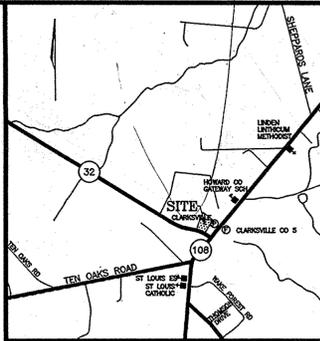


ANTWERPEN TOYOTA NEW CAR AUTOMOBILE DEALERSHIP P/O PARCEL C-2, HOLWECK SUBDIVISION

SITE DEVELOPMENT PLAN

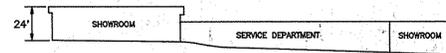


VICINITY MAP
SCALE: 1"=2000'

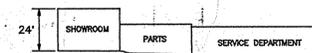
GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:

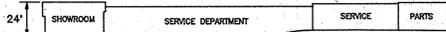
MISS UTILITY	1-800-257-7777
C & P TELEPHONE COMPANY	725-9976
HOWARD COUNTY BUREAU OF UTILITIES	313-2366
AT&T CABLE LOCATION DIVISION	393-3553
B.G.&E. CO. CONTRACTOR SERVICES	850-4620
B.G.&E. CO. UNDERGROUND DAMAGE CONTROL	787-4620
STATE HIGHWAY ADMINISTRATION	531-5533
- SITE ANALYSIS: NEW CAR FACILITY (BUILDING #1)
 AREA OF PARCEL: 7,006 AC.
 PRESENT ZONING: B-2
 USE OF STRUCTURE: AUTO RETAIL SALES AND SERVICE
 FIRST FLOOR BUILDING AREA: 47,622 SQ.FT. (INCLUDING 42 SERVICE BAYS: 19,473 SF)
 SECOND FLOOR BUILDING AREA: 19,477 SQ.FT. / USED CAR FACILITY (BLDG. #2) 4,312 SF.
 MAXIMUM NUMBER OF EMPLOYEES: 75
 BUILDING COVERAGE ON SITE: 51,099 S.F. / 1.19 AC. / 17.02% OF GROSS AREA
 PAVED PARKING LOT AREA ON SITE: 220,606 S.F. / 5.06 AC. / 72.28% OF GROSS AREA
 AREA OF LANDSCAPE ISLAND: 32,650 S.F. / 0.75 AC. / 10.70% OF GROSS AREA
- PROJECT BACKGROUND:
 LOCATION: CLARKSVILLE, MARYLAND TAX MAP: 34 PARCELS: 256, 365 AND 195
 ZONING: B-2
 SECTION/AREA: N/A
 SITE AREA: 7,006 AC.
 DPZ REFERENCES: SP-93-14 APPROVED 9/20/93 SDP-95-23, P92-16, L2B-947M, SDP-01-20, ECP-12-7, F-01-197, CNT. 30-3487-D, CNT. 44-3323-D
 F-94-38(11179) APPROVED 1/13/94, F-95-75(11584) APPROVED (1/23/95) SDP-12-049, F-12-076, CNT. 24-47-59, CNT. 44-4168-D
 WP-93-90 APPROVED 7/16/93 DEEP REF: L04940/F00196, PLAT 1178-11183, PLAT 14862, PLAT 22450
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
- ANY DAMAGE TO PUBLIC RIGHT-OF-WAYS, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS, FIELD SURVEYS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- ALL REINFORCED CONCRETE FOR STORM DRAIN STRUCTURES SHALL HAVE A MINIMUM OF 28 DAYS STRENGTH OF 3,500 P.S.I.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ESTIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FES.
- SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER.
- GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOILS TEST.
- ALL STORM DRAIN PIPE BEDDING SHALL BE CLASS "C" AS SHOWN IN FIG. 11-4.
- VOLUME 1 OF HOWARD COUNTY DESIGN MANUAL.
- STORMWATER MANAGEMENT PROVIDED UNDER F-94-38, AND BY MICRO-BIORETENTION FACILITY SHOWN ON THIS PLAN WHICH WILL BE PRIVATELY OWNED & MAINTAINED.
- COORDINATES AND ELEVATIONS ARE BASED ON HOWARD COUNTY MONUMENTS 0013 AND 34C2 (NAD 83)
- A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
- EXISTING TOPOGRAPHY IS FROM HOLWECK SUBDIVISION ROAD CONSTRUCTION PLANS, PROPOSED GRADING F 94-38, AND SUPPLEMENTED BY FIELD RUN TOPOGRAPHY (MARKS & VOGEL ASSOCIATES, INC. DATED MARCH, 1995)
- SEWER FOR THIS PROJECT IS PRIVATE.
- ALL PAVING TO BE MINIMUM HOWARD COUNTY STANDARD P-2 UNLESS OTHERWISE NOTED (SEE P-2 AND P-3 DETAILS SHEET 7)
- ALL CURB AND GUTTER TO BE HOWARD COUNTY STANDARD CONCRETE (SEE DETAIL SHEET 8), UNLESS OTHERWISE NOTED.
- TOPOGRAPHY ON SHEETS 9-13 IS FROM A FIELD RUN TOPOGRAPHIC SURVEY PREPARED BY ROBERT H. VOGEL ENGINEERING, INC. PERFORMED IN FEBRUARY, 2006.
- A WATER METER SHALL BE INSTALLED AT AN ACCESSIBLE LOCATION ON THE INCOMING WATER LINE TO EACH BUILDING.
- APPROVAL OF COMMERCIAL SITE DEVELOPMENT PLAN SUBJECT TO COMPLIANCE TO INDUSTRIAL DISCHARGE PERMIT REQUIREMENTS AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT.
- THE LOTS HEREON COMPLY WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT.
- ALL MATERIALS COLLECTED BY INTERNAL OIL/GRIIT SEPARATOR TO BE DISPOSED OFF SITE.
- PRIVATE SEPTIC SYSTEM AND SEWAGE EASEMENT HAVE BEEN ABANDONED. SEWER IS NOW SERVED BY PUBLIC SEWER CONTRACT # 30-3687-D.
- THE PERMIT APPLICATION DATE FOR NEWLY REDLINED FEATURES IS JUNE 4, 2015 AND INCLUDES MODIFICATIONS TO THE EXISTING NEW CAR BUILDING W/ 3 SMALL ADDITIONS TOTALING 1,811 S.F. AND MODIFICATIONS TO THE EXISTING PARKING LOT AND STORM DRAIN TO ACCOMMODATE THE NEW ADDITIONS, MINIMIZE IMPERVIOUS AREAS, AND PROVIDE STORMWATER MANAGEMENT. A PUBLIC FIRE HYDRANT WILL ALSO BE RELOCATED UNDER A SEPARATE REDLINE REVISION TO THEIR RESPECTIVE PUBLIC UTILITY CONTRACT DRAWINGS.
- CONTRACTOR TO CONSTRUCT ALL HANDICAP PARKING AND HANDICAP ACCESS ROUTES IN ACCORDANCE WITH CURRENT ADA REQUIREMENTS.
- WHERE DRAINAGE FLOWS AWAY FROM CURB, CONTRACTOR TO REVERSE THE GUTTER PAN.
- ANY EXISTING STREET TREES DAMAGED OR DESTROYED DURING CONSTRUCTION WILL BE REPLACED BY THE CONTRACTOR.
- APEO TRAFFIC STUDY HAS BEEN PREPARED BY THE TRAFFIC GROUP, DATED FEBRUARY 20, 2002, FOR THE HYUNDAI DEALERSHIP REVISION.
- THE EXISTING TRAFFIC LINES SHOWN ON SHEET 11-3 (HOLWECK SUBDIVISION) WHICH INCLUDE STREET TREE PLANTING.
- PARCELS B AND C-1 OF THE HOLWECK SUBDIVISION WERE RESUBDIVIDED UNDER F-12-076 (PLAT 22450) IN ORDER TO CONSOLIDATE THE TWO PARCELS INTO ONE PARCEL UNDER ONE OWNERSHIP, KNOWN AS PARCEL C-2, ANTWERPEN TOYOTA. THERE ARE TWO SITE DEVELOPMENT PLANS FOR PARCEL C-2 AS SDP-95-07 (NEW CAR FACILITY).
- FOREST CONSERVATION WAS PREVIOUSLY ADDRESSED UNDER THE FINAL PLAN FOR HOLWECK SUBDIVISION (F-94-38).
- DUE TO THE COMPLEXITY OF DEPICTING AS-BUILT CONDITIONS AND PROPOSED IMPROVEMENTS FOR ANTWERPEN TOYOTA, ALL IMPROVEMENTS IN CONJUNCTION WITH THE BUILDING RENOVATIONS, REVISION # 3, ARE SHOWN ON SHEETS 9 THRU 12.
- THE LANDSCAPE REQUIREMENTS FOR THIS PROPERTY HAVE BEEN PREVIOUSLY ADDRESSED BY THIS NEW CAR FACILITY PLAN (SDP-95-097) SHEETS 6 & 9) UNDER SDP-12-049 (USED CAR FACILITY) AND UNDER F-94-38 (HOLWECK SUBDIVISION).
- FINANCIAL SURETY IN THE AMOUNT OF \$2,100,000 FOR THE 7 REQUIRED REPLACEMENT PARKING LOT SHADE TREES (AS SHOWN ON SHEETS 6 & 9 OF THIS SDP, REVISION #3) SHALL BE POSTED WITH THE GRADING PERMIT.



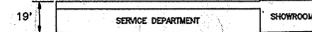
NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

BUILDING ELEVATIONS BUILDING #1 - NEW CAR FACILITY (SEE SDP-12-049 FOR BUILDING #2 - USED CAR FACILITY)

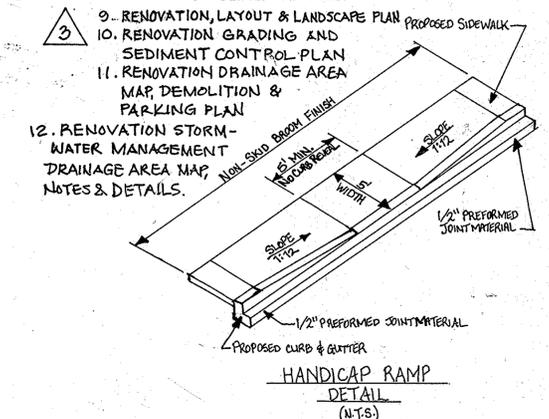
ADDRESS CHART	
PARCEL	STREET ADDRESS
'C-2'	12420 AUTO DRIVE (SDP-95-097)
'C-2'	12410 AUTO DRIVE (SDP-12-049)

BUILDING #1 PARKING TABULATION		REQUIRED	PROPOSED
SALES/OFFICE (1st & 2nd Floor)	27,471 S.F.	55 SPACES	70 SPACES
2 SPACES/1,000 SQ.FT.		12 SPACES	12 SPACES
42 SERVICE BAYS: 3 SPACES/BAY		126 SPACES	126 SPACES
11,811 SQ.FT. OUTDOOR DISPLAY: 1 SPACE/1,000 SQ.FT.		12 SPACES	12 SPACES
HANDICAP SPACES		7 SPACES	7 SPACES
TOTAL SPACES		212 SPACES	241 SPACES

BUILDING #2 PARKING TABULATION		REQUIRED	PROVIDED
2 SPACES PER 1,000 SF OF BUILDING (4,312 SF x 2/1,000 SF)		9	9
1 SPACE PER 1,000 SF OUTDOOR DISPLAY AREA (11,811 SF x 1/1,000 SF)		12	13
TOTAL SPACES		21	22

PARKING NOTE: SEE SHEET 11 FOR OVERALL PARKING PLAN.

OWNER/DEVELOPER
ANTOY LLC
c/o ANTWERPEN TOYOTA
P.O. BOX 144
CLARKSVILLE, MD 21029
TELEPHONE: (410) 531-5700



HANDICAP RAMP
DETAIL
(N.T.S.)

NO.	REVISION	DATE
1	Addition of New Building and Appurtenances	7-29-02
2	Add Canopy Between Bldg. #1 and 2, and Around Roofline of Bldg. #2	10-18-02
3	Revise PLAN TO ADD 1,817 SF. BLDG. ADDITIONS, REVISE SHUM AND ASSOCIATED GRADING AND MODIFY SITE DESIGN.	06-04-14

ANTWERPEN TOYOTA
NEW CAR AUTOMOBILE DEALERSHIP
PART OF PARCEL C-2, HOLWECK SUBDIVISION
BLDG. #1 - 12420 AUTO DRIVE, CLARKSVILLE
REVISED SITE DEVELOPMENT PLAN
COVER SHEET (PLAT NO. 22450)
ZONED B-2. (SEE SDP-12-049 FOR BLDG. #2 USED CAR FACILITY) F-12-076
TAX MAP #34 GRID 06 REFERENCE F 94-38(11179), F 95-75(11584)
PARCEL 356 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

MARKS-VOGEL ASSOCIATES, INC.
ENGINEERS - SURVEYORS - PLANNERS
3691 PARK AVENUE, SUITE 101
ELICOTT CITY, MARYLAND 21043
TELEPHONE: (410) 461-5828
FAX: (410) 466-3966

DESIGN BY: R.H.V.
DRAWN BY: D.G.H.
CHECKED BY: R.H.V.
DATE: APRIL, 1995
SCALE: AS SHOWN
W.O. NO.:
1 SHEET OF 12

ENGINEERS CERTIFICATE
"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT"
Signature: *Robert H. Vogel*
DATE: 6/2/95

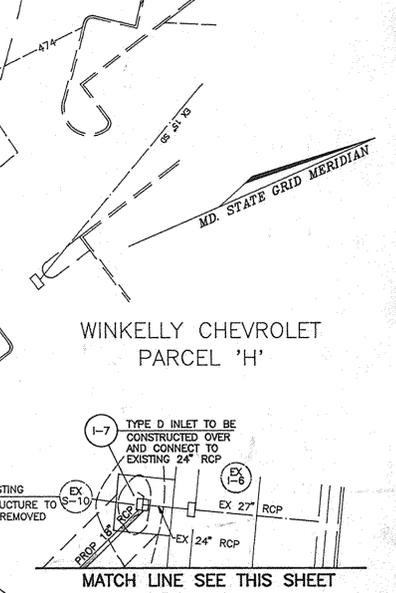
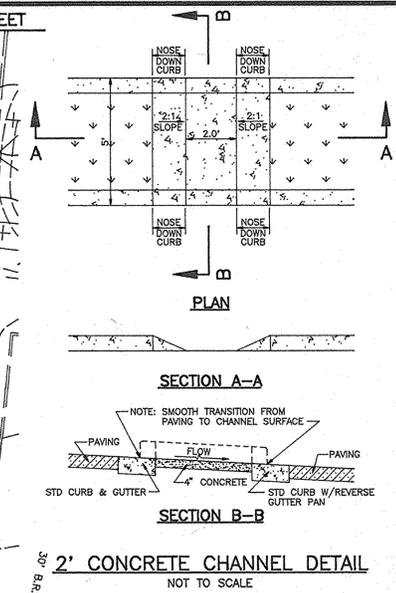
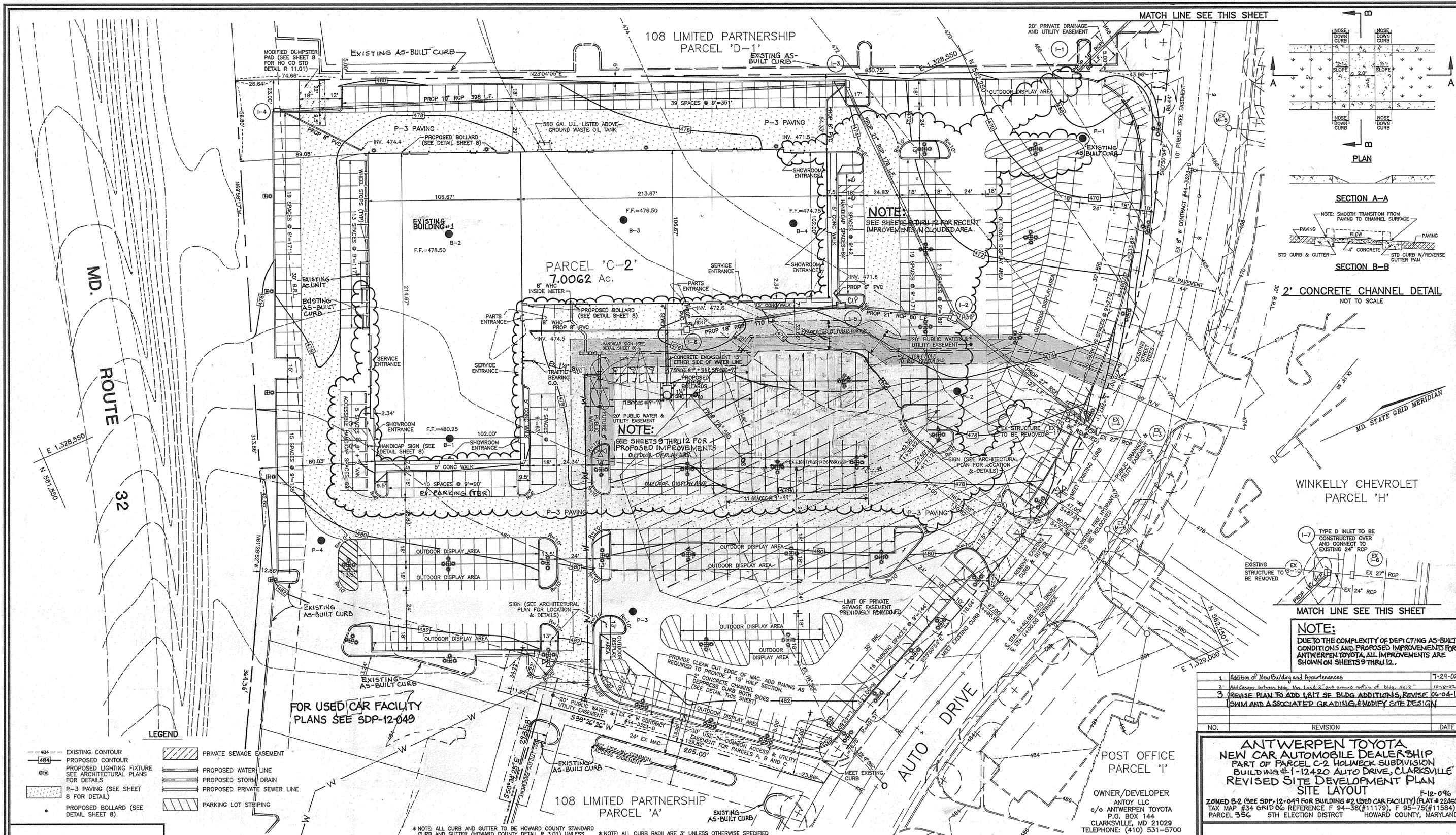
DEVELOPER'S CERTIFICATE
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE ATTENDED AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC OIL-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."
Signature: *John L. Robertson*
DATE: 5/27/95

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.
Signature: *Patricia Engler*
DATE: 6/27/95
U. S. SOIL CONSERVATION SERVICE
THIS DEVELOPMENT IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT
APPROVED: *John L. Robertson*
DATE: 5/27/95
HOWARD SOIL CONSERVATION DISTRICT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Signature: *James R. Smith*
DATE: 7/14/95
DIRECTOR
Signature: *Quinn Strombrank*
DATE: 7/14/95
CHIEF, LAND DEVELOPMENT AND RESEARCH
Signature: *John L. Robertson*
DATE: 7/14/95
CHIEF, DEVELOPMENT ENGINEERING DIVISION

APPROVED: FOR PUBLIC WATER AND PRIVATE SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
Signature: *Joyce M. Bond*
DATE: 7-7-95
COUNTY HEALTH OFFICER (C)

SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER			
HOLWECK SUBDIVISION	N/A	PARCEL 356 P/O C-2			
PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELECT. DIST.	CENSUS TR.
22450	6	B-2	34	5th	6051.01
WATER CODE	J 07	SEWER CODE	PRIVATE		



NOTE:
DUE TO THE COMPLEXITY OF DEPICTING AS-BUILT CONDITIONS AND PROPOSED IMPROVEMENTS FOR ANTIWERPEN TOYOTA, ALL IMPROVEMENTS ARE SHOWN ON SHEETS 9 THRU 12.

1	Addition of New Building and Appurtenances	7-24-02
2	Add Grassy between Bldg. No. 1 and 2 and around portion of Bldg. No. 2	12-18-02
3	REVISE PLAN TO ADD 1,817 SF. BLDG. ADDITIONS, REVISE 04-04-14 SWM AND ASSOCIATED GRADING & MODIFY SITE DESIGN	

NO.	REVISION	DATE
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ANTWERPEN TOYOTA
NEW CAR AUTOMOBILE DEALERSHIP
PART OF PARCEL C-2 HOLWECK SUBDIVISION
BUILDING #1-12420 AUTO DRIVE, CLARKSVILLE
REVISED SITE DEVELOPMENT PLAN
SITE LAYOUT F-10-09c
ZONED B-2 (SEE SDP-12-049 FOR BUILDING #2 (USED CAR FACILITY) (PLAT #22450))
TAX MAP #34 GRID 06 REFERENCE F 94-38(11179), F 95-75(11584)
PARCEL 35c 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

OWNER/DEVELOPER
ANTOY LLC
c/o ANTIWERPEN TOYOTA
P.O. BOX 144
CLARKSVILLE, MD 21029
TELEPHONE: (410) 531-5700

MARKS-VOGEL ASSOCIATES, INC.
ENGINEERS - SURVEYORS - PLANNERS

3691 PARK AVENUE, SUITE 101
ELICOTT CITY, MARYLAND 21043
TELEPHONE: (410) 461-5828
FAX: (410) 465-3968

DESIGN BY: R.H.V.
DRAWN BY: D.G.H.
CHECKED BY: R.H.V.
DATE: APRIL, 1995
SCALE: 1"=30'
W.O. NO.:
2 SHEET OF 12

LEGEND

- 484 --- EXISTING CONTOUR
- - - 484 - - - PROPOSED CONTOUR
- PROPOSED LIGHTING FIXTURE SEE ARCHITECTURAL PLANS FOR DETAILS
- ▨ P-3 PAVING (SEE SHEET 8 FOR DETAIL)
- PROPOSED BOLLARD (SEE DETAIL SHEET 8)
- ▨ PRIVATE SEWAGE EASEMENT
- ▨ PROPOSED WATER LINE
- ▨ PROPOSED STORM DRAIN
- ▨ PROPOSED PRIVATE SEWER LINE
- ▨ PARKING LOT STRIPING

FOR USED CAR FACILITY
PLANS SEE SDP-12-049

ENGINEERS CERTIFICATE
"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT"

Robert H. Vogel 6/21/95
SIGNATURE OF ENGINEER DATE

DEVELOPER'S CERTIFICATE
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

Patricia Engle 6/12/95
SIGNATURE OF DEVELOPER DATE

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.
Patricia Engle 6/12/95
U. S. SOIL CONSERVATION SERVICE DATE

THIS DEVELOPMENT IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

John R. Peltier 6/27/95
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
James Smith 7/14/95
DIRECTOR DATE

Clara Summery 7/14/95
CHIEF, LAND-DEVELOPMENT AND RESEARCH DATE

John Summery 7/16/95
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

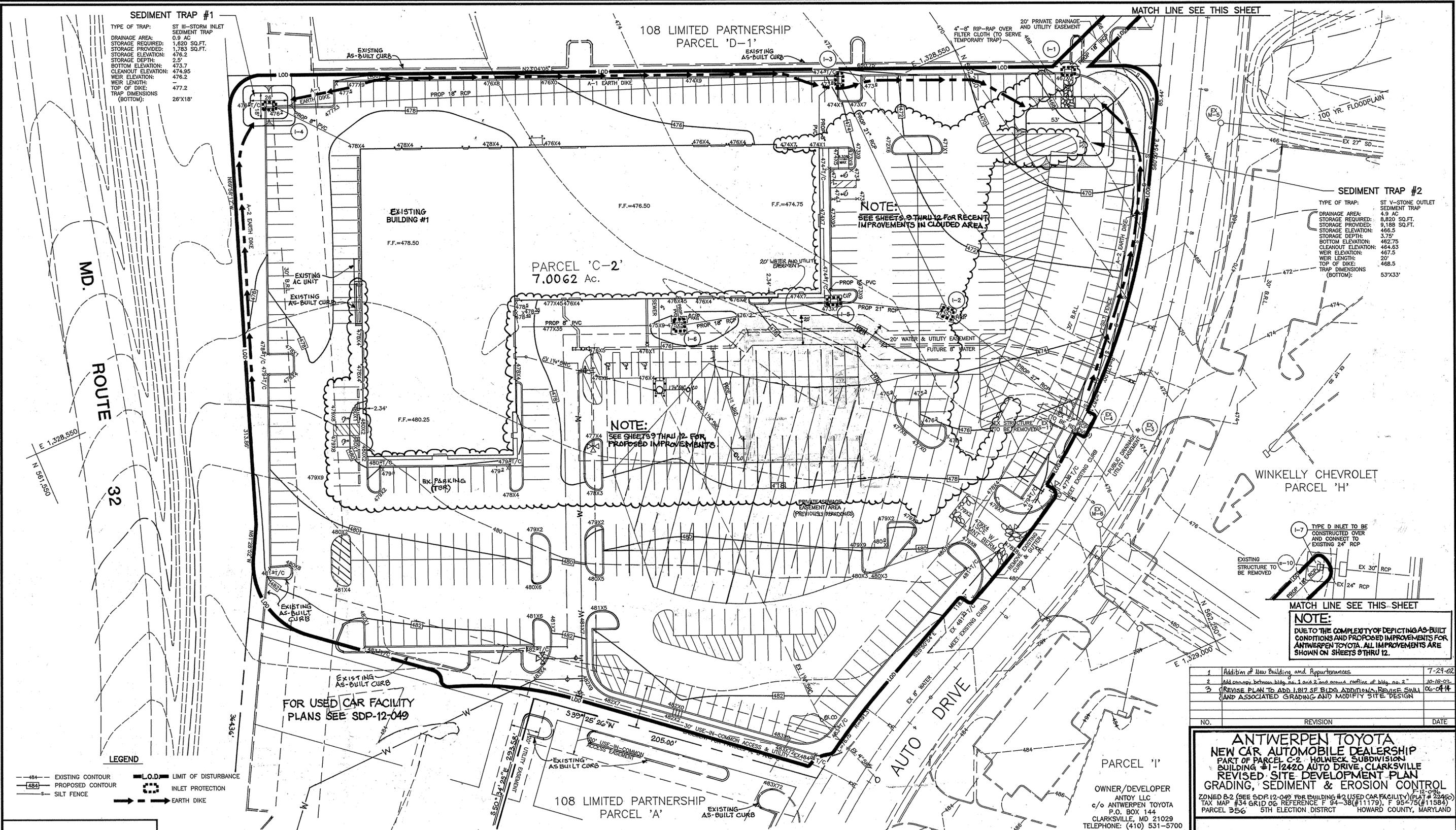
APPROVED: FOR PUBLIC WATER AND PRIVATE SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
Joyce M. Boyd 7-7-95
COUNTY HEALTH OFFICER DATE

SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER
HOLWECK SUBDIVISION	N/A	PARCEL 35c
PLAT NO.	BLOCK NO.	ZONE
22450	6	B-2
TAX/ZONE	ELECT. DIST.	CENSUS TR.
34	5th	6051.01
WATER CODE	J 07	SEWER CODE
		PRIVATE

SEDIMENT TRAP #1

TYPE OF TRAP: ST II-STORM INLET
 SEDIMENT TRAP
 DRAINAGE AREA: 0.9 AC
 STORAGE REQUIRED: 1,820 SQ.FT.
 STORAGE PROVIDED: 1,783 SQ.FT.
 STORAGE ELEVATION: 476.2
 STORAGE DEPTH: 2.5'
 BOTTOM ELEVATION: 473.7
 CLEANOUT ELEVATION: 474.95
 WEIR ELEVATION: 476.2
 WEIR LENGTH: 20'
 TOP OF DIKE: 477.2
 TRAP DIMENSIONS (BOTTOM): 26'X18'

MATCH LINE SEE THIS SHEET



SEDIMENT TRAP #2

TYPE OF TRAP: ST V-STONE OUTLET
 SEDIMENT TRAP
 DRAINAGE AREA: 4.9 AC
 STORAGE REQUIRED: 8,800 SQ.FT.
 STORAGE PROVIDED: 9,188 SQ.FT.
 STORAGE ELEVATION: 486.5
 STORAGE DEPTH: 3.75'
 BOTTOM ELEVATION: 482.75
 CLEANOUT ELEVATION: 484.63
 WEIR ELEVATION: 487.5
 WEIR LENGTH: 20'
 TOP OF DIKE: 488.5
 TRAP DIMENSIONS (BOTTOM): 53'X33'

NOTE:
 SEE SHEETS 9 THRU 12 FOR RECENT IMPROVEMENTS IN CLOUDED AREA

NOTE:
 SEE SHEETS 9 THRU 12 FOR PROPOSED IMPROVEMENTS

NOTE:
 DUE TO THE COMPLEXITY OF DEPICTING AS-BUILT CONDITIONS AND PROPOSED IMPROVEMENTS FOR ANTWERPEN TOYOTA, ALL IMPROVEMENTS ARE SHOWN ON SHEETS 9 THRU 12.

1	Addition of New Building and Apartments	7-29-02
2	Add canopy between bldgs. no. 1 and 2 and street corner of bldg. no. 2	10-18-02
3	(REVISE PLAN TO ADD 1,817 SF BLDG. ADDITIONS, REVISE SWMA (AND ASSOCIATED GRADING AND MODIFY SITE DESIGN	06-04-04
NO.	REVISION	DATE

LEGEND

- 484- EXISTING CONTOUR
- 484- PROPOSED CONTOUR
- S- SILT FENCE
- L.O.D- LIMIT OF DISTURBANCE
- INLET PROTECTION
- EARTH DIKE

FOR USED CAR FACILITY
 PLANS SEE SDP-12-049

OWNER/DEVELOPER
 ANTOY LLC
 c/o ANTWERPEN TOYOTA
 P.O. BOX 144
 CLARKSVILLE, MD 21029
 TELEPHONE: (410) 531-5700

ENGINEERS CERTIFICATE
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT
 Signature: *Paul H. Ouel* DATE: 6/21/95

DEVELOPER'S CERTIFICATE
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.
 Signature: *John R. Peterson* DATE: 6/21/95

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.
 Patricia Engley/MS 6/21/95
 U. S. SOIL CONSERVATION SERVICE
 THIS DEVELOPMENT IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT
 APPROVED: John R. Peterson 6/21/95
 HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Director: *John R. Peterson* 7/14/95
 Chief, Land Development and Research: *John R. Peterson* 7/14/95
 APPROVED: FOR PUBLIC WATER AND PRIVATE SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT
 Director: *John R. Peterson* 7-2-95
 COUNTY HEALTH OFFICER (c) DATE

SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER
HOLWECK SUBDIVISION	N/A	PARCEL 356 F/O C-2
PLAT NO.	BLOCK NO.	ZONE
22450	6	B-2
TAX/ZONE	ELECT. DIST.	CENSUS TR.
34	5th	6051.01
WATER CODE	J 07	SEWER CODE PRIVATE

ANTWERPEN TOYOTA
 NEW CAR AUTOMOBILE DEALERSHIP
 PART OF PARCEL C-2 HOLWECK SUBDIVISION
 BUILDING #1-12420 AUTO DRIVE, CLARKSVILLE
 REVISED SITE DEVELOPMENT PLAN
 GRADING, SEDIMENT & EROSION CONTROL
 ZONED B-2 (SEE SDP 12-049 FOR BUILDING #2 USED CAR FACILITY) (P.L.# 22450)
 TAX MAP #34 GRID 00 REFERENCE #38 (P.L. 1179) E 95-75 (P.L. 11584)
 PARCEL 356 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

MARKS-VOGEL ASSOCIATES, INC.
 ENGINEERS - SURVEYORS - PLANNERS
 8691 PARK AVENUE, SUITE 101
 ELLICOTT CITY, MARYLAND 21048
 TELEPHONE: (410) 461-6888
 FAX: (410) 465-3968



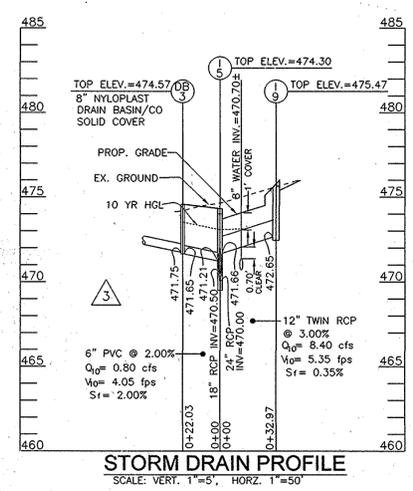
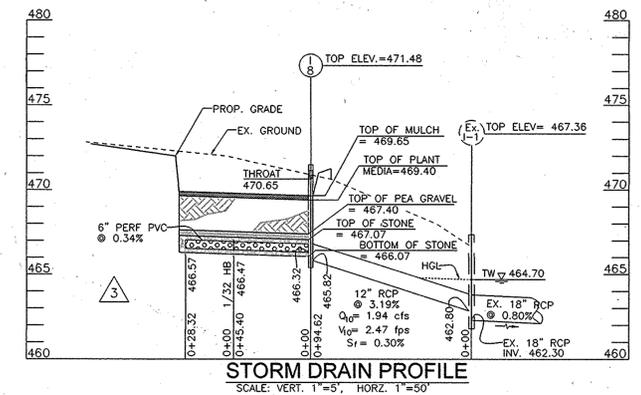
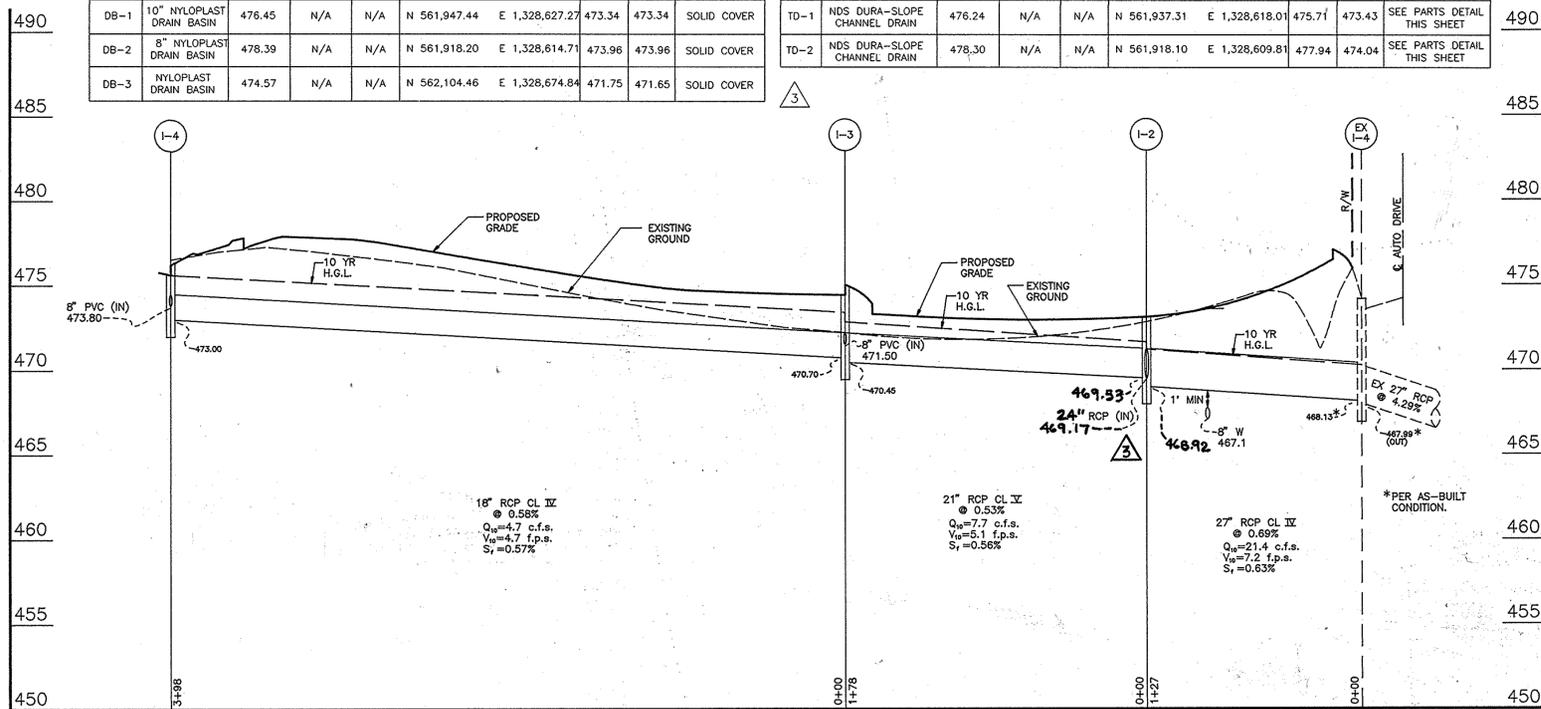
DESIGN BY: R.H.V.
 DRAWN BY: D.G.H.
 CHECKED BY: R.H.V.
 DATE: APRIL, 1995
 SCALE: 1"=30'
 W.O. NO.:
 3 SHEET OF 12

STRUCTURE SCHEDULE

NO.	TYPE	TOP ELEVATION	ROADWAY SLOPE	CROSS SLOPE	LOCATION	INV IN	INV OUT	REMARKS
DB-1	10" NYLOPLAST DRAIN BASIN	476.45	N/A	N/A	N 561,947.44 E 1,328,627.27	473.34	473.34	SOLID COVER
DB-2	8" NYLOPLAST DRAIN BASIN	478.39	N/A	N/A	N 561,918.20 E 1,328,614.71	473.96	473.96	SOLID COVER
DB-3	NYLOPLAST DRAIN BASIN	474.57	N/A	N/A	N 562,104.46 E 1,328,674.84	471.75	471.65	SOLID COVER

STRUCTURE SCHEDULE

NO.	TYPE	TOP ELEVATION	ROADWAY SLOPE	CROSS SLOPE	LOCATION	INV IN	INV OUT	REMARKS
TD-1	NDS DURA-SLOPE CHANNEL DRAIN	476.24	N/A	N/A	N 561,937.31 E 1,328,618.01	475.71	473.43	SEE PARTS DETAIL THIS SHEET
TD-2	NDS DURA-SLOPE CHANNEL DRAIN	478.30	N/A	N/A	N 561,918.10 E 1,328,609.81	477.94	474.04	SEE PARTS DETAIL THIS SHEET



NOTE:
SEE SHEET 12 OF 12 FOR NEW SEQUENCE OF CONSTRUCTION CORRESPONDING TO PROPOSED RENOVATIONS UNDER REVISION # 3 OF THIS SDP.

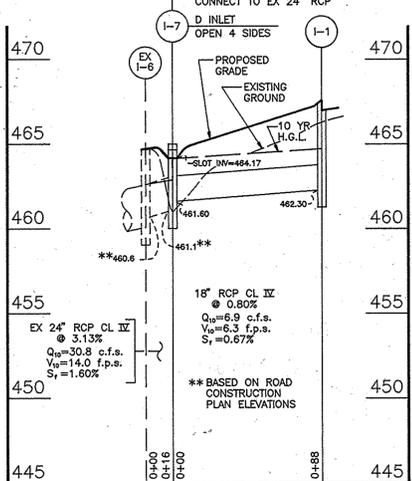
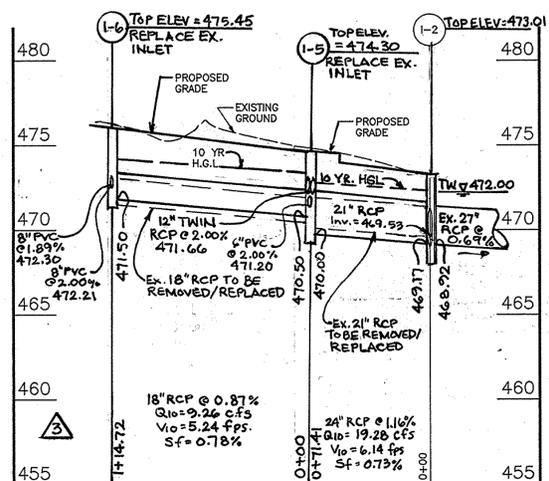
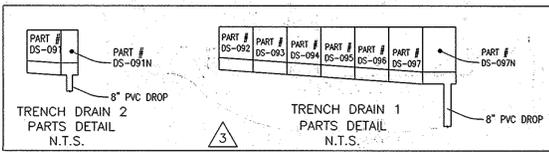
- SEQUENCE OF CONSTRUCTION
- OBTAIN GRADING PERMIT. 1 DAY
 - NOTIFY HOWARD COUNTY BUREAU OF INSPECTIONS AND PERMITS (313-1880) AT LEAST 24 HOURS BEFORE STARTING ANY WORK. 2 DAYS
 - CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE. 1 DAY
 - INSTALL PERIMETER SEDIMENT CONTROL MEASURES, INCLUDING SEDIMENT TRAP #1. 2 DAYS
 - CONSTRUCT STORM DRAINAGE SYSTEM AND INSTALL INLET PROTECTION AND INLET SEDIMENT TRAP (#2). 1 WEEK
 - PERFORM FINAL SITE GRADING. 2 DAYS
 - BEGIN BUILDING CONSTRUCTION. 8 WEEKS
 - INSTALL PRIVATE SEWAGE DISPOSAL SYSTEM. CONTACT HEALTH DEPARTMENT FOR INSPECTION PRIOR TO COVERING TRENCHES. 2 DAYS
 - CONSTRUCT WATER MAIN. 1 WEEK
 - CONSTRUCT PARKING LOTS, DRIVEWAYS, AND SIDEWALKS. 2 WEEKS
 - INSTALL LANDSCAPING. 1 DAY
 - DURING GRADING AND AFTER EACH RAINFALL THE CONTRACTOR SHALL INSPECT AND PROVIDE NECESSARY MAINTENANCE ON THE SEDIMENT AND EROSION CONTROL MEASURES SHOWN HEREON.
 - FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
 - A. 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, SWALES, DITCH PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1.
 - B. 14 CALENDAR DAYS FOR ALL OTHER DISTURBED AREAS.
 - UPON STABILIZATION OF ALL DISTURBED AREAS AND WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT CONTROL STRUCTURES.

STRUCTURE SCHEDULE

NO.	TYPE	TOP ELEVATION	ROADWAY SLOPE	CROSS SLOPE	LOCATION	INV IN	INV OUT	REMARKS
I-8	PRECAST 'D' INLET	471.48	SUMP	N/A	N 562,219.08 E 1,328,606.71	466.32	465.82	HO. CO. STD. DET. D-4.10
I-9	PRECAST 'A-10' INLET	475.47	SUMP	4.0%	N 562,093.15 E 1,328,726.72	-	472.65	HO. CO. STD. DET. D-4.03

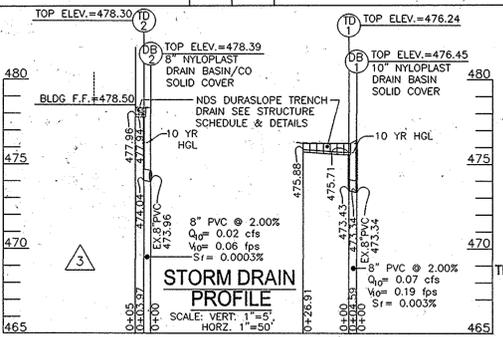
STORM DRAIN PROFILE

SCALE: VERT. 1"=5', HORIZ. 1"=50'



STRUCTURE SCHEDULE

NO.	TYPE	TOP ELEVATION	ROADWAY SLOPE	CROSS SLOPE	LOCATION	INV IN	INV OUT	REMARKS
I-1	PRECAST STD TYPE A-10 INLET	467.00	SUMP	2.0%	N 562,315.8 E 1,328,596.4	-	462.30	HOWARD COUNTY STD. DTL SD 4.41
I-2	DOUBLE S INLET	473.01	SUMP	3.0%	N 562,171.1 E 1,328,715.4	469.17 469.53	468.92	HOWARD COUNTY STD. DTL SD 4.23
I-3	PRECAST STD TYPE A-5 INLET	474.4	SUMP	2.0%	N 562,166.7 E 1,328,535.6	470.70	470.45	HOWARD COUNTY STD. DTL SD 4.40
I-4	PRECAST STD TYPE A-5 INLET	476.8	SUMP	2.0%	N 561,795.8 E 1,328,394.5	-	473.00	HOWARD COUNTY STD. DTL SD 4.40
I-5	PRECAST STD TYPE A-5 INLET	474.30	SUMP	2.0%	N 562,102.14 E 1,328,694.90	470.50 471.20 471.66	470.00	HOWARD COUNTY STD. DTL SD 4.40
I-6	DOUBLE S INLET	475.45	SUMP	2.0%	N 561,997.64 E 1,328,649.83	472.21 472.30	471.50	HOWARD COUNTY STD. DTL SD 4.23
I-7	STD TYPE D INLET	465.0	SUMP	-	N 562,394.8 E 1,328,562.8	461.60	461.1	HOWARD COUNTY STD. DTL SD 4.11 SLOT THROAT ELEVATION=464.17



OWNER/DEVELOPER
ANTOY LLC
c/o ANTWERPEN TOYOTA
P.O. BOX 144
CLARKSVILLE, MD 21029
TELEPHONE: (410) 531-5700

NO.	REVISION	DATE
1	Addition of New Buildings and Apartments	7-23-02
2	Additions between Bldg #1 and #2	10-28-02
3	REVISE PLAN TO INCLUDE EX. BLDG ADDITIONS, REVISE SWM & ASSOCIATED GRADING, AND MODIFY SITE DESIGN	06-04-14

ANTWERPEN TOYOTA
NEW CAR AUTOMOBILE DEALERSHIP
PART OF PARCEL C-2 HOLWICK SUBDIVISION
BUILDING # 1-12420 AUTO DRIVE CLARKSVILLE
REVISED SITE DEVELOPMENT PLAN
STORM DRAIN PROFILES
F-12-096
ZONED B2 (SEE SDP-12-049 FOR BUILDING #2 USED CAR FACILITY (PLAT # 22450))
TAX MAP #34 GRID 06 REFERENCE F 94-38 (#1179), F 95-75 (#11584)
PARCEL 356 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

MARKS-VOGEL ASSOCIATES, INC.

ENGINEERS - SURVEYORS - PLANNERS

3691 PARK AVENUE, SUITE 101
ELLCOTT CITY, MARYLAND 21043

TELEPHONE: (410) 461-5828
FAX: (410) 466-3966

DESIGN BY: R.H.V.
DRAWN BY: D.G.H.
CHECKED BY: R.H.V.
DATE: APRIL 1995
SCALE: AS SHOWN
W.O. NO.:
4 SHEET OF 12

ENGINEERS CERTIFICATE
"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT"

Signature: *Robert H. O'Connell*
DATE: 6/21/95

DEVELOPER'S CERTIFICATE
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

Signature: *John R. Robertson*
DATE: 6/21/95

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.
Patricia Engle
U. S. SOIL CONSERVATION SERVICE
DATE: 6/27/95

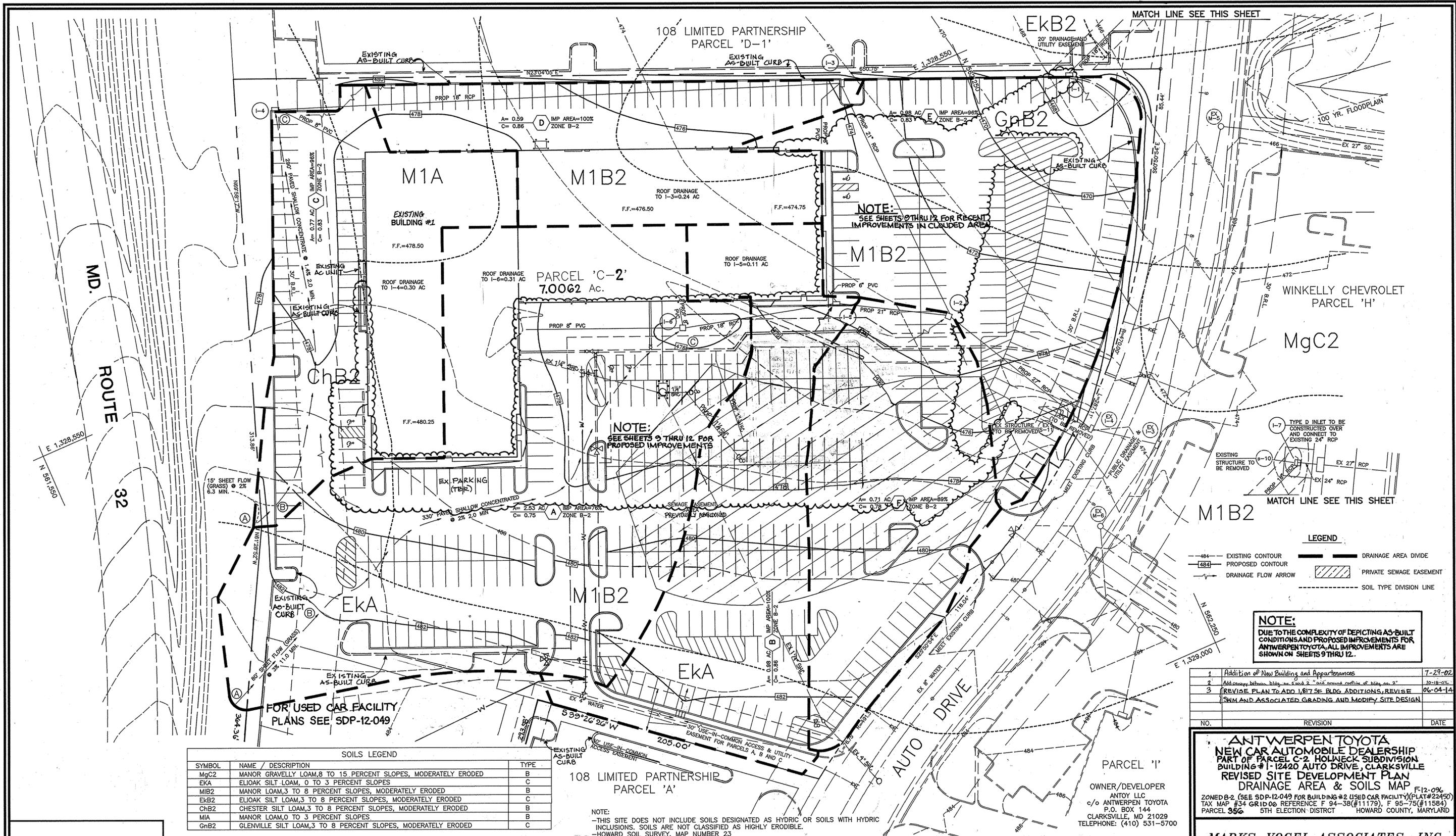
APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT
John R. Robertson
HOWARD SOIL CONSERVATION DISTRICT
DATE: 6/27/95

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Director: *James R. Smith* 7/14/95
DATE: 7/14/95
Chief, Land Development and Research: *John J. Summery* 7/14/95
DATE: 7/14/95

APPROVED: FOR PUBLIC WATER AND PRIVATE SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
County Health Officer: *Joseph L. ...* 7-7-95
DATE: 7-7-95

SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER
HOLWICK SUBDIVISION	N/A	PARCEL 356
PLAT NO.	BLOCK NO.	ZONE
22450	6	B-2
TAX/ZONE	ELECT. DIST.	CENSUS TR.
34	5th	6051.01

WATER CODE: J 07
SEWER CODE: PRIVATE



LEGEND

-484-	EXISTING CONTOUR	---	DRAINAGE AREA DIVIDE
-484-	PROPOSED CONTOUR	▨	PRIVATE SEWAGE EASEMENT
→	DRAINAGE FLOW ARROW	---	SOIL TYPE DIVISION LINE

NOTE:
DUE TO THE COMPLEXITY OF DEPICTING AS-BUILT CONDITIONS AND PROPOSED IMPROVEMENTS FOR ANTWERPEN TOYOTA, ALL IMPROVEMENTS ARE SHOWN ON SHEETS 9 THRU 12.

1	Addition of New Building and Appurtenances	7-29-02
2	Add energy between bldg. no. 2 and "old" covered coffee shop bldg. no. 2	10-18-02
3	REVISE PLAN TO ADD 1,817 SQ. BLDG. ADDITIONS, REVISE SWM AND ASSOCIATED GRADING AND MODIFY SITE DESIGN	06-04-14

SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	TYPE
MgC2	MANOR GRAVELLY LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED	B
EKA	ELIOAK SILT LOAM, 0 TO 3 PERCENT SLOPES	C
M1B2	MANOR LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	B
EKB2	ELIOAK SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	C
ChB2	CHESTER SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	B
M1A	MANOR LOAM, 0 TO 3 PERCENT SLOPES	C
GnB2	GLENVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	B

NOTE:
-THIS SITE DOES NOT INCLUDE SOILS DESIGNATED AS HYDRIC OR SOILS WITH HYDRIC INCLUSIONS. SOILS ARE NOT CLASSIFIED AS HIGHLY ERODIBLE.
-HOWARD SOIL SURVEY, MAP NUMBER 23

OWNER/DEVELOPER
ANTOY LLC
c/o ANTWERPEN TOYOTA
P.O. BOX 144
CLARKSVILLE, MD 21029
TELEPHONE: (410) 531-5700

ENGINEERS CERTIFICATE
"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT"

Robert H. O'Connell 6/21/95
SIGNATURE OF ENGINEER DATE

DEVELOPER'S CERTIFICATE
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

Jim R. [Signature] 6/15/95
SIGNATURE OF DEVELOPER DATE

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.
Patricia Englund 6/27/95
U. S. SOIL CONSERVATION SERVICE DATE

THIS DEVELOPMENT IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

John R. [Signature] 6/27/95
APPROVED FOR HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
James [Signature] 7/14/95
DIRECTOR DATE

Quina [Signature] 7/14/95
CHIEF, LAND DEVELOPMENT AND RESEARCH DATE

Chris [Signature] 7/14/95
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

APPROVED: FOR PUBLIC WATER AND PRIVATE SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

Joyce M. [Signature] 7-7-95
COUNTY HEALTH OFFICER (CO) DATE

SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER
HOLWEEK SUBDIVISION	N/A	PARCEL 356
PLAT NO.	BLOCK NO.	ZONE
2.2450	6	B-2
TAX/ZONE	ELECT. DIST.	CENSUS TR.
34	5th	6051.01
WATER CODE	J 07	SEWER CODE PRIVATE

ANTWERPEN TOYOTA
NEW CAR AUTOMOBILE DEALERSHIP
PART OF PARCEL C-2 HOLWEEK SUBDIVISION
BUILDING #1-12420 AUTO DRIVE, CLARKSVILLE
REVISED SITE DEVELOPMENT PLAN
DRAINAGE AREA & SOILS MAP
ZONED B-2 (SEE SDP-12-049 FOR BUILDING #2 USED CAR FACILITY) (PLAT #22450)
TAX MAP #34 GRID 06 REFERENCE F 94-38(11179), F 95-75(11584)
PARCEL 356 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

MARKS-VOGEL ASSOCIATES, INC.
ENGINEERS - SURVEYORS - PLANNERS
9691 PARK AVENUE, SUITE 101
ELLCOTT CITY, MARYLAND 21043
TELEPHONE: (410) 461-5828
FAX: (410) 465-8968

DESIGN BY: R.H.V.
DRAWN BY: D.G.H.
CHECKED BY: R.H.V.
DATE: APRIL, 1995
SCALE: 1"=30'
W.O. NO.:
5 SHEET OF 12

PLANTING NOTES

- PLANTS, RELATED MATERIALS, AND OPERATIONS SHALL MEET THE DETAILED DESCRIPTION AS GIVEN ON THE PLANS AND AS DESCRIBED HEREIN.
- ALL PLANT MATERIAL, UNLESS OTHERWISE SPECIFIED, SHALL BE NURSERY GROWN, UNIFORM IN GRADE AND HAVE A VIGOROUS ROOT SYSTEM. PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS PLANTS FREE FROM DEFECTS, DECAY, DISFIGURING ROOTS, SUNSCOLD INJURIES, ABRASIONS OF THE BARK, PLANT DISEASE, INSECT PEST EGGS, BORERS AND ALL FORMS OF INFESTATION OR OBSTRUCTIBLE DISTORTIONS OF THE BARK. PLANT MATERIAL THAT IS WEAK OR WHICH HAS BEEN CUT BACK FROM LARGER GRADES TO MEET SPECIFIED REQUIREMENTS WILL BE REJECTED. TREES WITH FORKED LEADERS WILL NOT BE ACCEPTED. ALL PLANTS SHALL BE FREELY DUG; NO HELD-IN PLANTS OR PLANTS FROM COLD STORAGE WILL BE ACCEPTED.
- UNLESS OTHERWISE SPECIFIED, ALL PLANT MATERIAL SHALL CONFORM TO "AMERICAN STANDARD FOR NURSERY STOCK" ANSI Z60.1-1986, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INCLUDING ALL ADDENDA.
- UNLESS OTHERWISE SPECIFIED, ALL GENERAL CONDITIONS, PLANTING OPERATIONS, DETAILS AND PLANTING SPECIFICATIONS SHALL CONFORM TO "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS" (HEREINAFTER "LANDSCAPE GUIDELINES") APPROVED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF METROPOLITAN WASHINGTON AND THE POTOMAC CHAPTER OF THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS, SEPTEMBER, 1987, INCLUDING ALL ADDENDA.
- CONTRACTOR SHALL BE REQUIRED TO GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR AFTER DATE OF ACCEPTANCE IN ACCORDANCE WITH THE APPROPRIATE SECTION OF THE LANDSCAPE GUIDELINES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES, UTILITY CONTRACTORS AND "MISS UTILITY" MINIMUM OF 48 HOURS PRIOR TO BEGINNING ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO UTILITIES AND MAY MAKE MINOR ADJUSTMENTS IN SPACING AND LOCATION OF PLANT MATERIALS TO AVOID CONFLICTS WITH UTILITIES.
- PLANTING BED SHALL BE MULCHED WITH 3" OF SHREDED HARDWOOD BARK MULCH, GROUND COVER SEEDS SHALL BE MULCHED TO A DEPTH OF 2".
- ALL AREAS WITHIN THE CONTRACT LIMIT NOT COVERED BY BUILDING, PAVING, PLANTING BEDS OR OTHERWISE DESIGNATED ON THE PLANS SHALL BE SEEDED AND MULCHED OR SOED IN ACCORDANCE WITH 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL - PERMANENT SEEDING SPECIFICATIONS (SEE SHEET 6), INCLUDING ALL ADDENDA, AS DIRECTED BY THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL MATERIALS IN THE PROPER PLANTING SEASON FOR EACH PLANT TYPE.
- PLANTING MIX SHALL BE DONE AS FOLLOWS:
DECIDUOUS PLANTS - TWO PARTS TOP SOIL, ONE PART WELL-ROTTED COW OR HORSE MANURE, AND 3 LBS. OF STANDARD 10-10-10 FERTILIZER PER CUBIC YARD OF PLANTING MIX.
EVERGREEN PLANTS - TWO PARTS TOP SOIL, ONE PART FIRM OR OTHER APPROVED ORGANIC MATERIAL, ADD 3 LBS. OF EVERGREEN (ACIDIC) FERTILIZER PER CUBIC YARD OF PLANTING MIX.
TOPSOIL SHALL CONFORM TO LANDSCAPE GUIDELINES.
- THIS PLAN IS INTENDED FOR LANDSCAPE PLAN ONLY. SEE OTHER PLAN SHEETS FOR INFORMATION ON GRADING, SEDIMENT CONTROL, LAYOUT, ETC.
- CONTRACTOR TO ADJUST PLANTINGS AS REQUIRED WITH PRIOR APPROVAL OF THE ENGINEER OR LANDSCAPE ARCHITECT.

LANDSCAPE SCHEDULE

KEY	QTY	BOTANICAL NAME	SIZE	CONT
L	4	LIQUIDAMBAR SYRACIFLUA/ SWEET GUM	2 1/2" - 3" CAL	B+B
P	10	QUERCUS PALUSTRIS / PIN OAK	2-1/2" - 3" CAL	B&B
PL	24	PRUNUS LAR "OTTO LUYKENS" / OTTO LUYKENS LAUREL	18" - 24" HT	B&B
TC	251	TAXUS CUSPIDATA "NANA" DWARF JAPANESE YEW	18" - 24" SP	B&B
J	69	JUNIPERUS HORIZONTALIS PLUMOSA COMPACTA/COMPACT ANDORA JUNIPER	18" - 24" SP	CONT
Z	6	ZELKOVA SERRATA "VILLAGE GREEN" / VILLAGE GREEN ZELKOVA	2 1/2" - 3" CAL	B+B
TM	32	TAXUS MEDIA "DENSIFORMIS" / DENSIFORMIS YEW	2-1/2" - 3" HT	B+B
CL	6	CYPRESSOCYPARIS LEYLAND / LEYLAND CYPRESS	5" - 6" HT	CONT

FOR USED CAR FACILITY
PLANS SEE SDP-12-049

- NOTE:**
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
 - FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF \$3,500.00 (\$100 PER TREE).
 - THE CONTRACTOR IS TO EXERCISE CAUTION WHEN INSTALLING LANDSCAPING IN CLOSE PROXIMITY TO SITE UTILITIES.
 - FINANCIAL SURETY IN THE AMOUNT OF \$100.00 FOR THE 7 REQUIRED REPLACEMENT PARKING LOT SHADE TREES (AS SHOWN ON SHEETS 6 AND 7 OF THIS SDP, REVISION #3) SHALL BE POSTED WITH THE GRADING PERMIT.

**LANDSCAPING REPLACEMENT
REQUIRED FOR SDP REVISION #3**

DESCRIPTION OF LANDSCAPE ALTERATION	NO.
EX. SHRUBS TO BE REMOVED 45 @ 10:1	5
EX. SHADE TREES TO BE REMOVED	1
PROP. SHADE TREES NOT PLANTED	1
REPLACEMENT SHADE TREES TO BE PLANTED	7

*SEE SHEET 9 OF 12 FOR NEW LANDSCAPING

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

Patricia Engle 6/27/95
U. S. SOIL CONSERVATION SERVICE DATE

THIS DEVELOPMENT IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

APPROVES: *John K. Peterson* 6/27/95
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

James S. Smith 7/14/95
DIRECTOR DATE

Chira Shumway 7/14/95
CHIEF, LAND DEVELOPMENT AND RESEARCH DATE

John D. ... 7/14/95
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

APPROVED: FOR PUBLIC WATER AND PRIVATE SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

John M. ... 7-7-95
COUNTY HEALTH OFFICER DATE

SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER
HOLWECK SUBDIVISION	N/A	PARCEL 356
PLAT NO.	BLOCK NO.	ZONE
22450	6	B-2
TAX/ZONE	ELECT. DIST.	CENSUS TR.
34	5th	6051.01
WATER CODE	J 07	SEWER CODE
		PRIVATE

NO.	REVISION	DATE
1	Addition of New Building and Appearance	7-23-02
2	Address change between 1117 and 1118 and 2 inch corner location of 1118 on 2"	10-18-02
3	REVISE PLANS TO ADD 1117 BE BLDG. ADDITIONS, REVISE SWMS, ASSOCIATED GRADING AND MODIFY SITE DESIGN	06-04-14

**ANTWERPEN TOYOTA
NEW CAR AUTOMOBILE DEALERSHIP
PART OF PARCEL C-2, HOLWECK SUBDIVISION
BUILDING # 1-12420 AUTO DRIVE, CLARKSVILLE
REVISED SITE DEVELOPMENT PLAN
LANDSCAPE PLAN**

F12-096
ZONED B-2 (SEE SDP-12-049 FOR BUILDING AND USED CAR FACILITY) (PLAT # 22450)
TAX MAP #34 GRID 06 REFERENCE F 94-38 (#11179), F 95-75 (#11584)
PARCEL 356, 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

OWNER/DEVELOPER
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c/o ANTWERPEN TOYOTA
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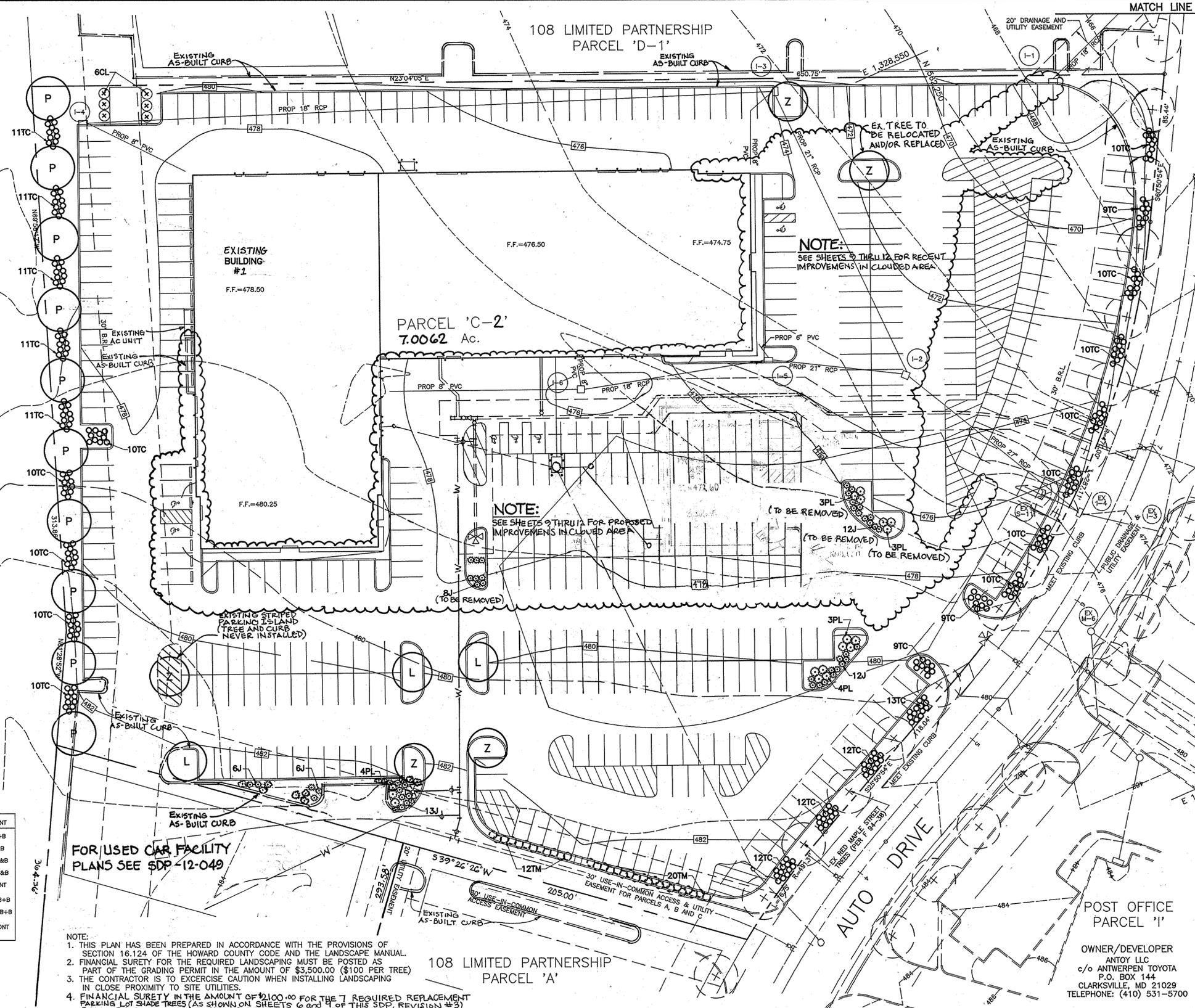
MARKS-VOGEL ASSOCIATES, INC.
ENGINEERS - SURVEYORS - PLANNERS

3691 PARK AVENUE, SUITE 101
BELLGATE CITY, MARYLAND 21045

TELEPHONE: (410) 461-5828
FAX: (410) 461-5866

DESIGN BY: R.H.V.
DRAWN BY: D.G.H.
CHECKED BY: R.H.V.
DATE: APRIL, 1995
SCALE: 1"=30'
W.O. NO.:

6 SHEET OF 12



**SCHEDULE B
PARKING LOT INTERNAL LANDSCAPING**

NUMBER OF PARKING SPACES REQUIRED	235
NUMBER OF TREES + ISLANDS REQUIRED	1/20 SPACES=12 (2400 SQ.FT.)
NUMBER OF TREES PROVIDED	4 / 3990 SQ.FT.
SHADE TREES (LAND AREA OTHER TREES (2:1 SUBSTITUTION) SHRUBS (10:1 SUBSTITUTION)*	N/A

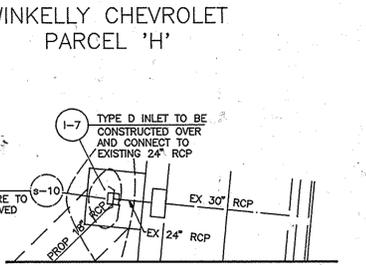
COMMENTS:
* 8 TREES AT 10:1 SUBSTITUTION OVER SEPTIC EASEMENT DUE TO HEALTH DEPARTMENT RESTRICTIONS.
~ CUSTOMER PARKING ONLY

**SCHEDULE A
PERIMETER LANDSCAPE EDGE**

CATEGORY	ADJACENT TO ROADWAYS		ADJACENT TO PERIMETER PROPERTIES
	RTS 32	AUTO DRIVE	
LANDSCAPE TYPE *	E*	E*	N/A
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	380'	500'	N/A
CREDIT FOR EXISTING VEGETATION (YES/NO LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	N/A
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	N/A
NUMBER OF PLANTS REQUIRED			
SHADE TREES 1:40	10	13**	N/A
EVERGREEN TREES	N/A	N/A	N/A
SHRUBS	95	128	N/A
NUMBER OF PLANTS PROVIDED			
SHADE TREES	10	6**	N/A
EVERGREEN TREES	N/A	N/A	N/A
OTHER TREES (2:1 SUBSTITUTION) SHRUBS (10:1 SUBSTITUTION) (DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)	N/A	95	N/A
		198**	

COMMENTS:
** DUE TO EXISTING STREET TREES (PER F 94-38) ALONG AUTO DRIVE THE 13 REQUIRED PERIMETER TREES HAVE BEEN PROVIDED AS INTERNAL LANDSCAPING (6 TREES AND 62 SHRUBS) AND ADDITIONAL PERIMETER LANDSCAPING (18 SHRUBS).
* PARKING ADJACENT TO ROADWAYS.

NOTE:
SEE SHEETS 9 THRU 12 FOR PROPOSED IMPROVEMENTS IN CLOUDED AREA



NOTE:
DUE TO THE COMPLEXITY OF DEPICTING AS-BUILT CONDITIONS AND PROPOSED IMPROVEMENTS FOR ANTIHERPETOYOTA, ALL IMPROVEMENTS ARE SHOWN ON SHEETS 9 THRU 12.

SOUTH SEPTIC SYSTEM DESIGN

50 EMPLOYEES X 15 GPD; REQUIRED=750 GPD
 30 CUSTOMERS X 5 GPD; REQUIRED=150 GPD
 TOTAL REQUIRED=900 GPD PROVIDE=960 GPD

900 GPD MAXIMUM SEWAGE DESIGN FLOW ALLOCATION
 TRENCH LOADING RATES= 0.8 GAL/SF/DAY
 900/0.8=1125

TRENCH CONFIGURATION= 3'X2' (12" O.C.)
 1,125/3'=375' OF TRENCH REQUIRED PROVIDED=400 L.F.

LOWEST FLOOR ELEVATION SERVED: 474.50
 INVERT OUT OF BUILDING: 475.50
 INVERT INTO SEPTIC TANK: 474.25
 INVERT OUT OF SEPTIC TANK: 474.00
 EXISTING GRADE AT SEPTIC TANK: 478.4
 PROPOSED GRADE AT SEPTIC TANK: 478.5
 INVERT INTO DISTRIBUTION BOX: 473.00
 INVERT INTO TRENCH AT DISTRIBUTION BOX: 472.80
 ORIGINAL GRADE AT DISTRIBUTION BOX: 480.1
 PROPOSED GRADE AT DISTRIBUTION BOX: 480.3

NORTH SEPTIC SYSTEM DESIGN

40 EMPLOYEES X 15 GPD; REQUIRED=600 GPD
 30 CUSTOMERS X 5 GPD; REQUIRED=150 GPD
 TOTAL REQUIRED=750 GPD PROVIDE=840 GPD

750 GPD MAXIMUM SEWAGE DESIGN FLOW ALLOCATION
 TRENCH LOADING RATES= 0.8 GAL/SF/DAY
 750/0.8=938

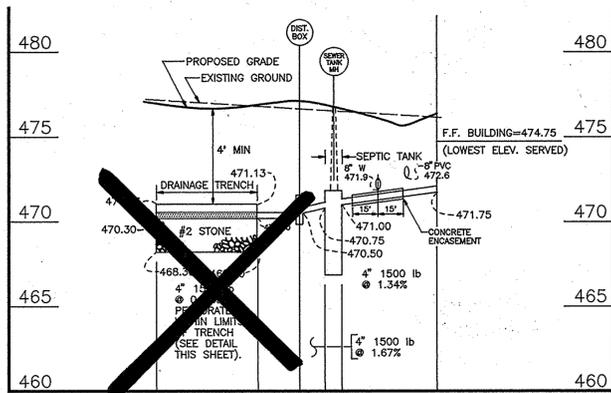
TRENCH CONFIGURATION= 3'X2' (12" O.C.)
 938/3'=313' OF TRENCH REQUIRED PROVIDED=350 L.F.

LOWEST FLOOR ELEVATION SERVED: 474.75
 INVERT OUT OF BUILDING: 475.75
 INVERT INTO SEPTIC TANK: 474.00
 INVERT OUT OF SEPTIC TANK: 473.00
 EXISTING GRADE AT SEPTIC TANK: 477.5
 PROPOSED GRADE AT SEPTIC TANK: 476.5
 INVERT INTO DISTRIBUTION BOX: 470.5
 INVERT INTO TRENCH AT DISTRIBUTION BOX: 470.30
 ORIGINAL GRADE AT DISTRIBUTION BOX: 477.3
 PROPOSED GRADE AT DISTRIBUTION BOX: 477.2

TRENCH CONSTRUCTION NOTES

- TRENCHES SHALL BE EXCAVATED USING A BACKHOE. FRONT-END LOADERS OR BULLDOZERS SHOULD NOT BE USED FOR TRENCH EXCAVATION.
- EXCAVATED MATERIALS FROM THE TRENCHES SHALL BE PLACED AT A SUFFICIENT DISTANCE DOWNSIDE OF THE TRENCHES TO AVOID MIGRATION OF SOLIDS BACK INTO THE TRENCH.
- WORK SHALL BE SCHEDULED SUCH THAT THE TRENCHES CAN BE COVERED IN ONE DAY TO PREVENT WINDBLOWN OR WATERBORNE SEDIMENT FROM ENTERING THE TRENCH. HEALTH DEPARTMENT TO BE NOTIFIED FOR INSPECTION PRIOR TO STONE PLACEMENT IN TRENCH.
- THE FIELD ENGINEER SHALL VERIFY THE CONSTRUCTED ELEVATIONS OF THE TRENCHES TO ENSURE A MINIMUM 4 FOOT COVER IS PROVIDED BELOW PAVEMENT BASE GRADE.
- UPON COMPLETION OF THE TRENCH EXCAVATION AND PRIOR TO PLACEMENT OF PAVING HEAVY CONSTRUCTION EQUIPMENT TRAFFIC SHALL BE PERMANENTLY DIVERTED FROM THE TRENCHES AND ADJACENT AREA.

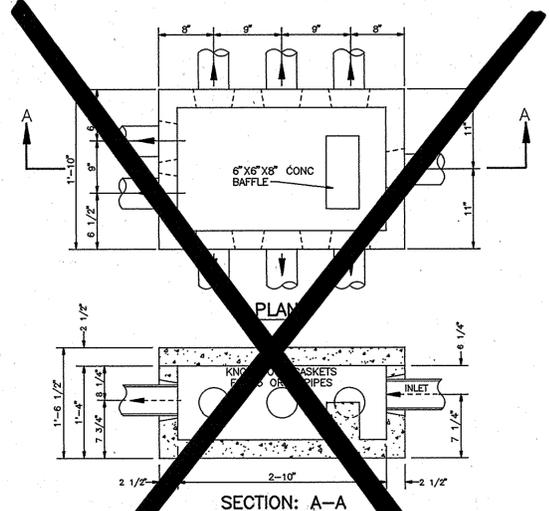
NOTE:
 1. PROPOSED ELEVATIONS SHOWN HEREIN TO BE STRICTLY ENFORCED DURING GRADING AND SITE DEVELOPMENT. DISTURBANCE TO GROUND BELOW PROPOSED ELEVATIONS WILL RESULT IN LOSS OF PRIVATE SEWAGE EASEMENT.



TYPICAL NORTH SEPTIC SYSTEM PROFILE

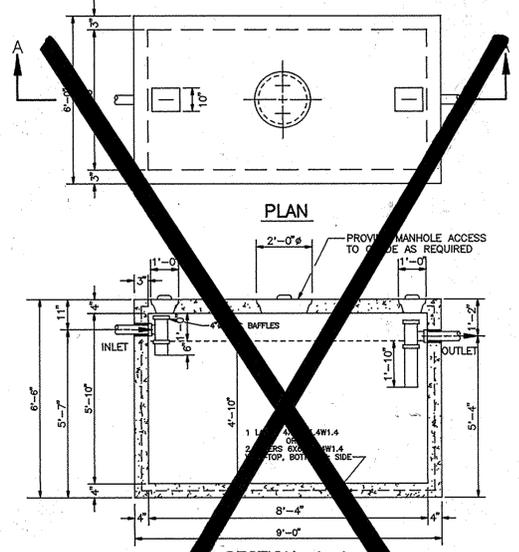
SCALE: VERT. 1"=5', HORIZ. 1"=50'

NOTE:
 SEPTIC SYSTEM IS ABANDONED. SITE IS NOW SERVED BY PUBLIC SEWER. CONTR. # 30-3667-D



DISTRIBUTION BOX DETAIL NORTH & SOUTH SYSTEM

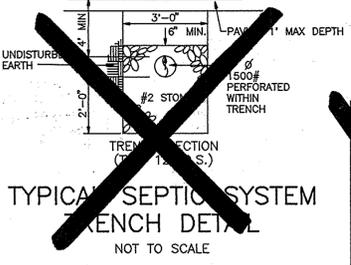
NOT TO SCALE



NOTE: THIS TANK IS NOT DESIGNED, MANUFACTURED, OR RECOMMENDED TO BE INSTALLED UNDER VEHICLE TRAFFIC AREA.
 NOTE: PROVIDE TYPE 1/II 6,000 P.S.I. MIN. CONCRETE

1500 GALLON SEPTIC TANK SINGLE COMPARTMENT TOP SEAM ONLY NORTH & SOUTH SYSTEM

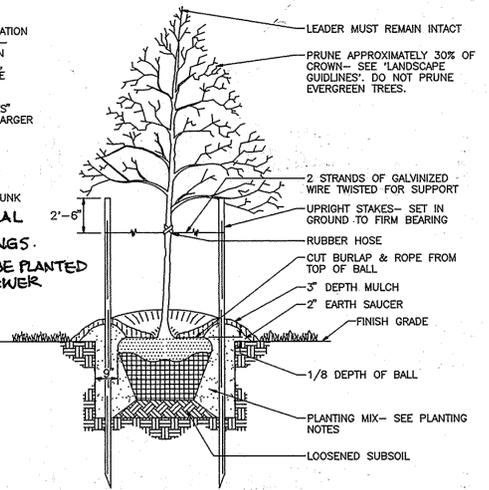
NOT TO SCALE



TYPICAL SEPTIC SYSTEM TRENCH DETAIL

NOT TO SCALE

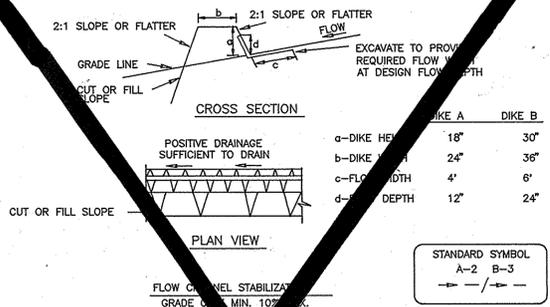
- NOTES**
- SEE "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS" FOR ALL MATERIAL, PRODUCT, AND PROCEDURE SPECIFICATIONS.
 - SEE "LANDSCAPE GUIDELINES" FOR SUPPORTING TREES LARGER THAN 2-1/2" CALIPER.
 - PLACE UPRIGHT STAKES PARALLEL TO WALKS & BUILDINGS.
 - KEEP MULCH 1" FROM TRUNK
 - SEE ARCHITECTURAL PLANS FOR POSSIBLE ADDITIONAL PLANTINGS.
 - TREES ARE NOT TO BE PLANTED OVER WATER AND SEWER EASEMENTS.



TREE PLANTING AND STAKING

DICIDUOUS AND EVERGREEN TREES UP TO 2-1/2" CALIPER NOT TO SCALE

DETAIL 1 - EARTH DIKE

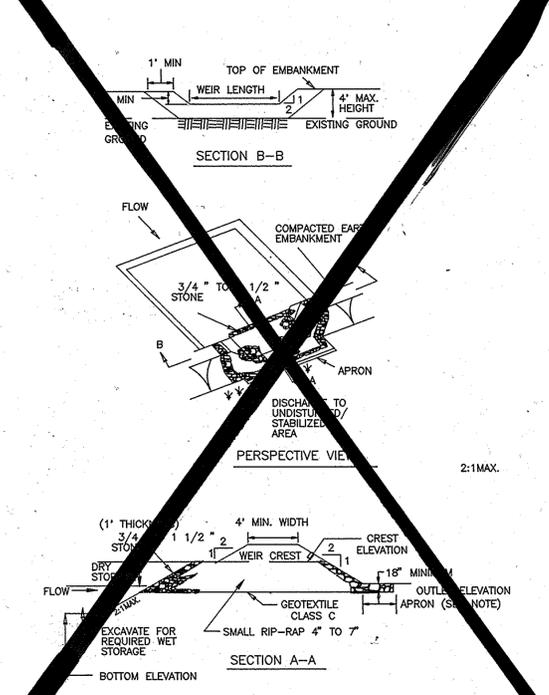


- Seed and cover with straw mulch.
- Seed and cover with Erosion Control mat or line with sod.
- 4" - 7" stone or recycled concrete aggregate pressed into the soil 7" minimum

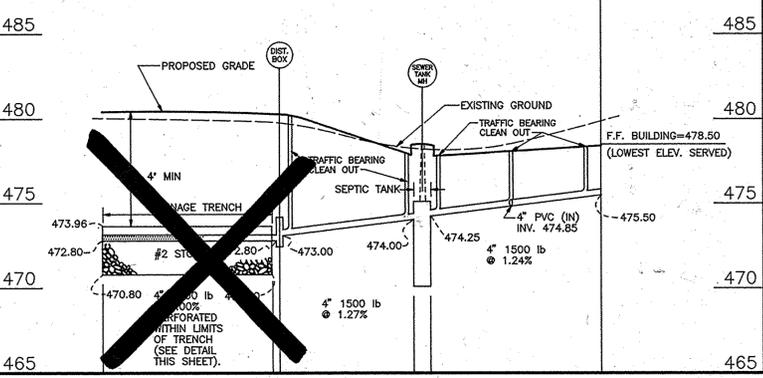
- All temporary earth dikes shall have uninterrupted positive grade to an outlet. Spot elevations may be necessary on grades less than 1%.
- Runoff diverted from a disturbed area shall be conveyed to a sediment trapping device.
- Runoff diverted from an undisturbed area shall outlet directly to an undisturbed, stabilizing area at a non-erosive velocity.
- All trees, brush, stumps, obstructions, and other objectional material shall be removed and disposed of so as not to interfere with the proper functioning of a dike.
- The dike shall be excavated or shaped to line, grade and cross section to meet the criteria specified herein and be free of bank projection or other irregularities which will impede normal flow.
- The dike shall be compacted by earth moving equipment.
- All earth removed and not needed for construction shall be placed so that it will not interfere with the functioning of the dike.
- Inspection and maintenance must be provided periodically and after each rain event.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE A-1-6 MARYLAND DEPARTMENT OF ENVIRONMENTAL AND WATER MANAGEMENT ADMINISTRATION

DETAIL 10A - STONE/RIP-RAP OUTLET SEDIMENT TRAP - ST V



U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE C-9-18 MARYLAND DEPARTMENT OF ENVIRONMENTAL AND WATER MANAGEMENT ADMINISTRATION



TYPICAL SOUTH SEPTIC SYSTEM PROFILE

SCALE: VERT. 1"=5', HORIZ. 1"=50'

NO.	REVISION	DATE
1	Addition of New Building and Appearance	7-29-02
2	Add canopy between bldg. no. 1 and 2. Add around restriction of bldg. no. 2	10-18-02
3	REMOVE DETAILS NO LONGER APPLICABLE TO NEW CONSTRUCTION	06-04-14

ANTWERPEN TOYOTA
 NEW CAR AUTOMOBILE DEALERSHIP
 PART OF PARCEL C-2, HOLWECK SUBDIVISION
 BUILDING # 1 - 12420 AUTO DRIVE, CLARKSVILLE
 REVISED SITE DEVELOPMENT PLANS
 SEPTIC PROFILES, DETAILS & NOTES

ZONED B-2 (SEE SDP-12-04 FOR BUILDING #2 USED CAR FACILITY) (PLAT #22450)
 TAX MAP #54 GRID-06 REFERENCE F 94-38(11179), F 95-75(11584)
 PARCEL 356 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

MARKS-VOGEL ASSOCIATES, INC.
 ENGINEERS - SURVEYORS - PLANNERS

3691 PARK AVENUE, SUITE 101 BELLCOTT CITY, MARYLAND 21043 TELEPHONE: (410) 481-8828 FAX: (410) 485-3368

DESIGN BY: R.H.V.
 DRAWN BY: D.G.H.
 CHECKED BY: R.H.V.
 DATE: APRIL, 1995
 SCALE: AS SHOWN
 W.O. NO.: 7 SHEET OF 12

ENGINEERS CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT

Signature: Robert H. Vogel DATE: 6/21/95

DEVELOPER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: [Signature] DATE: 4/17/95

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

Signature: Patricia Engler DATE: 4/27/95

U.S. SOIL CONSERVATION SERVICE

THIS DEVELOPMENT IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

Signature: [Signature] DATE: 6/21/95

HOWARD SOIL CONSERVATION DISTRICT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Signature: [Signature] DATE: 7/19/95

Signature: [Signature] DATE: 7/14/95

CHIEF, LAND DEVELOPMENT AND RESEARCH

Signature: [Signature] DATE: 7/14/95

CHIEF, DEVELOPMENT ENGINEERING DIVISION

APPROVED: FOR PUBLIC WATER AND PRIVATE SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT

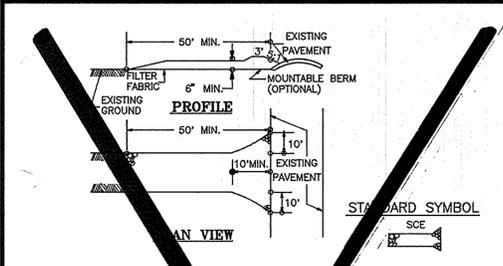
Signature: [Signature] DATE: 7-7-95

COUNTY HEALTH OFFICER

SUBDIVISION NAME: HOLWECK SUBDIVISION SECTION/AREA: N/A PARCEL NUMBER: PARCEL 356, P/O C-2

PLAT NO.: 22450 BLOCK NO.: 6 ZONE: B-2 TAX/ZONE: 34 ELECT. DIST.: 5th CENSUS TR.: 6051.01

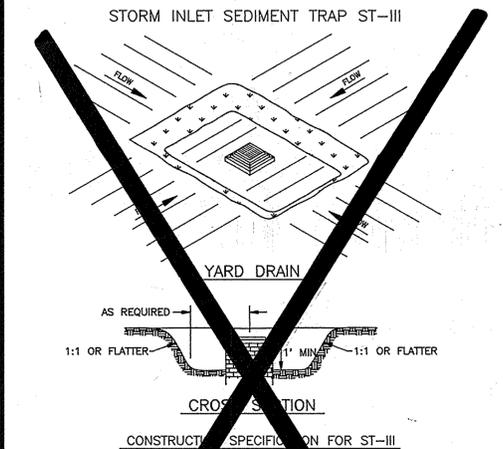
WATER CODE: J 07 SEWER CODE: PRIVATE



- ### CONSTRUCTION SPECIFICATIONS
- STONE SIZE - USE 2" GRADE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENT LOT WHERE 30 FEET MINIMUM LENGTH WOULD APPLY).
 - THICKNESS - NOT LESS THAN 6 INCHES.
 - WIDTH - TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINT WHERE INGRESS AND EGRESS OCCURS.
 - FILTER CLOTH - WILL BE PLACED OVER ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER WILL NOT BE RECYCLED ON A SINGLE FAMILY LOT.
 - SURFACE WATER - ALL SURFACE WATER DRAINING OR DIVERTED TOWARD CONSTRUCTION ENTRANCE SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICABLE, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC PRESSING WITH ADDITIONAL STONES UNDER CONDITIONS DEMAND AND ALL SPILLED OR DROPPED MATERIAL OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WASHING WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE INTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL OCCUR ON AN AREA STABILIZED WITH STONE AND WITH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER RAIN.

STABILIZED CONSTRUCTION ENTRANCE

N.T.S.

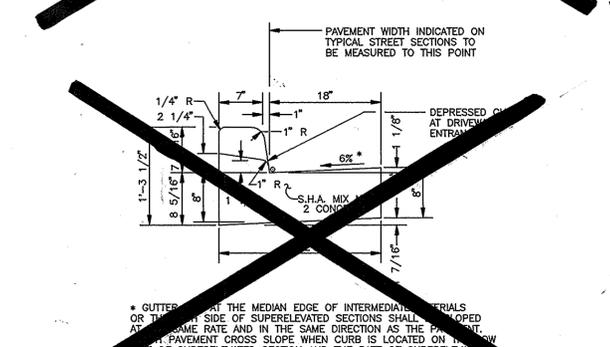
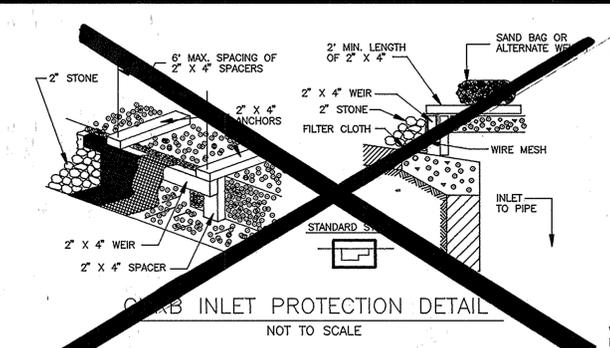


- ### CONSTRUCTION SPECIFICATION FOR ST-III
- SEDIMENT SHALL BE REMOVED AND THE TRAP RETURNED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2" DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - THE VOLUME OF SEDIMENT STORAGE SHALL BE 1800 CU. FEET PER ACRE OF CONTRIBUTORY DRAINAGE AREA.
 - THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
 - CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION SHALL BE MINIMIZED.
 - THE SEDIMENT TRAP SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE CONSTRUCTION DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
 - ALL SLOPES SHALL BE 1:1 OR FLATTER

MAXIMUM DRAINAGE AREA: 3 ACRES

STORM INLET SEDIMENT TRAP ST-III

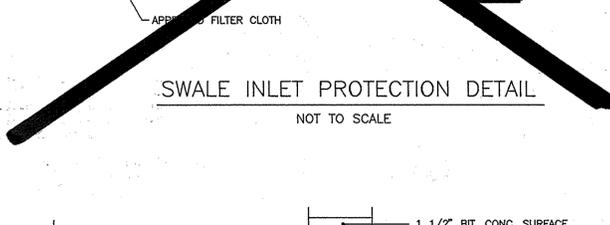
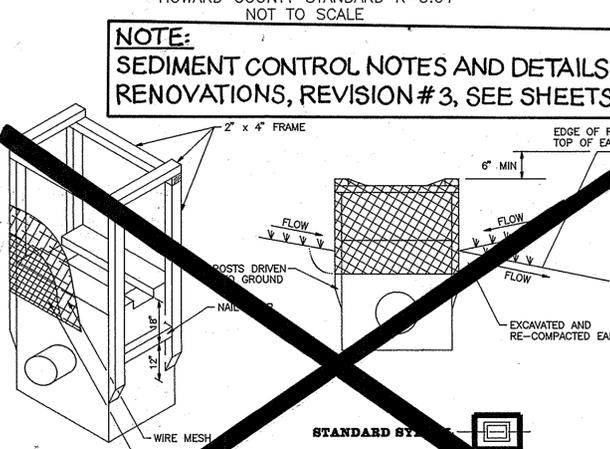
NOT TO SCALE



STANDARD COMBINATION CURB AND GUTTER

HOWARD COUNTY STANDARD R-3.01

NOT TO SCALE

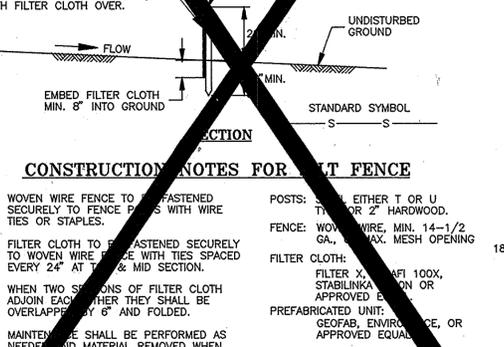
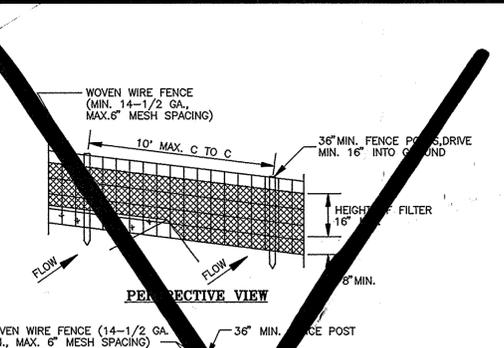


FULL DEPTH BIT. CONC. ALTERNATE

GRANULAR BASE ALTERNATES

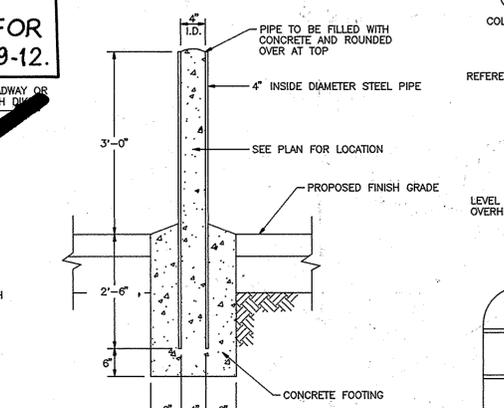
P-3 PAVING SECTION

P-2 PAVING SECTION



CONSTRUCTION NOTES FOR SILT FENCE

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT 1/4" & MID SECTION.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPING BY 6" AND FOLDED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED TO MATERIAL REMOVED WHEN "BULGE" DEVELOPS IN THE SILT FENCE.



STEEL AND CONCRETE BOLLARD

NOT TO SCALE

TEMPORARY SEEDING

Apply to graded or cleared areas likely to be redistributed where a short-term vegetative cover is needed.

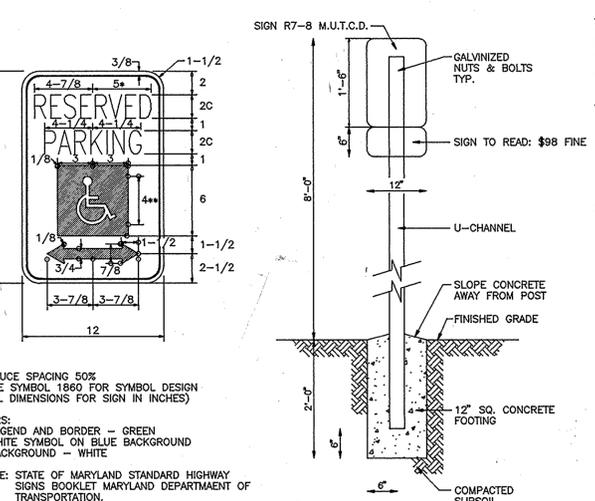
Seedbed preparation: Loosen upper three inches of soil by raking, discing, or other acceptable means before seeding, if not previously loosened.

Soil Amendments: Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq. ft.).

Seeding: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2 1/2 bushel per acre of annual rye (3.2 lbs./1000 sq. ft.). For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (.07 lbs./1000 sq. ft.). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well-anchored straw mulch, and seed as soon as possible in the spring, or use sod.

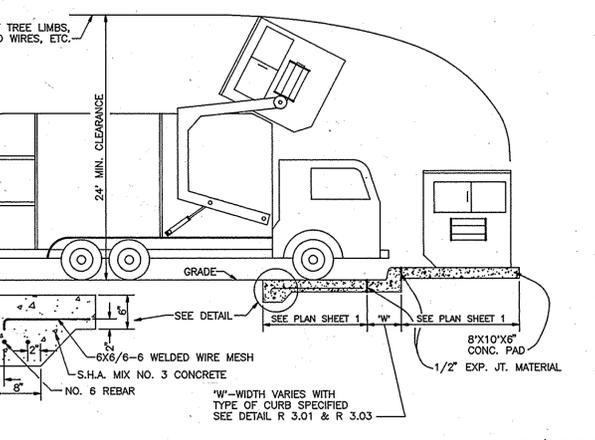
Mulching: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal. per acre (5 gal./1000 sq. ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gal. per acre (8 gal./1000 sq. ft.) for anchoring.

Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.



HANDICAP SIGN

NOT TO SCALE



SOLID WASTE SERVICE PAD

HOWARD COUNTY STD. R 11.01

NOT TO SCALE

NO.	REVISION	DATE
1	Addition of New Building and Appurtenances	7-29-02
2	Add connection between bldg. nos. 1 and 2 and narrow section of bldg. no. 2	10-18-02
3	REVISE PLAN TO ADD 10' OF BLDG. ADDITIONS, REVISE SWMA AND ASSOCIATED GRADING AND MODIFY SITE DESIGN.	06-04-14

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent, long-lived vegetative cover is needed.

Seedbed Preparation: Loosen upper 3 inches of soil by raking, discing, or other acceptable means before seeding, if not previously loosened.

Soil Amendments: Use one of the following schedules:

- Preferred- Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq. ft.) and 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq. ft.) before seeding. Harrow or disc into upper 3 inches of soil. At time of seeding apply 400 lbs. per acre 30-0-0 ureaform fertilizer (9 lbs./1000 sq. ft.).
- Acceptable- Apply 2 tons per acre dolomitic limestone (92 lbs./1000sq. ft.) and 1000 lbs. per acre 10-10-10 fertilizer (23 lbs./1000 sq. ft.) before seeding. Harrow or disc into upper three inches of soil.

Seeding: For the periods March 1 thru April 30 and August 1 thru October 15, seed with 60lbs. per acre (1.4 lbs./1000 sq. ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. of Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (.05 lbs./1000 sq. ft.) of weeping lovegrass. During the period of October 16 thru February 28, protect site by Option 1 - 2 tons per acre of well-anchored straw mulch, and seed as soon as possible in the spring. Option 2 - Use sod. Option 3 - Seed with 60 lbs. per acre Kentucky 31 Tall Fescue, and mulch with 2 tons per acre well anchored straw.

Mulching: Apply 1 1/2 to 2 tons per acre (70-90 lbs./1000 sq. ft.) of un-rotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal./1000 sq. ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal./1000 sq. ft.) for anchoring.

Maintenance: Inspect all seeded areas, and make needed repairs, replacements, and reseedings.

SEDIMENT CONTROL NOTES

- All Grading Permits shall be obtained prior to the starting of any Grading work.
 - A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction (992-2437).
 - All vegetation and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
 - Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: (a) 3 calendar days for all perimeter sediment control structures, dikes, perimeter slopes, and all slopes greater than 3:1, (b) 7 days as to all other disturbed or graded areas on the project site.
 - All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, Storm Drainage, of the Howard County Design Manual.
 - All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding (Sec. 51), sod (Sec. 54), temporary seeding (Sec. 50), and mulching (Sec. 52). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow proper germination and establishment of grasses.
 - All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
 - Site Analysis (SITE ANALYSIS FOR RENOVATIONS, REVISION #3, SEE SHEET 10)
- | | |
|--------------------------------------|--|
| Total area of site R/W and easements | 5.80 acres |
| Area disturbed | 5.80 acres |
| Area to be roofed or paved | 5.50 acres |
| Area to be vegetatively stabilized | 0.30 acres |
| Total cut | 4,000 cu. yds. |
| Total fill | 4,000 cu. yds. |
| Offsite waste/borrow area location | SITE BROUGHT TO FINAL GRADE UNDER FINAL CONSTRUCTION PLANS (F 94-38) |
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
 - Additional sediment controls must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
 - On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
 - It is the contractor's responsibility to clean/restore the adjacent SWM facilities due to sediment emanating from construction activities on this site.

ENGINEERS CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT

Robert H. Goss 6/2/95
SIGNATURE OF ENGINEER DATE

DEVELOPER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

John P. Peterson 6/2/95
SIGNATURE OF DEVELOPER DATE

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

Patricia Engle 6/2/95
U. S. SOIL CONSERVATION SERVICE DATE

THIS DEVELOPMENT IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

John P. Peterson 6/2/95
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

James Smith 7/18/95
DIRECTOR DATE

Anna Drummery 7/14/95
CHIEF, LAND DEVELOPMENT AND RESEARCH DATE

John P. Peterson 7/14/95
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

APPROVED: FOR PUBLIC WATER AND PRIVATE SEWERAGE SYSTEMS

HOWARD COUNTY HEALTH DEPARTMENT

James M. Boyd 7-7-95
COUNTY HEALTH OFFICER (CD) DATE

SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER
HOLWECK SUBDIVISION	N/A	PARCEL 356
PLAT NO.	BLOCK NO.	ZONE
22450	6	B-2
TAX/ZONE	ELECT. DIST.	CENSUS TR.
34	5th	6051.01
WATER CODE	SEWER CODE	PRIVATE
J 07		

ANTWERPEN TOYOTA
NEW CAR AUTOMOBILE DEALERSHIP
PART OF PARCEL 22450 SUBDIVISION
BUILDING #12450 CLARKSVILLE
REVISED SITE DEVELOPMENT PLAN
DETAILS AND NOTES PLAT # 22450
ZONED B-2 (SEE SDR-12-049 FOR BLDG # 2 USED CAR FACILITY) F 12-096
TAX MAP #34 GRID 06 REFERENCE F 94-38 (#1179), F 95-75 (#11584)
PARCEL 356 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

MARKS-VOGEL ASSOCIATES, INC.
ENGINEERS - SURVEYORS - PLANNERS

3691 PARK AVENUE, SUITE 101
ELLCOTT CITY, MARYLAND 21043

TELEPHONE: (410) 461-5828
FAX: (410) 465-5968

DESIGN BY: R.H.V.
DRAWN BY: D.G.H.
CHECKED BY: R.H.V.
DATE: APRIL, 1995
SCALE: AS SHOWN
W.O. NO.: 8 SHEET OF 12

STATE OF MARYLAND
REGISTERED PROFESSIONAL ENGINEER
NO. 16158
ROBERT H. GOSS

B-4.5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

DEFINITION:
TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

PURPOSE:
TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.

CONDITIONS WHERE PRACTICE APPLIES:
EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

CRITERIA:

1. GENERAL USE:
A. SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDNESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITION OR PURPOSE FOUND ON TABLE B.2. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.
2. ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAM BANKS, OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR RESTORATION: RECOMMENDED MIXTURE INCLUDES CERTIFIED KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.
3. FOR SITES HAVING SOIL TESTS PERFORMED, USE AND SHOW THE MIXTURES RECOMMENDED BY THE SOIL TESTING AGENCY.
4. FOR AREAS REQUIRING LOW MAINTENANCE, APPLY UREA FORM FERTILIZER (46-0-0) AT 1-1/2 POUNDS PER 1000 SQUARE FEET (50 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY.

2. TURFGRASS MIXTURES

1. AREAS WHERE TURFGRASSES MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE.
2. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.
3. KENTUCKY BLUEGRASS FULL SUN MIXTURE: FOR USE IN AREAS THAT RECEIVE INTENSIVE MAINTENANCE. IRRIGATION REQUIRED IN THE AREAS OF CENTRAL MARYLAND AND EASTERN SHORE. RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS CULTIVARS SEEDING RATE: 1.5 TO 2.0 POUNDS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.
4. KENTUCKY BLUEGRASS/PERENNIAL RYE FULL SUN MIXTURE: FOR USE IN FULL SUN AREAS WHERE RAPID ESTABLISHMENT IS NECESSARY AND WHICH WILL RECEIVE MEDIUM TO INTENSIVE MAINTENANCE. CERTIFIED KENTUCKY BLUEGRASS CULTIVARS/CERTIFIED PERENNIAL RYE SEEDING RATE: 2 POUNDS MIXTURE PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.
5. TALL FESCUE/KENTUCKY BLUEGRASS FULL SUN MIXTURE: FOR USE IN BROADCAST PLANT AREAS AND/OR FOR AREAS REQUIRING LOW TO MEDIUM MAINTENANCE IN FULL SUN TO RECEIVE MEDIUM TO INTENSIVE MAINTENANCE. CERTIFIED TALL FESCUE CULTIVARS 85 TO 100 PERCENT, CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 0 TO 5 PERCENT. SEEDING RATE: 5 TO 8 POUNDS PER 1000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE BLENDED.
6. KENTUCKY BLUEGRASS/PERENNIAL RYE FULL SUN MIXTURE: FOR USE IN AREAS WITH SHADE IN BLUEGRASS LAWNS. FOR ESTABLISHMENT IN HIGH QUALITY, INTENSIVELY MAINTAINED TURF AREA. MIXTURE INCLUDES: CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 30 TO 40 PERCENT AND CERTIFIED FINE FESCUE AND 60 TO 70 PERCENT. SEEDING RATE: 1 1/2 TO 3 POUNDS PER 1000 SQUARE FEET.

NOTES:
SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRICULTURE NEWS #77, "TURFGRASS CULTIVAR RECOMMENDATIONS FOR MARYLAND". CHOOSE CERTIFIED MATERIAL AS THE BEST QUALITY OF CULTIVAR PURITY. THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION, PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A PURE GENETIC LINE.

C. SOIL TESTS OF SEEDING FOR TURF GRASS MIXTURES

1. WESTERN MD: MARCH 1 TO MAY 15, AUGUST 1 TO OCTOBER 15 (HARDNESS ZONES: 5B, 6A)
2. CENTRAL MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDNESS ZONES: 6B)
3. SOUTHERN MD, EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDNESS ZONES: 7A, 7B)

D. TALL AREAS TO RECEIVE SEED BY BIRDS OR OTHER APPROVED METHODS TO A DEPTH OF 2 TO 4 INCHES. LEVEL AND RAKE THE AREAS TO PREPARE A PROPER SEEDBED. REMOVE STONES AND DEBRIS OVER 1/8 INCHES IN DIAMETER. THE RESULTING SEEDBED MUST BE IN SUCH CONDITION THAT FUTURE MOWING OF GRASSES WILL POSE NO DIFFICULTY.

E. SOIL MIXTURES TO BE SEEDING WITH AGRI-CHEM WATER FOR PLANT GROWTH (1/2 TO 1 INCH EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE) UNTIL THEY ARE FULLY ESTABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN THE PLANTING SEASON, IN ABNORMALLY DRY OR HOT SEASONS, OR ON ADVERSE SITES.

PERMANENT SEEDING SUMMARY

NO.	SPECIES	APPLICATION RATE (LB/AC)	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-20-20)			LIME RATE
					N	P ₂ O ₅	K ₂ O	
1	COOL SEASON ANNUAL PERENNIAL OR EQUAL	40 LB / AC	MAR 1 TO MAY 15 AUG 15 TO OCT 15	1/4" - 1/2"	45	90	90	2 TONS/AC (60 LB PER 1000 SF)
2	WARM SEASON PERENNIAL	30 LB / AC	MAY 16 TO JUL 31	0.5 IN.	438	18/AC (10 LB PER 1000 SF)	2 TONS/AC (60 LB PER 1000 SF)	

B. SOD TO PROVIDE QUICK COVER ON DISTURBED AREAS (21 GRADE OR FLATTER).

1. GENERAL SPECIFICATIONS

1. CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED. SOD LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR.
2. SOD MUST BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 3/4 INCH, PLUS OR MINUS 1/8 INCH, AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP GROWTH AND THATCH. BROKEN PADS AND TORN OR UNEVEN ENDS SHALL NOT BE ACCEPTED.
3. STANDARD SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SURFACES VERTICALLY WITH A FIRM GRASS AND ROOTS OVER 1 1/2 INCHES IN DIAMETER. THE RESULTING SEEDBED MUST BE IN SUCH CONDITION THAT FUTURE MOWING OF GRASSES WILL POSE NO DIFFICULTY.
4. SOD MUST BE HARVESTED OR TRANSPORTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL.
5. SOD MUST BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOD NOT TRANSPORTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRICULTURIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION.

2. SOD INSTALLATION

1. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOD.
2. LAY THE FIRST ROW OF SOD IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO IT AND TIGHTLY WEDGED AGAINST EACH OTHER. STAGGER LATERAL JOINTS TO PROVIDE MORE UNDERLYING GROWTH AND STRENGTH. ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TOGETH IN ORDER TO PREVENT WEAR WHICH WOULD CAUSE AIR DROPPING OF THE ROOTS.
3. WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERING JOINTS. ROLL AND TAMP. PEG OR OTHERWISE SECURE THE SOD TO PREVENT SLIPPING ON SLOPES. ENSURE SOLID CONTACT EXISTS BETWEEN ALL PIECES OF SOD WITHIN EACH ROW.
4. WATER THE SOD IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD WITHIN 48 HOURS.

3. SOD MAINTENANCE

1. IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUPERFICIALLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATER SOD DURING THE HEAT OF THE DAY TO PREVENT WILTING.
2. AFTER THE FIRST WEEK, SOD WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT.
3. DO NOT MOW UNTIL THE SOD IS FULLY ROOTED. NO MORE THAN 1/2 OF THE GRASS LEAF MUST BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A GRASS HEIGHT OF AT LEAST 3 INCHES UNLESS OTHERWISE SPECIFIED.

B-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

DEFINITION:
TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.

PURPOSE:
TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS.

CONDITIONS WHERE PRACTICE APPLIES:
EXPOSED SOILS WHERE GROUND COVER IS REQUIRED FOR A PERIOD OF 6 MONTHS OR LESS. FOR LONGER DURATION OF THE PERMANENT STABILIZATION PRACTICES ARE NEEDED.

CRITERIA:

1. SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR THE APPROPRIATE PLANT HARDNESS ZONE (FROM FIGURE B.3) AND ENTER HIGH IN THE TEMPORARY SEEDING SUMMARY BULOW ALONG WITH APPLICATION RATES, SEEDING DATES AND SEEDING DEPTHS. IF THIS SUMMARY IS NOT PUT ON THE PLAN AND COMPLETED, THEN TABLE B.1 PLUS FERTILIZER AND LIME TESTS MUST BE PUT ON THE PLAN.
2. FOR SITES HAVING SOIL TESTS PERFORMED, USE AND SHOW THE RECOMMENDED RATES BY THE TESTING AGENCY. SOIL TESTS ARE NOT REQUIRED FOR TEMPORARY SEEDING.
3. WHEN STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON, APPLY SEED AND MULCH OR STRAW MULCH ALONE AS PRESCRIBED IN SECTION B-4-3A.1.B AND MAINTAIN UNTIL THE NEXT SEEDING SEASON.

TEMPORARY SEEDING SUMMARY

NO.	SPECIES	APPLICATION RATE (LB/AC)	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-20-20)			LIME RATE
					N	P ₂ O ₅	K ₂ O	
1	COOL SEASON ANNUAL PERENNIAL OR EQUAL	40 LB / AC	MAR 1 TO MAY 15 AUG 15 TO OCT 15	0.5 IN.	438	18/AC (10 LB PER 1000 SF)	2 TONS/AC (60 LB PER 1000 SF)	
2	WARM SEASON PERENNIAL	30 LB / AC	MAY 16 TO JUL 31	0.5 IN.	438	18/AC (10 LB PER 1000 SF)	2 TONS/AC (60 LB PER 1000 SF)	

IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES:
WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 15 TO OCTOBER 15 (HARDNESS ZONES: 5b, 6a)
CENTRAL MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDNESS ZONES: 6b)
SOUTHERN MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDNESS ZONES: 7a, 7b)

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Signature: *[Signature]* DATE: 2-12-15

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: *[Signature]* DATE: 3-3-15

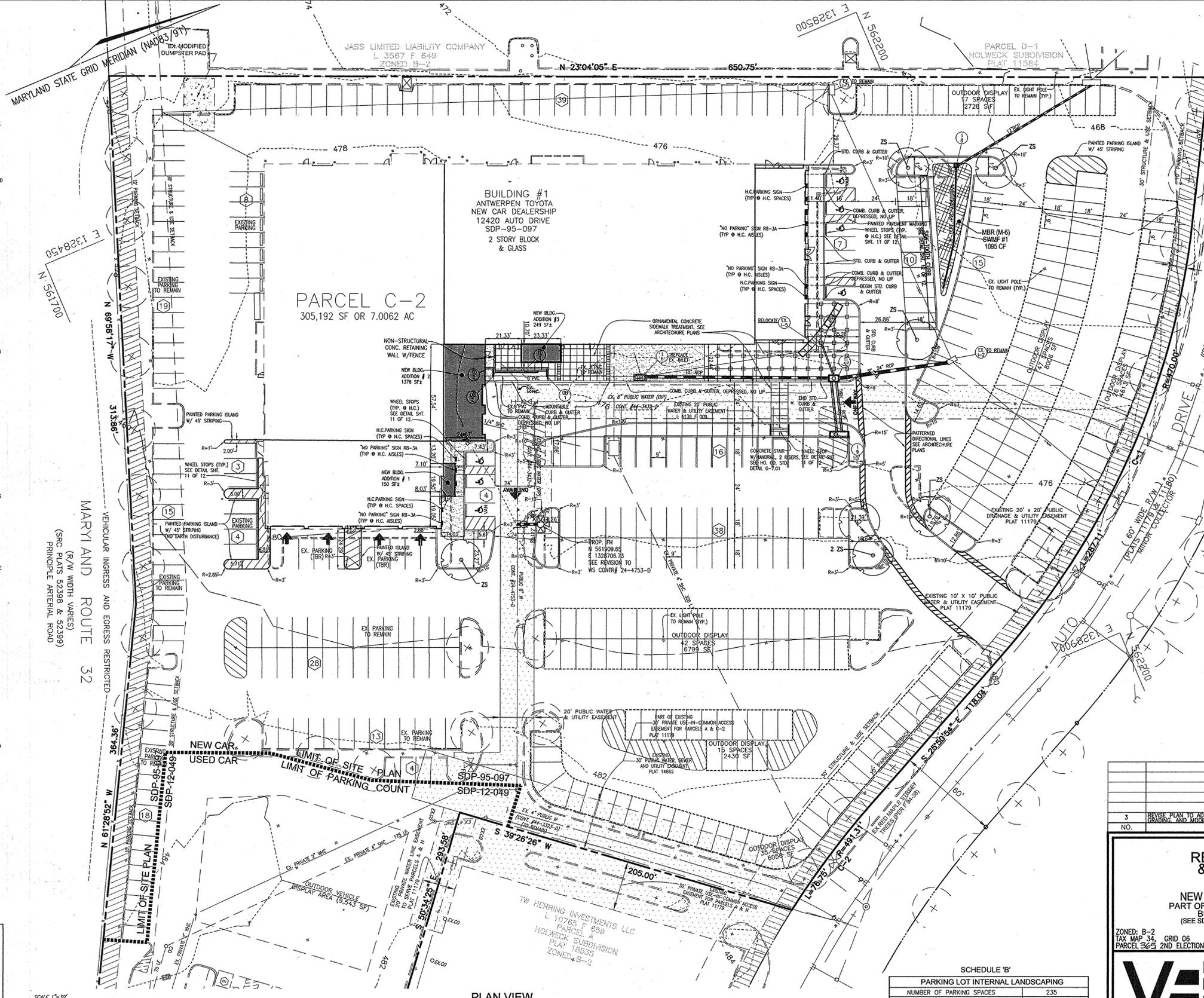
Chief, Division of Land Development: *[Signature]* DATE: 3-12-15

Director: *[Signature]* DATE: 2/12/15

BY THE DEVELOPER:

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR EROSION AND SEDIMENT CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

Signature of Developer: *[Signature]* DATE: 2-12-15



PLAN VIEW
SCALE: 1"=30'

NOTE:
SEE SHEET 12 FOR MICRO-BIOTRETENTION PLANTINGS, SWM CONSTRUCTION NOTES AND DETAILS

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: *[Signature]* DATE: 2/12/15

SCHEDULE 'B'

PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES	235
NUMBER OF TREES/ISLAND AREA REQUIRED	12 / 2400 SQ. FT.
NUMBER OF TREES/ISLAND AREA PROVIDED	12 / 2932 SQ. FT.
OTHER TREES (2:1 SUBSTITUTION)	0 / 0 SQ. FT.
SHRUBS (10:1 SUBSTITUTION)	147 / 5835 SQ. FT.

NOTE: PERIMETER LANDSCAPING WAS ADDRESSED UNDER ORIGINAL SDP. SEE SHEET 6 OF 12.

PARKING LOT INTERNAL LANDSCAPE SCHEDULE

SYMBOL	KEY	QUANTITY	BOTANICAL NAME	SIZE	REMARKS
ZS	7	ZELKOVA SERRATA	VILLAGE GREEN JAPANESE ZELKOVA	2 1/2" - 3" CAL.	B & B

LEGEND

- - - - - EXISTING CONTOUR
- - - - - PROPOSED CONTOUR
- ===== EXISTING CURB AND GUTTER
- ===== PROPOSED CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- - - - - EXISTING FENCE
- - - - - PROPERTY LINE
- - - - - RIGHT-OF-WAY LINE
- ▨ PROPOSED SIDEWALK
- ▨ EXISTING TREELINE
- ▨ PROPOSED TREELINE
- ▨ PROPOSED STORM DRAIN
- ▨ PROPOSED STORM DRAIN
- ▨ PROPOSED MICRO-BIOTRETENTION
- PROPOSED SHADE TREE

LANDSCAPE NOTES:

1. THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, PLANT MATERIALS, BERM, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
2. AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS LISTED HERETHIN AND APPROVED FOR THIS SITE SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR REPLACEMENT OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.
3. THE REMOVAL OF TREES 3" OR GREATER DBH IS PROHIBITED WITH OUT COUNTY APPROVAL.
4. NO LANDSCAPING TO BE INSTALLED WITHIN ANY PUBLIC EASEMENT FOR WATER, SEWER, OR STORMWATER.
5. ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, CONFORM TO THE MOST CURRENT ANS SPECIFICATIONS AND BE INSTALLED IN ACCORDANCE WITH HRP PLANTING SPECIFICATIONS.
6. CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
7. FINAL LOCATION OF PLANT MATERIAL MAY NEED TO VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.
8. CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLANT DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.
9. ANY EXISTING PERIMETER LANDSCAPING DISTURBED DURING CONSTRUCTION SHALL BE REPLACED WITH THE SAME SPECIES OR APPROVED EQUAL.

OWNER/DEVELOPER

ANTOY LLC
12420 AUTO DRIVE
CLARKSVILLE, MD 21029
(410) 531-5700

3	REVISE PLAN TO ADD 1,817 SF BLDG ADDITIONS, REVISE SWM AND ASSOCIATED GRADING AND MODIFY SITE DESIGN	06-04-14
NO.	REVISION	DATE

**REVISED SITE DEVELOPMENT PLAN
RENOVATION LAYOUT
& LANDSCAPE PLAN**

ANTWERPEN TOYOTA
NEW CAR AUTOMOBILE DEALERSHIP
PART OF PARCEL C-2, HOLWECK SUBDIVISION
BUILDING #12420 DRIVE
(SEE SDP-12-049 FOR BUILDING #2 USED CAR FACILITY)
DPZ REF: SEE GENERAL NOTE #5, SHEET 1

ZONED: B-2
TAX MAP 34, GRID 06
PARCEL 365, 2ND ELECTION DISTRICT

F-12-096
PLAT # 22450
HOWARD COUNTY, MARYLAND

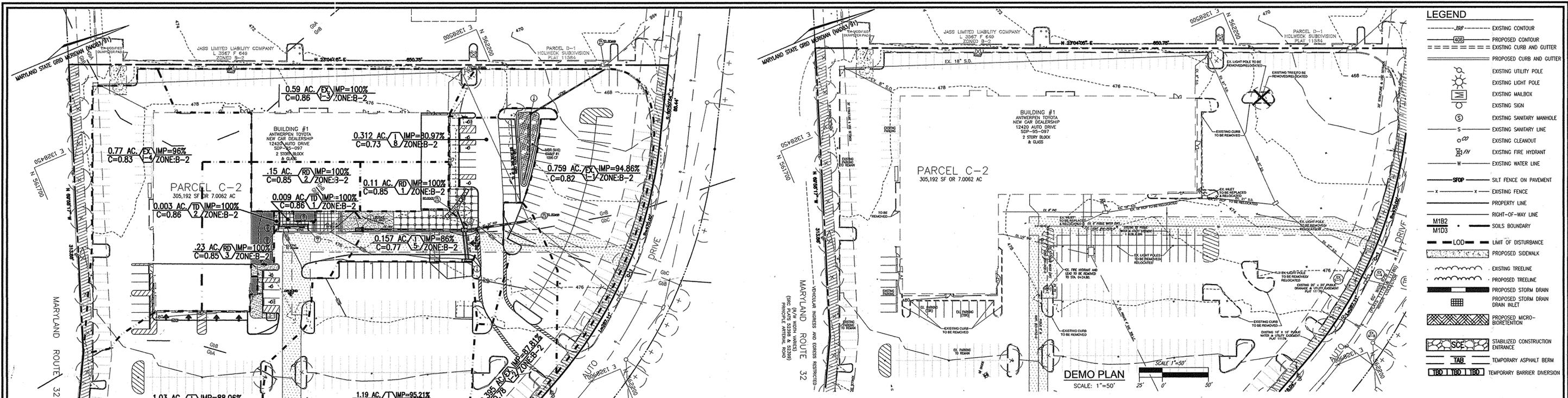
ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET
ELICOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8961

PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2014.

DESIGN BY: GAH
DRAWN BY: GAH
CHECKED BY: RHV
DATE: JULY, 2014
SCALE: AS SHOWN
W.O. NO.: 06-16

9 SHEET OF 12



LEGEND	
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING CURB AND GUTTER
	PROPOSED CURB AND GUTTER
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING MAILBOX
	EXISTING SIGN
	EXISTING SANITARY MANHOLE
	EXISTING SANITARY LINE
	EXISTING CLEANOUT
	EXISTING FIRE HYDRANT
	EXISTING WATER LINE
	EXISTING FENCE ON PAVEMENT
	EXISTING FENCE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	SOILS BOUNDARY
	LOD - LIMIT OF DISTURBANCE
	M1B2 - PROPOSED SIDEWALK
	M1B3 - PROPOSED TREE LINE
	PROPOSED STORM DRAIN
	PROPOSED STORM DRAIN INLET
	PROPOSED MICRO-BIORETENTION
	SCE - STABILIZED CONSTRUCTION ENTRANCE
	TAB - TEMPORARY ASPHALT BERM
	T1B1, T1B2, T1B3 - TEMPORARY BARRIER DIVERSION

Table B-1: Temporary Seeding for Site Stabilization

Plant Species	Seeding Rate ¹ (lb/acre)	Seeding Depth ² (inches)	Recommended Seeding Dates by Plant Hardiness Zone ³
Cool-Season Grasses			
Annual Ryegrass (<i>Lolium perenne</i>)	40	1.0	Mar 15 to May 31; Aug 1 to Sep 30
Annual Ryegrass (<i>Lolium perenne</i>)	40	1.0	Mar 15 to May 31; Aug 1 to Sep 30
Perennial Ryegrass (<i>Lolium perenne</i>)	90	2.0	Mar 15 to May 31; Aug 1 to Sep 30
Orchard Grass (<i>Dactylis glomerata</i>)	72	1.7	Mar 15 to May 31; Aug 1 to Sep 30
Wheat (<i>Triticum aestivum</i>)	120	2.0	Mar 15 to May 31; Aug 1 to Sep 30
Corral Ryegrass (<i>Lolium perenne</i>)	112	2.8	Mar 15 to May 31; Aug 1 to Sep 30
Warm-Season Grasses			
Florida Millet (<i>Echinochloa polystachya</i>)	30	0.7	Jun 1 to Jul 31
Parrot Grass (<i>Stenotaphrum secundatum</i>)	30	0.5	Jun 1 to Jul 31

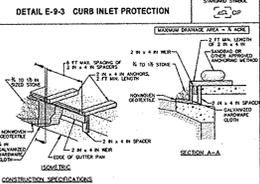
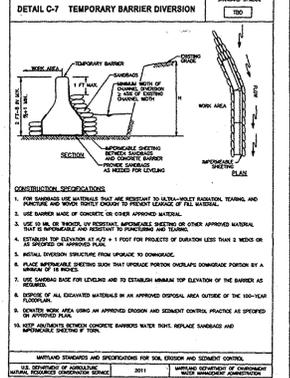
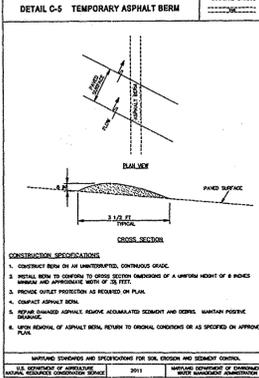
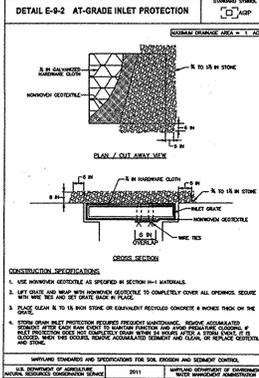
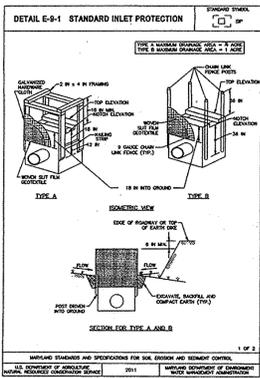
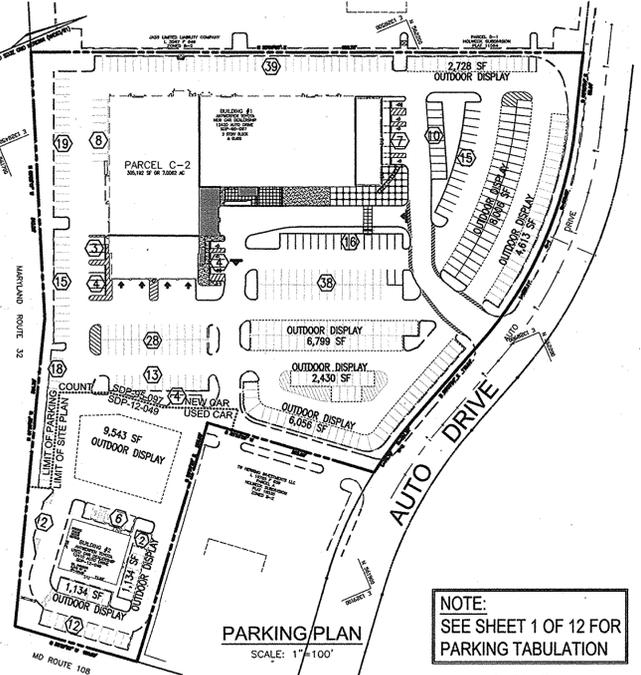


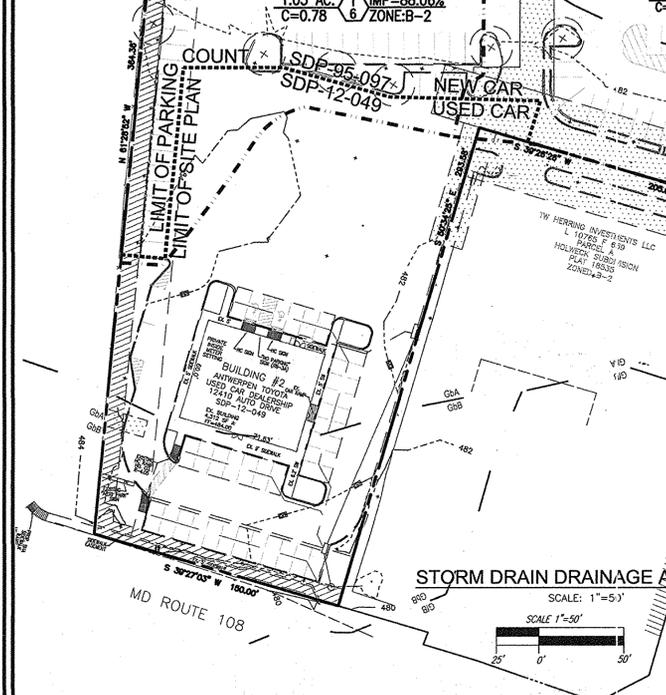
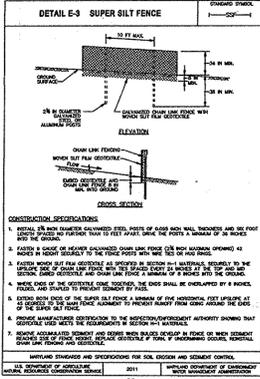
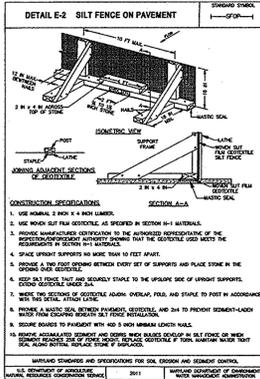
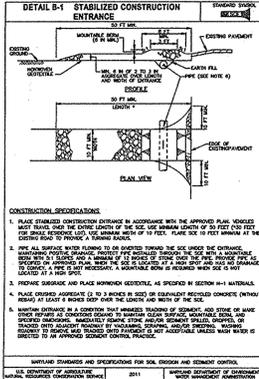
Table B-1: Temporary Seeding for Site Stabilization (continued)

NOTES:

- Seeding rates for the warm-season grasses are in pounds of Pure Live Seed (PLS). Actual planting rates shall be adjusted to reflect percent germination and purity in stock. Adjustments are made by multiplying the seed rate by the germination percentage and the purity percentage.
- Seeding depth listed above is for temporary seeding, when planted alone. When planted as a nurse crop with permanent seed mix, use 1/2 of the seeding rate listed above for the nurse crop, and 1/2 of the seeding rate listed above for the permanent seed mix. For cool-season grasses, use 1/2 of the seeding rate listed above for the nurse crop, and 1/2 of the seeding rate listed above for the permanent seed mix. For warm-season grasses, use 1/2 of the seeding rate listed above for the nurse crop, and 1/2 of the seeding rate listed above for the permanent seed mix.
- Use the following table to determine the recommended seeding dates for the various plant species. Consult your local extension agent for more information on the recommended seeding dates for the various plant species.
- Use the following table to determine the recommended seeding rates for the various plant species. Consult your local extension agent for more information on the recommended seeding rates for the various plant species.



NOTE:
SEE SHEET 1 OF 12 FOR
PARKING TABULATION



SCALE: 1"=50'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 3-3-15
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 3-12-15
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 3/12/15
DIRECTOR DATE

BY THE DEVELOPER:

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 2-12-15
SIGNATURE OF DEVELOPER DATE

BY THE ENGINEER:

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 2/26/15
SIGNATURE OF ENGINEER DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 2/26/15
HOWARD S.C.D. DATE

OWNER/DEVELOPER
ANTWERPEN TOYOTA
12420 AUTO DRIVE
CLARKSBURG, MD 21029
(410) 531-5700

NO.	REVISION	DATE
3	REVISE PLAN TO ADD 1,817 SF BLDG ADDITIONS, REVISE SWM AND ASSOCIATED GRADING, AND MODIFY SITE DESIGN	06-04-14

REVISED SITE DEVELOPMENT PLAN
RENOVATION DRAINAGE AREA MAP,
DEMOLITION PLAN & PARKING PLAN
ANTWERPEN TOYOTA
NEW CAR AUTOMOBILE DEALERSHIP
PART OF PARCEL 'C-2', HOLWECK SUBDIVISION
BUILDING #1 - 12420 AUTO DRIVE
(SEE SDP-12-049 FOR BUILDING #2 USED CAR FACILITY)
DPZ REF'S: SEE GENERAL NOTE #5, SHEET 1

ZONED: B-2
GRID 06
TAX MAP 34
PARCEL 303, 2ND ELECTION DISTRICT

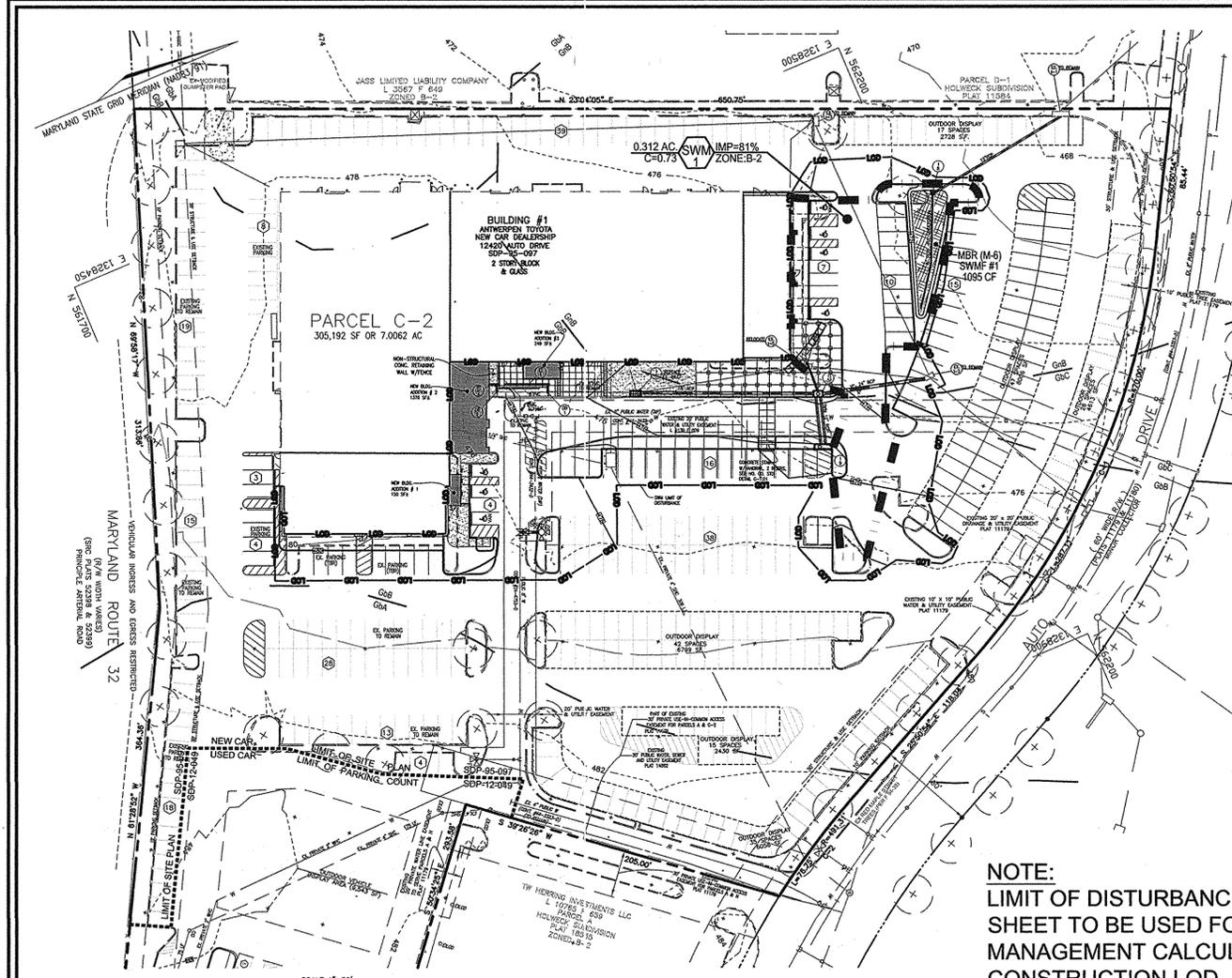
F-12-098
PLAT # 22450
HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET
ELICOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8961

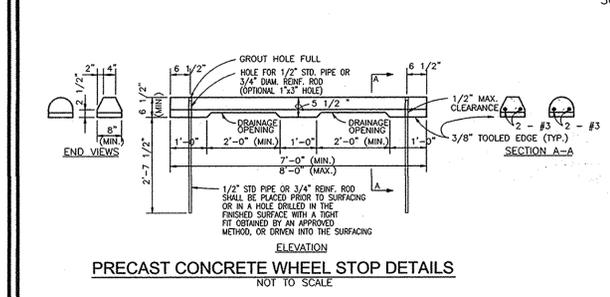
PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2014.

DESIGN BY: GAH
DRAWN BY: GAH
CHECKED BY: RLV
DATE: JULY, 2014
SCALE: AS SHOWN
W.O. NO.: 06-15

11 SHEET OF 12



SWM DRAINAGE AREA MAP
SCALE: 1" = 50'



PRECAST CONCRETE WHEEL STOP DETAILS
NOT TO SCALE

SYMBOL	NAME / DESCRIPTION	GROUP
GbA	GLADSTONE LOAM, 0 TO 3 PERCENT SLOPES	B
GbB	GLADSTONE LOAM, 3 TO 8 PERCENT SLOPES	B
GbC	GLADSTONE LOAM, 8 TO 15 PERCENT SLOPES	B
GbD	GLADSTONE URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	B
GbE	GLENVILLE BAILE SILT LOAM, 0 TO 8 PERCENT SLOPES	C

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Signature of Developer: *[Signature]* DATE: 2-18-15

DRAINAGE AREA #	AREA TREATED	FACILITY NUMBER	ENVIRONMENTAL SITE DESIGN PRACTICE									
			A-2 PERMEABLE PAVEMENT	ADDITIONAL STONE UNDER PAVEMENT	M-3 LANDSCAPE INFILTRATION	A-2 PERVIOUS SIDEWALK	M-8 BIO SWALE	M-2 GRAVEL WETLAND	M-6 MICRO BIO RETENTION	ADDITIONAL STONE UNDER MICRO BIO	ESDv VOLUME	
1	13599	SWM#1	0	0	0	0	0	0	0	1095	0	1095
SUBTOTAL 1			0	0	0	0	0	0	0	1095	0	1095
TOTALS:			0	0	0	0	0	0	0	1095	0	1095
TOTAL AREA			TOTAL ESDv PROVIDED									
13599 SF			1095									
0.31 AC												

BY THE DEVELOPER:
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

Signature of Developer: *[Signature]* DATE: 2-18-15

BY THE ENGINEER:
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signature of Engineer: *[Signature]* DATE: 2/18/15

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: *[Signature]* DATE: 2/26/15

APPENDIX B.4.C SPECIFICATIONS FOR MICRO-BIORETENTION, RAIN GARDEN, LANDSCAPE INFILTRATION & INFILTRATION BERMS

1. MATERIAL SPECIFICATIONS
THE ALLOWABLE MATERIALS TO BE USED IN THESE PRACTICES ARE DETAILED IN TABLE B.4.1.

2. FILTERING MEDIA OR PLANTING SOIL
THE SOIL SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES. NO ORGANIC MATERIALS SHALL BE MIXED WITH THE MICRO-BIORETENTION PRACTICE THAT MAY BE HARMFUL TO PLANT GROWTH, OR PROVIDE A HINDRANCE TO THE PLANTING OR MAINTENANCE OPERATIONS. THE PLANTING SOIL SHALL BE FREE OF BERBERIS, GRASS, CRACKS, JOINTS, OR OTHER UNDESIRABLE WEEDS AS SPECIFIED UNDER 15.08.01.05. THE PLANTING SOIL SHALL BE TESTED AND SHALL MEET THE FOLLOWING CRITERIA:
• SOIL COMPONENT - LOAMY SAND OR SANDY LOAM (USDA SOIL TEXTURAL CLASSIFICATION)
• ORGANIC CONTENT - MINIMUM 10% BY DRY WEIGHT (ASTM D 2014). IN GENERAL, THIS CAN BE MET WITH A MIXTURE OF PLANTING SAND (50% - 60%) AND COMPOST (50% TO 40%) OR SANDY LOAM (50%, COURSE SAND (30%), AND COMPOST (40%).
• CLAY CONTENT - MEDIA SHALL HAVE A CLAY CONTENT OF LESS THAN 2%.
• PH RANGE - SHOULD BE BETWEEN 5.5 - 7.0. AMMONIUM (E.G., URE, IRON SULFATE PLUS SULFUR) MAY BE ADDED TO THE SOIL TO INCREASE OR DECREASE PH.
THERE SHALL BE AT LEAST ONE SOIL TEST PER PRACTICE. EACH TEST SHALL CONSIST OF BOTH THE STANDARD SOIL TEST FOR PH AND ADDITIONAL TESTS OF ORGANIC MATTER, AND SOLUBLE SALTS. A TEXTURAL ANALYSIS IS REQUIRED FROM THE SITE STOCKPILED TOPSOIL. IF TOPSOIL IS IMPORTED, THEN A TEXTURE ANALYSIS SHALL BE PERFORMED FOR EACH LOCATION WHERE THE TOPSOIL WAS EXCAVATED.

3. COMPACTION
IT IS VERY IMPORTANT TO MINIMIZE COMPACTION OF BOTH THE BASE OF BIORETENTION PRACTICES AND THE REQUIRED BACKFILL. WHEN POSSIBLE, USE EXCAVATION HOES TO REMOVE ORIGINAL SOIL. IF PRACTICES ARE EXCAVATED USING LOADERS, THE CONTRACTOR SHOULD USE WIDE TRACK OR WASH TRACK EQUIPMENT, OR LIGHT EQUIPMENT WITH TURF TIRE. USE OF EQUIPMENT WITH NARROW TRACKS OR NARROW TIRES, RUBBER TIRES, OR HIGH-PRESSURE TIRES WILL CAUSE EXCESSIVE COMPACTION RESULTING IN REDUCED INFILTRATION RATES AND IS NOT ACCEPTABLE. COMPACTION WILL SIGNIFICANTLY CONTRIBUTE TO DESIGN FAILURE.
COMPACTION CAN BE ALLEVIATED AT THE BASE OF THE BIORETENTION FACILITY BY USING A PRIMARY TILLING OPERATION SUCH AS CHISEL, PLOW, RIPPER, OR SUBSOILER. THESE TILLING OPERATIONS ARE TO REFRACTURE THE SOIL PROFILE THROUGH THE 12 INCH COMPACTION ZONE. SUBSTITUTE METHODS MUST BE APPROVED BY THE ENGINEER. ROTOTILLERS TYPICALLY DO NOT TILL DEEP ENOUGH TO REDUCE THE EFFECTS OF COMPACTION FROM HEAVY EQUIPMENT.
ROTOTILL 2 TO 3 INCHES OF SAND INTO THE BASE OF THE BIORETENTION FACILITY BEFORE BACKFILLING THE ORIGINAL SAND LAYER. PUMP ANY PONDED WATER BEFORE PREPARING (ROTOTILLING) BASE. WHEN BACKFILLING THE TOPSOIL OVER THE SAND LAYER, FIRST PLACE 3 TO 4 INCHES OF TOPSOIL OVER THE SAND, THEN ROTOTILL THE SAND/TOPSOIL TO CREATE A GRADATION ZONE. BACKFILL THE REMAINDER OF THE TOPSOIL TO FINAL GRADE. WHEN BACKFILLING THE BIORETENTION FACILITY, PLACE SOIL IN LIFTS 12" TO 16". DO NOT USE HEAVY EQUIPMENT WITHIN THE BIORETENTION BASIN. HEAVY EQUIPMENT CAN BE USED AROUND THE PERIMETER OF THE BASIN TO SUPPLY SOILS AND SAND. GRADE BIORETENTION MATERIALS WITH LIGHT EQUIPMENT SUCH AS A COMPACT LOADER OR A DOZER/LOADER WITH WASH TRACKS.

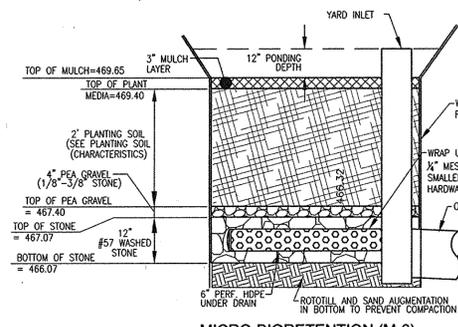
4. PLANT MATERIAL
RECOMMENDED PLANT MATERIAL FOR MICRO-BIORETENTION PRACTICES CAN BE FOUND IN APPENDIX A, SECTION A.2.3.

5. PLANT INSTALLATION
COMPOST IS A BETTER ORGANIC MATERIAL SOURCE, IS LESS LIKELY TO FLOAT, AND SHOULD BE PLACED IN THE INVERT AND OTHER LOW AREAS. MULCH SHOULD BE PLACED IN SUBORDINATE TO A UNIFORM THICKNESS OF 2" TO 3". SPREADER OR CHIPPED HARDWOOD MULCH IS THE ONLY ACCEPTED MULCH. FINE MULCH AND MULCH CHIPS WILL FLOW AND MOVE TO THE PERIMETER OF THE BIORETENTION AREA DURING A STORM EVENT AND ARE NOT ACCEPTABLE. SHREDED MULCH MUST BE WELL AIDED (6 TO 12 MONTHS) FOR ACCEPTANCE. ROOTS OF THE PLANT MATERIAL SHALL BE KEPT MOIST DURING TRANSPORT AND ON-SITE STORAGE. THE PLANT ROOT BALL SHOULD BE PLANTED SO 1/3RDS OF THE BALL IS ABOVE FINAL GRADE SURFACE. THE DIAMETER OF THE PLANTING PIT SHALL BE AT LEAST SIX INCHES LARGER THAN THE DIAMETER OF THE PLANTING BALL SET AND MAINTAIN THE PLANT STRAIGHT DURING THE ENTIRE PLANTING PROCESS. THOROUGHLY WATER GROUND BED COVER AFTER INSTALLATION. TREES SHALL BE BRACED USING 2" BY 2" STAKES ONLY AS NECESSARY AND FOR THE FIRST GROWING SEASON ONLY. BRACING SHOULD BE REMOVED ON THE OUTSIDE OF THE TREE BALL. GRASSES AND LEANING SEED SHOULD BE ORILLED INTO THE SOIL TO A DEPTH OF AT LEAST ONE INCH. GRASS AND LEANING PLANTS SHALL BE PLANTED FOLLOWING THE BIORETENTION FACILITY. PLANTING MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING. ACCEPTABLE REPLACEMENT PLANT MATERIAL IS LIMITED TO THE FOLLOWING: 2000 MARYLAND STORMWATER DESIGN MANUAL VOLUME II, TABLE A.4.1 AND 2.
THE OWNER SHALL MAINTAIN THE PLANT MATERIAL, MULCH LAYER AND SOIL LAYER ANNUALLY. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING. ACCEPTABLE REPLACEMENT PLANT MATERIAL IS LIMITED TO THE FOLLOWING: 2000 MARYLAND STORMWATER DESIGN MANUAL VOLUME II, TABLE A.4.1 AND 2.
2. THE OWNER SHALL PERFORM A PLANT IN THE SPRING AND IN THE FALL OF EACH YEAR. DURING THE INSPECTION, THE OWNER SHALL REMOVE DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT, REPLACE DEAD PLANT MATERIAL WITH ACCEPTABLE REPLACEMENT PLANT MATERIAL, TREAT DISEASED TREES AND SHRUBS, AND REPLACE ALL DEFICIENT STAKES AND WIRES.
3. THE OWNER SHALL INSPECT THE MULCH EACH SPRING. THE MULCH SHALL BE REPLACED EVERY TWO TO THREE YEARS. THE PREVIOUS MULCH LAYER SHALL BE REMOVED BEFORE THE NEW LAYER IS APPLIED.
4. THE OWNER SHALL CORRECT SOIL EROSION ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER EACH HEAVY STORM.

6. UNDERDRAINS
UNDERDRAINS SHOULD MEET THE FOLLOWING CRITERIA:
• PIPE - SHOULD BE 4" TO 6" DIAMETER, SLOTTED OR PERFORATED RIGID PLASTIC PIPE (ASTM F756, TYPE PS 28, OR AASHTO M-278) IN A GRAVEL LAYER. THE PREFERRED MATERIAL IS SLOTTED, 4" RIGID PIPE (E.G., PVC OF HOPE).
• PERFORATIONS - IF PERFORATED PIPE IS USED, PERFORATIONS SHOULD BE 3/8" DIAMETER LOCATED 6" ON CENTER WITH A MINIMUM OF FOUR HOLES PER RING. PIPE SHALL BE WRAPPED WITH A 1/4" (NO. 4 OR 6) GALVANIZED HARDWARE CLOTH.
• GRAVEL - THE GRAVEL LAYER (NO. 57 STONE PREFERRED) SHALL BE AT LEAST 3" THICK ABOVE AND BELOW THE UNDERDRAIN.
• THE MAIN COLLECTOR PIPE SHALL BE AT A MINIMUM 0.5% SLOPE.
• A RIGID, NON-PERFORATED OBSERVATION WELL MUST BE PROVIDED (ONE PER EVERY 1,000 SQUARE FEET) TO PROVIDE A CLEAN-OUT POINT AND MONITOR PERFORMANCE OF THE FILTER.
• A 4" LAYER OF PEA GRAVEL (1/8" TO 3/8" STONE) SHALL BE LOCATED BETWEEN THE FILTER MEDIA AND UNDERDRAIN TO PREVENT MIGRATION OF FINES. IN TO THE UNDERDRAIN. THIS LAYER MAY BE CONSIDERED PART OF THE FILTER BED WHEN BED THICKNESS EXCEEDS 24".
THE MAIN COLLECTOR PIPE FOR UNDERDRAIN SYSTEMS SHALL BE CONSTRUCTED AT A MINIMUM SLOPE OF 0.5% OBSERVATION WELLS AND/OR CLEAN-OUT. PIPES MUST BE PROVIDED (ONE MINIMUM PER EVERY 1000 SQUARE FEET OF SURFACE AREA).

7. MISCELLANEOUS
THESE PRACTICES MAY NOT BE CONSTRUCTED UNTIL ALL CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.

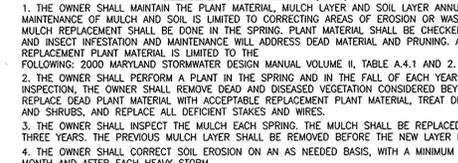
NOTE:
LIMIT OF DISTURBANCE SHOWN ON THIS SHEET TO BE USED FOR STORMWATER MANAGEMENT CALCULATIONS ONLY. FOR CONSTRUCTION LOD, SEE SHEET 10 OF 12.



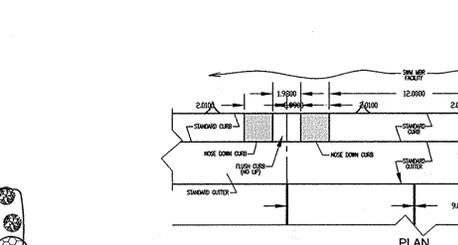
MICRO-BIORETENTION (M-6)
NOT TO SCALE

OPERATION AND MAINTENANCE SCHEDULE FOR LANDSCAPE INFILTRATION (M-3), MICRO-BIORETENTION (M-6), RAIN GARDENS (M-7), BIORETENTION SWALE (M-8), AND ENHANCED FILTERS (M-9)

1. THE OWNER SHALL MAINTAIN THE PLANT MATERIAL, MULCH LAYER AND SOIL LAYER ANNUALLY. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING. ACCEPTABLE REPLACEMENT PLANT MATERIAL IS LIMITED TO THE FOLLOWING: 2000 MARYLAND STORMWATER DESIGN MANUAL VOLUME II, TABLE A.4.1 AND 2.
2. THE OWNER SHALL PERFORM A PLANT IN THE SPRING AND IN THE FALL OF EACH YEAR. DURING THE INSPECTION, THE OWNER SHALL REMOVE DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT, REPLACE DEAD PLANT MATERIAL WITH ACCEPTABLE REPLACEMENT PLANT MATERIAL, TREAT DISEASED TREES AND SHRUBS, AND REPLACE ALL DEFICIENT STAKES AND WIRES.
3. THE OWNER SHALL INSPECT THE MULCH EACH SPRING. THE MULCH SHALL BE REPLACED EVERY TWO TO THREE YEARS. THE PREVIOUS MULCH LAYER SHALL BE REMOVED BEFORE THE NEW LAYER IS APPLIED.
4. THE OWNER SHALL CORRECT SOIL EROSION ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER EACH HEAVY STORM.



SAWTOOTH SWM CURB DETAIL ADJACENT TO MICRO-BIORETENTION
NOT TO SCALE



BIORETENTION PLANTING LAYOUT
N.T.S.

KEY	BOTANICAL NAME/COMMON NAME	SIZE	REMARKS	MBR 1	MBR 2
1	ILEX GLABRA INKBERRY	3 GALLON	CONT	3	2
2	VACCINIUM CORYMBOSUM HIGHBUSH BLUEBERRY	3 GALLON	CONT	4	5
3	LOBELIA SIPHILITICA GREAT BLUE LOBELIA	3 GALLON	CONT	6	7

A MINIMUM DENSITY OF 1000 STEMS PER PLANTED BIORETENTION AREAS ARE TO BE PLANTED BASED ON ACRE (10229 STEMS PER SQUARE FOOT). ABOVE PLANTING RATIOS ARE TO BE APPLIED TO THE AREAS PROVIDED IN THE ESDv SUMMARY. ROUND UP FOR QUANTITY.

BIORETENTION PLANTING SCHEDULE NOTES:

- ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, CONFORM TO THE MOST CURRENT AAS SPECIFICATIONS AND BE INSTALLED IN ACCORDANCE WITH HRD PLANTING SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
- FINAL LOCATION OF PLANT MATERIAL MAY VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.
- CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLAN DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.

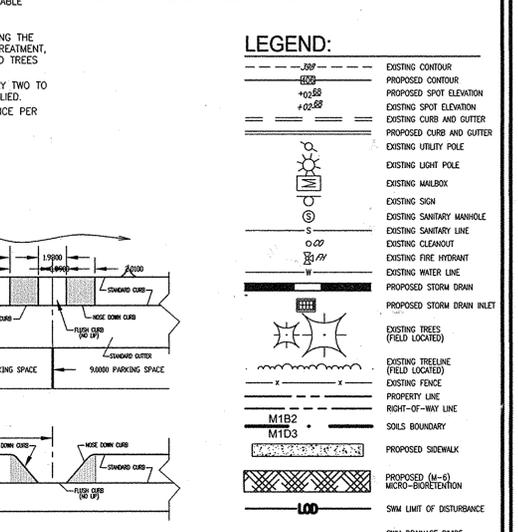
Pe = 1.00
ESDv = (PexRvxA)/12
Rv = 0.05 + 0.009Xr
V min = 1.0" rainfall (1.0xRvxA)/12
V max = 1yr rainfall = 2.6" (2.6xRvxA)/12

DA	% IMPERV	Rv	DA	ESDv	MINIMUM REQ. VOLUME	MAXIMUM VOLUME PROVIDED	VOLUME PROVIDED	IMPERV AREA	GREEN AREA	
1	82	0.79	0.31	890	890	2315	1095	0.255	0.057	
TOTAL ESDv BY SUBAREA					890	890	2315	1095	0.255	0.057

*Bio-retention utilized in each subarea at the rate of 75%.

HOWARD SOIL CONSERVATION DISTRICT STANDARD SEDIMENT CONTROL NOTICES

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (410) 313-1855.
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE. PERPETUATION OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN A 3 CALENDAR DAYS FOR ALL PERMETER STRUCTURES, DICES, PERMETER SLOPES AND ALL SLOPES GREATER THAN 3:1. 7 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEDIMENT (SEC. B-4-3). TEMPORARY STABILIZATION (SEC. B-4-4) AND MULCHING, (SEC. B-4-3). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED WHEN SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION OR ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITTAL FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:
TOTAL AREA OF SITE: 7.0062 ACRES
AREA DISTURBED: 1.55 ACRES
AREA TO BE ROOFED OR PAVED: 1.42 ACRES
AREA TO BE VEGETATIVELY STABILIZED: 0.13 ACRES
TOTAL CUT: 1055 CU. YDS.
TOTAL FILL: 382 CU. YDS.
TO BE DETERMINED
OFFSITE WASTE/BORROW LOCATION: TO BE DETERMINED
- ANY SEDIMENT CONTROL PRACTICE THAT IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE. ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREA IN EXCESS OF 2.0 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION. PERMETER EROSION AND SEDIMENT CONTROL, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PILE LENGTHS OR THAT WHICH SHALL BE BACK-FILL AND STABILIZED BY THE END OF EACH WORK DAY.
- ANY CHANGES OR REVISIONS TO THE SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE PLAN REVIEWING AUTHORITY PRIOR TO PROCEEDING WITH CONSTRUCTION.
- A PROJECT IS TO BE SEQUENCED SO THAT GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM AVERAGE OF 20 ACRES PER GRADING UNIT) AT A TIME. WORK PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE ENFORCEMENT AUTHORITY. UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE APPROVAL AUTHORITY, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURB.



LEGEND

OWNER/DEVELOPER
ANTOY LLC
12420 AUTO DRIVE
CLARKSVILLE, MD 21029
(410) 531-5700

NO.	REVISION	DATE
3	REVISE PLAN TO ADD 1,817 SF BLDG ADDITIONS, REVISE SWM AND ASSOCIATED GRADING AND MODIFY SITE DESIGN	06-04-14

REVISED SITE DEVELOPMENT PLAN

RENOVATION STORMWATER MANAGEMENT DRAINAGE AREA MAP, NOTES AND DETAILS

ANTWERPEN TOYOTA
NEW CAR AUTOMOBILE DEALERSHIP
PART OF PARCEL C-2, HOLWICK SUBDIVISION
(SEE SDP# 049 FOR BUILDING AND OFFICE FACILITY)
DPZ REF'S: SEE GENERAL NOTE #5, SHEET 1
F-12-998
PLAT # 22450
HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET
ELLICOTT CITY, MD 21043
TEL: 410-461-7666
FAX: 410-461-1861

DESIGN BY: GAH
DRAWN BY: GAH
CHECKED BY: RRV
DATE: JULY, 2014
SCALE: AS SHOWN
W.O. NO.: 06-16

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193
EXPIRATION DATE: 09-27-2014

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