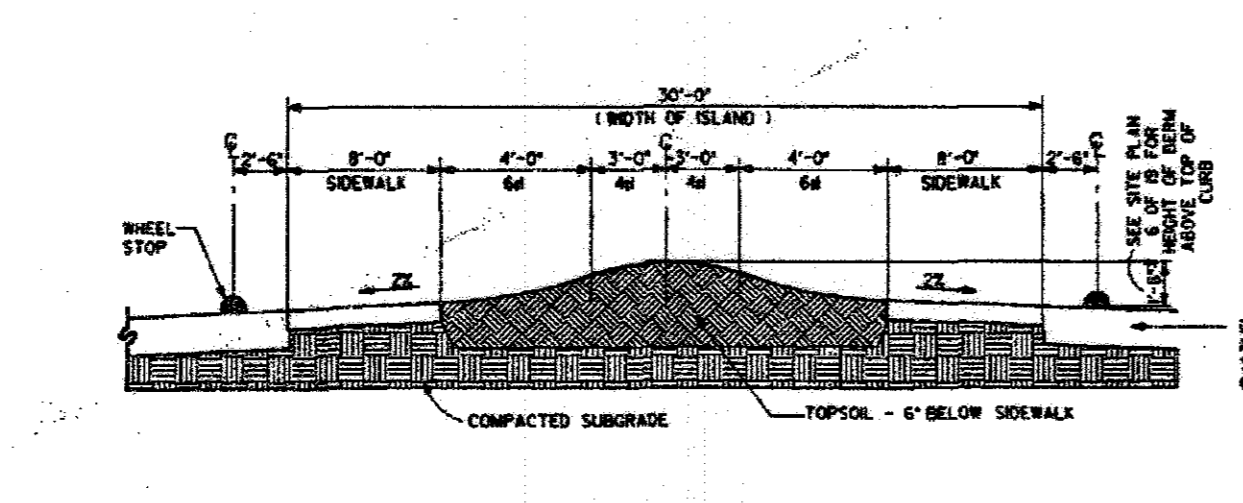
**D Handicapped Ramp - B**  
19 Not To Scale



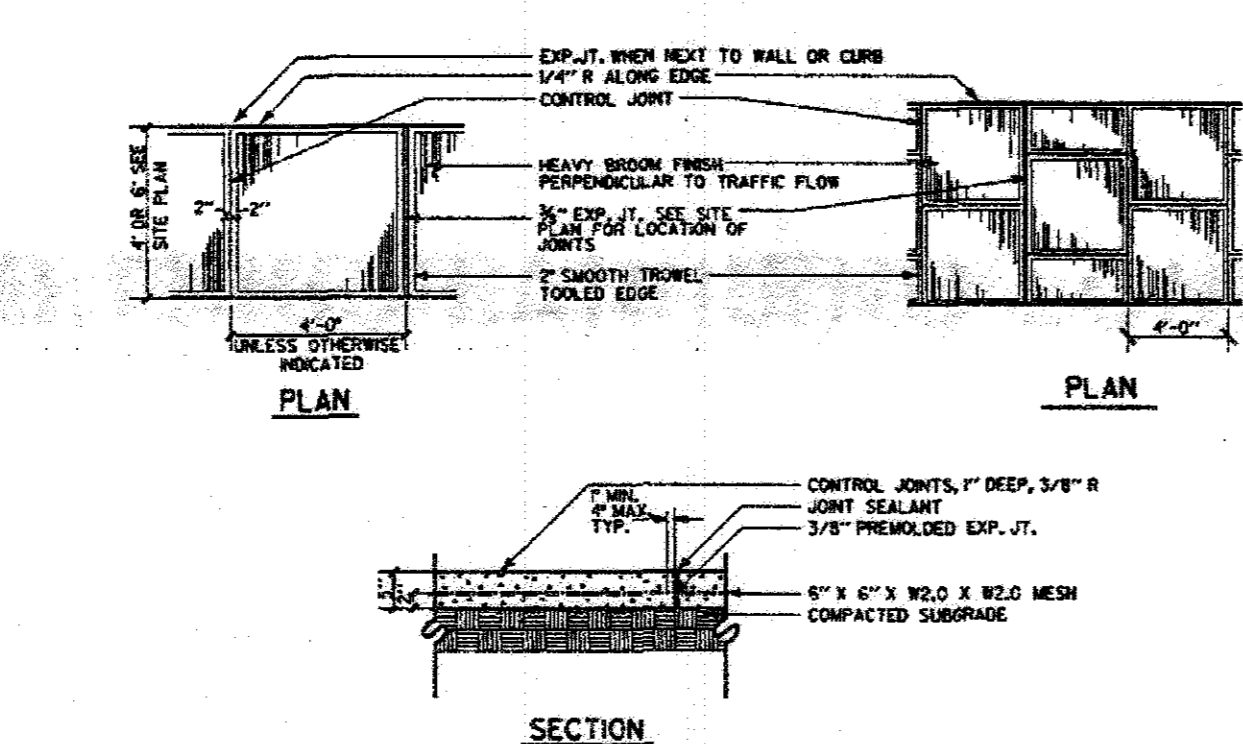
**E Handicapped Signs**  
19 Not To Scale



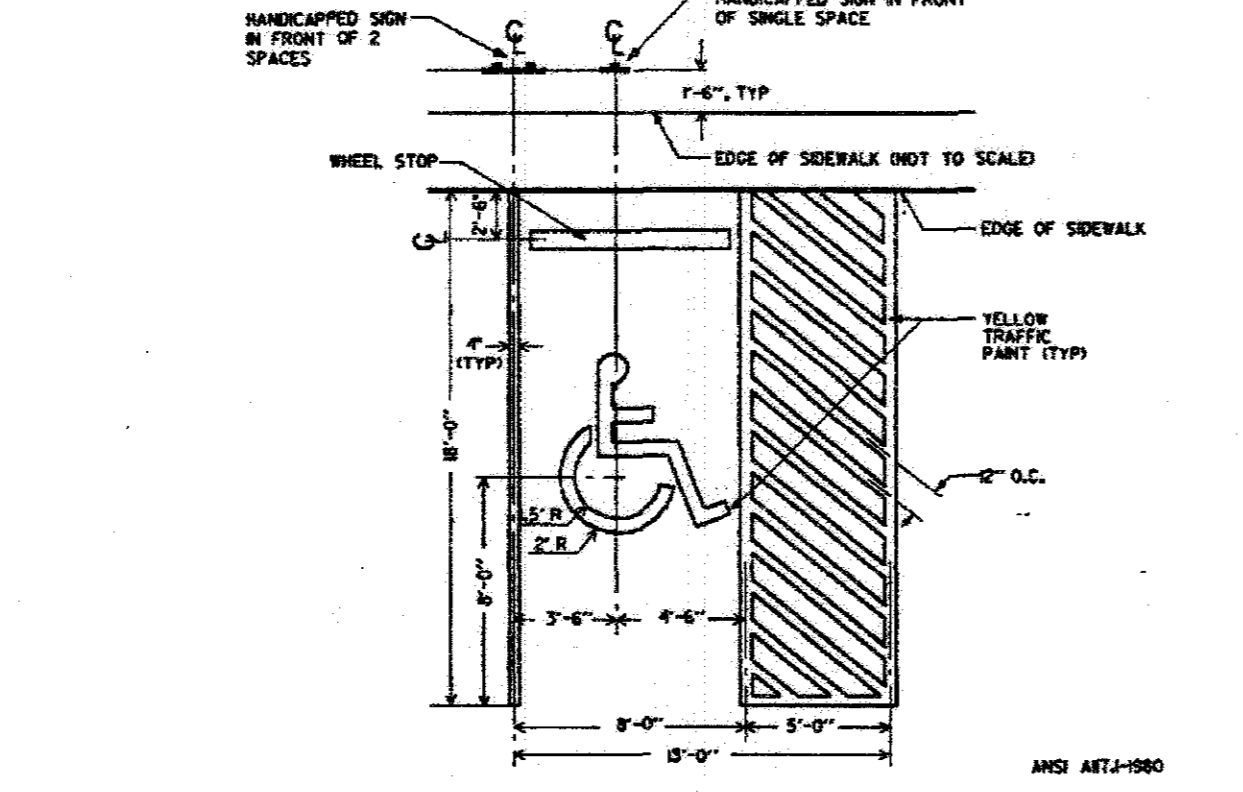
**F Island Berm with Curb**  
19 Not To Scale



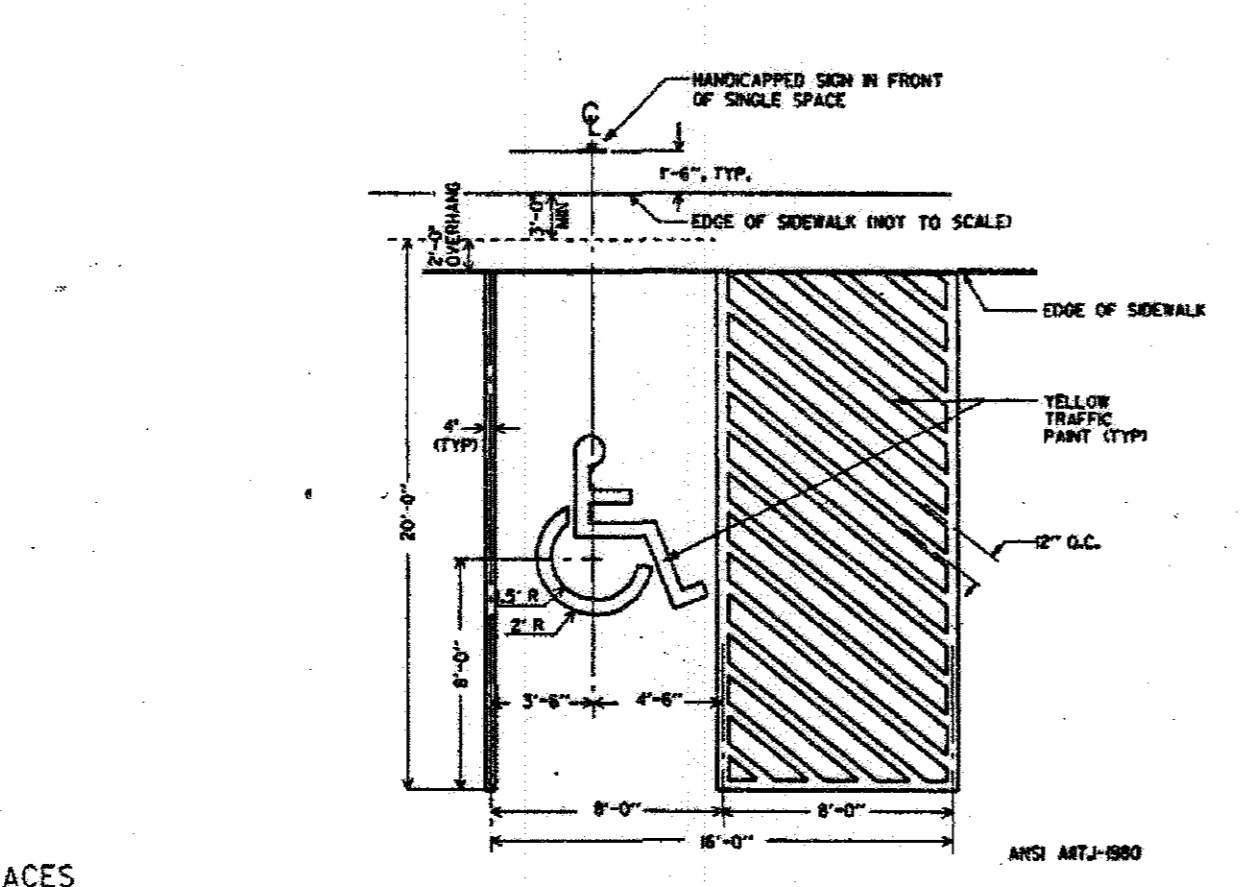
**G Island Berm b/w Handicapped Spots**  
19 Not To Scale



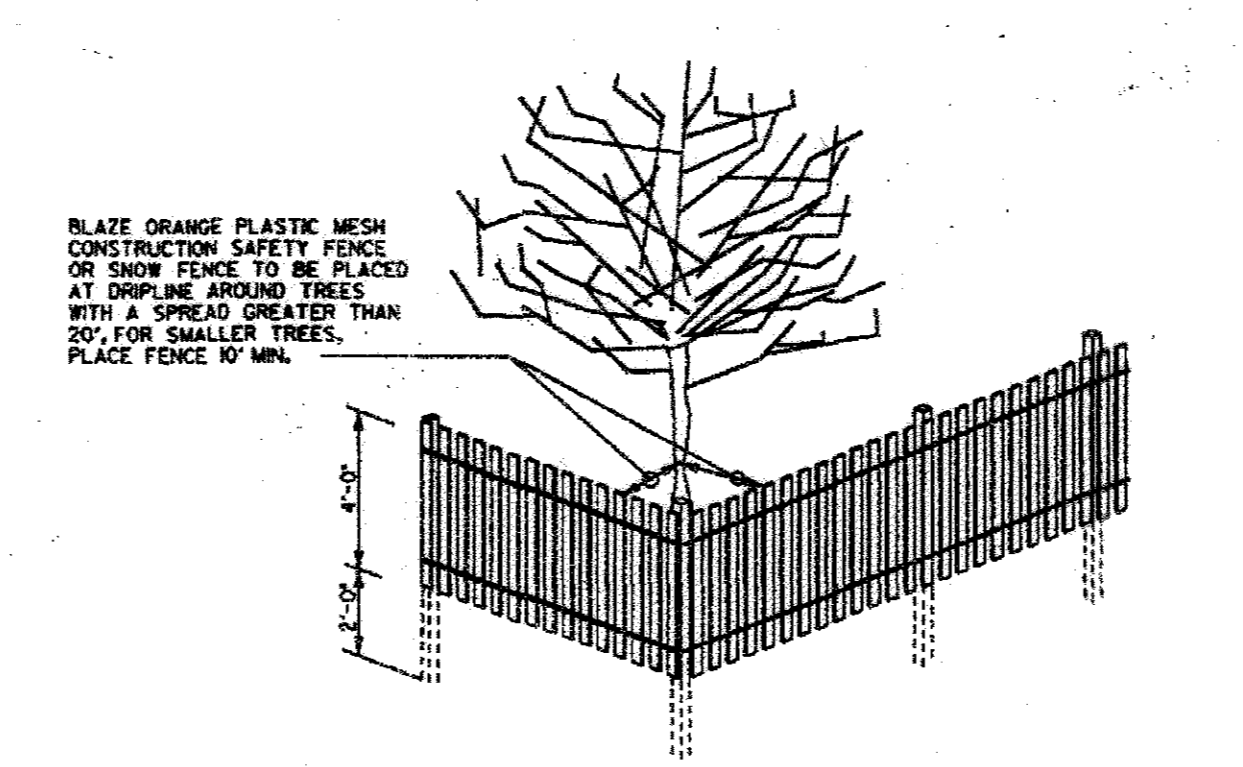
**H Concrete Walk**  
19 Not To Scale



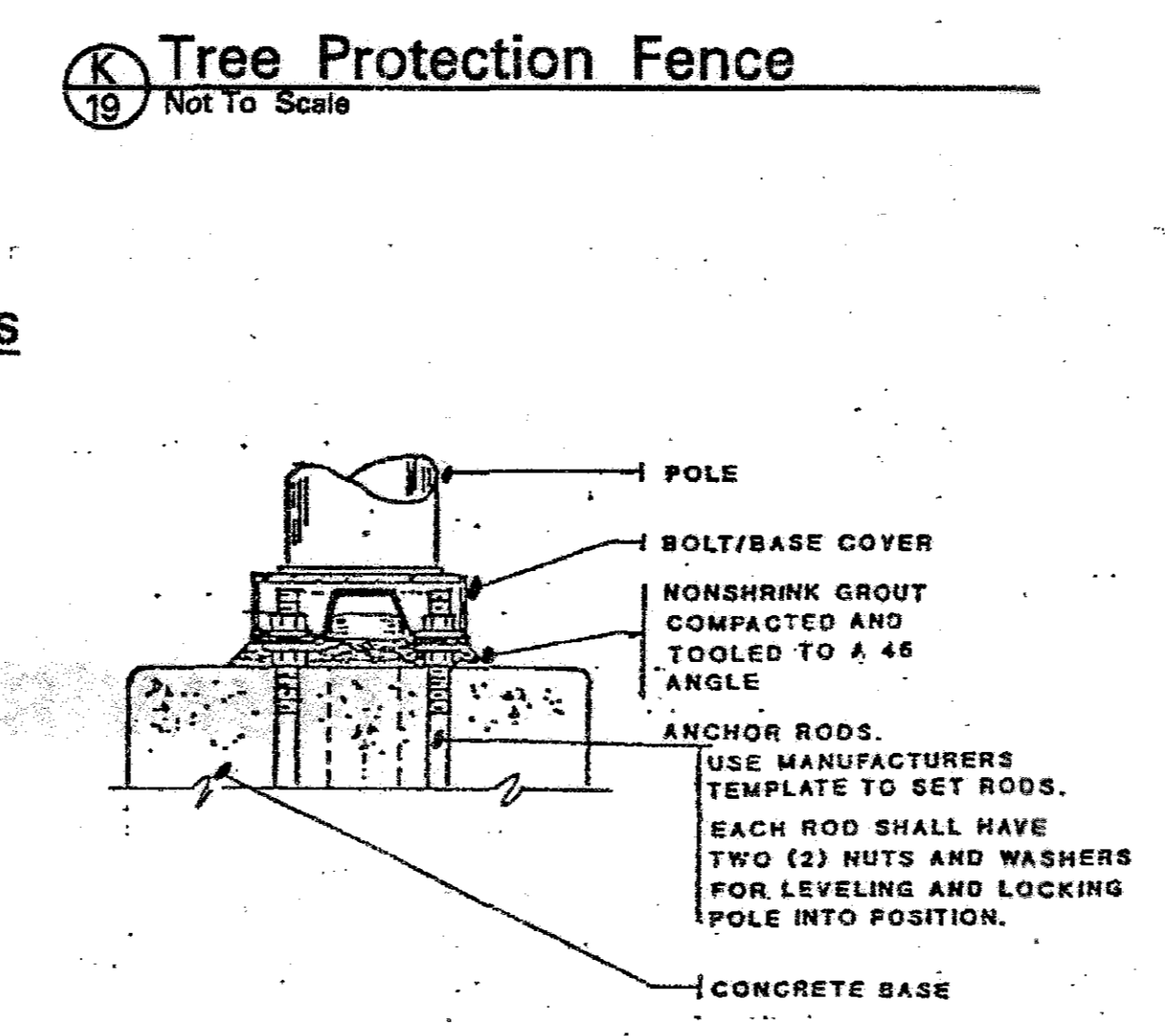
**I Handicapped Parking Space**  
19 Not To Scale



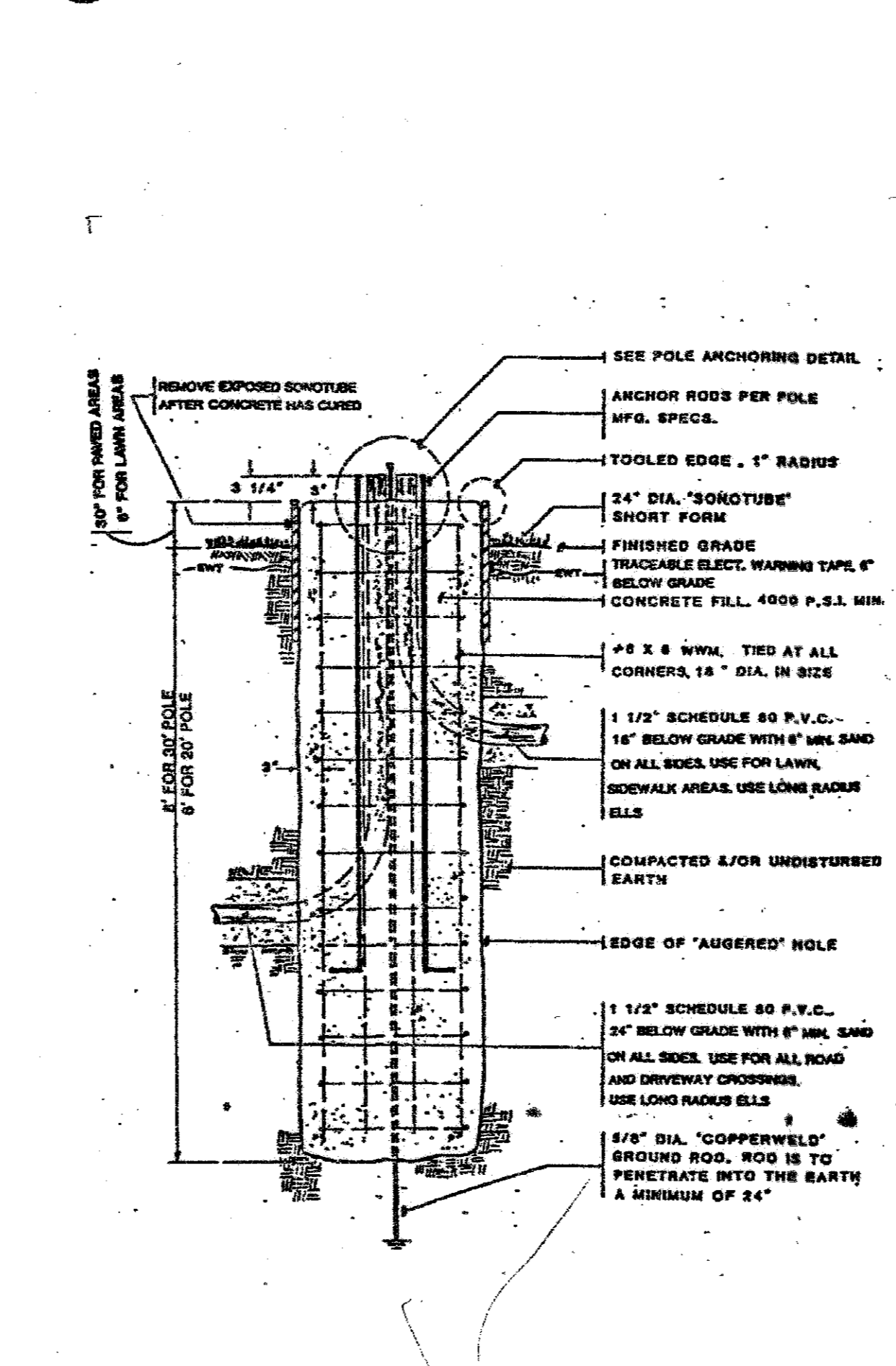
**J Handicapped Van Parking Space**  
19 Not To Scale



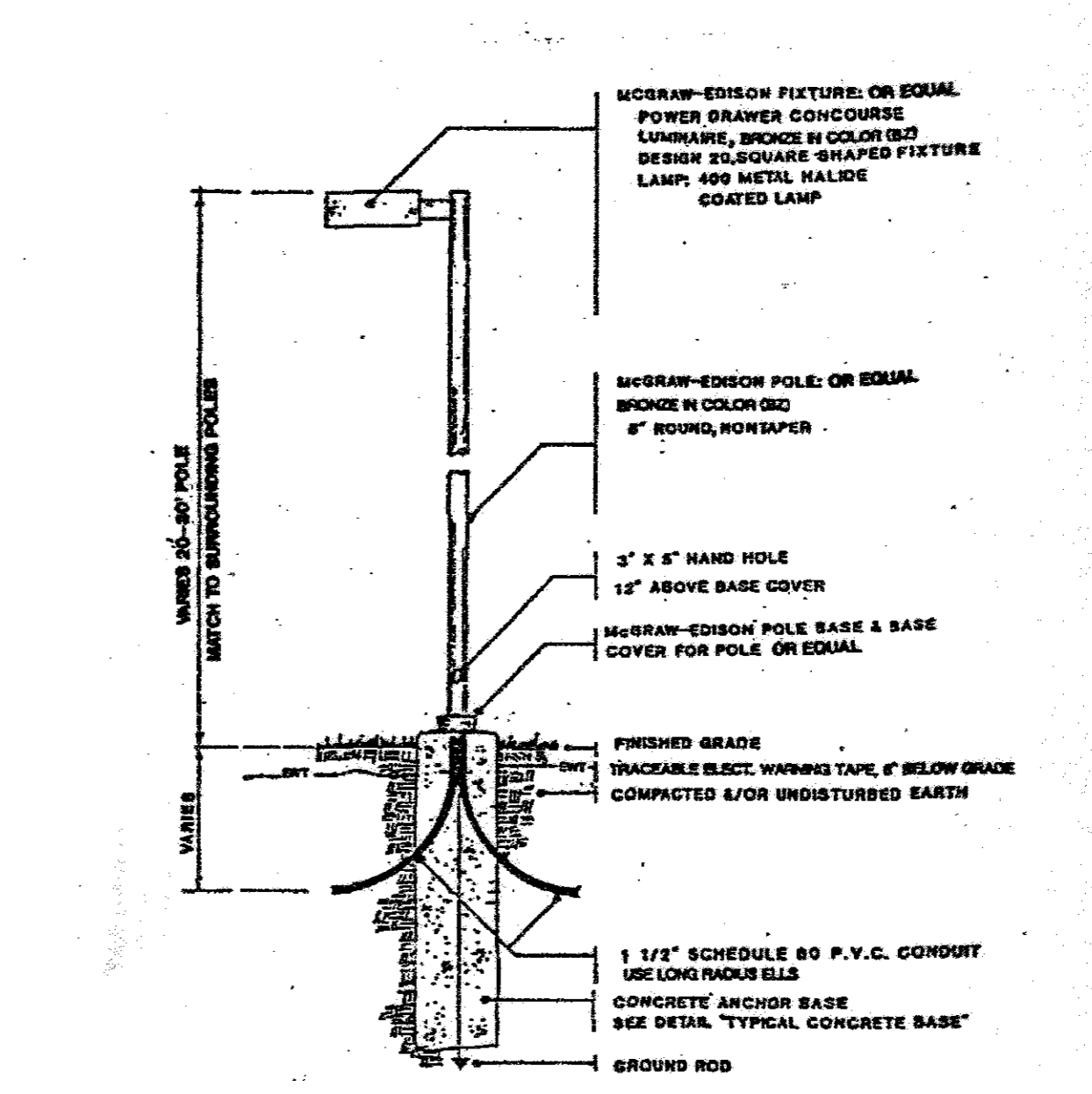
**K Tree Protection Fence**  
19 Not To Scale



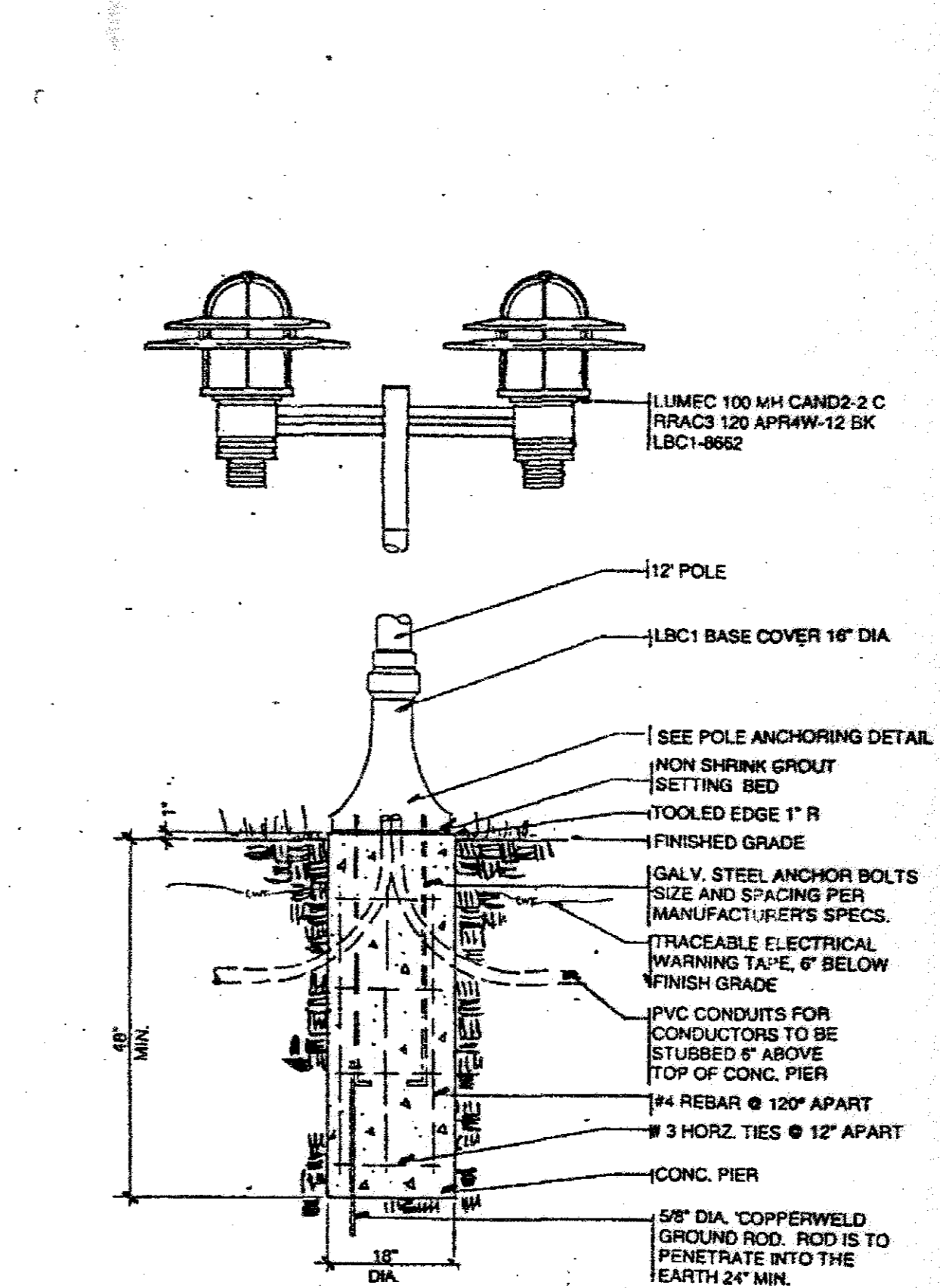
**L Pole Anchoring for Light Fixtures**  
19 Not To Scale



**M Concrete Base for Parking Light Fixtures**  
19 Not To Scale



**N Parking Light Fixture**  
19 Not To Scale



**O Pedestrian Light Fixture**  
19 Not To Scale

**PURPOSE STATEMENT**  
IN ACCORDANCE WITH THE SEPT. 22, 2006 LETTER BY THE HOWARD COUNTY DEPT. OF PLANNING, ZONING, & DEVELOPMENT ENGINEERING DIVISION, THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO RELOCATE THE ENTRANCE ALONG CEDAR LANE, RECONFIGURE THE EXISTING PARKING LOTS ON THE SOUTH SIDE OF THE HOSPITAL. THIS WILL REQUIRE MINOR STORM DRAIN ADJUSTMENTS TO THE CURRENT APPROVED/INSTALLED SYSTEM. IN ADDITION, THE RED LINE INDICATES A SEWER MAIN TO BE INSTALLED AS A DRY SYSTEM. THE PURPOSE OF ALL THE REQUESTED REVISIONS IS TO ACCOMMODATE A FUTURE TOWER BED ADDITION & CANOPY TO THE HOSPITAL AND DETACHED PARKING GARAGE.

REVISIONS MADE AFTER 07-12-09 BY JOYCE ENGINEERING CORP.

10/09/06	Date	11/16/05	Date
Professional Engr. No. 27729		Landscape Architect No. 208	

03/07/06	1	REVISED MAIN ENTRANCE, STORM DRAIN, LIGHTING, LANDSCAPING AND INSTALL NEW "DRY" SEWER FOR FUTURE SERVICE
DATE	NO.	REVISION DESCRIPTION

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT	
COUNTY HEALTH OFFICER	DATE
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING	
CHIEF, DEVELOPMENT ENGINEERING DIVISION	10/25/06
CHIEF, DIVISION OF LAND DEVELOPMENT & REVISION	11/16/05
DIRECTOR	11/16/05

Date	No.	Revision Description
Date	No.	Revision Description

**HOWARD COUNTY GENERAL HOSPITAL TOWN CENTER SECTION 8 - AREA 2 - LOT 4**  
OWNER/DEVELOPER: HOWARD COUNTY GENERAL HOSPITAL, INC. 5755 CEDAR LANE COLUMBIA, MARYLAND 21044

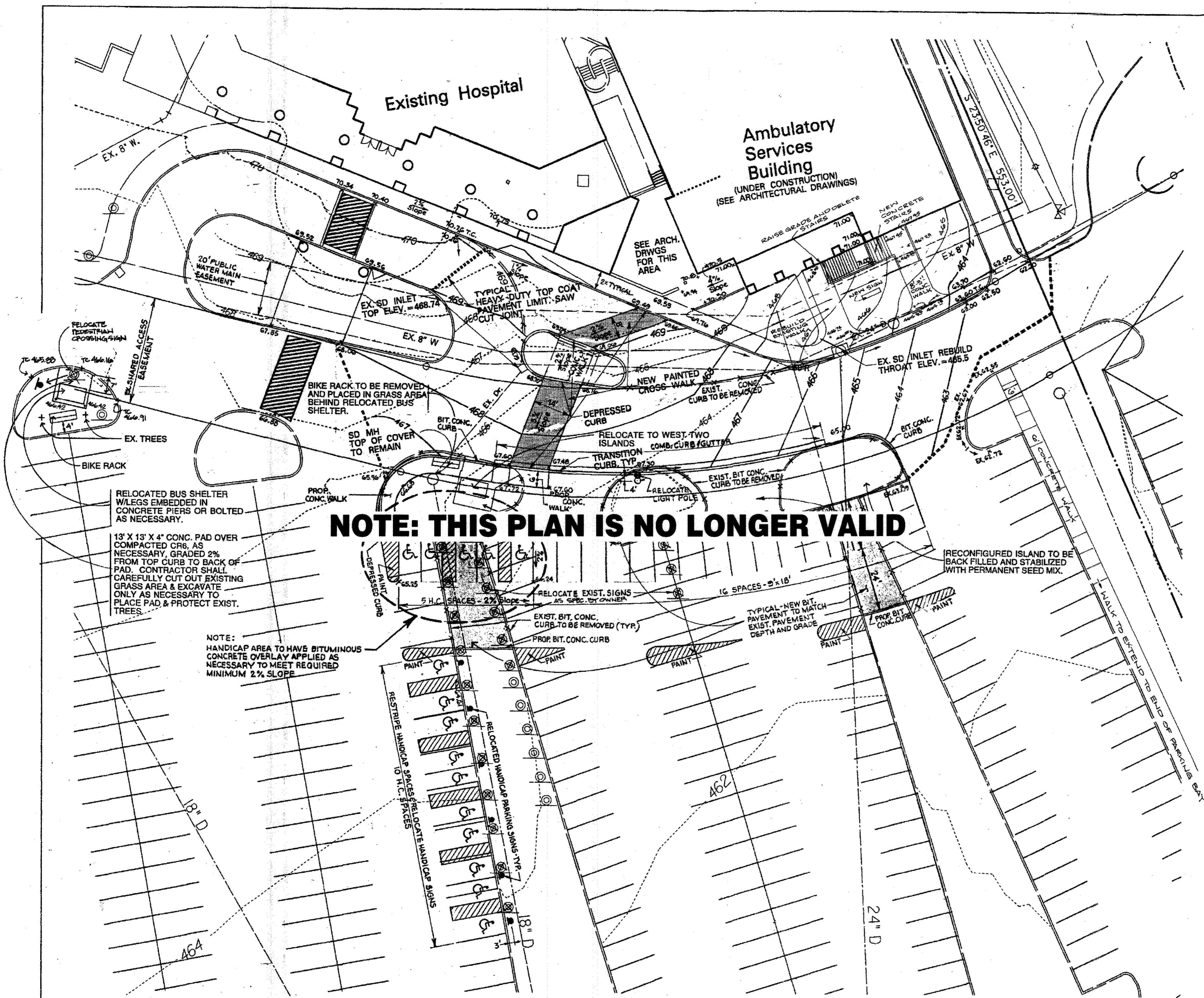
**DMW**  
Duff-McCune-Walkley, Inc.  
200 East Pennsylvania Avenue  
Towson, Maryland 21286  
(410) 296-3333  
Fax 296-4706

A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

DATE	10/09/06	SCALE	AS NOTED	PROJECT NO.	89015L
DATE	11/16/05	SCALE	AS NOTED	PROJECT NO.	89015L

**LANDSCAPE & LIGHTING DETAILS**

Des By	Scale	As Noted	Proj. No.	89015L
Drn By	TPC	Date	8-30-95	33
Chk By	Approved	Date	19 OF	32



**NOTE: THIS PLAN IS NO LONGER VALID**

**GENERAL NOTES:**

1. THE PURPOSE OF THIS PLAN IS TO PROVIDE A TEMPORARY CONSTRUCTION SOLUTION TO BRIDGE THE DESIGN APPROVED BY SDP 94-04 AND THAT PROPOSED BY SDP-95-114 IN ORDER TO MINIMIZE CONSTRUCTION EXPENSE AND SITE / BUILDING ACCESS DISRUPTIONS.
2. REFER TO SDP 95-114 FOR TYPICAL DETAILS AND INFORMATION RELATED TO ENTRANCE WALK AND DRIVEWAY IMPROVEMENTS, SHEET 6 OF 19, IF QUESTIONS ARISE.
3. ALL SPOT ELEVATIONS ARE BOTTOM CURB OR FINISH PAVEMENT UNLESS OTHERWISE NOTED.
4. THE PROPOSED INTERIM PARKING CONFIGURATION INCLUDES A NET LOSS OF 10 - 9'x18' SPACES. HANDICAP PARKING INCLUDES A NET INCREASE OF 4 HANDICAP SPACES OVER CURRENT EXISTING ACHIEVED BY RESTRIPEING AND NEW SPACES.

**LEGEND**

NEW AND/OR RELOCATED HANDICAP PARKING SIGNS

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS.  
HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER \_\_\_\_\_ DATE \_\_\_\_\_  
 APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION *John Dammann* 10/25/06  
 CHIEF, DIVISION OF LAND DEVELOPMENT & ROADS *Chris Hancock* 11/15/06  
 DIRECTOR *Franklin A. Cavallaro* 11/6/06

Date	No.	Revision Description
7-5-06	3	REVISE BUILDING ENTRY + ADD SIDEWALKS
10-19-05	1	REV GRADES ALONG HC ACCESS
10-25-05	2	RELOCATE BUS SHELTER

**HOWARD COUNTY GENERAL HOSPITAL  
TOWN CENTER  
SECTION 8 - AREA 2 - LOT 4**

OWNER/DEVELOPER:  
HOWARD COUNTY GENERAL HOSPITAL, INC.  
5755 CEDAR LANE  
COLUMBIA, MARYLAND 21044

**DMW**  
Diane M. Cass-Walker, Inc.  
200 East Pennsylvania Avenue  
Towson, Maryland 21286  
(410) 286-3355  
Fax 286-4706

HCH	SECTION	8/2	DATE	4/27/06
PLAT #	BLK #	CDL	PARCEL #	35
3846	5	FOR	NET ACRES	5.8
WATER CODE	106	SEWER CODE	5522500	

**INTERIM ENTRANCE ENLARGEMENT**

Des By \_\_\_\_\_ Scale 1" = 20'  
 Dm By \_\_\_\_\_ Date 10-13-06  
 Chk By \_\_\_\_\_ Approved \_\_\_\_\_  
 Proj. No. 89015L1  
 20 OF 32

**PURPOSE STATEMENT**  
 IN ACCORDANCE WITH THE SEPT. 22, 2004 LETTER BY THE HOWARD COUNTY DEPT. OF PLANNING, ZONING & DEVELOPMENT ENGINEERING DIVISION, THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO RELOCATE THE ENTRANCE ALONG CEDAR LANE, RECONFIGURE THE EXISTING PARKING LOTS ON THE SOUTH SIDE OF THE HOSPITAL. THIS WILL REQUIRE MINOR STORM DRAIN ADJUSTMENTS TO THE CURRENT APPROVED / INSTALLED SYSTEM. IN ADDITION, THE RED-LINE INDICATES A 8" SEWER MAIN TO BE INSTALLED AS A DRY SYSTEM. THE PURPOSE OF ALL THE REQUESTED REVISIONS IS TO ACCOMMODATE A FUTURE TOWER BED ADDITION & CANOPY TO THE HOSPITAL AND DETACHED PARKING GARAGE.

Date	No.	Revision Description
03/07/06	1	REVISED MAIN ENTRANCE, STORM DRAIN, LIGHTING, LANDSCAPING AND INSTALL NEW "DRY" SEWER FOR FUTURE SERVICE

10/09/06  
Date



Professional Engr. No. 27729

10-25-06  
Date



Professional Engr. No. 10551

186-8

**NOTE:**  
 1. REFER TO GENERAL NOTES ON SHEET 1 OF 32 REGARDING CURB RADII, UTILITY RELOCATION, CROSSWALKS, AND PARKING CALCULATIONS.  
 2. FOR TREE & LIGHTING RELOCATION, SEE TREE & LIGHTING RELOCATION PLAN SHEET 23 & 24 OF 32.

**ADA PARKING TABULATION:**

OUTPATIENT/SPECIALTY PARKING:	63 SPACES
VISITOR/AMBULATORY SURGERY PARKING:	82 SPACES
EMERGENCY DEPARTMENT PARKING:	67 SPACES
VISITOR PARKING:	199 SPACES
TOTAL OUTPATIENT/AMBULATORY SURGERY PARKING:	411 SPACES
HANDICAP PARKING REQUIRED @ 10% OF TOTAL PROVIDED:	41 SPACES (SECTION 4.1.2(5)(i))
REMAINING PARKING ON-SITE:	515 SPACES
HANDICAP PARKING REQUIRED @ 2% OF TOTAL PROVIDED:	10 SPACES (SECTION 4.1.2(5)(ii))
HANDICAP PARKING REQUIRED:	51 SPACES
TOTAL PARKING AVAILABLE ON-SITE:	39 SPACES HANDICAP PARKING (13X18) 13 SPACES VAN PARKING (13X18) 52 SPACES TOTAL HANDICAP PARKING 874 SPACES REGULAR PARKING (9'X18)
TOTAL ON-SITE PARKING:	926 SPACES

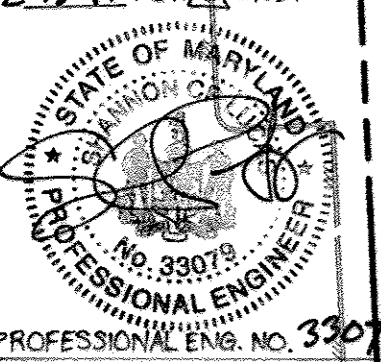
**PURPOSE STATEMENT**  
 IN ACCORDANCE WITH THE SEPT. 22, 2006 LETTER BY THE HOWARD COUNTY DEPT. OF PLANNING, ZONING, & DEVELOPMENT ENGINEERING DIVISION, THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO RELOCATE THE ENTRANCE ALONG CEDAR LANE, RECONFIGURE THE EXISTING PARKING LOTS ON THE SOUTH SIDE OF THE HOSPITAL, THIS WILL REQUIRE MINOR STORM DRAIN ADJUSTMENTS TO THE CURRENT APPROVED /INSTALLED SYSTEM. IN ADDITION, THE RED-LINE INDICATES A 8" SEWER MAIN TO BE INSTALLED AS A DRY SYSTEM. THE PURPOSE OF ALL THE RELOCATED REVISIONS IS TO ACCOMMODATE A FUTURE TOWER BED ADDITION & CANOPY TO THE HOSPITAL, AND DETACHED PARKING GARAGE.

**CEDAR LANE**  
 (VARIABLE PUBLIC RW)  
 MINOR ARTERIAL ROAD

PROPOSED ENTRANCE SIGNAGE, REFER TO ARCHITECTURAL PLANS FOR DETAILS  
 CONTRACTOR SHALL CONNECT TO EX CURB & GUTTER IN LINE AND GRADE, TYP EACH SIDE

FUTURE/POSSIBLE RELOCATED ENTRANCE OF BARNWOOD PLACE.  
 CONTRACTOR SHALL CONNECT TO EX CONC WALK IN LINE AND GRADE, TYP EACH SIDE.

EXISTING LOCATION OF ENTRANCE TO BARNWOOD PLACE.

2-13-17 FOR A ONLY  
  
 STONE/PERFORATED PIPE DEWATERING DEVICE REPLACED WITH SAND FILTER/UNDERDRAIN (SEE PLAN, GRADING AND DETAILS SHEET 29)

PROPOSED LOCATION OF RETAINING WALL  
 N/F COLUMBIA TOWN CENTER LOTS B-1 THRU B-24 A RESUBDIVISION OF PARCEL B SECTION 8 AREA 4 PLAT No. 4883  
 EXISTING BITUMINOUS PAVEMENT

T.W.=456.0 B.W.=452.0  
 T.W.=456.0 B.W.=455.0  
 T.W.=456.0 B.W.=455.0

VISITOR PARKING (199 SPACES TOTAL)


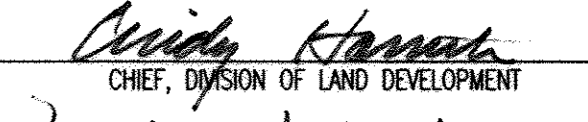

PHYSICIAN PARKING (67 SPACES TOTAL)

SERVICE & VENDOR PARKING (33 SPACES TOTAL)

PROPOSED 40' ROWWAY/ACCESS EASEMENT.  
 NEW LOCATION OF (13) RELOCATED PEDESTRIAN LIGHTS PER SHEET 18 OF 32.  
 PROPOSED CROSSWALK, SHALL COMPLY WITH ADA REQUIREMENTS.  
 PROPOSED GATE CONTROL & CARD READER, REFER TO ARCHITECTURAL PLANS.  
 NEW LOCATION OF RELOCATED FLAG POLE.

**FOR INFORMATION IN THIS AREA SEE SDP-00-72**

**AS BUILT**  
 by SCI #1551.1  
 For Res. only  
 HOWARD COUNTY GENERAL HOSPITAL  
 5 STORY BUILDING GLASS & STAIN WALL  
 #11055  
 FF=471.114/-  
**AS-BUILT CERTIFICATION**  
 THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.  
 EUGENE L. FLEAGLE PE#44289 08/04/2017  
 NOTE:  
 FOR SITE SYMBOL LEGEND, SEE SHEET 22 OF 32  
 FOR LANDSCAPE LEGEND, SEE SHEET 22 OF 32  
 FOR LANDSCAPE SCHEDULE, SEE SHEET 17 OF 32  
 FOR ADA TYPICAL PAD DETAIL, SEE SHEET 22 OF 32

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 11/2/06 DATE  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 11/2/06 DATE  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 11/2/06 DATE  
 DIRECTOR

DATE	NO.	REVISION DESCRIPTION
08-24-17	1	AS-BUILT FOR SAND FILTER RETROFIT
9-17-16	1	SAND FILTER ADDITION FOR WQW TREATMENT
09/07/06	1	REVISED MAIN ENTRANCE, STORM DRAIN, LIGHTING, LANDSCAPING AND INSTALL NEW "DRY" SEWER FOR FUTURE SERVICE

**HOWARD COUNTY GENERAL HOSPITAL**  
 TOWN CENTER  
 SECTION 8 - AREA 2 - LOT 4

OWNER/DEVELOPER:  
 HOWARD COUNTY GENERAL HOSPITAL, INC.  
 5755 CEDAR LANE  
 COLUMBIA, MARYLAND 21044

**JOYCE ENGINEERING CORPORATION**  
 CIVIL ENGINEERING LAND SURVEYING LAND PLANNING CONSTRUCTION MANAGEMENT  
 10766 BATHING AVENUE, RESTON, VA 20190  
 TEL: (703) 595-4153 FAX: (703) 595-4050 WEB: www.joyceeng.com

ADDRESS CHART  
 LOT/PARCEL: 2/276  
 STREET ADDRESS: 5755 CEDAR LANE ~ COLUMBIA, MARYLAND 21044

PERMIT INFORMATION CHART  
 SUBDIVISION: HOCH  
 SECTION/AREA: 8/2  
 LOT/PARCEL #: 4/276  
 PLAT OR L/F BLOCK #: 3648  
 TAX ZONE MAP: 5  
 ELECT. DISTRICT: 5TH  
 CENSUS TRACT: 6053.02  
 WATER CODE: 106  
 SEWER CODE: 5522500

TITLE: **REVISED SITE DEVELOPMENT PLAN PARKING LOT EXPANSION**

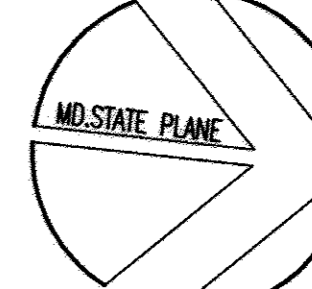
DES BY: WAJ  
 DRN BY: HAL  
 CHK BY: JEC  
 SCALE: 1" = 30'  
 DATE: FEB, 2006  
 PROJ. NO.: 89015L  
 21 OF 32


EX STORM DRAIN TO BE REMOVED  
 EXISTING HYDRANT TO BE ADJUSTED  
 EXISTING CANOPY & ASSOCIATED STRUCTURAL MEMBERS TO BE REMOVED

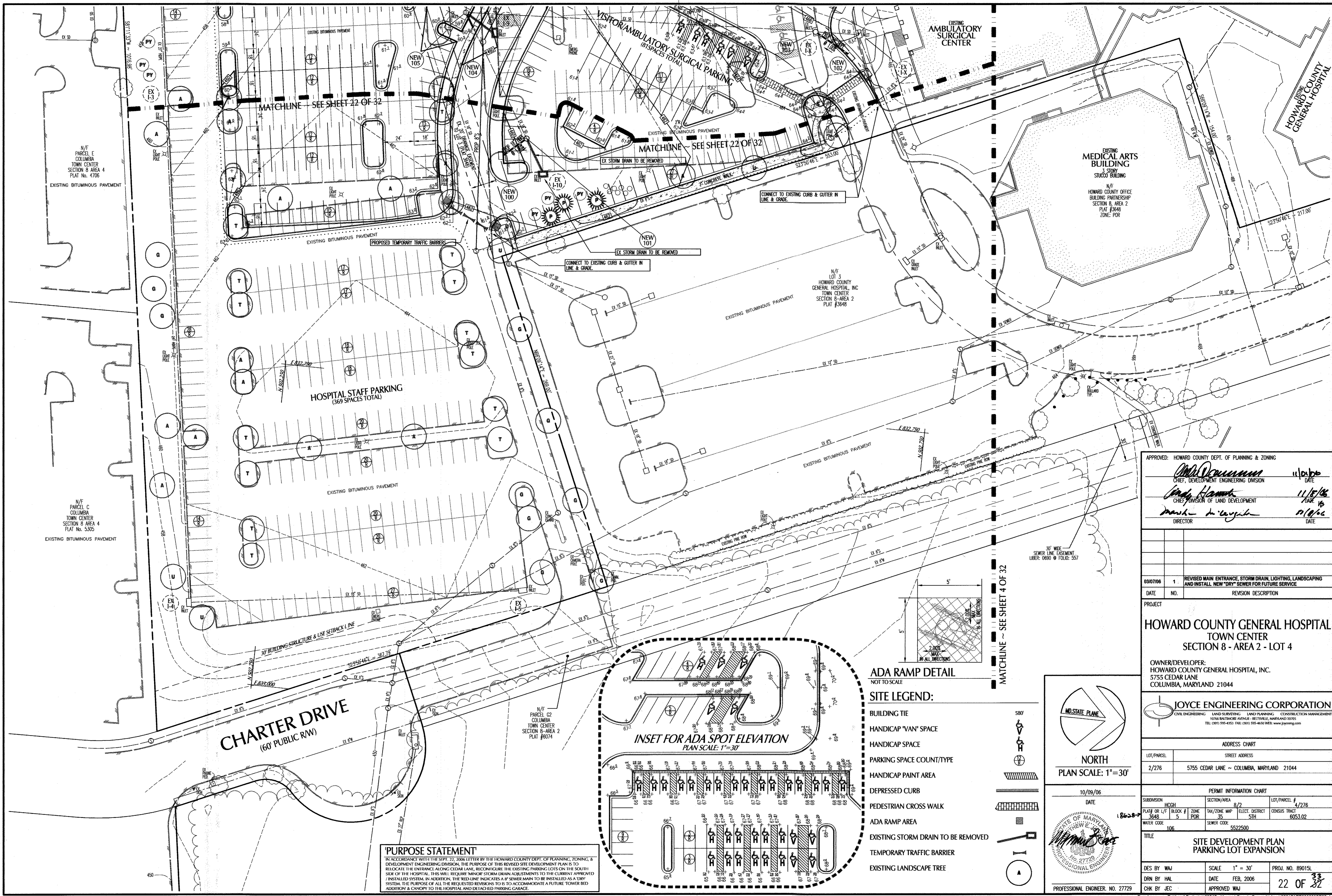
EXISTING  
**HOWARD COUNTY GENERAL HOSPITAL**  
 5 STORY BUILDING GLASS & STAIN WALL  
 #11055  
 FF=471.114/-

EX STORM DRAIN TO BE REMOVED  
 INSET - HANDICAP SPOT ELEVATIONS REFER TO SHEET 22 OF 32  
 REVISIONS MADE AFTER 07-12-99 BY JOYCE ENGINEERING CORP.

CONTRACTOR SHALL CONVERT INLET TO YARD W/LET. REFER TO STORM DRAIN PLANS

  
 NORTH  
 PLAN SCALE: 1" = 30'

10/09/06  
 DATE  
  
 PROFESSIONAL ENGINEER, NO. 27729



APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
*Chris Deane* 11/16/06  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE  
*Judy Hamann* 11/16/06  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE  
*Mark A. Laughlin* 11/16/06  
 DIRECTOR DATE

DATE	NO.	REVISION DESCRIPTION
03/07/06	1	REVISED MAIN ENTRANCE, STORM DRAIN, LIGHTING, LANDSCAPING AND INSTALL NEW "DRY" SEWER FOR FUTURE SERVICE

PROJECT  
**HOWARD COUNTY GENERAL HOSPITAL**  
 TOWN CENTER  
 SECTION 8 - AREA 2 - LOT 4  
 OWNER/DEVELOPER:  
 HOWARD COUNTY GENERAL HOSPITAL, INC.  
 5755 CEDAR LANE  
 COLUMBIA, MARYLAND 21044

**JOYCE ENGINEERING CORPORATION**  
 CIVIL ENGINEERING LAND SURVEYING LAND PLANNING CONSTRUCTION MANAGEMENT  
 10766 BALTIMORE AVENUE - BELTSVILLE, MARYLAND 20705  
 TEL: (301) 595-4153 FAX: (301) 595-4030 WEB: www.joyceeng.com

ADDRESS CHART

LOT/PARCEL	STREET ADDRESS
2/276	5755 CEDAR LANE ~ COLUMBIA, MARYLAND 21044

PERMIT INFORMATION CHART

SUBMISSION	HIGH	SECTION/AREA	8/2	LOT/PARCEL #	4/276
PLAT OR L/F	3648	5	POR	TAX/ZONE MAP	35
WATER CODE	106	ELECT. DISTRICT	5TH	CENSUS TRACT	6053.02
		SEWER CODE	552/500		

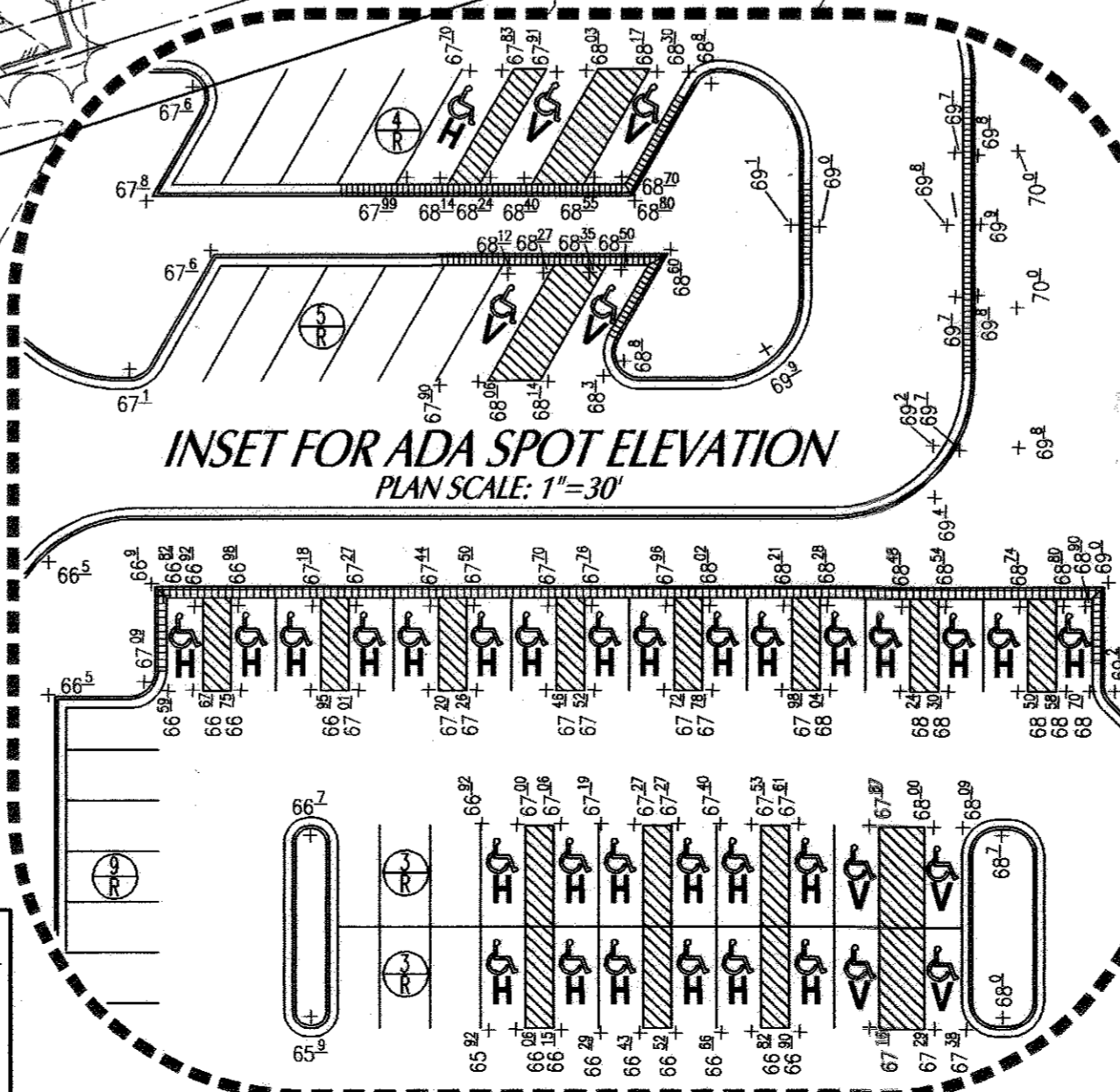
TITLE

DES BY	SCALE	PROJ. NO.
WAJ	1" = 30'	89015L
DRN BY	DATE	22 OF 32
CHK BY	APPROVED	

**ADA RAMP DETAIL**  
 NOT TO SCALE

**SITE LEGEND:**

- BUILDING TIE
- HANDICAP "VAN" SPACE
- HANDICAP SPACE
- PARKING SPACE COUNT/TYPE
- HANDICAP PAINT AREA
- DEPRESSED CURB
- PEDESTRIAN CROSS WALK
- ADA RAMP AREA
- EXISTING STORM DRAIN TO BE REMOVED
- TEMPORARY TRAFFIC BARRIER
- EXISTING LANDSCAPE TREE



**'PURPOSE STATEMENT'**  
 IN ACCORDANCE WITH THE SEPT. 22, 2006 LETTER BY THE HOWARD COUNTY DEPT. OF PLANNING, ZONING, & DEVELOPMENT ENGINEERING DIVISION, THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO RELOCATE THE ENTRANCE ALONG CEDAR LANE, RECONFIGURE THE EXISTING PARKING LOTS ON THE SOUTH SIDE OF THE HOSPITAL. THIS WILL REQUIRE MINOR STORM DRAIN ADJUSTMENTS TO THE CURRENT APPROVED SYSTEM. THE PURPOSE OF ALL THE REQUESTED REVISIONS IS TO ACCOMMODATE A FUTURE TOWER BED ADDITION & CANOPY TO THE HOSPITAL AND DETACHED PARKING GARAGE.

KEY	TYPE	QTY
(Symbol)	"A" SEE SHEET 17 OF 32	15
(Symbol)	"B" SEE SHEET 17 OF 32	3
(Symbol)	"C" SEE SHEET 17 OF 32	2
(Symbol)	"D" SEE SHEET 17 OF 32	17
(Symbol)	"E" SEE SHEET 17 OF 32	3
(Symbol)	"F" SEE SHEET 17 OF 32	3
(Symbol)	"G" SEE SHEET 17 OF 32	2

KEY	TYPE
(Symbol)	SHADE TO BE RELOCATED
(Symbol)	NEW SHADE RELOCATED
(Symbol)	FLOWERING TREE TO BE RELOCATED
(Symbol)	NEW FLOWERING TREE RELOCATED
(Symbol)	EVERGREEN TREE TO BE RELOCATED
(Symbol)	EVERGREEN TREE RELOCATED
(Symbol)	SHRUBS TO BE RELOCATED
(Symbol)	SHRUBS RELOCATED

KEY	TYPE	QTY
(Symbol)	DOUBLE-HEAD	3
(Symbol)	PEDESTRIAN	13
(Symbol)	SINGLE-HEAD	20

KEY	TYPE	QTY
(Symbol)	DOUBLE-HEAD	3
(Symbol)	PEDESTRIAN	13
(Symbol)	SINGLE-HEAD	20

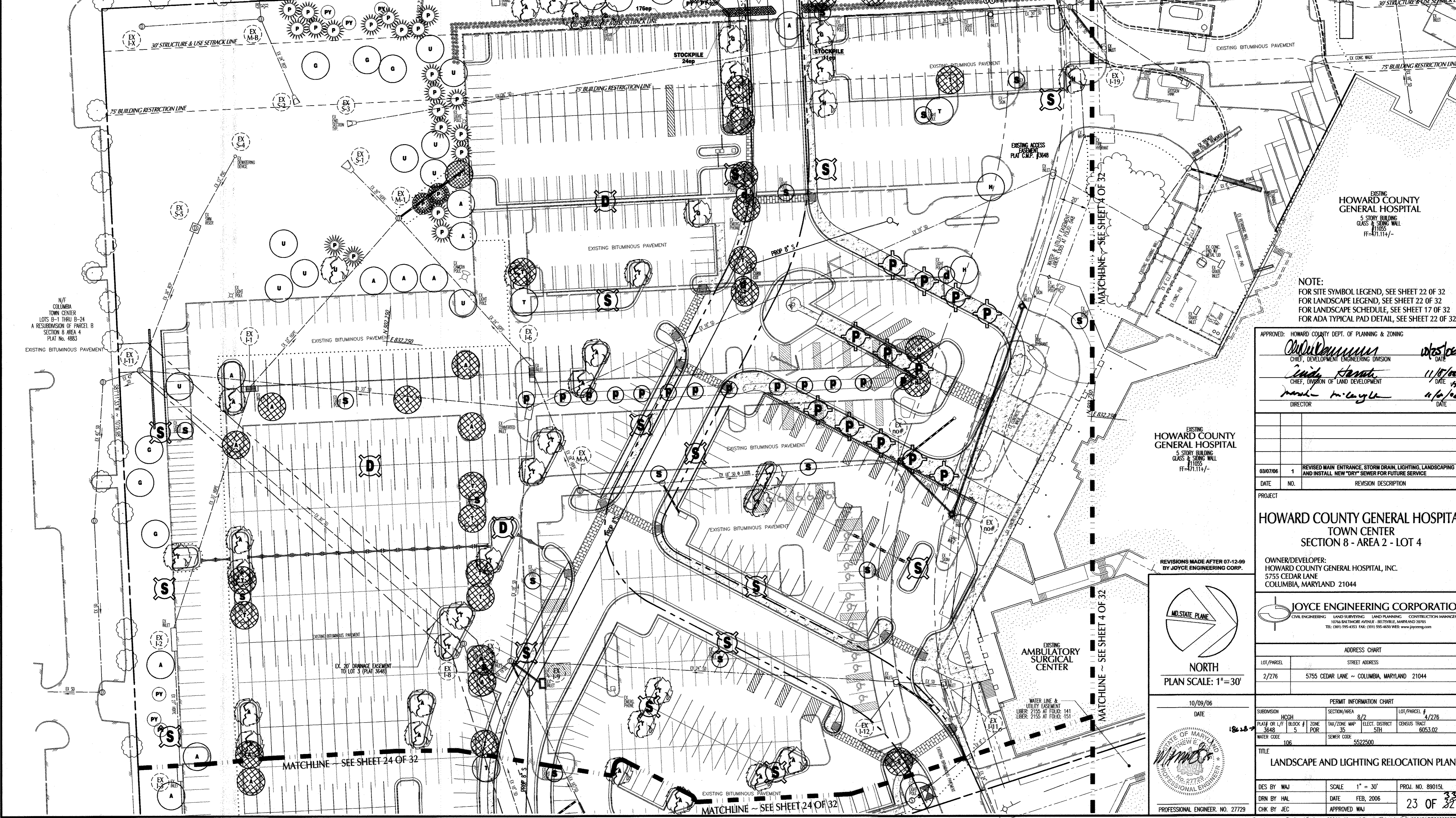
# CEDAR LANE

(VARIABLE PUBLIC RW)  
MINOR ARTERIAL ROAD

**NOTE:**  
THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE REQUIRED 42 NEW/RELOCATED LANDSCAPE TREES AND 2 (RELOCATED) EVERGREEN TREES IN THE AMOUNT OF \$12,600 IS PART OF THE BUILDERS GRADING PERMIT APPLICATION.

FOR LANDSCAPE REQUIREMENTS, SEE SHEET 17 OF 32  
FOR DETAILED LANDSCAPE SCHEDULE, SEE SHEET 24 OF 32

**PURPOSE STATEMENT**  
IN ACCORDANCE WITH THE SEPT. 27, 2006 LETTER BY THE HOWARD COUNTY DEPT. OF PLANNING, ZONING, & DEVELOPMENT ENGINEERING DIVISION, THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO RELOCATE THE ENTRANCE ALONG CEDAR LANE, RECONFIGURE THE EXISTING PARKING LOTS ON THE SOUTH SIDE OF THE HOSPITAL. THIS WILL REQUIRE MINOR STORM DRAIN ADJUSTMENTS TO THE CURRENT APPROVED / INSTALLED SYSTEM. IN ADDITION, THE RED-LINE INDICATES A 6" SEWER MAIN TO BE INSTALLED AS A DRY SYSTEM. THE PURPOSE OF ALL THE REQUESTED REVISIONS IS TO ACCOMMODATE A FUTURE TOWER BED ADDITION & CANOPY TO THE HOSPITAL, AND DETACHED PARKING GARAGE.



EXISTING HOWARD COUNTY GENERAL HOSPITAL  
5 STORY BUILDING  
GLASS & STONE WALL  
#1065  
IT=471.11+/-

NOTE:  
FOR SITE SYMBOL LEGEND, SEE SHEET 22 OF 32  
FOR LANDSCAPE LEGEND, SEE SHEET 22 OF 32  
FOR LANDSCAPE SCHEDULE, SEE SHEET 17 OF 32  
FOR ADA TYPICAL PAD DETAIL, SEE SHEET 22 OF 32

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING	
<i>[Signature]</i>	10/25/06
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
<i>[Signature]</i>	11/15/06
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
<i>[Signature]</i>	11/16/06
DIRECTOR	DATE

03/07/06	1	REVISED MAIN ENTRANCE, STORM DRAIN, LIGHTING, LANDSCAPING AND INSTALL NEW "DRY" SEWER FOR FUTURE SERVICE
DATE	NO.	REVISION DESCRIPTION

PROJECT  
**HOWARD COUNTY GENERAL HOSPITAL**  
TOWN CENTER  
SECTION 8 - AREA 2 - LOT 4

OWNER/DEVELOPER:  
HOWARD COUNTY GENERAL HOSPITAL, INC.  
5755 CEDAR LANE  
COLUMBIA, MARYLAND 21044

**JOYCE ENGINEERING CORPORATION**  
CIVIL ENGINEERING LAND SURVEYING LAND PLANNING CONSTRUCTION MANAGEMENT  
10766 BATHURST AVENUE - BELTSVILLE, MARYLAND 20815  
TEL: (301) 595-4331 FAX: (301) 595-4600 WEB: www.joyceeng.com

ADDRESS CHART	
LOT/PARCEL	STREET ADDRESS
2/276	5755 CEDAR LANE ~ COLUMBIA, MARYLAND 21044

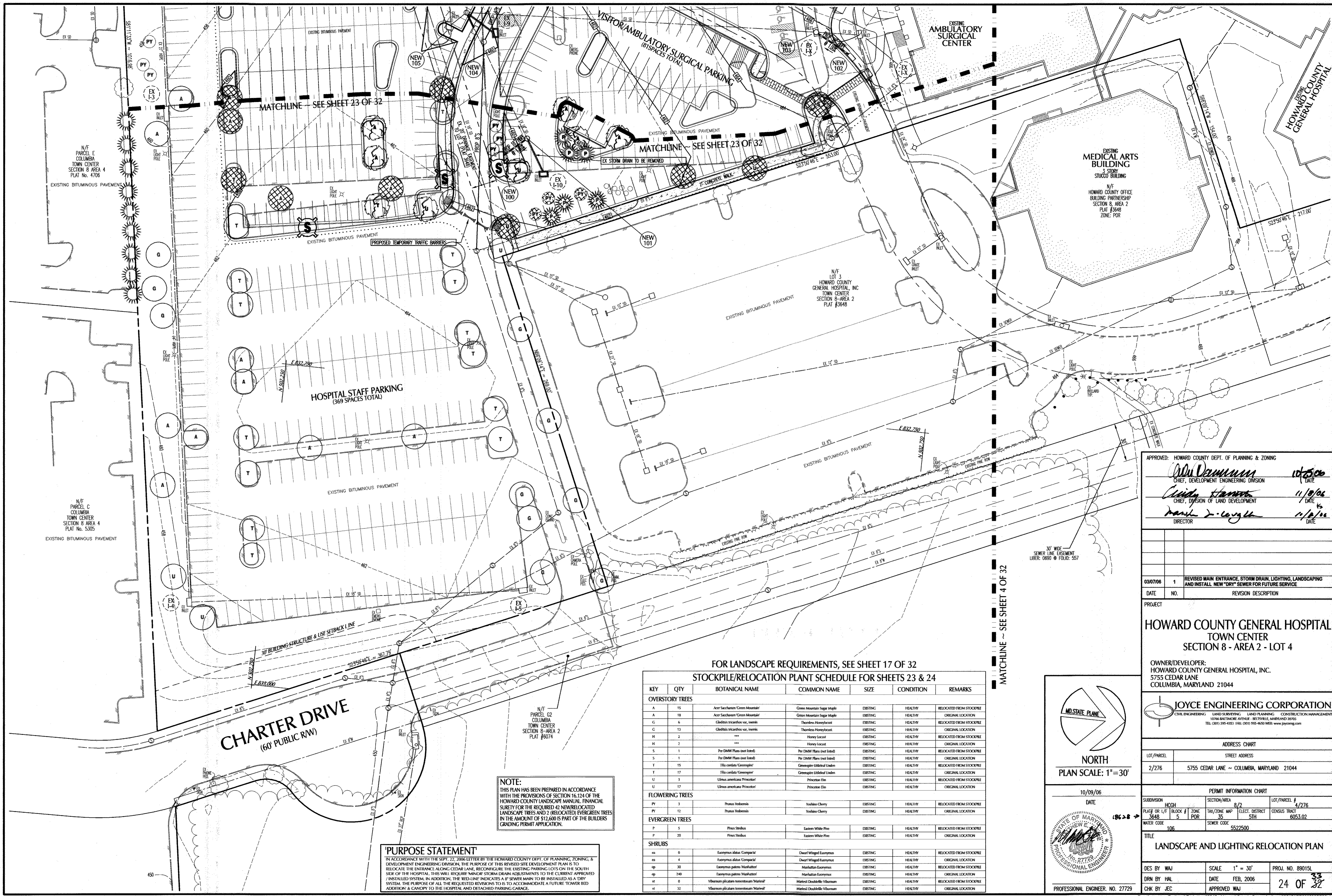
PERMIT INFORMATION CHART			
SUBDIVISION	SECTION/AREA	LOT/PARCEL #	
HC08	8/2	4/276	
PLAT OR L/P	TAX/ZONE MAP	ELECT. DISTRICT	CENSUS TRACT
3648	5 POR	35	6053.02
WATER CODE	SEWER CODE		
106	5522500		

TITLE <b>LANDSCAPE AND LIGHTING RELOCATION PLAN</b>		
DES BY WAJ	SCALE 1" = 30'	PROJ. NO. 89015L
DRN BY HAL	DATE FEB. 2006	23 OF 32
CHK BY JEC	APPROVED WAJ	

10/09/06  
DATE

PROFESSIONAL ENGINEER. NO. 27729

PROFESSIONAL ENGINEER. NO. 27729



FOR LANDSCAPE REQUIREMENTS, SEE SHEET 17 OF 32  
**STOCKPILE/RELOCATION PLANT SCHEDULE FOR SHEETS 23 & 24**

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	REMARKS
<b>OVERSTORY TREES</b>						
A	15	Acer Saccharum 'Green Mountain'	Green Mountain Sugar Maple	EXISTING	HEALTHY	RELOCATED FROM STOCKPILE
A	18	Acer Saccharum 'Green Mountain'	Green Mountain Sugar Maple	EXISTING	HEALTHY	ORIGINAL LOCATION
G	6	Quercus Incana var. imbricifolia	Thunberg's Honeylocust	EXISTING	HEALTHY	RELOCATED FROM STOCKPILE
C	13	Quercus Incana var. imbricifolia	Thunberg's Honeylocust	EXISTING	HEALTHY	ORIGINAL LOCATION
H	2	***	Honey Locust	EXISTING	HEALTHY	RELOCATED FROM STOCKPILE
H	2	***	Honey Locust	EXISTING	HEALTHY	ORIGINAL LOCATION
S	1	Per DWG Plans (not listed)	Per DWG Plans (not listed)	EXISTING	HEALTHY	RELOCATED FROM STOCKPILE
S	1	Per DWG Plans (not listed)	Per DWG Plans (not listed)	EXISTING	HEALTHY	ORIGINAL LOCATION
T	15	Tilia cordata 'Greenoughii'	Greenough's Littleleaf Linden	EXISTING	HEALTHY	RELOCATED FROM STOCKPILE
T	17	Tilia cordata 'Greenoughii'	Greenough's Littleleaf Linden	EXISTING	HEALTHY	ORIGINAL LOCATION
U	3	Ulmus americana 'Princeton'	Princeton Elm	EXISTING	HEALTHY	RELOCATED FROM STOCKPILE
U	17	Ulmus americana 'Princeton'	Princeton Elm	EXISTING	HEALTHY	ORIGINAL LOCATION
<b>FLOWERING TREES</b>						
PY	3	Prunus Yedoensis	Yoshino Cherry	EXISTING	HEALTHY	RELOCATED FROM STOCKPILE
PY	12	Prunus Yedoensis	Yoshino Cherry	EXISTING	HEALTHY	ORIGINAL LOCATION
<b>EVERGREEN TREES</b>						
P	5	Pinus Strobus	Eastern White Pine	EXISTING	HEALTHY	RELOCATED FROM STOCKPILE
P	20	Pinus Strobus	Eastern White Pine	EXISTING	HEALTHY	ORIGINAL LOCATION
<b>SHRUBS</b>						
es	0	Euconymus alatus 'Compacta'	Dwarf Winged Euconymus	EXISTING	HEALTHY	RELOCATED FROM STOCKPILE
es	4	Euconymus alatus 'Compacta'	Dwarf Winged Euconymus	EXISTING	HEALTHY	ORIGINAL LOCATION
ep	30	Euconymus palmatus 'Manhattan'	Manhattan Euconymus	EXISTING	HEALTHY	RELOCATED FROM STOCKPILE
ep	240	Euconymus palmatus 'Manhattan'	Manhattan Euconymus	EXISTING	HEALTHY	ORIGINAL LOCATION
vt	0	Viburnum plicatum tomentosum 'Marble'	Marble Doublefile Viburnum	EXISTING	HEALTHY	RELOCATED FROM STOCKPILE
vt	32	Viburnum plicatum tomentosum 'Marble'	Marble Doublefile Viburnum	EXISTING	HEALTHY	ORIGINAL LOCATION

**NOTE:**  
 THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE REQUIRED 42 NEW/RELOCATED LANDSCAPE TREES AND 2 (RELOCATED) EVERGREEN TREES IN THE AMOUNT OF \$12,600 IS PART OF THE BUILDERS GRADING PERMIT APPLICATION.

**PURPOSE STATEMENT**  
 IN ACCORDANCE WITH THE SEPT. 22, 2006 LETTER BY THE HOWARD COUNTY DEPT. OF PLANNING, ZONING, & DEVELOPMENT ENGINEERING DIVISION, THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO RELOCATE THE ENTRANCE ALONG CEDAR LANE, RECONFIGURE THE EXISTING PARKING LOTS ON THE SOUTH SIDE OF THE HOSPITAL. THIS WILL REQUIRE MINOR STORM DRAIN ADJUSTMENTS TO THE CURRENT APPROVED/INSTALLED SYSTEM. IN ADDITION, THE RED LINE INDICATES A 6" SEWER MAIN TO BE INSTALLED AS A DRY SYSTEM. THE PURPOSE OF ALL THE REQUESTED REVISIONS IS TO ACCOMMODATE A FUTURE TOWER BED ADDITION & CANOPY TO THE HOSPITAL AND DETACHED PARKING GARAGE.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*John Dammann* 10/25/06  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Clayton Harris* 11/9/06  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*Mark J. Long* 11/9/06  
 DIRECTOR DATE

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03/07/06 1 REVISED MAIN ENTRANCE, STORM DRAIN, LIGHTING, LANDSCAPING AND INSTALL NEW "DRY" SEWER FOR FUTURE SERVICE

DATE NO. REVISION DESCRIPTION

---

PROJECT  
**HOWARD COUNTY GENERAL HOSPITAL**  
 TOWN CENTER  
 SECTION 8 - AREA 2 - LOT 4

OWNER/DEVELOPER:  
 HOWARD COUNTY GENERAL HOSPITAL, INC.  
 5755 CEDAR LANE  
 COLUMBIA, MARYLAND 21044

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**JOYCE ENGINEERING CORPORATION**  
 CIVIL ENGINEERING LAND SURVEYING LAND PLANNING CONSTRUCTION MANAGEMENT  
 10766 BATTANWEE AVENUE - BELTSVILLE, MARYLAND 20705  
 TEL: (301) 955-4333 FAX: (301) 955-4600 WEB: www.joyceeng.com

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ADDRESS CHART  
 LOT/PARCEL: 2/276 STREET ADDRESS: 5755 CEDAR LANE ~ COLUMBIA, MARYLAND 21044

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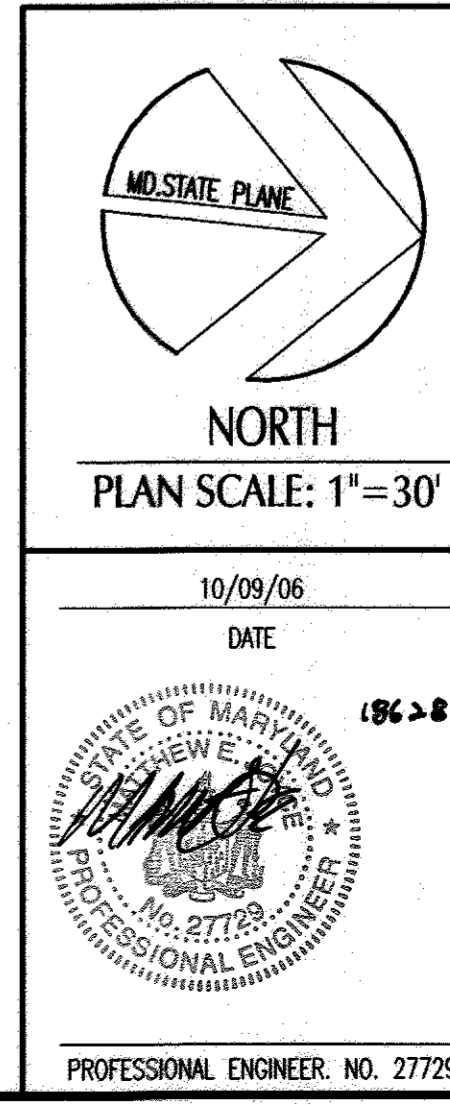
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 PLAT OR L/F: BLOCK #: 3648 ZONE: POR TAX/ZONE MAP: 35 ELECT. DISTRICT: 5TH CENSUS TRACT: 6053.02  
 WATER CODE: 106 SEWER CODE: 5522500

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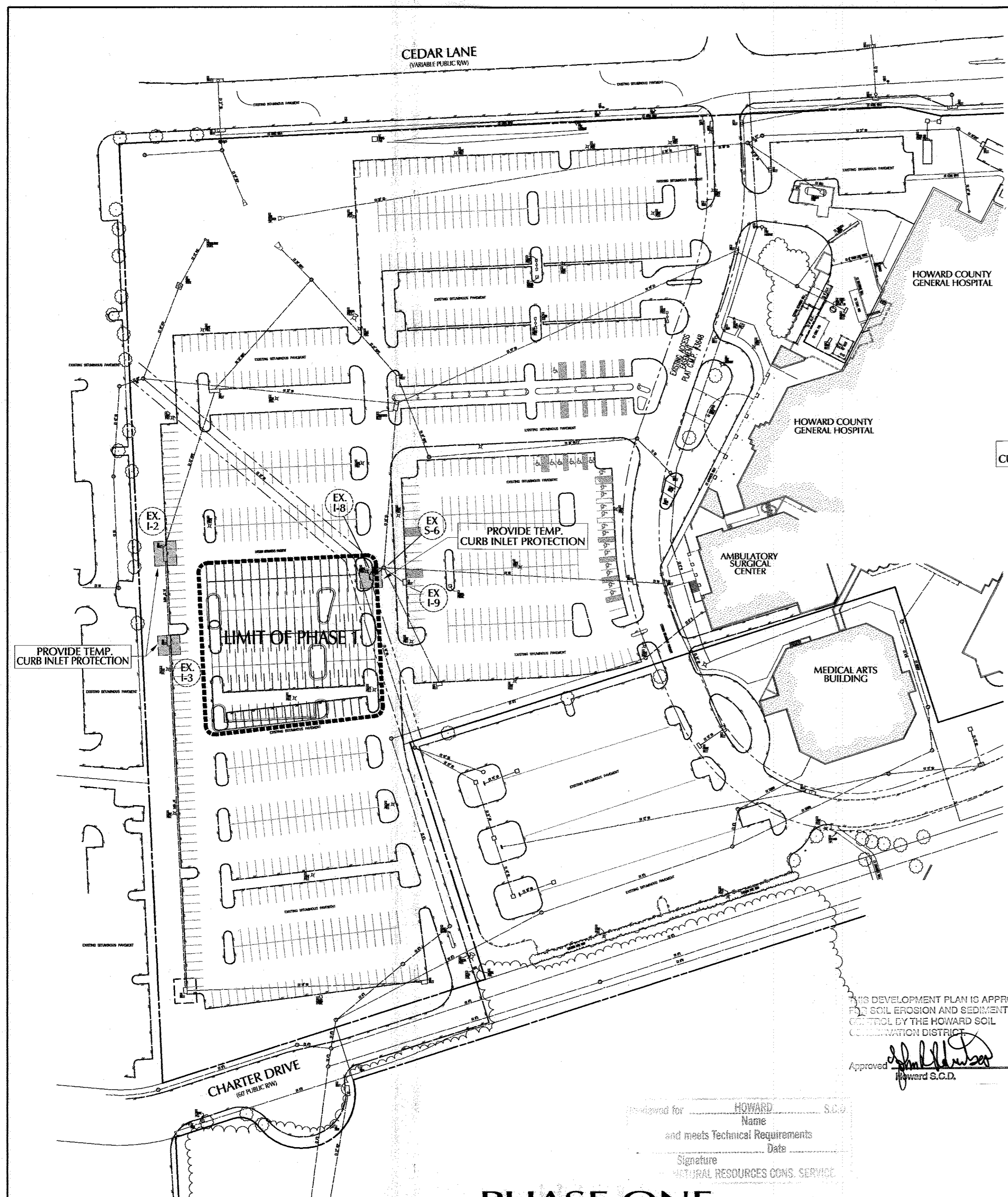
**LANDSCAPE AND LIGHTING RELOCATION PLAN**

DES BY: WAJ SCALE: 1" = 30' PROJ. NO.: 89015L  
 DRN BY: HAL DATE: FEB, 2006 24 OF 32  
 CHK BY: JEC APPROVED: WAJ

PROFESSIONAL ENGINEER, NO. 27729







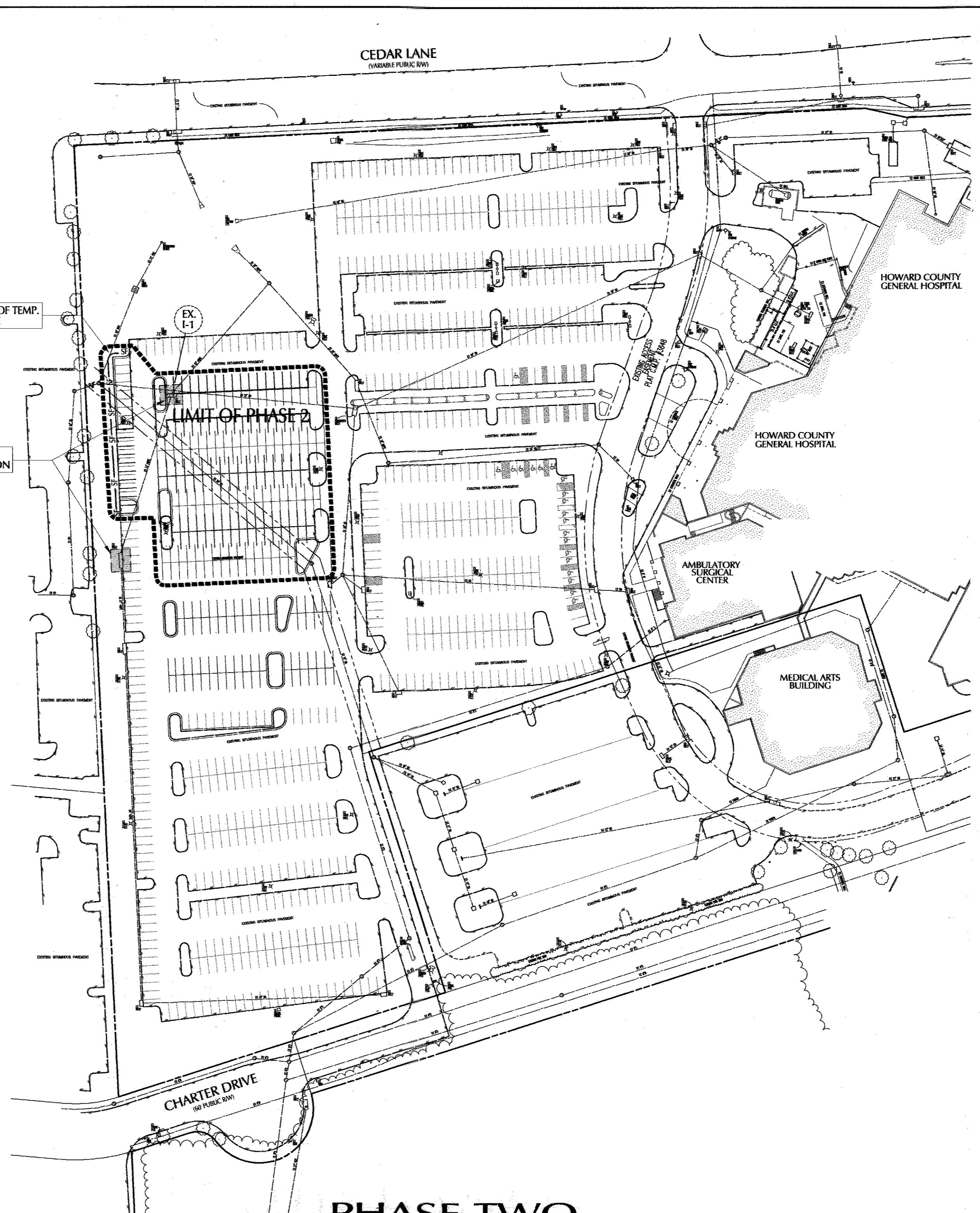
**PHASE ONE**

TOTAL PARKING REQUIRED:	908 SPACES (PER SDP 00-72)
TOTAL PARKING EXISTING:	1034 SPACES
TOTAL PARKING LOST DURING CONSTRUCTION:	102 SPACES
TOTAL ON-SITE PARKING AVAILABLE DURING CONSTRUCTION:	932 SPACES
TOTAL NEW PARKING CREATED BY THIS PHASE:	80 SPACES
TOTAL PARKING ON-SITE AT THE END OF THIS PHASE:	1012 SPACES

**PHASE ONE SEDIMENT CONTROL NOTES & SEQUENCE**

- TOTAL RE-DEVELOPMENT AREA= 34,590 SF OR 0.79 AC.
- TOTAL DISTURBED AREA= 4,940 SF OR 0.11 AC.
- INSTALL TEMPORARY CURB INLET PROTECTION FOR EXISTING STRUCTURES I-2, I-3 & I-9
- CONTRACTOR TO REMOVE EXISTING STRUCTURE I-8 AND TEMPORARILY BLOCK EXIST. 18" HDPE AT POINT OF CONNECTION TO EX. I-8.
- REMOVE EXISTING ISLANDS AND CONSTRUCT NEW ISLANDS AS INDICATED
- PAVE ALL NEW PARKING AREAS, INSTALL NEW LANDSCAPING AND STABILIZE ALL DISTURBED AREAS
- RE-STRIPE EXISTING PAVING AS INDICATED

Approved for: *Jim Myler* 10/24/06  
 Name: *Jim Myler*  
 and meets Technical Requirements  
 Date: 10/24/06  
 Signature: *Jim Myler*  
 NATURAL RESOURCES CONSV. SERVICE



**PHASE TWO**

TOTAL PARKING REQUIRED:	908 SPACES (PER SDP 00-72)
TOTAL PARKING EXISTING:	1012 SPACES
TOTAL PARKING LOST DURING CONSTRUCTION:	112 SPACES
TOTAL ON-SITE PARKING AVAILABLE DURING CONSTRUCTION:	900 SPACES
TOTAL NEW PARKING CREATED BY THIS PHASE:	161 SPACES
TOTAL PARKING ON-SITE AT THE END OF THIS PHASE:	1061 SPACES

(NOTE: A MIN. OF 8 OFF-SITE PARKING SPACES ARE REQUIRED DURING THIS PHASE)

**PHASE TWO SEDIMENT CONTROL NOTES & SEQUENCE**

- TOTAL RE-DEVELOPMENT AREA= 42,125 SF OR 0.97 AC.
- TOTAL DISTURBED AREA= 4,420 SF OR 0.10 AC.
- INLET PROTECTION FROM PHASE ONE TO REMAIN IN PLACE
- REMOVE EXISTING STRUCT I-1 AND REPLACE WITH NEW WR GRATE INLET
- PROVIDE YARD INLET PROTECTION FOR NEW I-1
- REMOVE EXISTING ISLANDS AND CONSTRUCT NEW PARKING LOT ISLANDS AS INDICATED
- PAVE ALL NEW PARKING AREAS, INSTALL NEW LANDSCAPING AND STABILIZE ALL DISTURBED AREAS
- RE-STRIPE EXISTING PAVING AS INDICATED

**LEGEND**

- LIMITS OF PHASE CONSTRUCTION
- EXISTING PARKING SPACES TO BE LOST DURING CONSTRUCTION
- NEW PARKING SPACES CREATED

**PURPOSE STATEMENT**

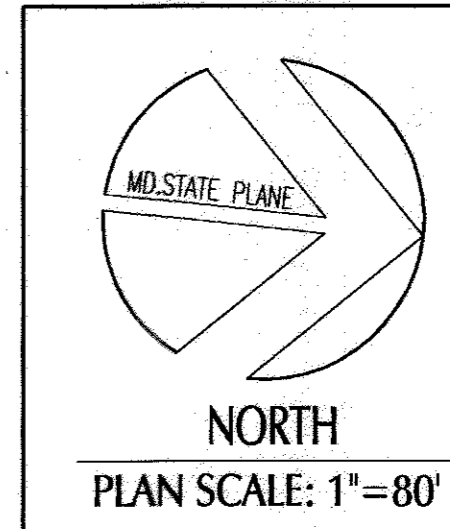
IN ACCORDANCE WITH THE SEPT. 22, 2006 LETTER BY THE HOWARD COUNTY DEPT. OF PLANNING, ZONING, & DEVELOPMENT ENGINEERING DIVISION, THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO RELOCATE THE ENTRANCE ALONG CEDAR LANE, RECONFIGURE THE EXISTING PARKING LOTS ON THE SOUTH SIDE OF THE HOSPITAL. THIS WILL REQUIRE MINOR STORM DRAIN ADJUSTMENTS TO THE CURRENT APPROVED/INSTALLED SYSTEM. IN ADDITION, THE 'RED LINE' INDICATES A 6" SEWER MAIN TO BE INSTALLED AS A DRY SYSTEM. THE PURPOSE OF ALL THE REQUESTED REVISIONS IS TO ACCOMMODATE A FUTURE TOWER BED ADDITION & CANOPY TO THE HOSPITAL AND DETACHED PARKING GARAGE.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
*Allen Daumun* 10/25/06  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
*Judy Hamilton* 11/18/06  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
*Mark D. Leight* 11/16/06  
 DIRECTOR

DATE	NO.	REVISION DESCRIPTION
03/07/06	1	REVISED MAIN ENTRANCE, STORM DRAIN, LIGHTING, LANDSCAPING AND INSTALL NEW "DRY" SEWER FOR FUTURE SERVICE

**HOWARD COUNTY GENERAL HOSPITAL**  
 TOWN CENTER  
 SECTION 8 - AREA 2 - LOT 4  
 OWNER/DEVELOPER:  
 HOWARD COUNTY GENERAL HOSPITAL, INC.  
 5755 CEDAR LANE  
 COLUMBIA, MARYLAND 21044

**JOYCE ENGINEERING CORPORATION**  
 CIVIL ENGINEERING LAND SURVEYING LAND PLANNING CONSTRUCTION MANAGEMENT  
 10766 BATHURGE AVENUE - BELTSVILLE, MARYLAND 20815  
 TEL: (301) 595-4353 FAX: (301) 595-4800 WEB: www.joyceeng.com



10/09/06  
 DATE  
 18638  
 PROFESSIONAL ENGINEER, NO. 27729

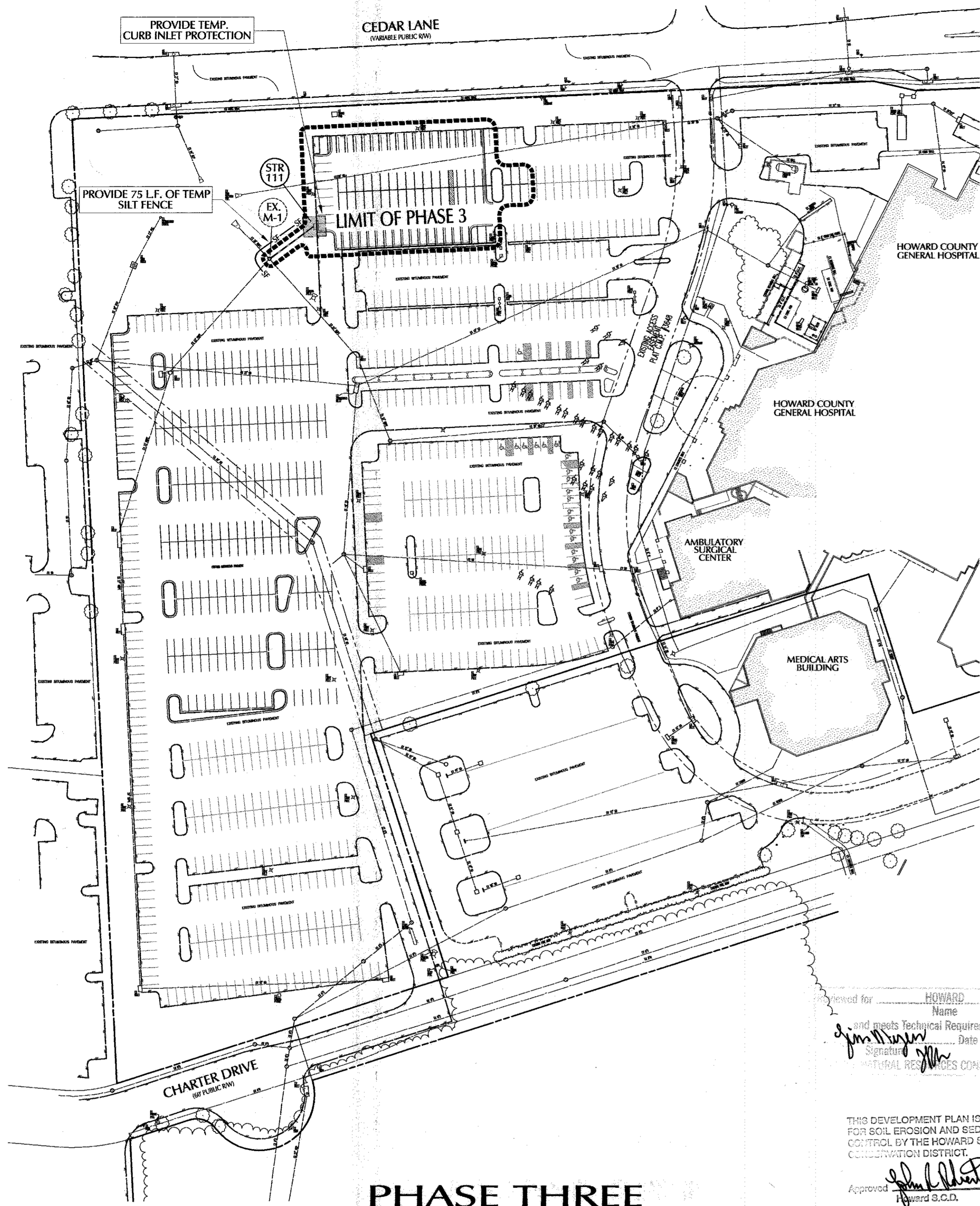
ADDRESS CHART	
LOT/PARCEL	STREET ADDRESS
4/276	5755 CEDAR LANE ~ COLUMBIA, MARYLAND 21044

PERMIT INFORMATION CHART			
SUBDIVISION	HIGHWAY	SECTION/AREA	LOT/PARCEL #
3648	5	35	4/276
PLAT OR L/P #	BLOCK #	ZONE	TAX/ZONE MAP #
3648	5	POR	35
WATER CODE	SEWER CODE	ELECT. DISTRICT	CENSUS TRACT
106	5522500	5TH	6053.02

TITLE		
DES BY	SCALE	PROJ. NO.
WAJ	1" = 80'	89015L
DRN BY	DATE	
HAL	FEB, 2006	25 OF 33
CHK BY	APPROVED	
JEC	WAJ	



### PHASE THREE

TOTAL PARKING REQUIRED:	908 SPACES (PER SDP 00-72)
TOTAL PARKING EXISTING:	1061 SPACES
TOTAL PARKING LOST DURING CONSTRUCTION:	78 SPACES
TOTAL ON-SITE PARKING AVAILABLE DURING CONSTRUCTION:	983 SPACES
TOTAL NEW PARKING CREATED BY THIS PHASE:	73 SPACES
TOTAL PARKING ON-SITE AT THE END OF THIS PHASE:	1056 SPACES

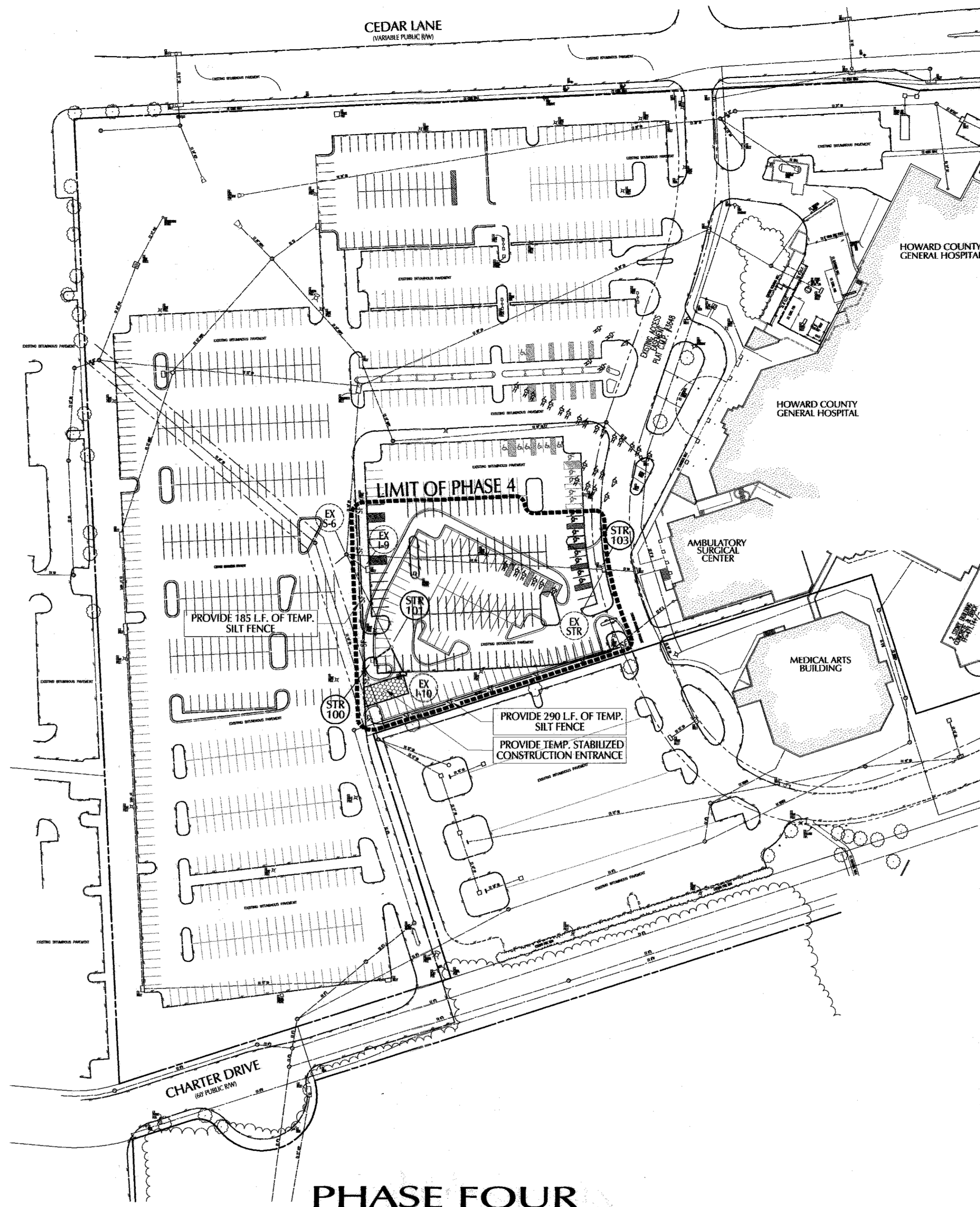
### PHASE THREE SEDIMENT CONTROL NOTES & SEQUENCE

- TOTAL RE-DEVELOPMENT AREA= 34,780 SF OR 0.80 AC.
- TOTAL DISTURBED AREA= 4,820 SF OR 0.121AC.
- INLET PROTECTION FROM PHASE ONE TO REMAIN FOR STRUCTURE I-2
- INSTALL STANDARD SILT FENCE ALONG WEST SIDE OF PROPOSED 18" HDPE (INTO SWM POND)
- INSTALL NEW STRUCTURE I- 11 and PROVIDE TEMPORARY CURB INLET PROTECTION
- INSTALL NEW 18" HDPE FROM NEW I-00 TO EXISTING STRUCTURE M-1 and IMMEDIATELY STABILIZE WITH SOD.
- REMOVE EXISTING ISLANDS and CONSTRUCT NEW PARKING LOT ISLANDS AS INDICATED
- PAVE ALL NEW PARKING AREAS, INSTALL NEW LANDSCAPING and STABILIZE ALL DISTURBED AREAS
- RE-STRIPE EXISTING PAVING AS INDICATED

Approved for HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 Name: *Jim Meyer*  
 Title: *Director*  
 Date: *10/24/06*  
 Signature: *[Signature]*  
 PROFESSIONAL ENGINEER NO. 22729

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING.

Approved: *[Signature]* Date: *10/24/06*  
 Title: *Director*

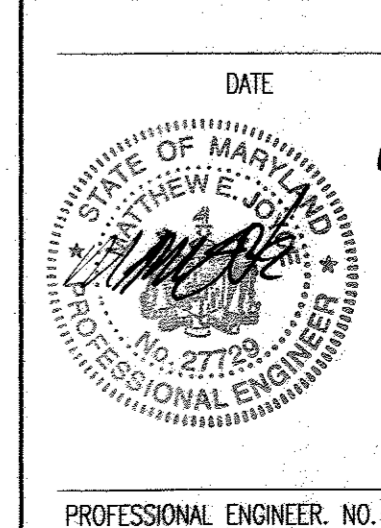
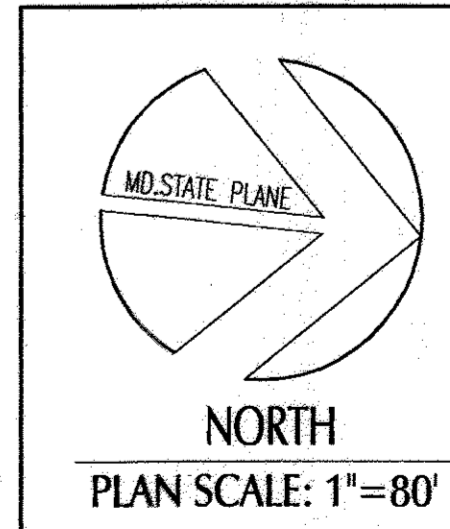


### PHASE FOUR

TOTAL PARKING REQUIRED:	958 SPACES (PER SDP 00-72)
TOTAL PARKING EXISTING:	1056 SPACES
TOTAL PARKING LOST DURING CONSTRUCTION:	122 SPACES
TOTAL ON-SITE PARKING AVAILABLE DURING CONSTRUCTION:	934 SPACES
TOTAL NEW PARKING CREATED BY THIS PHASE:	82 SPACES
TOTAL PARKING ON-SITE AT THE END OF THIS PHASE:	1016 SPACES

### PHASE FOUR SEDIMENT CONTROL NOTES & SEQUENCE

- TOTAL RE-DEVELOPMENT AREA= 54,425 SF OR 1.25 AC.
- TOTAL DISTURBED AREA= 8,560 SF OR 0.20 AC.
- REMOVE EXISTING STRUCTURE I-12 AND REPLACE WITH NEW MANHOLE (103)
- REMOVE EXISTING STRUCTURE I-10 and CONSTRUCT NEW STRUCTURE I-100 THRU 101
- PROVIDE TEMP. CURB INLET PROTECTION FOR STRUCTURE 100
- REMOVE EXISTING STRUCTURE I-9 and ASSOCIATED PIPE TO EXISTING STRUCTURE S-6
- INSTALL STANDARD SILT FENCE AS SHOWN ALONG SOUTHEAST & SOUTHWEST SIDE OF PHASE FOUR.
- REMOVE EXISTING PAVING and ISLANDS and CONSTRUCT NEW PARKING LOT AS INDICATED
- PAVE ALL NEW PARKING AREAS, INSTALL NEW LANDSCAPING and STABILIZE ALL DISTURBED AREAS
- STRIPE PAVING AS INDICATED



### LEGEND

LIMITS OF PHASE CONSTRUCTION	-----
EXISTING PARKING SPACES TO BE LOST DURING CONSTRUCTION	
NEW PARKING SPACES CREATED	

**PURPOSE STATEMENT**  
 IN ACCORDANCE WITH THE SEPT. 22, 2006 LETTER BY THE HOWARD COUNTY DEPT. OF PLANNING, ZONING, & DEVELOPMENT ENGINEERING DIVISION, THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO RELOCATE THE ENTRANCE ALONG CEDAR LANE, RECONFIGURE THE EXISTING PARKING LOTS ON THE SOUTH SIDE OF THE HOSPITAL. THIS WILL REQUIRE MINOR STORM DRAIN ADJUSTMENTS TO THE CURRENT APPROVED/INSTALLED SYSTEM. IN ADDITION, THE 'RED LINE' INDICATES A 6" SEWER MAIN TO BE INSTALLED AS A 'DRY' SYSTEM. THE PURPOSE OF ALL THE REQUESTED REVISIONS IS TO ACCOMMODATE A FUTURE TOWER BED ADDITION & CANOPY TO THE HOSPITAL AND DETACHED PARKING GARAGE.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*Jim Meyer* 10/24/06  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Clayton Hamer* 11/15/06  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*Mark J. Loggins* 11/15/06  
 DIRECTOR DATE

DATE	NO.	REVISION DESCRIPTION
03/07/06	1	REVISED MAIN ENTRANCE, STORM DRAIN, LIGHTING, LANDSCAPING AND INSTALL NEW "DRY" SEWER FOR FUTURE SERVICE

**HOWARD COUNTY GENERAL HOSPITAL**  
 TOWN CENTER  
 SECTION 8 - AREA 2 - LOT 4

OWNER/DEVELOPER:  
 HOWARD COUNTY GENERAL HOSPITAL, INC.  
 5755 CEDAR LANE  
 COLUMBIA, MARYLAND 21044

**JOYCE ENGINEERING CORPORATION**  
 CIVIL ENGINEERING LAND SURVEYING LAND PLANNING CONSTRUCTION MANAGEMENT  
 10766 BATHURST AVENUE - BELTSVILLE, MARYLAND 20705  
 TEL: (301) 595-4353 FAX: (301) 595-4600 WEB: www.joyceeng.com

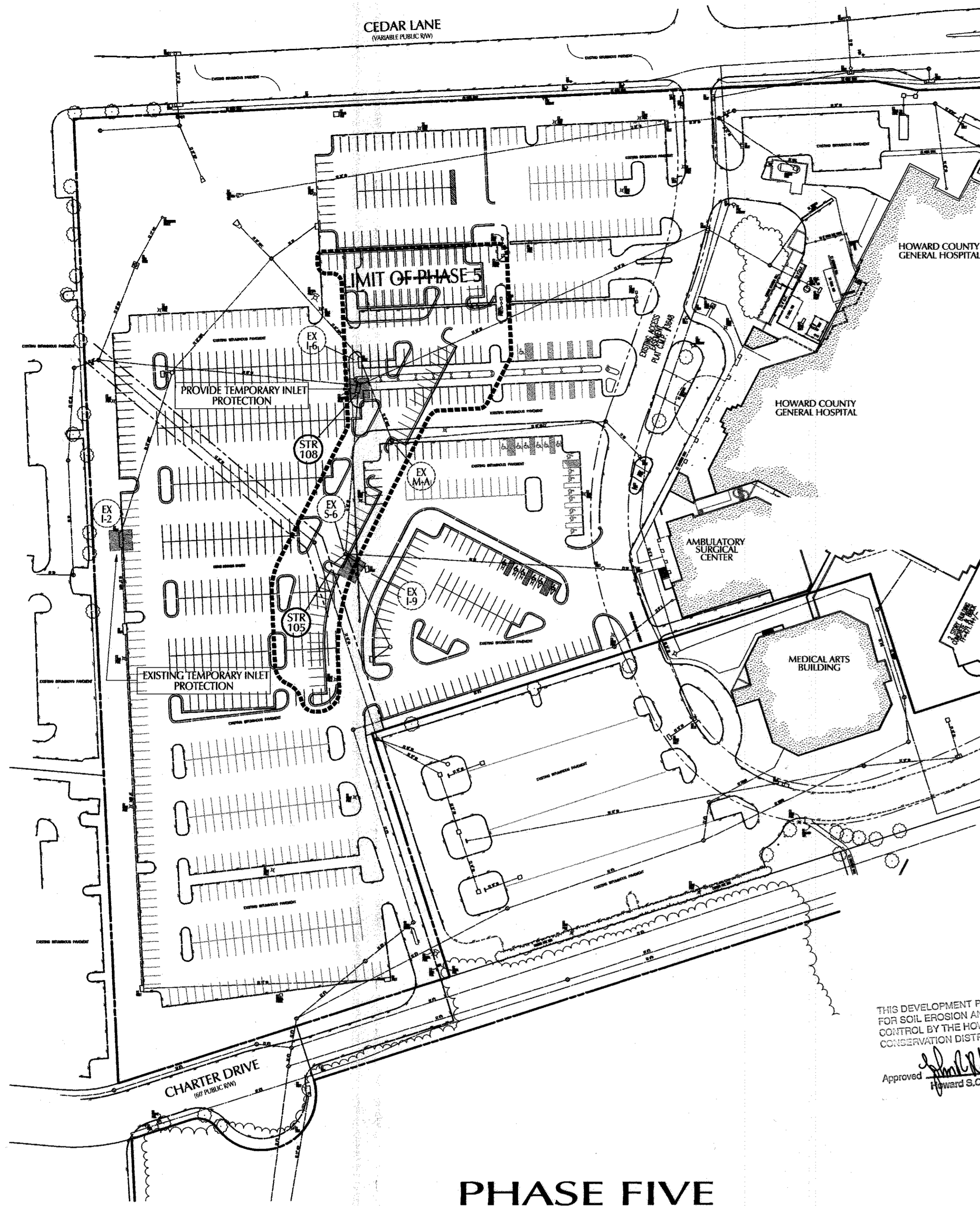
ADDRESS CHART  
 LOT/PARCEL: STREET ADDRESS

PERMIT INFORMATION CHART

SUBDIVISION	HIGH	SECTION/AREA	8/2	LOT/PARCEL #	4/276
PLAT OR L.F.	3648	BLOCK #	5	TAX/ZONE MAP	35
WATER CODE	106	SEWER CODE	5522500	ELECT. DISTRICT	5TH
				CENSUS TRACT	6053.02

TITLE: **PARKING LOT PHASING AND SEDIMENT CONTROL PLAN**

DES BY	WAJ	SCALE	1" = 80'	PROJ. NO.	89015L
DRN BY	HAL	DATE	FEB, 2006		
CHK BY	JEC	APPROVED	WAJ		26 OF 33



### PHASE FIVE

TOTAL PARKING REQUIRED:	908 SPACES (PER SDP 00-72)
TOTAL PARKING EXISTING:	1016 SPACES
TOTAL PARKING LOST DURING CONSTRUCTION:	134 SPACES
TOTAL ON-SITE PARKING AVAILABLE DURING CONSTRUCTION:	882 SPACES
TOTAL NEW PARKING CREATED BY THIS PHASE:	90 SPACES
TOTAL PARKING ON-SITE AT THE END OF THIS PHASE:	972 SPACES

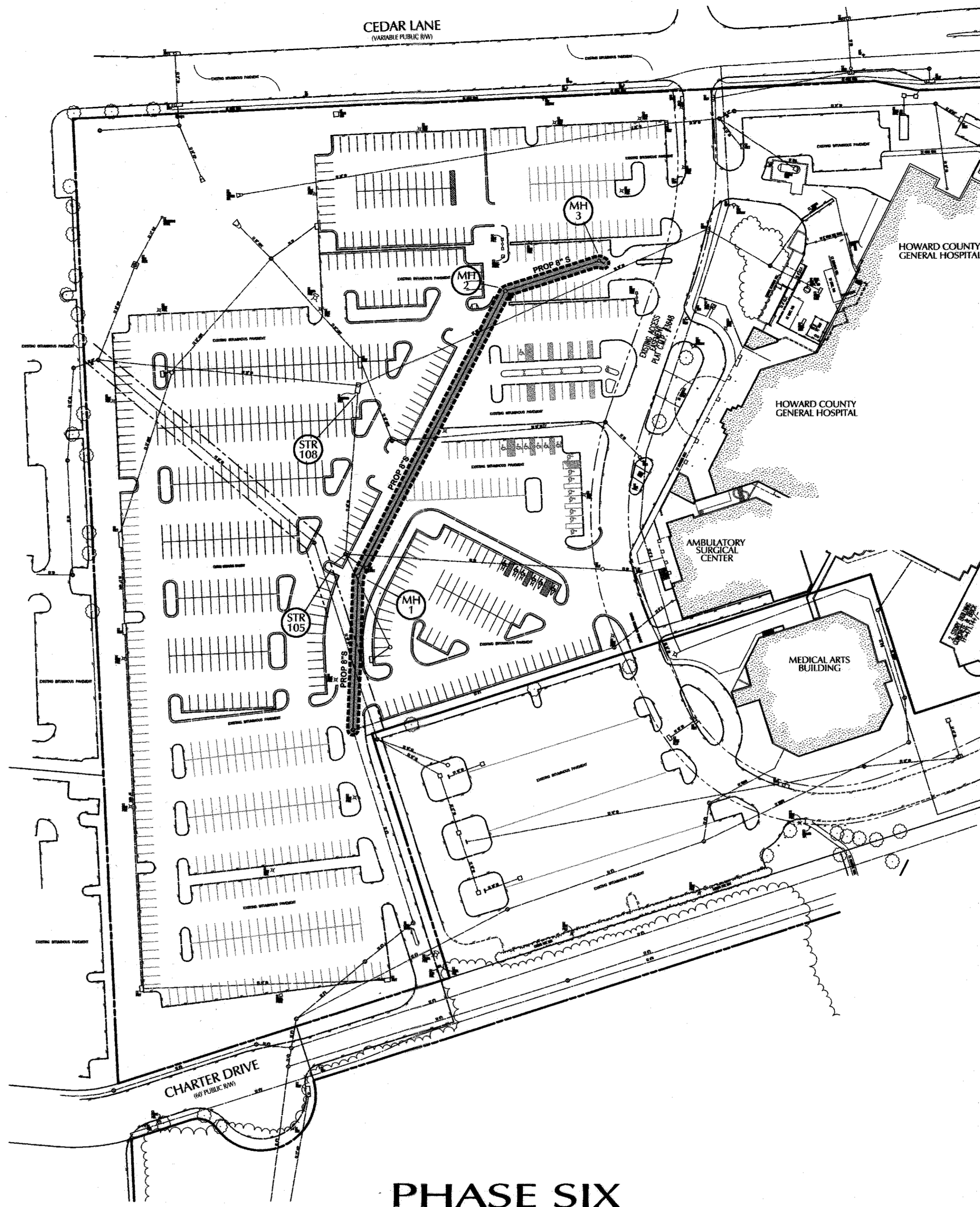
(NOTE: A MIN. OF 26 OFF-SITE PARKING SPACES ARE REQUIRED DURING THIS PHASE)

### PHASE FIVE SEDIMENT CONTROL NOTES & SEQUENCE

- TOTAL RE-DEVELOPMENT AREA= 52,080 SF OR 1.20 AC.
- TOTAL DISTURBED AREA= 44,795 SF OR 1.03 AC.
- INLET PROTECTION FROM PHASE ONE TO REMAIN FOR STRUCTURE 1-2
- INSTALL NEW STRUCTURE 104 and ASSOCIATED 18" HDPE INTO EXIST. S-6
- PROVIDE CURB INLET PROTECTION FOR STRUCTURE 104.
- CONVERT EXISTING STRUCTURE 1-6 TO NEW WR GRATE INLET (108) and PROVIDE INLET PROTECTION.
- REMOVE EXISTING ISLANDS and CONSTRUCT NEW PARKING LOT ISLANDS AS INDICATED
- PAVE ALL NEW PARKING AREAS, INSTALL NEW LANDSCAPING and
- STABILIZE ALL DISTURBED AREAS
- STRIPE/RE-STRIPE PAVING AS INDICATED

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT

Approved: *[Signature]* 10/21/06  
Howard C.D. Date



### PHASE SIX

PHASE SIX IS FOR THE INSTALLATION OF AN 8" DRY SEWER MAIN TO SERVICE THE FUTURE HOSPITAL TOWER EXPANSION PROJECT.  
NOTE: NO OFF-SITE PARKING SPACES ARE PARKING SPACES ARE REQUIRED DURING THIS PHASE.

### PHASE SIX SEDIMENT CONTROL NOTES & SEQUENCE

- TOTAL RE-DEVELOPMENT AREA= 6,810 SF OR 0.16 AC.
- TOTAL DISTURBED AREA= 6,810 SF OR 0.16 AC.
- OPEN CUT TRENCH and INSTALL NEW (DRY) 8" SEWER HAUL EXPORT/IMPORT FOR TRENCH CUT/FILL
- IMMEDIATELY PAVE/STABILIZE UPON COMPLETION OF EACH SECTION (MH TO MH)

Prepared for: *[Signature]* Name: *[Signature]* Date: 10/21/06

### LEGEND

- LIMITS OF PHASE CONSTRUCTION
- EXISTING PARKING SPACES TO BE LOST DURING CONSTRUCTION
- NEW PARKING SPACES CREATED

### PURPOSE STATEMENT

IN ACCORDANCE WITH THE SEPT. 22, 2006 LETTER BY THE HOWARD COUNTY DEPT. OF PLANNING, ZONING, & DEVELOPMENT ENGINEERING DIVISION, THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO RELOCATE THE ENTRANCE ALONG CEDAR LANE, RECONFIGURE THE EXISTING PARKING LOTS ON THE SOUTH SIDE OF THE HOSPITAL. THIS WILL REQUIRE MINOR STORM DRAIN ADJUSTMENTS TO THE CURRENT APPROVED INSTALLED SYSTEM. IN ADDITION, THE RED LINE INDICATES A 8" SEWER MAIN TO BE INSTALLED AS A DRY SYSTEM. THE PURPOSE OF ALL THE REQUESTED REVISIONS IS TO ACCOMMODATE A FUTURE TOWER BED ADDITION & CANOPY TO THE HOSPITAL AND DETACHED PARKING GARAGE.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*[Signature]* 10/25/06  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 11/10/06  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 11/10/06  
DIRECTOR DATE

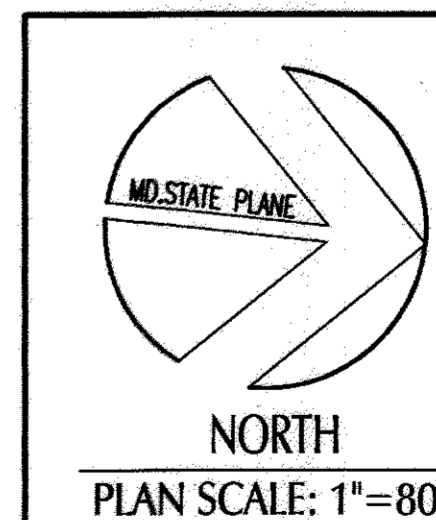
DATE	NO.	REVISION DESCRIPTION
03/07/06	1	REVISED MAIN ENTRANCE, STORM DRAIN, LIGHTING, LANDSCAPING AND INSTALL NEW "DRY" SEWER FOR FUTURE SERVICE

PROJECT: HOWARD COUNTY GENERAL HOSPITAL TOWN CENTER SECTION 8 - AREA 2 - LOT 4

OWNER/DEVELOPER:  
HOWARD COUNTY GENERAL HOSPITAL, INC.  
5755 CEDAR LANE  
COLUMBIA, MARYLAND 21044

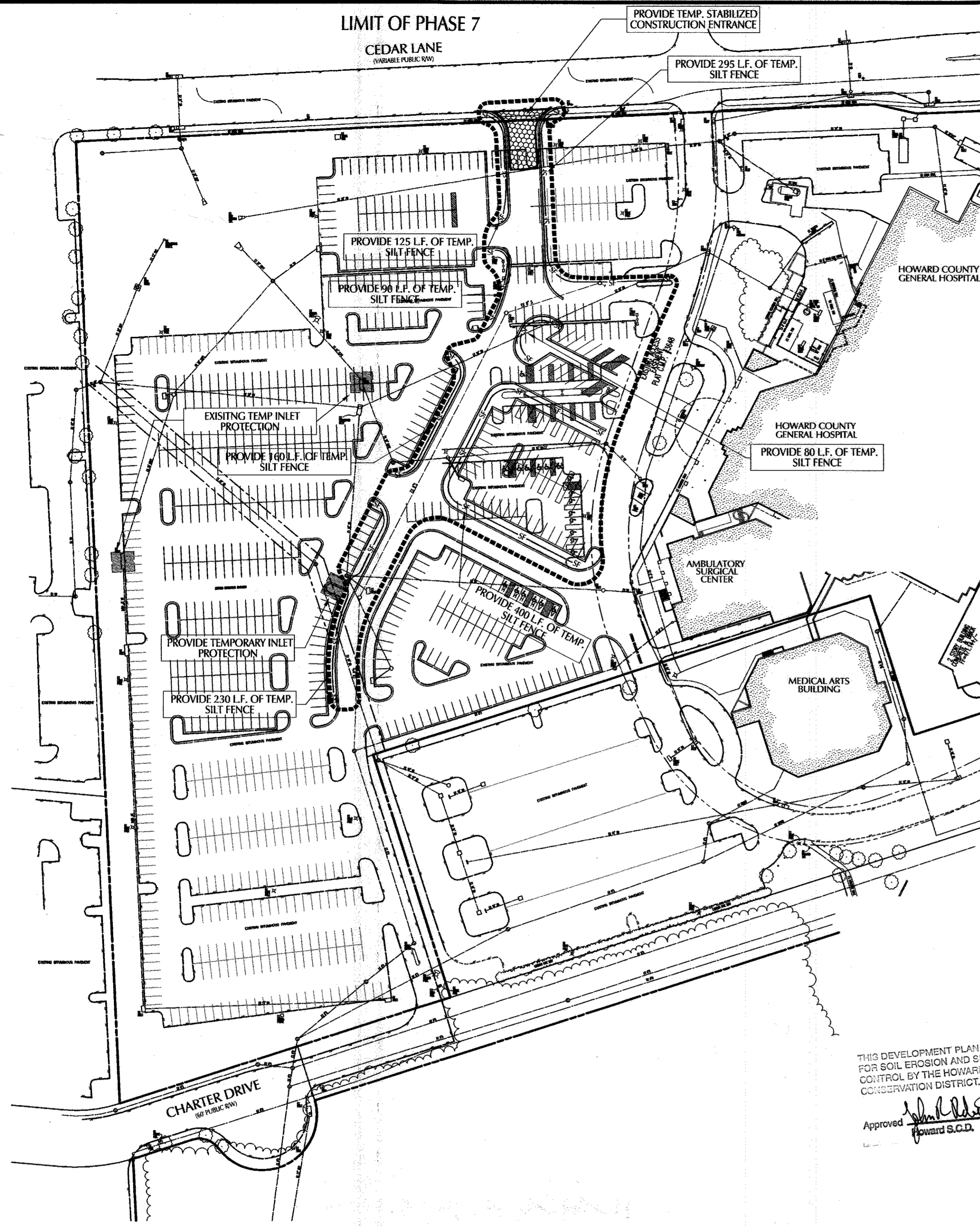
JOYCE ENGINEERING CORPORATION  
CIVIL ENGINEERING LAND SURVEYING LAND PLANNING CONSTRUCTION MANAGEMENT  
10766 BAYTIMORE AVENUE - BELTSVILLE, MARYLAND 20705  
TEL: (301) 995-4351 FAX: (301) 995-4600 WEB: www.joyceeng.com

ADDRESS CHART  
LOT/PARCEL: STREET ADDRESS



PERMIT INFORMATION CHART			
DATE: 10/09/06	SUBDIVISION: HCCH	SECTION/AREA: 8/2	LOT/PARCEL #: 4/276
PLATE OR U/T: 3648	BLOCK #: 5	TAX/ZONE MAP #: 35	ELECT. DISTRICT: 5TH
WATER CODE: 106	SEWER CODE: 5522500	CENSUS TRACT: 6053.02	
TITLE: PARKING LOT PHASING AND SEDIMENT CONTROL PLAN			
DES BY: WAJ	SCALE: 1" = 80'	PROJ. NO.: 89015L	
DRN BY: HAL	DATE: FEB, 2006	27 OF 32	
CHK BY: JEC	APPROVED: WAJ		

PROFESSIONAL ENGINEER, NO. 22729



### PHASE SEVEN

TOTAL PARKING REQUIRED:	908 SPACES (PER SDP 00-72)
TOTAL PARKING EXISTING:	972 SPACES
TOTAL PARKING LOST DURING CONSTRUCTION:	106 SPACES
TOTAL ON-SITE PARKING AVAILABLE DURING CONSTRUCTION:	866 SPACES
TOTAL NEW PARKING CREATED BY THIS PHASE:	63 SPACES
TOTAL PARKING ON-SITE AT THE END OF THIS PHASE:	929 SPACES

(NOTE: A MIN. OF 21 OFF-SITE PARKING SPACES ARE REQUIRED DURING THIS PHASE)

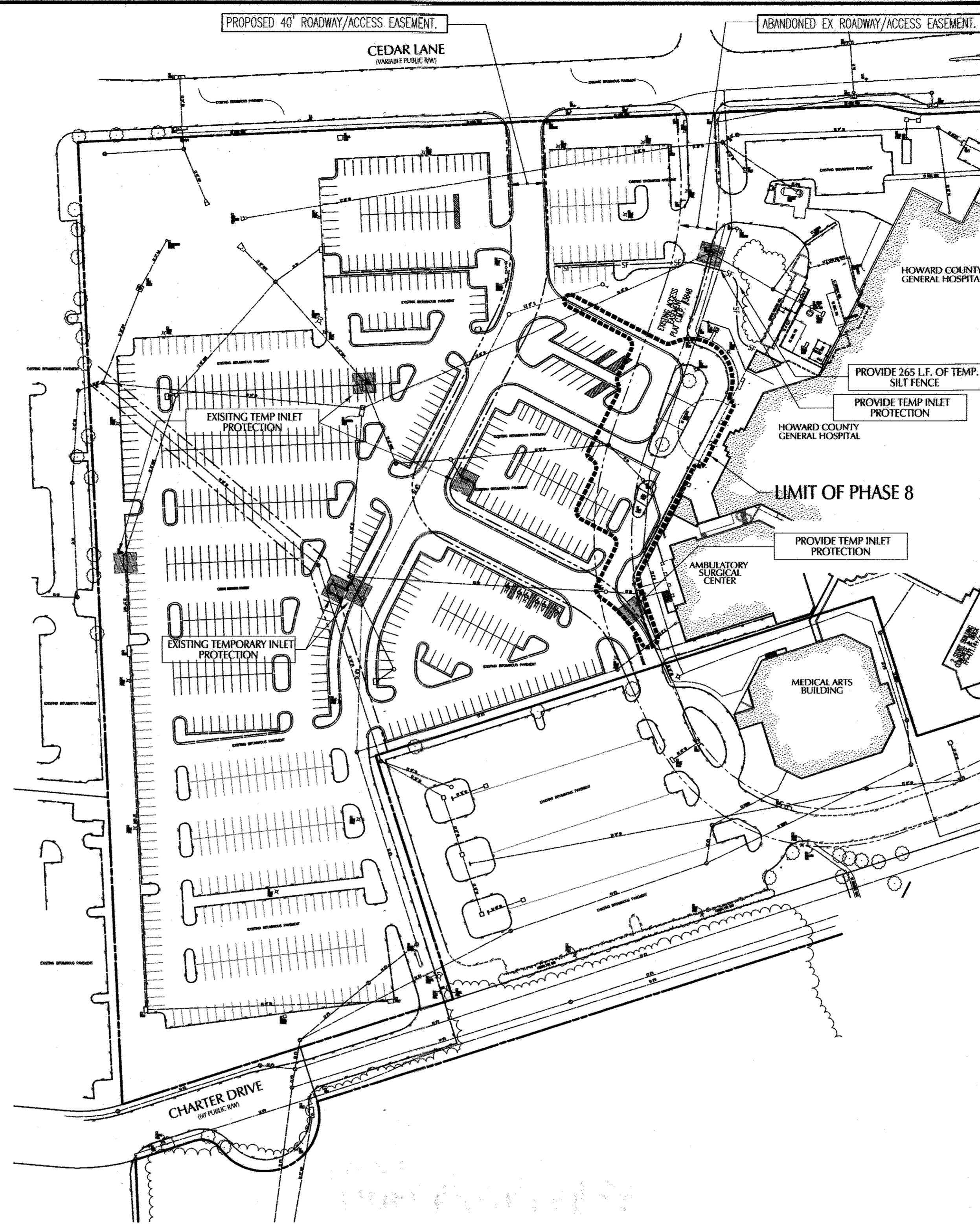
### PHASE SEVEN SEDIMENT CONTROL NOTES & SEQUENCE

- TOTAL RE-DEVELOPMENT AREA= 72,875 SF OR 1.67 AC.
- TOTAL DISTURBED AREA= 72,875 SF OR 1.67 AC.
- INLET PROTECTION AT STRUCTURES I-2, 104, 105 and 108 TO REMAIN FOR THIS PHASE
- REMOVE EXISTING ISLANDS and PAVEMENT and RE-GRADE/CONSTRUCT NEW PARKING LOT and ISLANDS AS INDICATED.
- IMMEDIATELY SOD ALL AREAS OUTSIDE OF PAVING LIMITS and PAVE ALL NEW PARKING AREAS.
- INSTALL NEW LANDSCAPING
- STRIPE PAVING AS INDICATED

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Approved: *[Signature]* Date: 10/24/06  
Howard S.C.D.

Reviewed for: *[Signature]* Date: 10/24/06  
Name: Jim M...  
Signature: *[Signature]*  
Title: NATURAL RESOURCES CONSERVATION SERVICE



### PHASE EIGHT

TOTAL PARKING REQUIRED:	908 SPACES (PER SDP 00-72)
TOTAL PARKING EXISTING:	929 SPACES
TOTAL PARKING LOST DURING CONSTRUCTION:	0 SPACES
TOTAL ON-SITE PARKING AVAILABLE DURING CONSTRUCTION:	929 SPACES
TOTAL NEW PARKING CREATED BY THIS PHASE:	13 SPACES
TOTAL PARKING ON-SITE AT THE END OF THIS PHASE:	942 SPACES

### PHASE EIGHT SEDIMENT CONTROL NOTES & SEQUENCE

- TOTAL RE-DEVELOPMENT AREA= 28,100 SF OR 0.65 AC.
- TOTAL DISTURBED AREA= 28,100 SF OR 0.65 AC.
- INSTALL SUPER SILT FENCE ALONG WESTERN LIMITS OF PHASE EIGHT AS INDICATED
- MAINTAIN EXISTING INLET PROTECTION DEVICES PREVIOUSLY INSTALLED AS INDICATED
- INSTALL STANDARD SILT FENCE ALONG SOUTHERN PORTION OF PHASE EIGHT AS INDICATED
- REMOVE EXISTING ISLANDS, PAVING and SIDEWALKS and INSTALL NEW ISLANDS PAVING and SIDEWALKS.
- IMMEDIATELY SOD ALL AREAS OUTSIDE OF PAVED AREAS
- STRIPE PAVING AS INDICATED

### LEGEND

- LIMITS OF PHASE CONSTRUCTION:
- EXISTING PARKING SPACES TO BE LOST DURING CONSTRUCTION:
- NEW PARKING SPACES CREATED:

### PURPOSE STATEMENT

IN ACCORDANCE WITH THE SEPT. 22, 2006 LETTER BY THE HOWARD COUNTY DEPT. OF PLANNING, ZONING, & DEVELOPMENT ENGINEERING DIVISION, THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO RELOCATE THE ENTRANCE ALONG CEDAR LANE, RECONFIGURE THE EXISTING PARKING LOTS ON THE SOUTH SIDE OF THE HOSPITAL. THIS WILL REQUIRE MINOR STORM DRAIN ADJUSTMENTS TO THE CURRENT APPROVED/INSTALLED SYSTEM. IN ADDITION, THE 'RED LINE' INDICATES A 8" SEWER MAIN TO BE INSTALLED AS A DRY SYSTEM. THE PURPOSE OF ALL THE REQUESTED REVISIONS IS TO ACCOMMODATE A FUTURE TOWER BED ADDITION & CANOPY TO THE HOSPITAL AND DETACHED PARKING GARAGE.

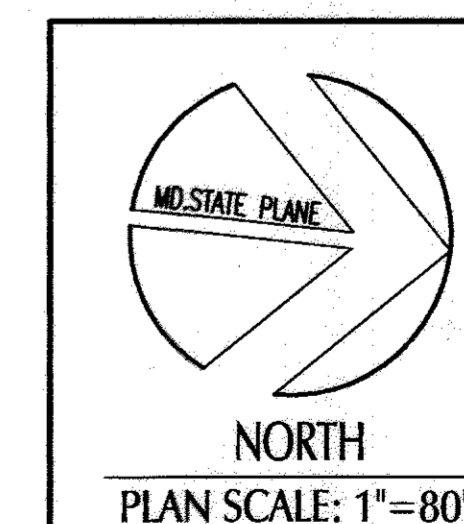
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING	
<i>[Signature]</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	10/25/06 DATE
<i>[Signature]</i> CHIEF, DIVISION OF LAND DEVELOPMENT	11/15/06 DATE
<i>[Signature]</i> DIRECTOR	1/17/06 DATE

03/07/06	1	REVISED MAIN ENTRANCE, STORM DRAIN, LIGHTING, LANDSCAPING AND INSTALL NEW "DRY" SEWER FOR FUTURE SERVICE
DATE	NO.	REVISION DESCRIPTION

### HOWARD COUNTY GENERAL HOSPITAL TOWN CENTER SECTION 8 - AREA 2 - LOT 4

OWNER/DEVELOPER:  
HOWARD COUNTY GENERAL HOSPITAL, INC.  
5755 CEDAR LANE  
COLUMBIA, MARYLAND 21044

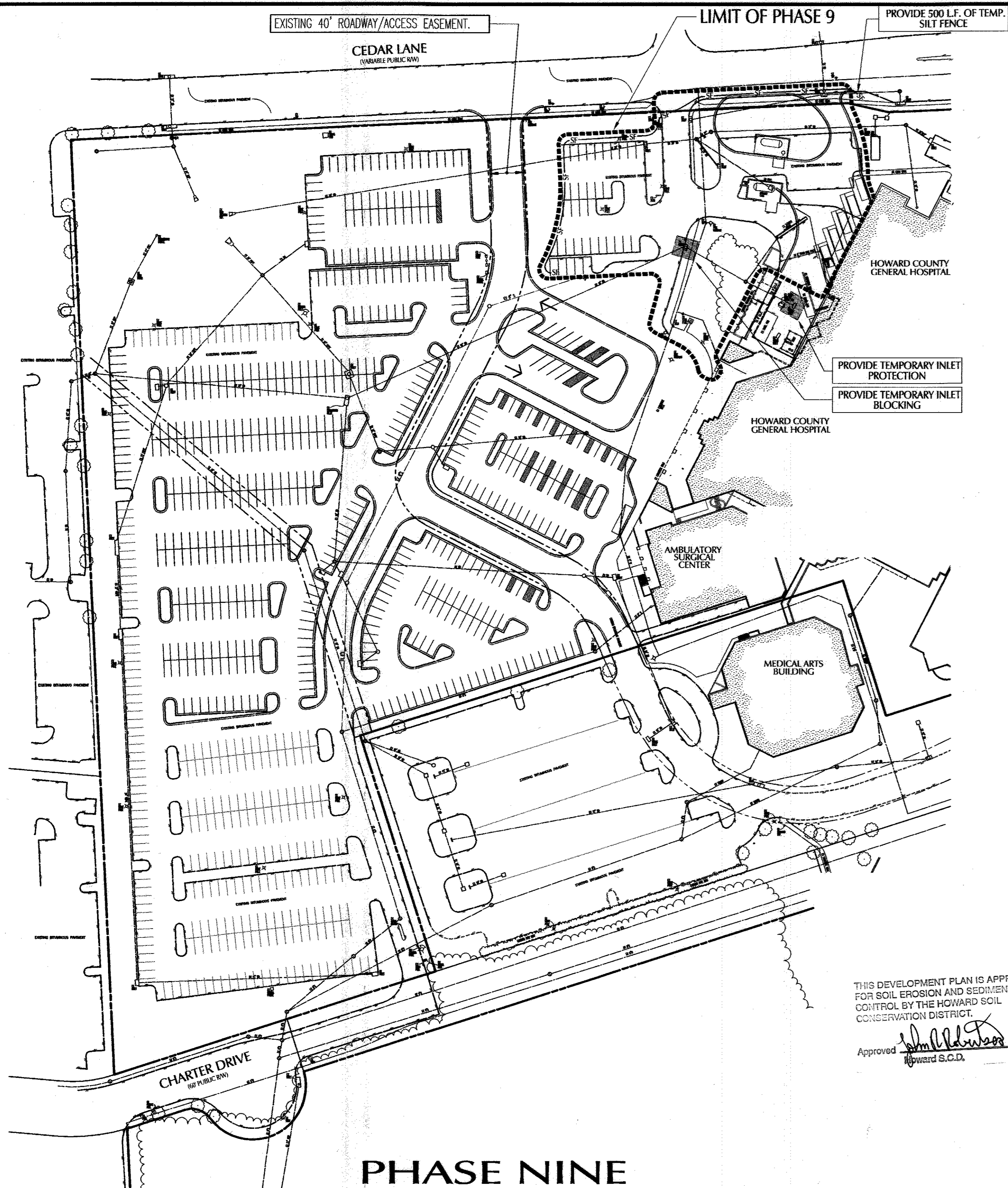
**JOYCE ENGINEERING CORPORATION**  
CIVIL ENGINEERING LAND SURVEYING LAND PLANNING CONSTRUCTION MANAGEMENT  
10766 BALTIMORE AVENUE - BELTSVILLE, MARYLAND 20705  
TEL: (301) 595-4353 FAX: (301) 595-4630 WEB: www.joyceeng.com



10/09/06  
DATE

*[Professional Engineer Seal]*  
PROFESSIONAL ENGINEER. NO. 22729

PERMIT INFORMATION CHART			
SUBMISSION	HIGH	SECTION/AREA	8/2
PLAT # OR L/F	3648	TAX/TOWNE MAP	35
BLOCK #	5	ELECT. DISTRICT	5TH
ZONE	POR	CENSUS TRACT	6053.02
WATER CODE	106	SEWER CODE	5522500
TITLE PARKING LOT PHASING AND SEDIMENT CONTROL PLAN			
DES BY WAJ	SCALE 1" = 80'	PROJ. NO. 89015L	
DRN BY HAL	DATE FEB, 2006	28 OF 33	
CHK BY JEC	APPROVED WAJ		



**PHASE NINE**

TOTAL PARKING REQUIRED:	908 SPACES (PER SDP 00-72)
TOTAL PARKING EXISTING:	942 SPACES
TOTAL PARKING LOST DURING CONSTRUCTION:	49 SPACES
TOTAL ON-SITE PARKING AVAILABLE DURING CONSTRUCTION:	893 SPACES
TOTAL NEW PARKING CREATED BY THIS PHASE:	0 SPACES
TOTAL PARKING ON-SITE AT THE END OF THIS PHASE:	893 SPACES

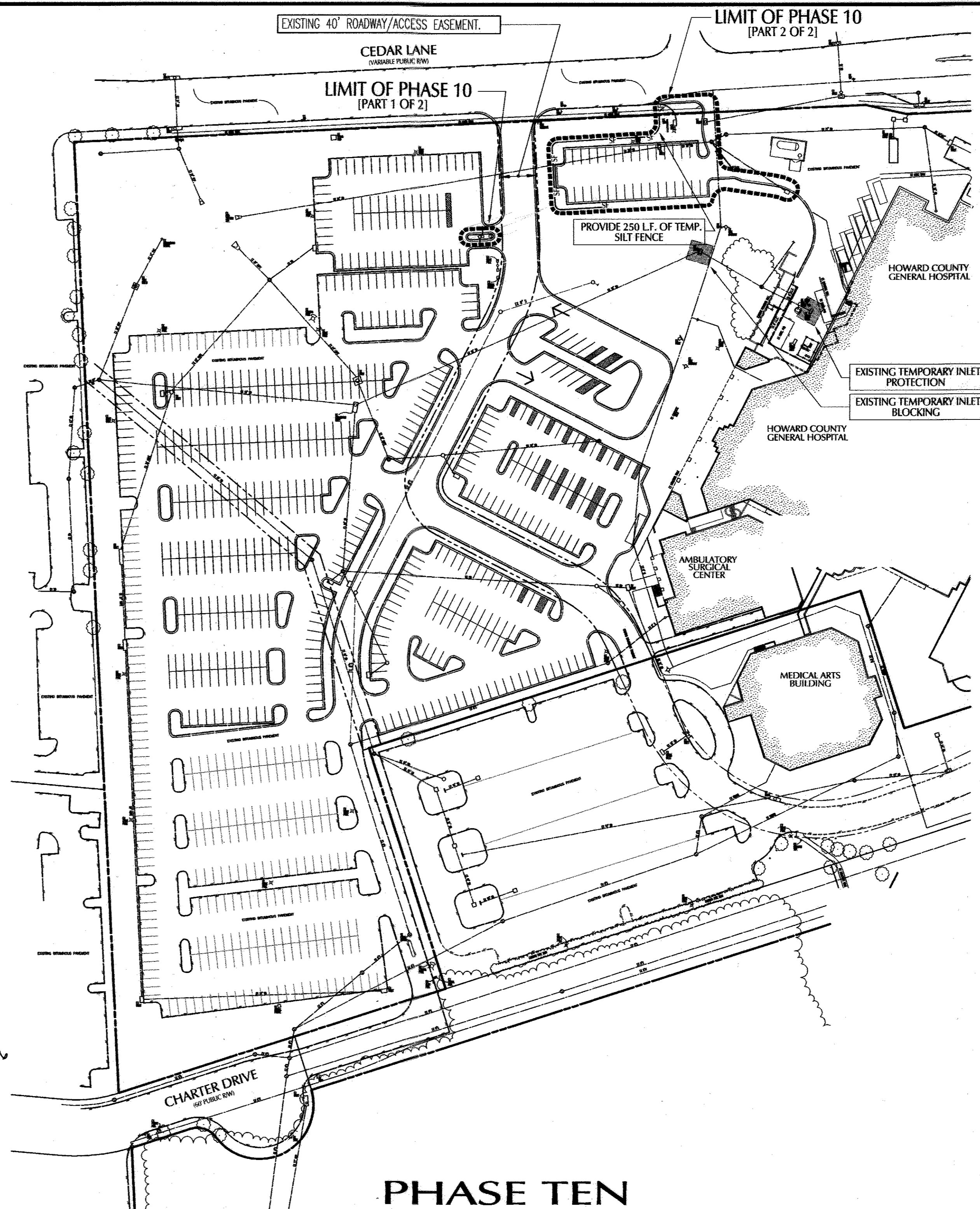
(NOTE: A MIN. OF 9 OFF-SITE PARKING SPACES ARE REQUIRED DURING THIS PHASE)

**PHASE NINE SEDIMENT CONTROL NOTES & SEQUENCE**

- TOTAL RE-DEVELOPMENT AREA= 70,640 SF OR 1.62 AC.
- TOTAL DISTURBED AREA= 28,100 SF OR 0.65 AC.
- INSTALL SUPER SILT FENCE ALONG SOUTHERN & WESTERN LIMITS as INDICATED
- MAINTAIN EXISTING INLET PROTECTION DEVICES PREVIOUSLY INSTALLED AS INDICATED
- BRICK SHUT EXISTING INLET as INDICATED and PROVIDE INLET PROTECTION on EXISTING INLET at LOADING DOCK.
- REMOVE EXISTING ISLANDS, PAVING and SIDEWALKS and INSTALL NEW ISLANDS PAVING and SIDEWALKS.
- IMMEDIATELY SOD ALL AREAS OUTSIDE of PAVED AREAS
- STRIPE PAVING AS INDICATED

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
 Approved: *[Signature]* Date: 10/24/06  
 Howard S.C.D.

Reviewed for HOWARD County and meets Technical Requirements  
*[Signature]* Date: 10/24/06  
 PROFESSIONAL ENGINEER NO. 27729



**PHASE TEN**

TOTAL PARKING REQUIRED:	908 SPACES (PER SDP 00-72)
TOTAL PARKING EXISTING:	893 SPACES
TOTAL PARKING LOST DURING CONSTRUCTION:	0 SPACES
TOTAL ON-SITE PARKING AVAILABLE DURING CONSTRUCTION:	899 SPACES
TOTAL NEW PARKING CREATED BY THIS PHASE:	33 SPACES
TOTAL PARKING ON-SITE AT THE END OF THIS PHASE:	926 SPACES

(NOTE: A MIN. OF 9 OFF-SITE PARKING SPACES ARE REQUIRED DURING THIS PHASE)

**PHASE TEN SEDIMENT CONTROL NOTES & SEQUENCE**

- TOTAL RE-DEVELOPMENT AREA= 16,275 SF OR 0.37 AC.
- TOTAL DISTURBED AREA= 16,275 SF OR 0.37 AC.
- MAINTAIN EXISTING INLET PROTECTION DEVICES PREVIOUSLY INSTALLED UNDER PHASE NINE
- INSTALL STANDARD SILT FENCE ALONG WESTERN and SOUTHERN PORTION as INDICATED
- REMOVE EXISTING ISLANDS, PAVING and SIDEWALKS and INSTALL NEW ISLANDS PAVING and SIDEWALKS.
- IMMEDIATELY SOD ALL AREAS OUTSIDE of PAVED AREAS
- STRIPE PAVING AS INDICATED

**LEGEND**

- LIMITS OF PHASE CONSTRUCTION
- EXISTING PARKING SPACES TO BE LOST DURING CONSTRUCTION
- NEW PARKING SPACES CREATED

**PURPOSE STATEMENT**

IN ACCORDANCE WITH THE SEPT. 22, 2006 LETTER BY THE HOWARD COUNTY DEPT. OF PLANNING, ZONING, & DEVELOPMENT ENGINEERING DIVISION, THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO RELOCATE THE ENTRANCE ALONG CEDAR LANE, RECONFIGURE THE EXISTING PARKING LOTS ON THE SOUTH SIDE OF THE HOSPITAL. THIS WILL REQUIRE "MINOR" STORM DRAIN ADJUSTMENTS TO THE CURRENT APPROVED INSTALLED SYSTEM. IN ADDITION, THE RED-LINE INDICATES A 8" SEWER MAIN TO BE INSTALLED AS A DRY SYSTEM. THE PURPOSE OF ALL THE REQUESTED REVISIONS IS TO ACCOMMODATE A FUTURE "COVER BED ADDITION" & CANOPY TO THE HOSPITAL AND DETACHED PARKING GARAGE.

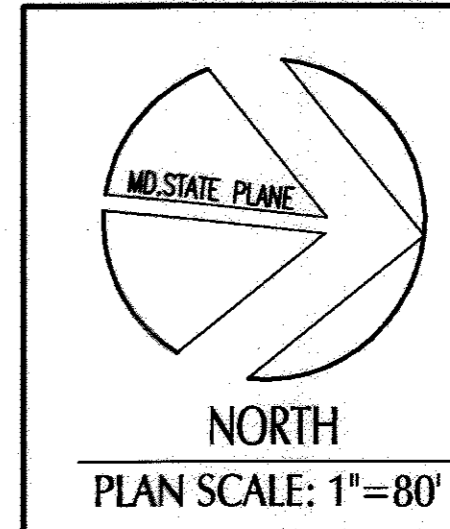
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
*[Signature]* DATE: 10/25/06  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
*[Signature]* DATE: 11/15/06  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
*[Signature]* DATE: 11/15/06  
 DIRECTOR

DATE	NO.	REVISION DESCRIPTION
03/07/06	1	REVISED MAIN ENTRANCE, STORM DRAIN, LIGHTING, LANDSCAPING AND INSTALL NEW "DRY" SEWER FOR FUTURE SERVICE

**HOWARD COUNTY GENERAL HOSPITAL  
TOWN CENTER  
SECTION 8 - AREA 2 - LOT 4**

OWNER/DEVELOPER:  
 HOWARD COUNTY GENERAL HOSPITAL, INC.  
 5755 CEDAR LANE  
 COLUMBIA, MARYLAND 21044

**JOYCE ENGINEERING CORPORATION**  
 CIVIL ENGINEERING LAND SURVEYING LAND PLANNING CONSTRUCTION MANAGEMENT  
 10766 BALTIMORE AVENUE - BELTSVILLE, MARYLAND 20855  
 TEL: (301) 595-4353 FAX: (301) 595-6000 WEB: www.joyceeng.com

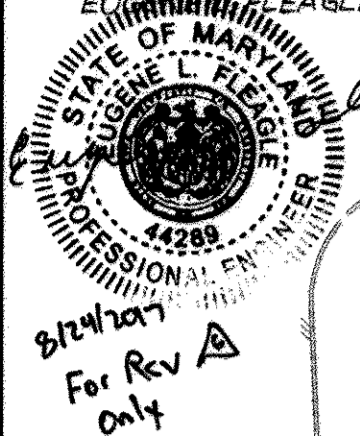


10/09/06  
 DATE  
 PROFESSIONAL ENGINEER NO. 27729  
 184-28-2

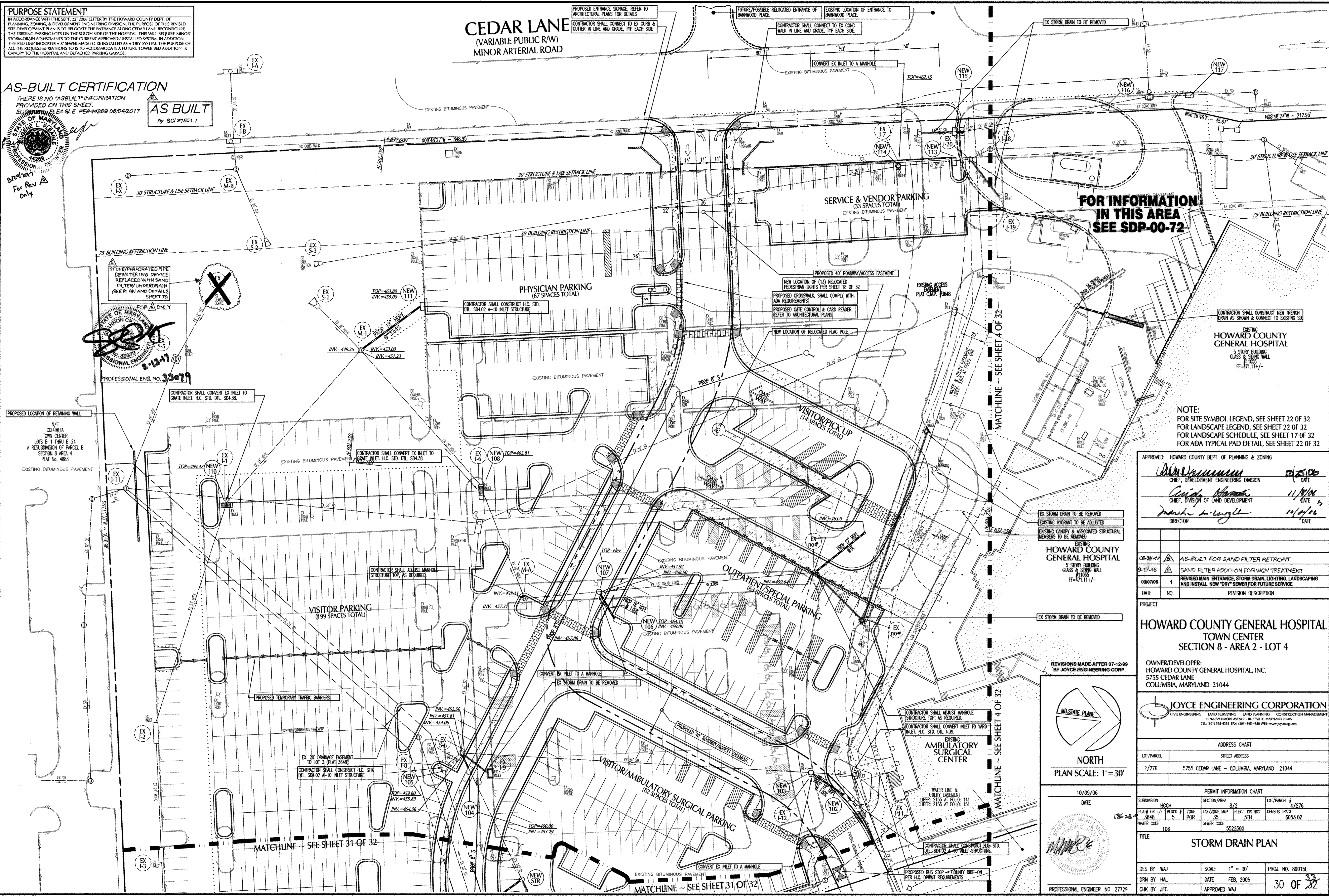
PERMIT INFORMATION CHART			
SUBMISSION	HIGH	SECTION/AREA	8/2
PLAT/ OR L/F	3648	TAX/ZONE MAP	35
WATER CODE	106	SEWER CODE	5522500
LOT/PARCEL		LOT/PARCEL #	4/276
		ELECT. DISTRICT	5TH
		CENSUS TRACT	6053.02
TITLE: PARKING LOT PHASING AND SEDIMENT CONTROL PLAN			
DES BY WAJ	SCALE 1" = 80'	PROJ. NO. 89015L	
DRN BY HAL	DATE FEB, 2006	29 OF 33	
CHK BY JEC	APPROVED WAJ		

**PURPOSE STATEMENT**  
 IN ACCORDANCE WITH THE SEPT. 22, 2006 LETTER BY THE HOWARD COUNTY DEPT. OF PLANNING, ZONING, & DEVELOPMENT ENGINEERING DIVISION, THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO RELOCATE THE ENTRANCE ALONG CEDAR LANE, RECONFIGURE THE EXISTING PARKING LOTS ON THE SOUTH SIDE OF THE HOSPITAL. THIS WILL REQUIRE MINOR STORM DRAIN ADJUSTMENTS TO THE CURRENT APPROVED / INSTALLED SYSTEM. IN ADDITION, THE RED LINE INDICATES A 8" SEWER MAIN TO BE INSTALLED AS A DRY SYSTEM. THE PURPOSE OF ALL THE REQUESTED REVISIONS IS TO ACCOMMODATE A FUTURE "TOWER BED ADDITION" & CANOPY TO THE HOSPITAL AND DETACHED PARKING GARAGE.

**AS-BUILT CERTIFICATION**  
 THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.  
 E:\PROJECTS\14280 06/04/2017  
**AS BUILT**  
 by SCI #1551.1



**CEDAR LANE**  
 (VARIABLE PUBLIC R/W)  
 MINOR ARTERIAL ROAD



**FOR INFORMATION IN THIS AREA SEE SDP-00-72**

**NOTE:**  
 FOR SITE SYMBOL LEGEND, SEE SHEET 22 OF 32  
 FOR LANDSCAPE LEGEND, SEE SHEET 22 OF 32  
 FOR LANDSCAPE SCHEDULE, SEE SHEET 17 OF 32  
 FOR ADA TYPICAL PAD DETAIL, SEE SHEET 22 OF 32

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

<i>[Signature]</i>	10/25/06
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
<i>[Signature]</i>	11/19/06
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
<i>[Signature]</i>	11/01/06
DIRECTOR	DATE

DATE	NO.	REVISION DESCRIPTION
09-24-17	1	AS-BUILT FOR SAND FILTER RETROFIT
0-7-16	2	SAND FILTER ADDITION FOR WQV TREATMENT
03/07/06	1	REVISED MAIN ENTRANCE, STORM DRAIN, LIGHTING, LANDSCAPING AND INSTALL NEW "DRY" SEWER FOR FUTURE SERVICE

**HOWARD COUNTY GENERAL HOSPITAL**  
 TOWN CENTER  
 SECTION 8 - AREA 2 - LOT 4

OWNER/DEVELOPER:  
 HOWARD COUNTY GENERAL HOSPITAL, INC.  
 5755 CEDAR LANE  
 COLUMBIA, MARYLAND 21044

**JOYCE ENGINEERING CORPORATION**  
 CIVIL ENGINEERING LAND SURVEYING LAND PLANNING CONSTRUCTION MANAGEMENT  
 1016 BALTIMORE AVENUE BELTSVILLE, MARYLAND 20815  
 TEL: (301) 595-4353 FAX: (301) 595-4650 WEB: www.joyceeng.com

ADDRESS CHART

LOT/PARCEL	STREET ADDRESS
2/276	5755 CEDAR LANE ~ COLUMBIA, MARYLAND 21044

PERMIT INFORMATION CHART

SUBDIVISION	SECTION/AREA	LOT/PARCEL #
PLAT# OR L/F BLOCK # ZONE	TAX/ZONE MAP	ELECT. DISTRICT
3648 5 POR	35	5TH
WATER CODE	SEWER CODE	CENSUS TRACT
106	5522500	6053.02

TITLE: **STORM DRAIN PLAN**

DES BY	SCALE	PROJ. NO.
WAJ	1" = 30'	89015L
DRN BY	DATE	
HAL	FEB, 2006	
CHK BY	APPROVED	
JEC	WAJ	

PROFESSIONAL ENGINEER, NO. 27229

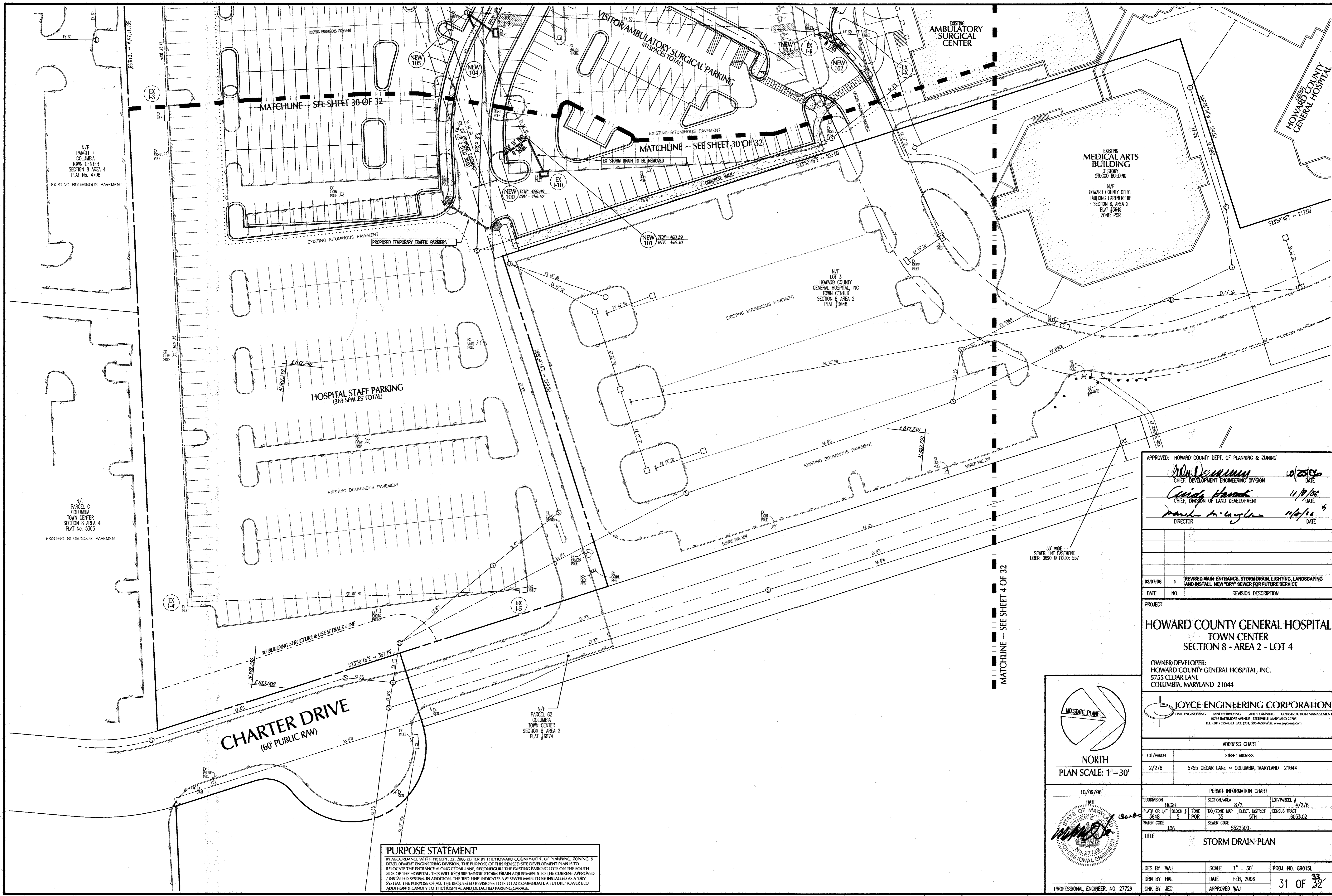
10/09/06

DATE

18628

STATE OF MARYLAND PROFESSIONAL ENGINEER

PROFESSIONAL ENGINEER, NO. 27229



APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
*John DeMunn* 02/25/06  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE  
*Chris Harris* 11/19/05  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE  
*Mark Langley* 11/6/06  
 DIRECTOR DATE

DATE	NO.	REVISION DESCRIPTION
03/07/06	1	REVISED MAIN ENTRANCE, STORM DRAIN, LIGHTING, LANDSCAPING AND INSTALL NEW "DRY" SEWER FOR FUTURE SERVICE

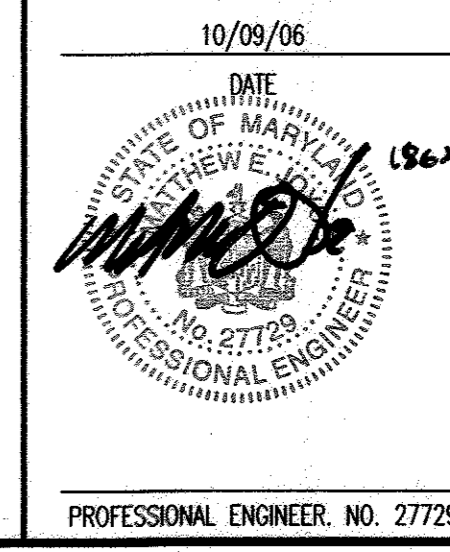
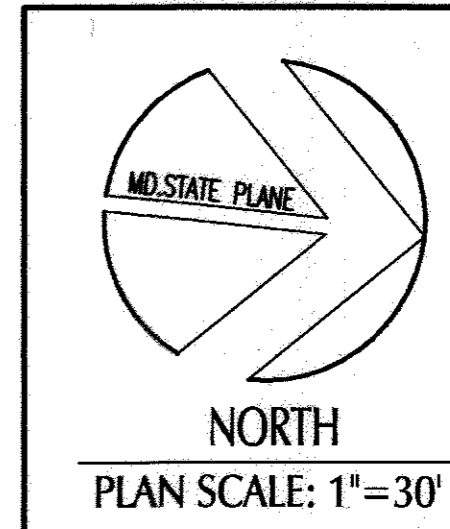
**HOWARD COUNTY GENERAL HOSPITAL**  
 TOWN CENTER  
 SECTION 8 - AREA 2 - LOT 4  
 OWNER/DEVELOPER:  
 HOWARD COUNTY GENERAL HOSPITAL, INC.  
 5755 CEDAR LANE  
 COLUMBIA, MARYLAND 21044

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ADDRESS CHART	
LOT/PARCEL	STREET ADDRESS
2/276	5755 CEDAR LANE ~ COLUMBIA, MARYLAND 21044

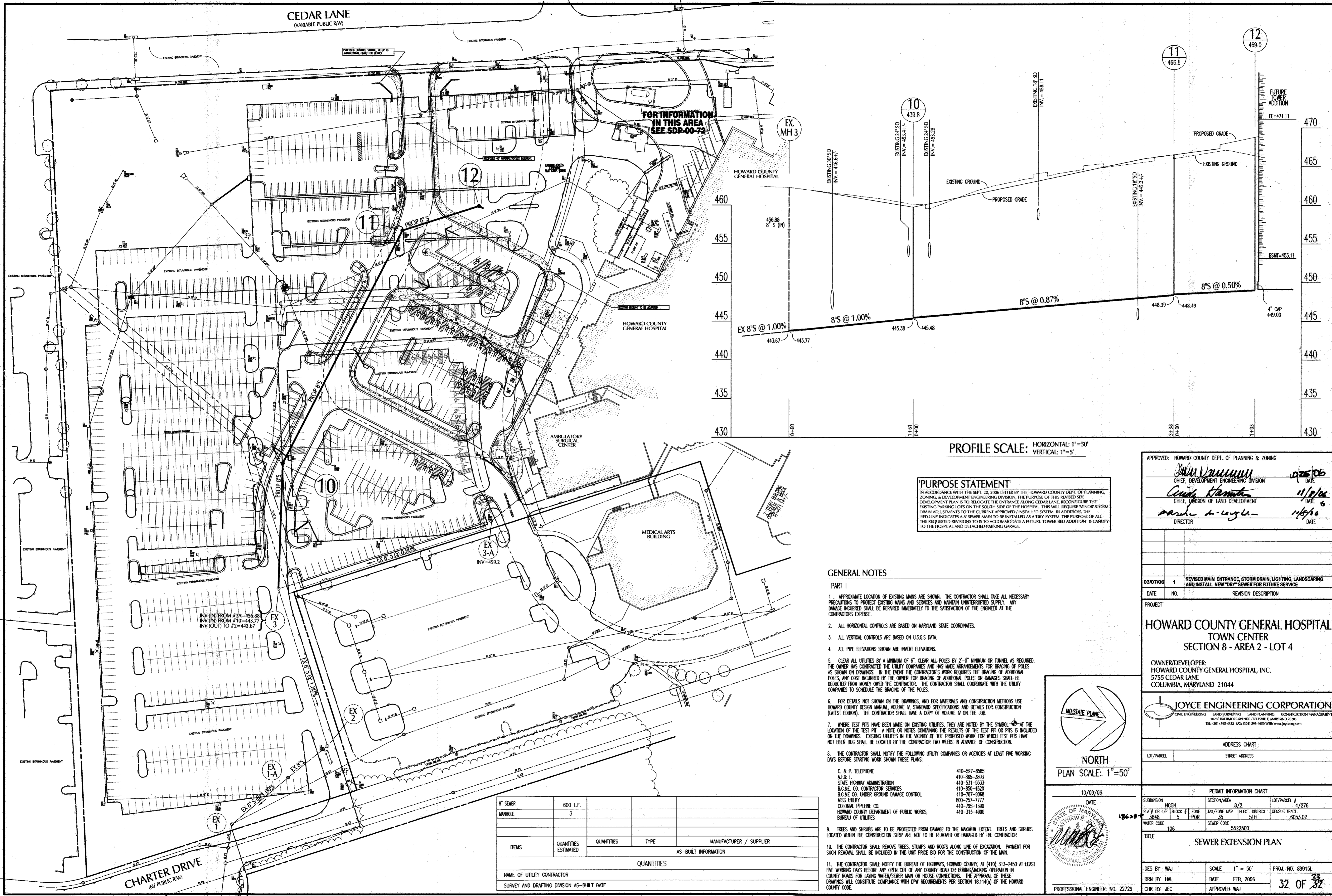
PERMIT INFORMATION CHART			
SUBDIVISION	HIGHWAY	SECTION/AREA	LOT/PARCEL #
PLAT OR L/P # 3648	5	TAX ZONE MAP # 35	8/2
WATER CODE 106	SEWER CODE 5522500	ELECT. DISTRICT 5TH	CENSUS TRACT 6053.02

TITLE		
STORM DRAIN PLAN		
DES BY WAJ	SCALE 1" = 30'	PROJ. NO. 89015L
DRN BY HNL	DATE FEB, 2006	31 OF 32
CHK BY JEC	APPROVED WAJ	

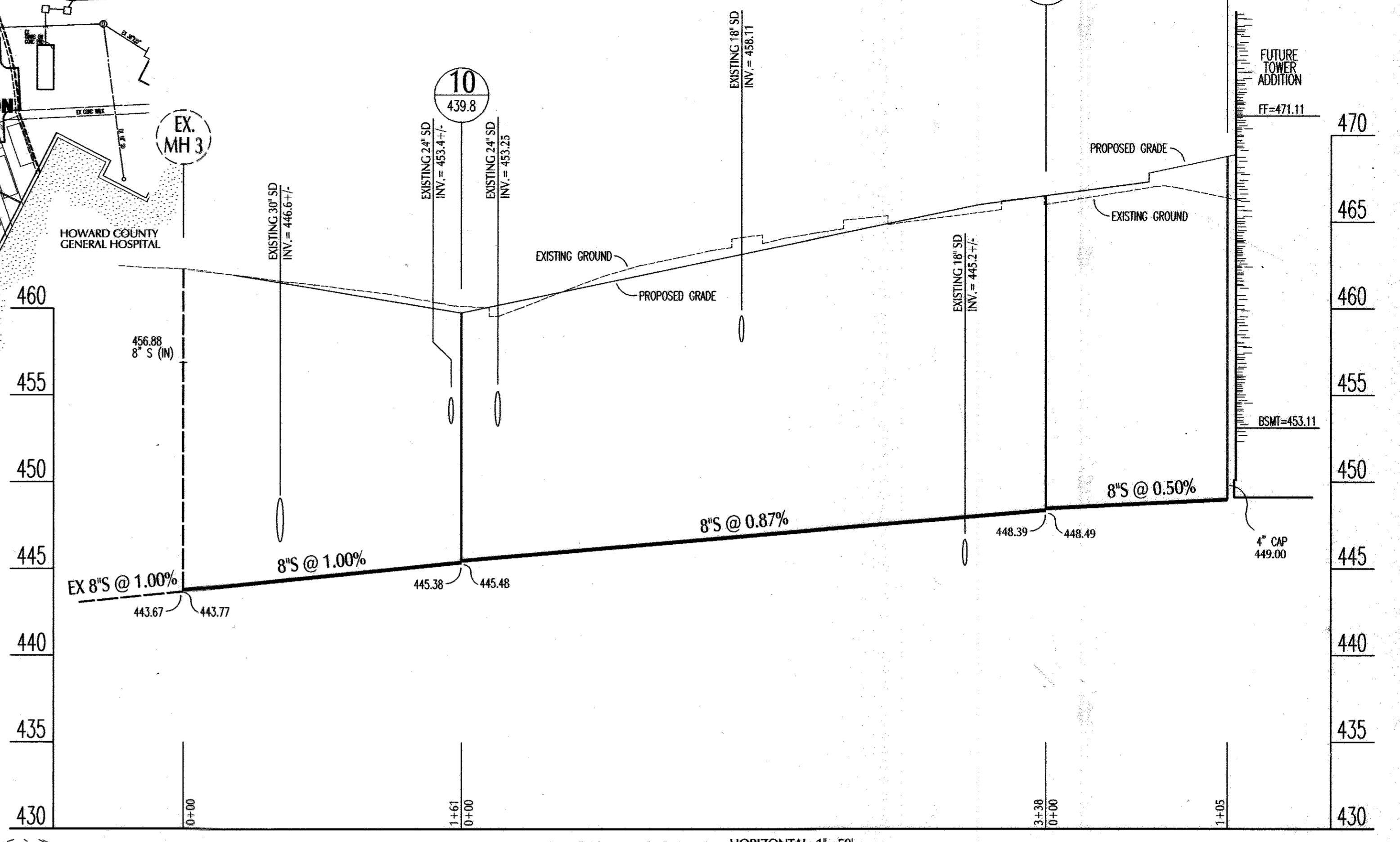


**PURPOSE STATEMENT**  
 IN ACCORDANCE WITH THE SEPT. 22, 2006 LETTER BY THE HOWARD COUNTY DEPT. OF PLANNING, ZONING, & DEVELOPMENT ENGINEERING DIVISION, THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO RELOCATE THE ENTRANCE ALONG CEDAR LANE, RECONFIGURE THE EXISTING PARKING LOTS ON THE SOUTH SIDE OF THE HOSPITAL, THIS WILL REQUIRE MINOR STORM DRAIN ADJUSTMENTS TO THE CURRENT APPROVED SYSTEM. IN ADDITION, THE RED-LINE INDICATES A 6" SEWER MAIN TO BE INSTALLED AS A DRY SYSTEM. THE PURPOSE OF ALL THE REQUESTED REVISIONS TO IS TO ACCOMMODATE A FUTURE TOWER BED ADDITION & CANOPY TO THE HOSPITAL AND DETACHED PARKING GARAGE.

CEDAR LANE  
(VARIABLE PUBLIC RW)



FOR INFORMATION  
IN THIS AREA  
SEE SDP-00-72



PROFILE SCALE: HORIZONTAL: 1"=50'  
VERTICAL: 1"=5'

**PURPOSE STATEMENT**  
IN ACCORDANCE WITH THE SEPT. 22, 2006 LETTER BY THE HOWARD COUNTY DEPT. OF PLANNING, ZONING, & DEVELOPMENT ENGINEERING DIVISION, THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO RELOCATE THE ENTRANCE ALONG CEDAR LANE, RECONFIGURE THE EXISTING PARKING LOTS ON THE SOUTH SIDE OF THE HOSPITAL. THIS WILL REQUIRE MINOR SYSTEM DRAIN ADJUSTMENTS TO THE CURRENT APPROVED / INSTALLED SYSTEM. IN ADDITION, THE RED LINE INDICATES A NEW SEWER MAIN TO BE INSTALLED AS A DRY SYSTEM. THE PURPOSE OF ALL THE REQUESTED REVISIONS IS TO ACCOMMODATE A FUTURE TOWER ADDITION & CANOPY TO THE HOSPITAL AND DETACHED PARKING GARAGE.

**GENERAL NOTES**

- PART I**
- APPROXIMATE LOCATION OF EXISTING MAINS ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING MAINS AND SERVICES AND MAINTAIN UNINTERRUPTED SUPPLY. ANY DAMAGE INCURRED SHALL BE REPAIRED IMMEDIATELY TO THE SATISFACTION OF THE ENGINEER AT THE CONTRACTOR'S EXPENSE.
  - ALL HORIZONTAL CONTROLS ARE BASED ON MARYLAND STATE COORDINATES.
  - ALL VERTICAL CONTROLS ARE BASED ON U.S.G.S DATA.
  - ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
  - CLEAR ALL UTILITIES BY A MINIMUM OF 6". CLEAR ALL POLES BY 2'-0" MINIMUM OR TUNNEL AS REQUIRED. THE OWNER HAS CONTRACTED THE UTILITY COMPANIES AND HAS MADE ARRANGEMENTS FOR BRACING OF POLES AS SHOWN ON DRAWINGS. IN THE EVENT THE CONTRACTOR'S WORK REQUIRES THE BRACING OF ADDITIONAL POLES, ANY COST INCURRED BY THE OWNER FOR BRACING OF ADDITIONAL POLES OR DAMAGES SHALL BE DEDUCTED FROM MONEY OWED THE CONTRACTOR. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES TO SCHEDULE THE BRACING OF THE POLES.
  - FOR DETAILS NOT SHOWN ON THE DRAWINGS, AND FOR MATERIALS AND CONSTRUCTION METHODS USE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (LATEST EDITION). THE CONTRACTOR SHALL HAVE A COPY OF VOLUME IV ON THE JOB.
  - WHERE TEST PITS HAVE BEEN MADE ON EXISTING UTILITIES, THEY ARE NOTED BY THE SYMBOL AT THE LOCATION OF THE TEST PIT. A NOTE OR NOTES CONTAINING THE RESULTS OF THE TEST PIT OR PITS IS INCLUDED ON THE DRAWINGS. EXISTING UTILITIES IN THE VICINITY OF THE PROPOSED WORK FOR WHICH TEST PITS HAVE NOT BEEN DUG SHALL BE LOCATED BY THE CONTRACTOR TWO WEEKS IN ADVANCE OF CONSTRUCTION.
  - THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES OR AGENCIES AT LEAST FIVE WORKING DAYS BEFORE STARTING WORK SHOWN THESE PLANS:
 

C. & P. TELEPHONE	410-597-8585
A.T. & T.	410-865-3803
STATE HIGHWAY ADMINISTRATION	410-531-5533
B.G.&A.E. CO. CONTRACTOR SERVICES	410-850-4620
B.G.&A.E. CO. UNDER GROUND DAMAGE CONTROL	410-787-9088
MISS UTILITY	800-257-7777
COLONIAL PIPELINE CO.	410-795-1390
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, BUREAU OF UTILITIES	410-313-4900
  - TREES AND SHRUBS ARE TO BE PROTECTED FROM DAMAGE TO THE MAXIMUM EXTENT. TREES AND SHRUBS LOCATED WITHIN THE CONSTRUCTION STRIP ARE NOT TO BE REMOVED OR DAMAGED BY THE CONTRACTOR FOR SUCH REMOVAL SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE CONSTRUCTION OF THE MAN.
  - THE CONTRACTOR SHALL REMOVE TREES, STUMPS AND ROOTS ALONG LINE OF EXCAVATION. PAYMENT FOR SUCH REMOVAL SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE CONSTRUCTION OF THE MAN.
  - THE CONTRACTOR SHALL NOTIFY THE BUREAU OF HIGHWAYS, HOWARD COUNTY, AT (410) 313-2450 AT LEAST FIVE WORKING DAYS BEFORE ANY OPEN CUT OF ANY COUNTY ROAD OR BORING/ANY OTHER OPERATION IN COUNTY ROADS FOR LAYING WATER/SEWER MAIN OR HOUSE CONNECTIONS. THE APPROVAL OF THESE DRAWINGS WILL CONSTITUTE COMPLIANCE WITH DPW REQUIREMENTS PER SECTION 18.114(c) OF THE HOWARD COUNTY CODE.

ITEMS	QUANTITIES ESTIMATED	QUANTITIES	TYPE	MANUFACTURER / SUPPLIER
8" SEWER	600 L.F.			
MANHOLE	3			
AS-BUILT INFORMATION				
QUANTITIES				
NAME OF UTILITY CONTRACTOR				
SURVEY AND DRAFTING DIVISION AS-BUILT DATE				

NORTH

PLAN SCALE: 1"=50'

10/09/06

DATE

PROFESSIONAL ENGINEER, NO. 22729

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*William VanNieuwen*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 02/25/06

*Chris Hamstra*  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 11/21/06

*Arthur L. Coughlin*  
DIRECTOR  
DATE: 11/21/06

DATE	NO.	REVISION DESCRIPTION
03/07/06	1	REVISED MAIN ENTRANCE, STORM DRAIN, LIGHTING, LANDSCAPING AND INSTALL NEW "DRY" SEWER FOR FUTURE SERVICE

**HOWARD COUNTY GENERAL HOSPITAL  
TOWN CENTER  
SECTION 8 - AREA 2 - LOT 4**

OWNER/DEVELOPER:  
HOWARD COUNTY GENERAL HOSPITAL, INC.  
5755 CEDAR LANE  
COLUMBIA, MARYLAND 21044

**JOYCE ENGINEERING CORPORATION**  
CIVIL ENGINEERING LAND SURVEYING LAND PLANNING CONSTRUCTION MANAGEMENT  
10766 BALTIMORE AVENUE - BELTSVILLE, MARYLAND 20705  
TEL: (301) 395-4353 FAX: (301) 395-4650 WEB: www.joyceeng.com

ADDRESS CHART

LOT/PARCEL STREET ADDRESS

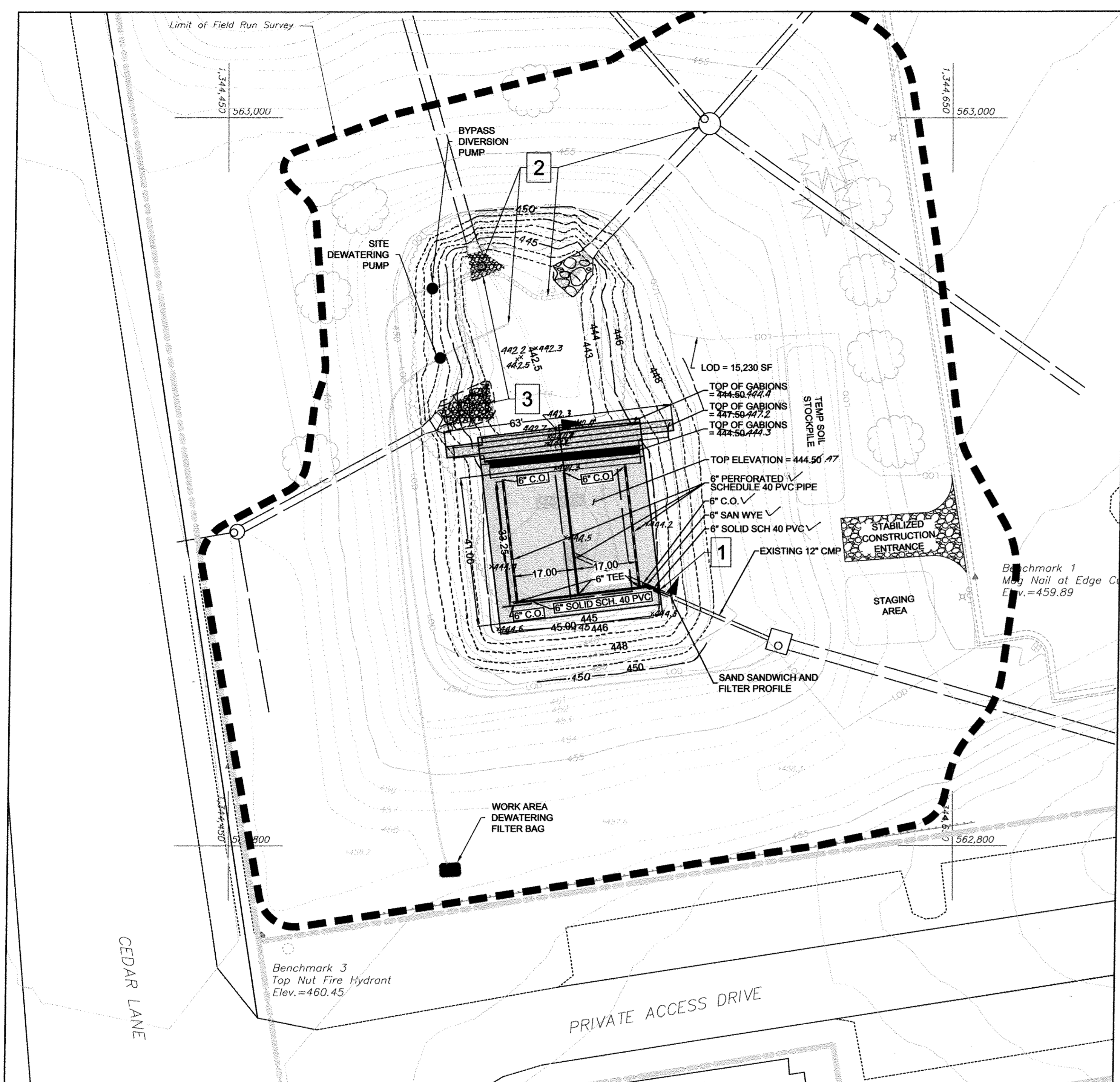
PERMIT INFORMATION CHART

SUBDIVISION	HIGHCH	SECTION/AREA	8/2	LOT/PARCEL #	4/276
PLAT OR L/F	BLKCK #	TAX/ZONE MAP	35	ELECT. DISTRICT	CENSUS TRACT
3648	5	POR		5TH	6053.02
WATER CODE	SEWER CODE				
106	5522500				

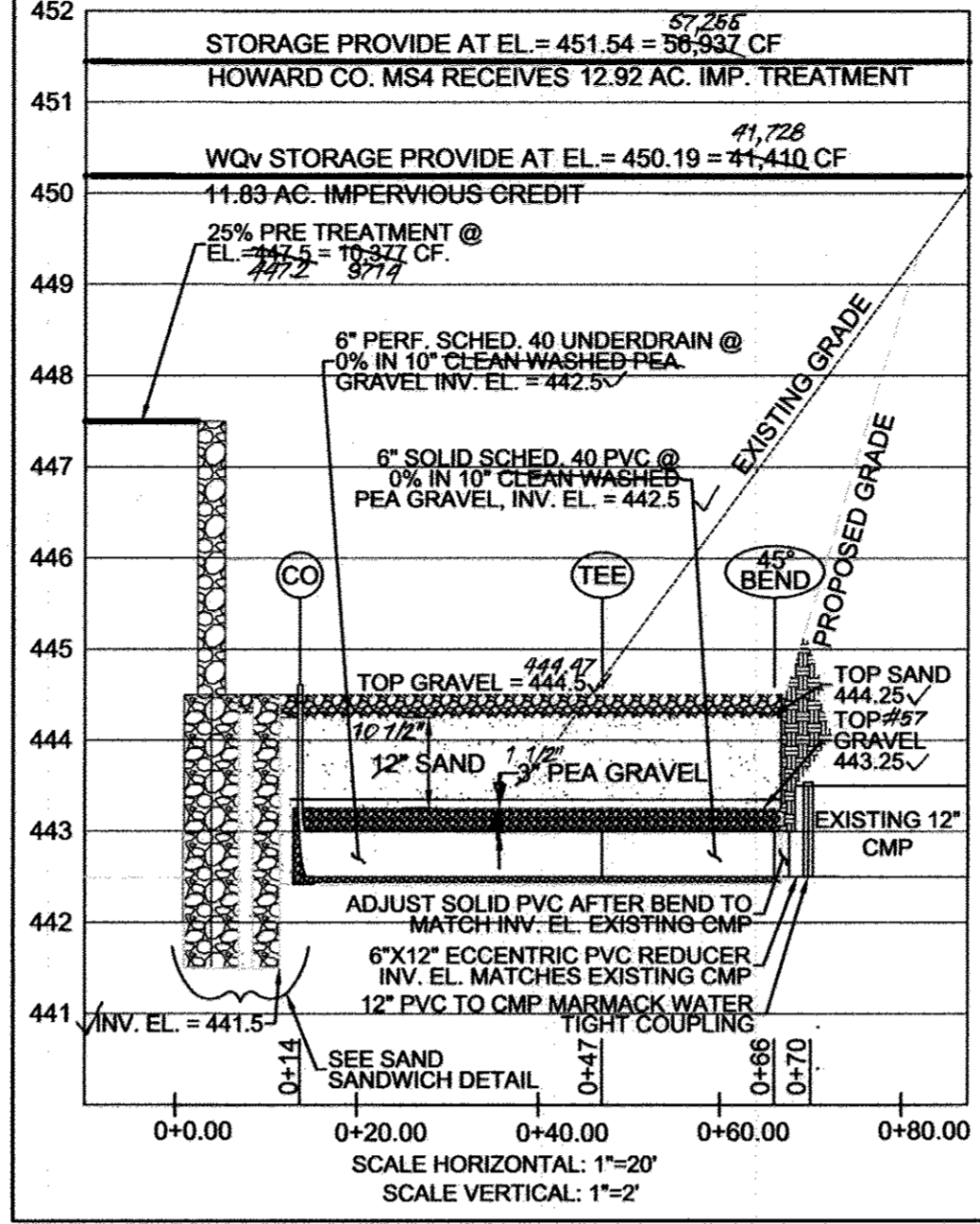
TITLE: **SEWER EXTENSION PLAN**

DES BY WAJ	SCALE 1" = 50'	PROJ. NO. 89015L
DRN BY HAL	DATE FEB, 2006	32 OF 32
CHK BY JEC	APPROVED WAJ	





**SAND SANDWICH AND FILTER PROFILE\***



**E&S NOTES:**  
 REVIEW AND COMPLY WITH ALL NOTES PER STANDARD EROSION AND SEDIMENT CONTROL PLAN APPLICATION AND APPROVAL. ALL DETAIL REFERENCES PER MARYLAND E&S MANUAL 2011 AND OR MARYLAND WATERWAY CONSTRUCTION GUIDELINES.

- REMOVE EXISTING DEWATERING PIPE TO THIS POINT AND TEMPORARILY CAP. POND TO BE PUMPED PER NOTE 2.
- PROVIDE DEWATERING PER MDE DETAIL F-2, F-4 AND MGWC 1.2 AS NECESSARY. AS AN OPTION, CONTRACTOR MAY TEMPORARILY BLOCK OUTFALL PIPES (TO FACILITY) AT PRECEDING MANHOLE TO DIVERT BASE FLOWS TO RISER STRUCTURE. SAND BAGS IN MANHOLES TO BE REMOVED PRIOR TO RAINFALL EVENTS AND POND TO BE DEWATERED BY PUMPING IF STORM EVENT OCCURS DURING CONSTRUCTION. IF STORM EVENT OCCURS DURING PLACEMENT OF SAND SANDWICH OR SAND FILTER, COVER SAND AREA WITH WEIGHTED PLASTIC TO PROTECT INSTALLATION.
- PROVIDE CLASS 1 RIRAP 19" DEEP ON NON-WOVEN GEOTEXTILE.

**PLAN NOTES:**  
 \*NO CHANGES ARE PROPOSED TO THE DRAINAGE AREA OR STORMWATER FACILITY (INCLUDED BUT NOT LIMITED TO THE OUTLET STRUCTURE, STORAGE VOLUMES, OUTFALL CONDITIONS, ETC.) ASSOCIATED WITH 2 YEAR, 10 YEAR AND 100 YEAR STORM ROUTINGS, W.S.E.S. FLOWRATES AND VELOCITIES AS PROVIDED ON THE 2006 CERTIFIED AS-BUILT. THEREFORE, NO HYDROLOGIC OR HYDRAULIC MODELING HAS BEEN PERFORMED. REFER TO SHEET 11 FOR 2006 ASBUILT VALUES

- THE RETROFIT FOR THIS FACILITY IS BEING COMPLETED AS PART OF THE CLEAN H2OWARD COUNTY RFP 19-2015.
- THE SAND FILTER AND THE EXISTING STORMWATER MANAGEMENT FACILITY ARE AND WILL BE PRIVATELY OWNED AND MAINTAINED.

**AS-BUILT CERTIFICATION**

I HEREBY CERTIFY, BY MY SEAL, THAT THE FACILITIES SHOWN ON THIS PLAN WERE CONSTRUCTED AS SHOWN ON THIS "AS-BUILT" PLAN MEET THE APPROVED PLANS AND SPECIFICATIONS.

EUGENE L. FLEAGLE PE#44289 08/04/2017

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

License No. 44289, Expiration Date: 08/08/2019

For Rev Only

**AS BUILT**  
by SCJ #1551.1

**Table B.3.1 Material Specifications for Sand Filters**

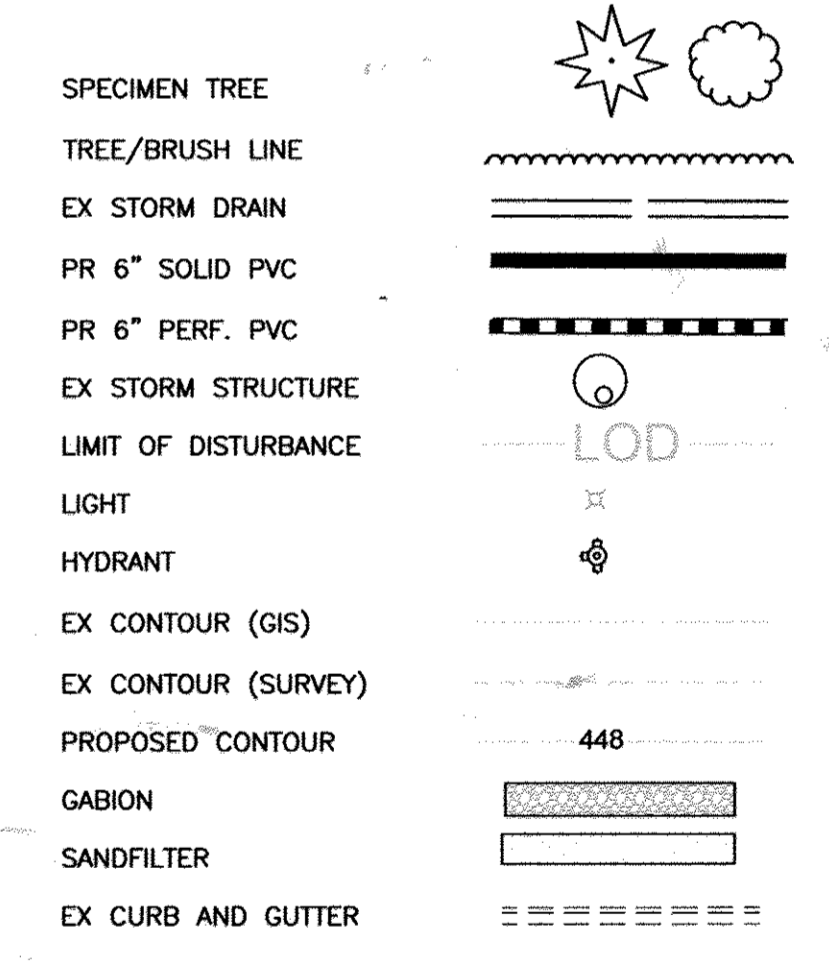
Material	Specification/Test Method	Size	Notes
sand	clean AASHTO-M-6 or ASTM-C-33 concrete sand	0.02" to 0.04"	Sand substitutions such as Diabase and Graystone #10 are not acceptable. No calcium carbonated or dolomitic sand substitutions are acceptable. No "rock dust" can be used for sand.
peat	ash content: < 15% pH range: 5.2 to 4.9 loose bulk density 0.12 to 0.15 g/cc	n/a	The material must be reed-sedge hemic peat, shredded, uncompacted, uniform, and clean.
leaf compost		n/a	
underdrain gravel	AASHTO-M-43	0.375" to 0.75"	
geotextile fabric (if required)	ASTM-D-4833 (puncture strength - 125 lb.) ASTM-D-4632 (Tensile Strength - 300 lb.)	0.08" thick equivalent opening size of #80 sieve	Must maintain 125 gpm per sq. ft. flow rate. Note: a 4" pea gravel layer may be substituted for geotextiles meant to "separate" sand filter layers.
impermeable liner (if required)	ASTM-D-4833 (thickness) ASTM-D-412 (tensile strength 1,100 lb., elongation 200%) ASTM-D-624 (Tear resistance - 150 lb./in.) ASTM-D-471 (water absorption: +8 to -2% mass)	30 mil thickness	Liner to be ultraviolet resistant. A geotextile fabric should be used to protect the liner from puncture.
underdrain piping	F 758, Type PS 28 or AASHTO-M-278	4" - 6" rigid schedule 40 PVC or SDR35	3/8" perf. @ 6" on center. 4 holes per row; minimum of 3" of gravel over pipes; not necessary underneath pipes
concrete (cast-in-place)	MSHA Standards and Specs. Section 902, Mix No. 3, f. c. = 3500 psi, normal weight, air-entrained; re-inforcing to meet ASTM-615-60	n/a	on-site testing of poured-in-place concrete required: 28 day strength and slump test; all concrete design (cast-in-place or pre-cast) not using previously approved State or local standards requires design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland
concrete (pre-cast)	per pre-cast manufacturer	n/a	SEE ABOVE NOTE
non-rebar steel	ASTM A-36	n/a	structural steel to be hot-dipped galvanized ASTM-A-123

**OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED SURFACE STORMWATER FILTRATION SYSTEMS**

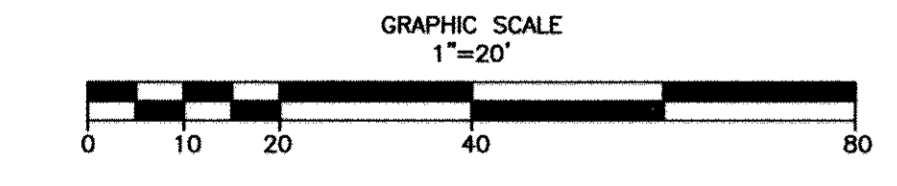
- THE STORMWATER FACILITY SHALL BE INSPECTED ANNUALLY. INSPECTIONS SHALL BE PERFORMED DURING WET WEATHER TO DETERMINE IF THE FACILITY IS FUNCTIONING PROPERLY.
- THE TOP/SIDE SLOPES OF THE EMBANKMENT AND AESTHETICALLY MAINTAINED PORTIONS OF THE FACILITY SHALL BE MOWED A MINIMUM OF TWICE PER YEAR, WHEN VEGETATION REACHES 18" IN HEIGHT OR AS NEEDED.
- DEBRIS AND LITTER SHALL BE REMOVED DURING REGULAR MOWING OPERATIONS AND AS NEEDED.
- VISIBLE SIGNS OF EROSION IN THE FACILITY SHALL BE REPAIRED AS SOON AS IT IS NOTICED.
- REMOVE SILT WHEN IT EXCEEDS 12 INCHES DEEP IN THE FOREBAY.
- WHEN WATER PONDS ON THE SURFACE OF THE FILTER BED FOR MORE THAN 72 HOURS, THE TOP FEW INCHES OF GRAVEL AND GEOTEXTILE SHALL BE REPLACED WITH FRESH MATERIAL. PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIALS AND LIQUID MUST BE FOLLOWED BY THE OWNER.
- RECORDS OF MAINTENANCE ACTIVITIES SHALL BE KEPT.
- THE MAINTENANCE RECORDS SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO INSURE COMPLIANCE WITH OPERATION AND MAINTENANCE CRITERIA.
- FROM THE DATE OF THE ASBUILT CERTIFICATION, STORMWATER MAINTENANCE, LLC WILL PROVIDE AESTHETIC AND FUNCTIONAL MAINTENANCE FOR 2 YEARS AFTER WHICH THE HOSPITAL WILL ASSUME AESTHETIC MAINTENANCE RESPONSIBILITIES. STORMWATER MAINTENANCE, LLC WILL PROVIDE FUNCTIONAL MAINTENANCE ONLY, FOR AN ADDITIONAL 3 YEARS. AFTER FIVE YEARS FOLLOWING AS-BUILT CERTIFICATION, THE HOSPITAL WILL ASSUME ALL MAINTENANCE RESPONSIBILITIES.

THE PROPOSED CHANGES TO THE SDP-95-114 PLAN ARE TO RETROFIT THE EXISTING STORMWATER POND WITH A SURFACE SAND FILTER TO PROVIDE WATER QUALITY TREATMENT.

**LEGEND**



**REDLINE REVISION SAND FILTER ADDITION FOR WQV TREATMENT PLAN WITH E&S MEASURES**

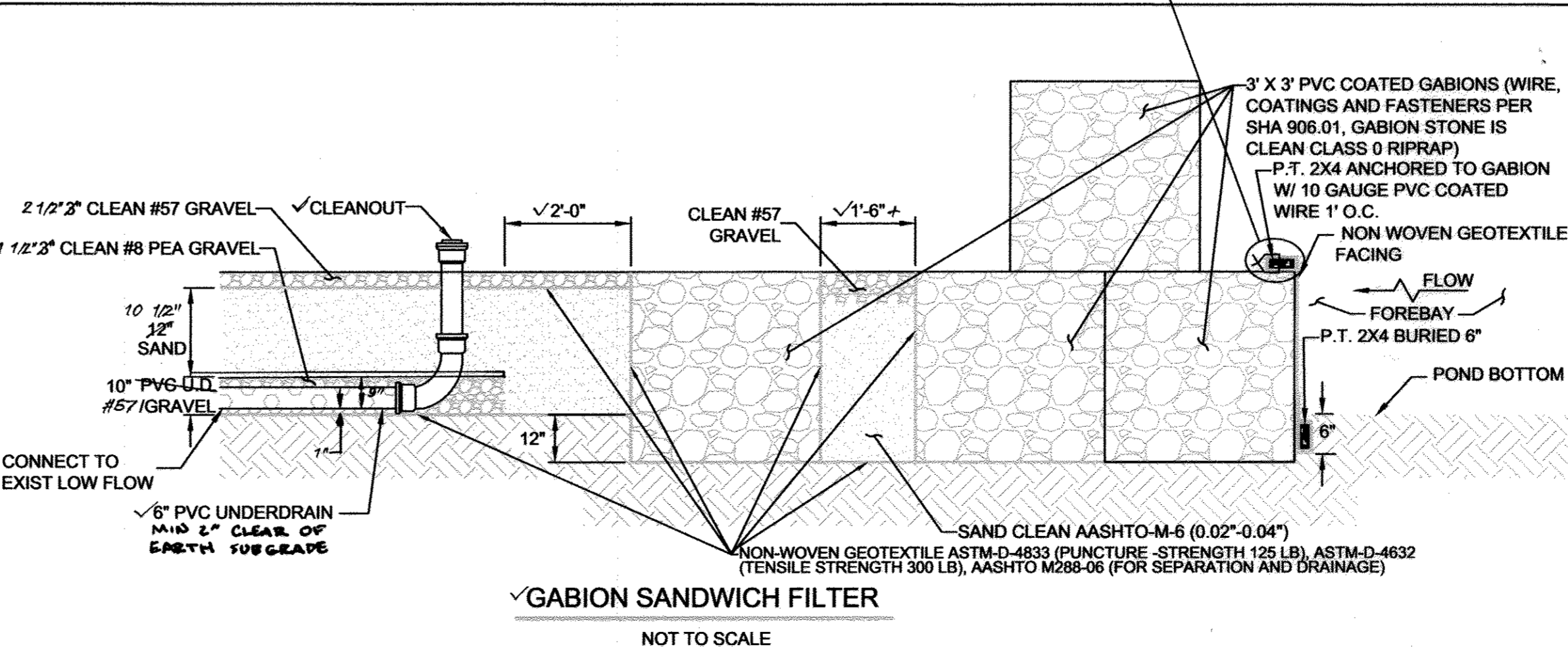
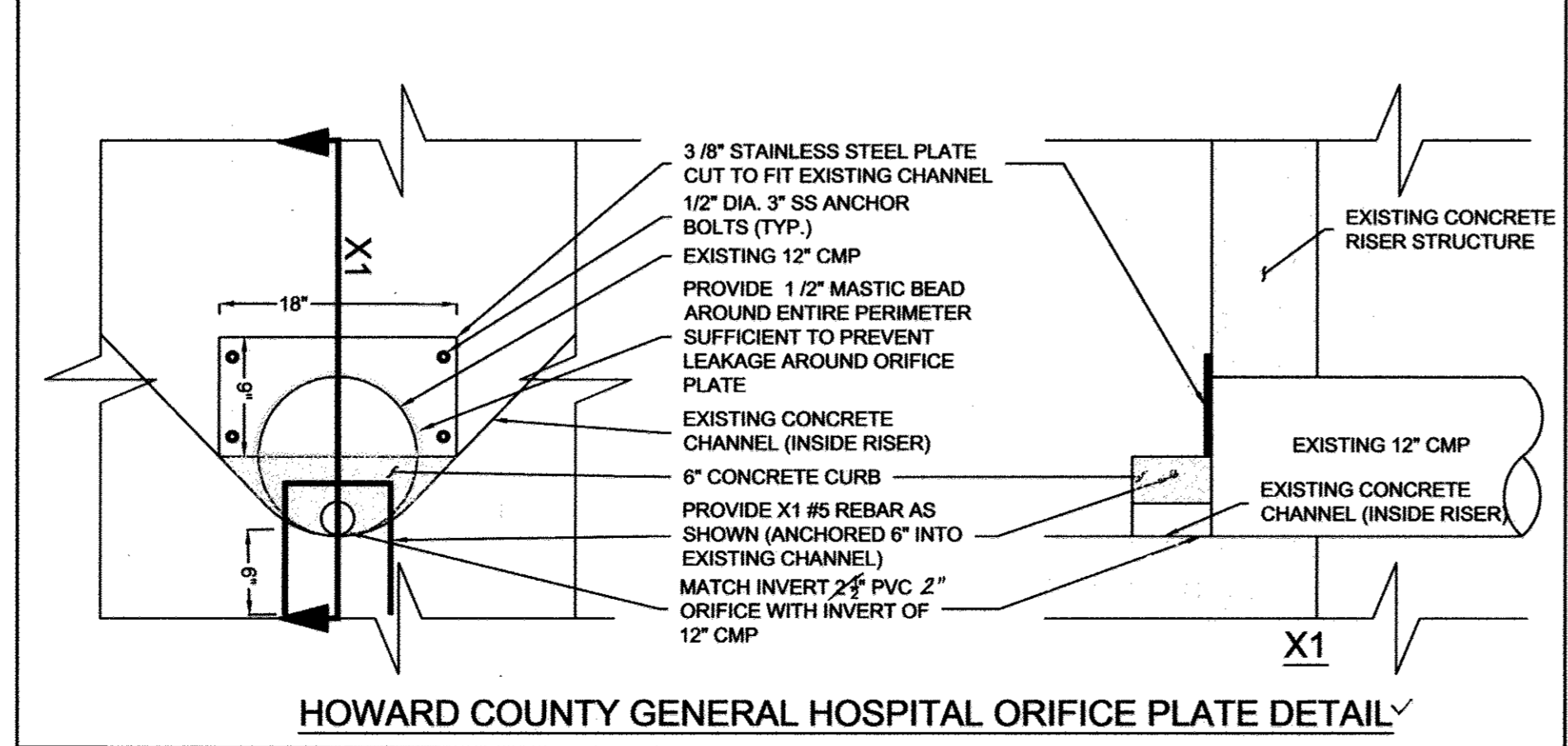


APPROVED: DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 2-16-17  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 2-21-17  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 2-21-17  
 DIRECTOR DATE



Date: 02/13/17  
 Revision Description: SAND FILTER RETROFIT FOR WQ

Date: 08-24-17  
 Revision Description: AS-BUILT FOR SAND FILTER RETROFIT

**PROJECT:**  
**HOWARD COUNTY GENERAL HOSPITAL**  
 TOWN CENTER  
 SECTION 8 - AREA 2 - LOT 4

OWNER/DEVELOPER:  
 HOWARD COUNTY GENERAL HOSPITAL, INC.  
 975 CEDAR LANE  
 COLUMBIA, MARYLAND 21044

**STORMWATER MAINTENANCE & CONSULTING**

www.swmaintenance.com | www.mdswm.com  
 10944 Beaver Dam Rd. Suite C p: 410.785.0875  
 Hunt Valley, MD 21030 f: 443.269.0216

REVISSED SITE DEVELOPMENT PLAN  
 (SDP 95-114) SAND FILTER RETROFIT

Designed By: AJJ Scale: AS NOTED Project No.: 1551.1  
 Drawn By: AJJ Date: 9/17/2016 SHEET: 33 OF 33  
 Checked By: SL Approved:

CALL BEFORE YOU DIG!  
 NOTIFY "MISS UTILITY" AT (410) 792-2401 OR 1-800-257-7777 AT LEAST 48 HOURS BEFORE BEGINNING CONSTRUCTION.