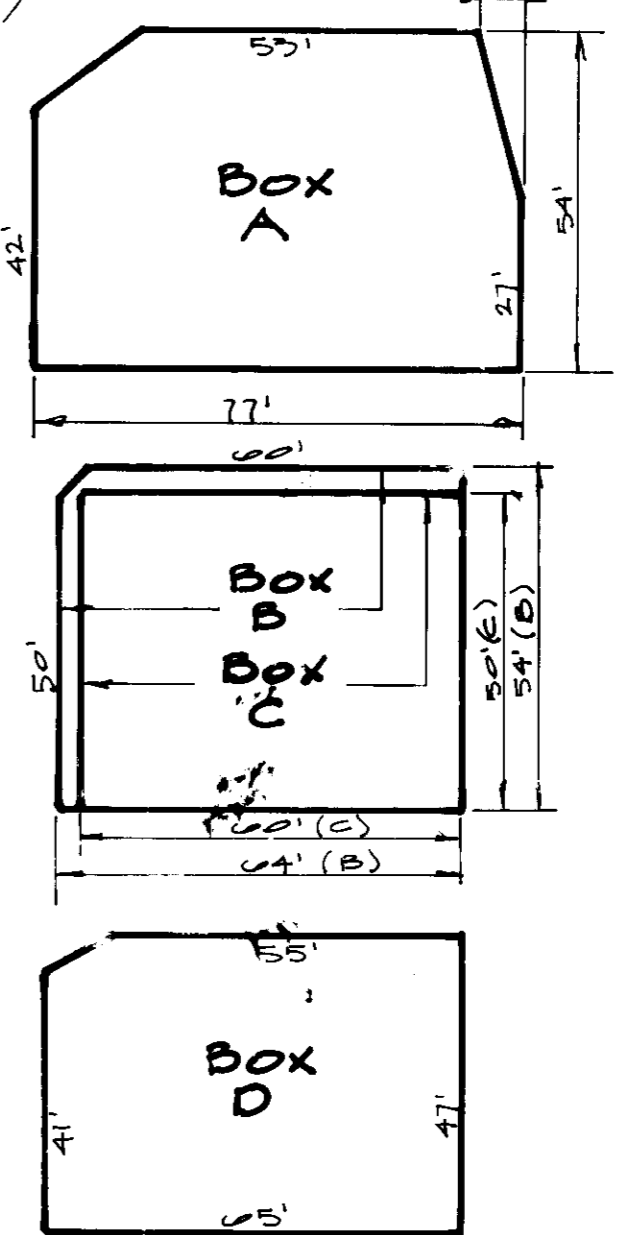


VICINITY MAP
SCALE: 1"=1200'

- GENERAL NOTES
- The contractor shall notify the Department of Public Works/Bureau of Construction at (410) 313-1880 at least five (5) working days prior to the start of work.
 - The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
 - See also Howard County Recs. S-87-29, P-87-68, (Approved 2/2/89) W-89-82, W-87-167, F-90-106 and F-90-114.
 - Boundary from Plat No. 11291, 11294, 11295, 11477 and 11478. Topo (2 ft. contour interval) from F-90-106/114 and Topo prepared by Photogrammetric Data Services, Inc. in 1986.
 - Horizontal and vertical control datum is based on Howard County Geodetic Control Station 1343001 and 1343002. (See location on Vicinity Map.)
 - Any damage to County owned right-of-way will be repaired at the developer's expense.
 - Existing utilities were located from existing road construction and drawings (F-90-106/114) and existing water and sewer contract. (14-3037-D and 14-3067-D)
 - Site analysis:
 - This project is Zoned R-20.
 - Total area of buildable lots: 11.71 Ac.±
 - Limit of submission area: 11.71 Ac.±
 - Total number buildable lots: 27 (23-35, 59-65, 77-79 and 123-126)
 - The private conservation easement shown herein is subject to covenants and restriction as set forth in the easement documents to be recorded among the Land Records of Howard County, Maryland (L. F. I.).
 - All fireplace chimneys and bay windows not more than 10 feet in width may project no more than 4 feet into any required yard in accordance with Section 128 of the Zoning Regulations.
 - The wetland and stream buffers indicated on this plan does not affect the initial construction of a residential unit on a lot. They do prohibit subsequent clearing, grading or construction in the buffer area maintenance of residences, landscaping and utilities is permitted.
 - SWM provided by public facility per F-90-106/114.
 - The HOA is responsible for the maintenance of the retaining wall.



House Type	Box Type				Mean Height
	A	B	C	D	
Belmont	✓	✓	✓	✓	20'±
Durham	✓	✓	✓	0	20'±
Georgetown	✓	0	0	0	20'±
Kingsmill	✓	✓	0	0	22'±
Pinchurst	✓	✓	0	0	24'±
Potomac	✓	✓	✓	✓	20'±
Richmond	✓	✓	✓	✓	20'±
Yorktown	✓	0	0	0	25'±
New House #1	1	1	1	1	25'±

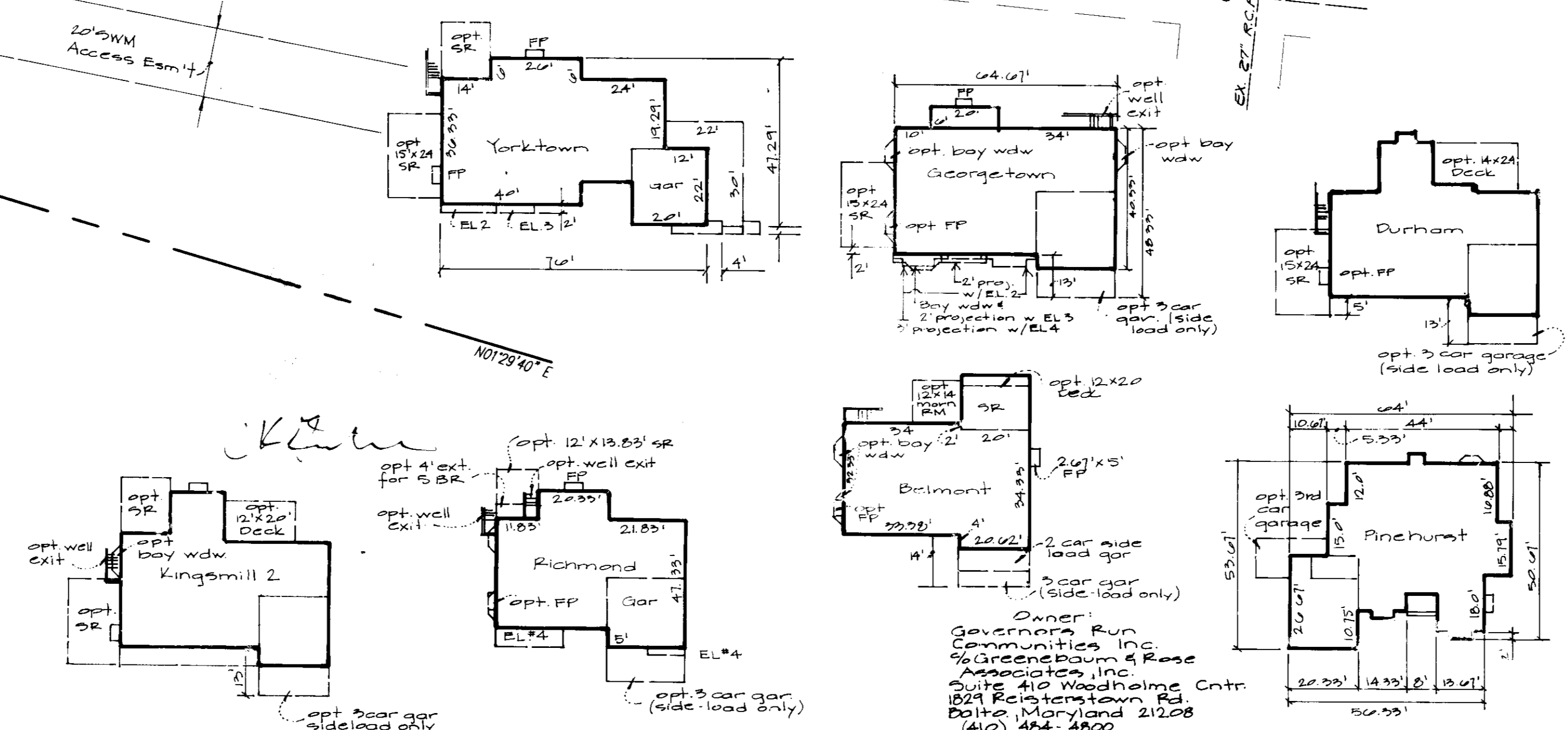
✓ Box accepts house type listed
0 Box does not accept house type listed

ADDRESS CHART

LOT 59	8574	GOVERNORS RUN
LOT 60	8570	GOVERNORS RUN
LOT 61	8566	GOVERNORS RUN
LOT 62	8562	GOVERNORS RUN
LOT 63	8558	GOVERNORS RUN
LOT 64	8554	GOVERNORS RUN
LOT 65	8550	GOVERNORS RUN

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* Date: 3/3/95
 Chief, Division of Land Development and Research

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Director: *[Signature]* Date: 2/22/95
 Chief, Bureau of Engineering: *[Signature]* Date: 2/21/95



Owner: Governors Run Communities, Inc. c/o Greenebaum & Rose Associates, Inc. Suite 410 Woodhome Cntr. 1829 Risterstown Rd. Baltimore, Maryland 21208 (410) 464-4800

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20866
 TEL: (301) 421-4024 NO. VA.: (301) 989-2524 BALT.: (410) 880-1820 FAX: (301) 421-4106

NO.	DATE	REVISION	BY	APPR.
0-C-07	1/1/91	Rev. ex. grading lots 59-65 to reflect ex. field cond. & approved lot grading. Accordingly	GT	
7-20-90	7/20/90	RAISE ELEV. ON LOT 61	KU	
6-10-90	6/10/90	Revise grading lot 63	KLP	
4-27-90	4/27/90	RESITE LOT 63 WITH NEW MODEL "1" AND ADDED SAME AT TYP FOOTPRINT	KLP	
4-11-90	4/11/90	RESITE LOT 63 & ADD TYP HOUSE TYPE	KU	

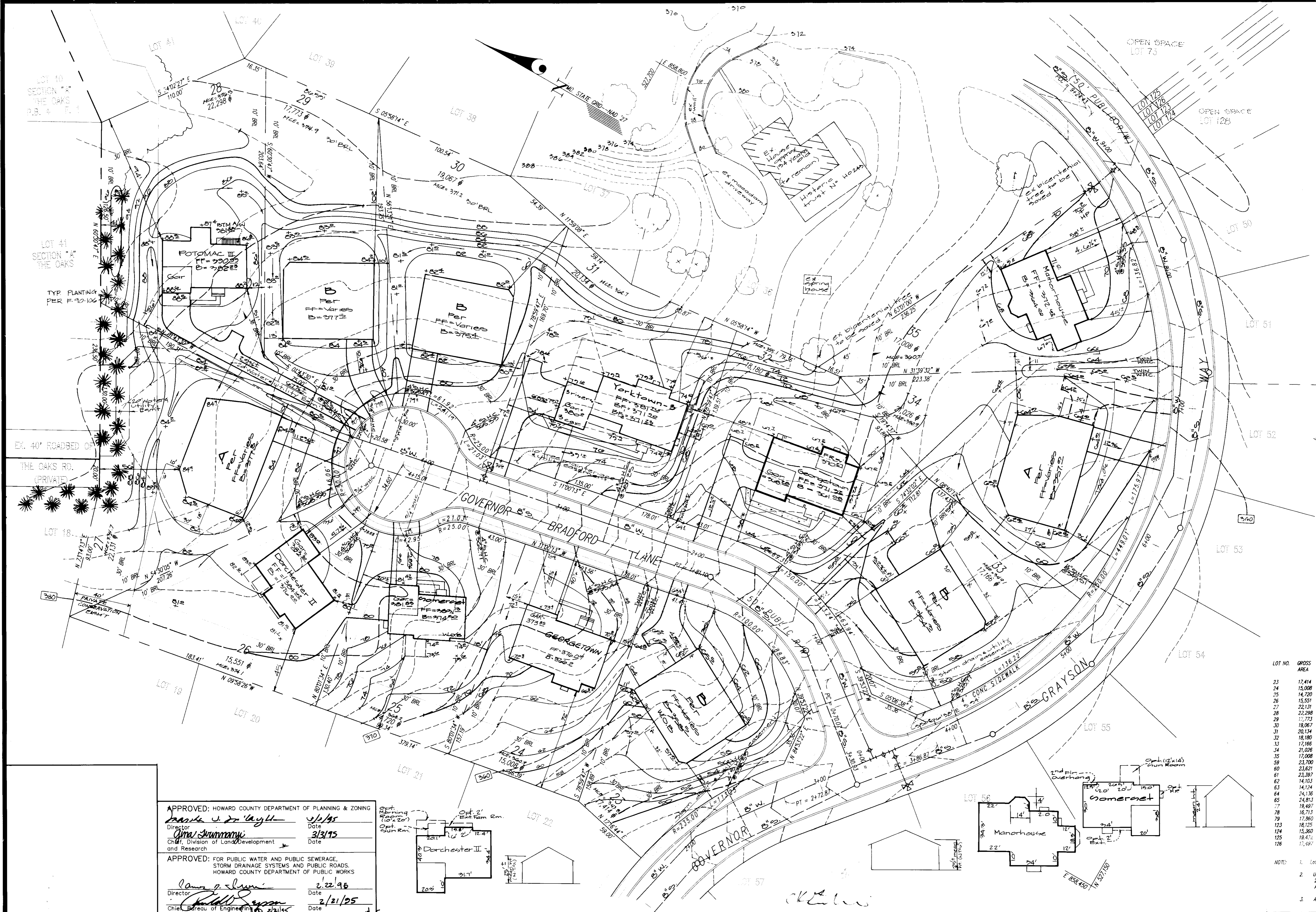
Builder/Contract Purchaser: NY Homes 2200 Defense Hwy. Suite 201 Crofton, Md 21114

Builder/Contract Purchaser: Landmark Homes 8824 Orchard Tree Ln. Beltsville, Maryland 21286 (410) 525-4200 (lot 63 only)

SITE DEVELOPMENT PLAN
GOVERNORS RUN
 SECTION 1 & 2
 SECTION 1: LOTS 23-35, 59 THRU 65
 SECTION 2: LOTS 77-79, 123-126

SCALE	ZONING	G. L. W. FILE No.
1"=30'	R-20	94-102
DATE	TAX MAP No.	SHEET
DEC. '94	18 & 25	1 of 7

ADDRESS CHART	
LOT	STREET ADDRESS
LOT 23	8401 GOVERNOR BRADFORD LANE
LOT 24	8403 GOVERNOR BRADFORD LANE
LOT 25	8405 GOVERNOR BRADFORD LANE
LOT 26	8413 GOVERNOR BRADFORD LANE
LOT 27	8411 GOVERNOR BRADFORD LANE
LOT 28	8420 GOVERNOR BRADFORD LANE
LOT 29	8416 GOVERNOR BRADFORD LANE
LOT 30	8412 GOVERNOR BRADFORD LANE
LOT 31	8408 GOVERNOR BRADFORD LANE
LOT 32	8404 GOVERNOR BRADFORD LANE
LOT 33	8400 GOVERNOR BRADFORD LANE
LOT 34	8421 GOVERNOR GRAYSON WAY
LOT 35	8421 GOVERNOR GRAYSON WAY



LOT NO.	GROSS AREA	PIPESTEM AREA	REMAINING AREA	STEEP SLOPE	MIN. LOT AREA
23	17,414	0	17,414	2,151	15,263
24	15,008	0	15,008	630	14,378
25	14,720	0	14,720	670	14,050
26	15,551	0	15,551	0	15,551
27	22,131	0	22,131	1,400	20,731
28	22,298	0	22,298	2,610	19,688
29	17,773	0	17,773	2,052	15,721
30	19,067	0	19,067	2,556	16,511
31	20,134	0	20,134	4,226	15,908
32	18,180	0	18,180	2,844	15,336
33	17,166	0	17,166	0	17,166
34	21,026	0	21,026	111	20,915
35	17,008	0	17,008	378	16,630
59	23,700	0	23,700	4,419	19,281
60	23,821	0	23,821	6,824	16,997
61	23,397	0	23,397	5,787	17,610
62	14,103	0	14,103	1,278	12,825
63	14,124	0	14,124	1,280	12,844
64	24,136	3,100	21,036	5,202	15,834
65	24,813	3,200	21,613	6,471	15,142
77	18,497	0	18,497	5,814	13,683
78	16,713	0	16,713	3,834	12,879
79	17,960	2,219	15,741	1,179	14,562
123	18,125	2,977	15,148	182	14,966
124	18,360	4,658	14,402	1,170	13,232
125	18,432	1,534	17,898	5,220	12,678
126	17,497	3,036	14,461	0	14,461

NOTE: 1. Lots listed do not contain floodplain.
 2. Undisturbed area and graded area with a slope of 25% or greater are included under "Steep Slope Area"
 3. Area shown are in square feet.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Barbara J. DeWalt 3/1/95
 Director Date
Uma Summery 3/31/95
 Chief, Division of Land Development and Research Date

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
James P. Shuman 2/22/96
 Director Date
Paul D. Ryan 2/21/95
 Chief, Bureau of Engineering Date

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20866
 TEL: (301) 421-4024 NO. VA.: (301) 989-2524 BALT.: (410) 880-1820 FAX: (301) 421-4186

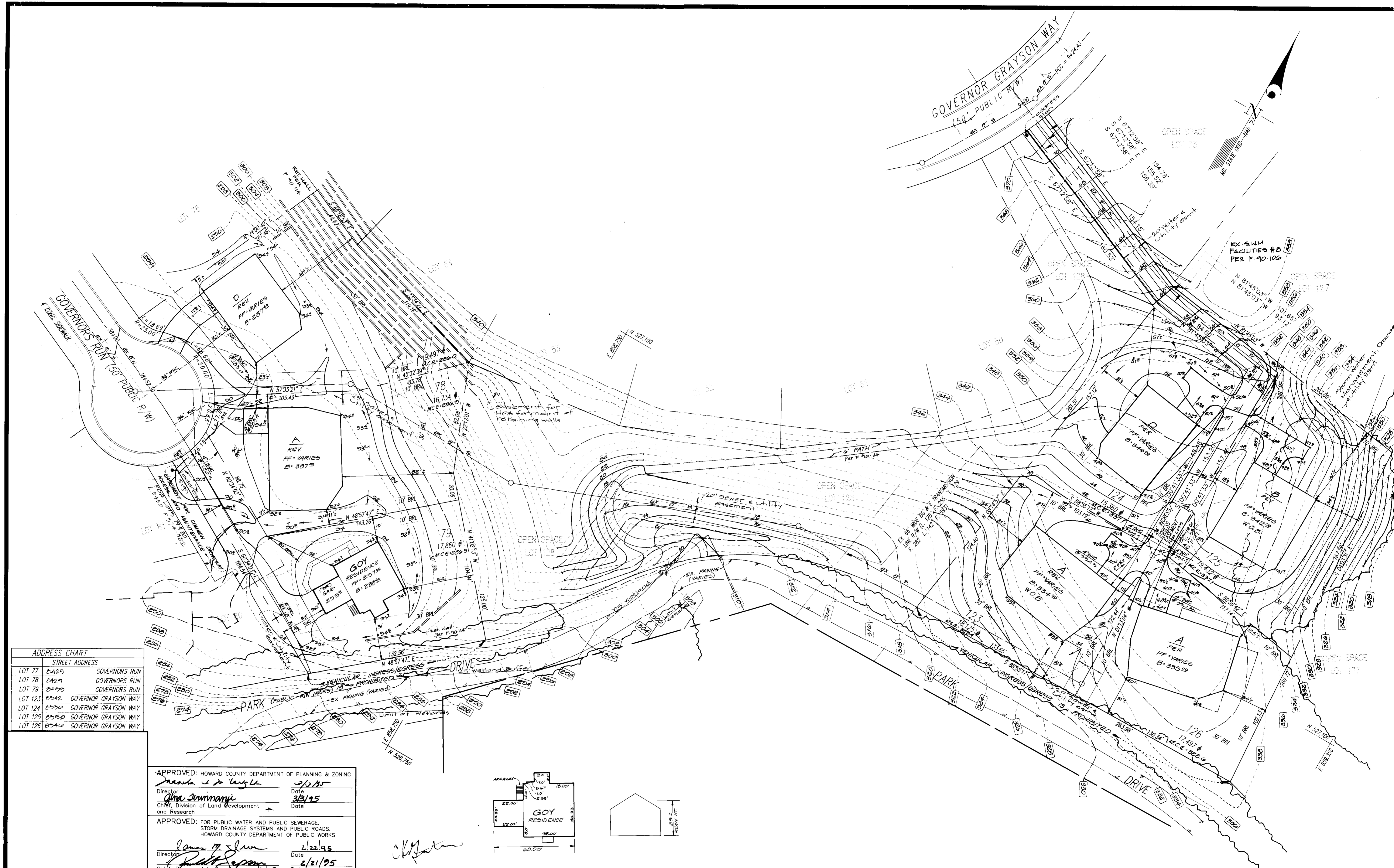
DATE	REVISION	BY	APPR.
2-6-98	Re-site Lot 24 & 25 w/ New House Type Added Typical	Jmm	
11-12-97	Re-site Lot 25 w/ New House Type Added Typical	WJD	
01-14-97	Red Line Rev to Lot 26 - Potomac III	GT	
07-13-96	REVISED GRADING LOT 27	HKV	
7-10-96	Re-site Lot 27 grading rev	KLT	
02-28-95	Site 3-car Gar. Yorktown on Lot 31	KLT	
		BY	APPR.

Builder/Contract Purchaser
 NY Homes
 2200 Defence Hwy
 Suite 301
 Craffton, Md 21114

Owner:
 Governors Run Communities, Inc.
 c/o Greenebaum & Rose Associates, Jr. c/o
 Suite 410 Woodlawn Ctr
 8014 Reisterstown Rd
 Baltimore, Maryland 21208
 (410) 481-4800

SITE DEVELOPMENT PLAN
GOVERNORS RUN
 SECTION 1 & 2
 SECTION 1: LOTS 23-35, 59 THRU 65
 SECTION 2: LOTS 77-79 & 123-126
 2nd ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1"=30'	R-20	94-102
DATE	TAX MAP No.	SHEET
DEC. 94	18 & 25	2 OF 7



ADDRESS CHART

LOT	STREET ADDRESS
LOT 77	8A25 GOVERNORS RUN
LOT 78	8A27 GOVERNORS RUN
LOT 79	8A29 GOVERNORS RUN
LOT 123	8542 GOVERNOR GRAYSON WAY
LOT 124	8530 GOVERNOR GRAYSON WAY
LOT 125	8550 GOVERNOR GRAYSON WAY
LOT 126	8540 GOVERNOR GRAYSON WAY

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

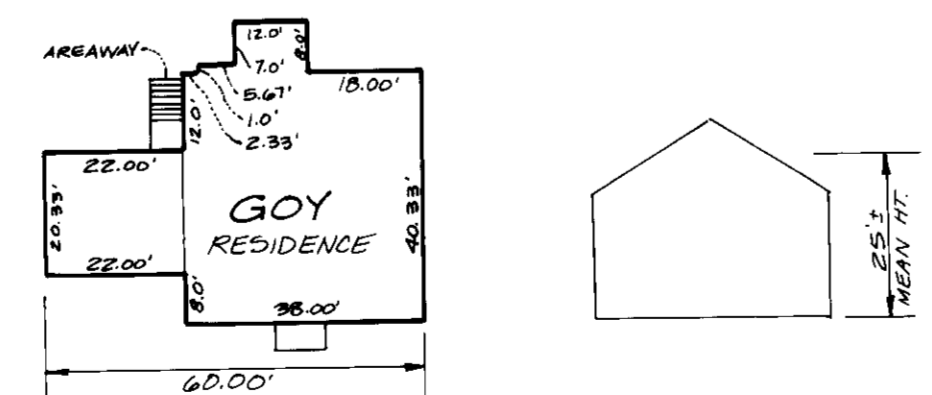
Janice A. Long 3/3/95
 Director Date

Anna Schwimann 3/3/95
 Chief, Division of Land Development and Research Date

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS. HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

James M. Sloan 2/22/95
 Director Date

Paul Simpson 2/21/95
 Chief, Bureau of Engineering Date



GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20866
 TEL: (301) 421-4024 NO. VA: (301) 989-2524 BALT.: (410) 680-1820 FAX: (301) 421-4186 DES. DRN. CHK.

DATE	REVISION	BY	APPR.
3-18-95	SITED NEW HOUSE TYPE ON LOT 79 & ADDED TYPICAL	HKJ	

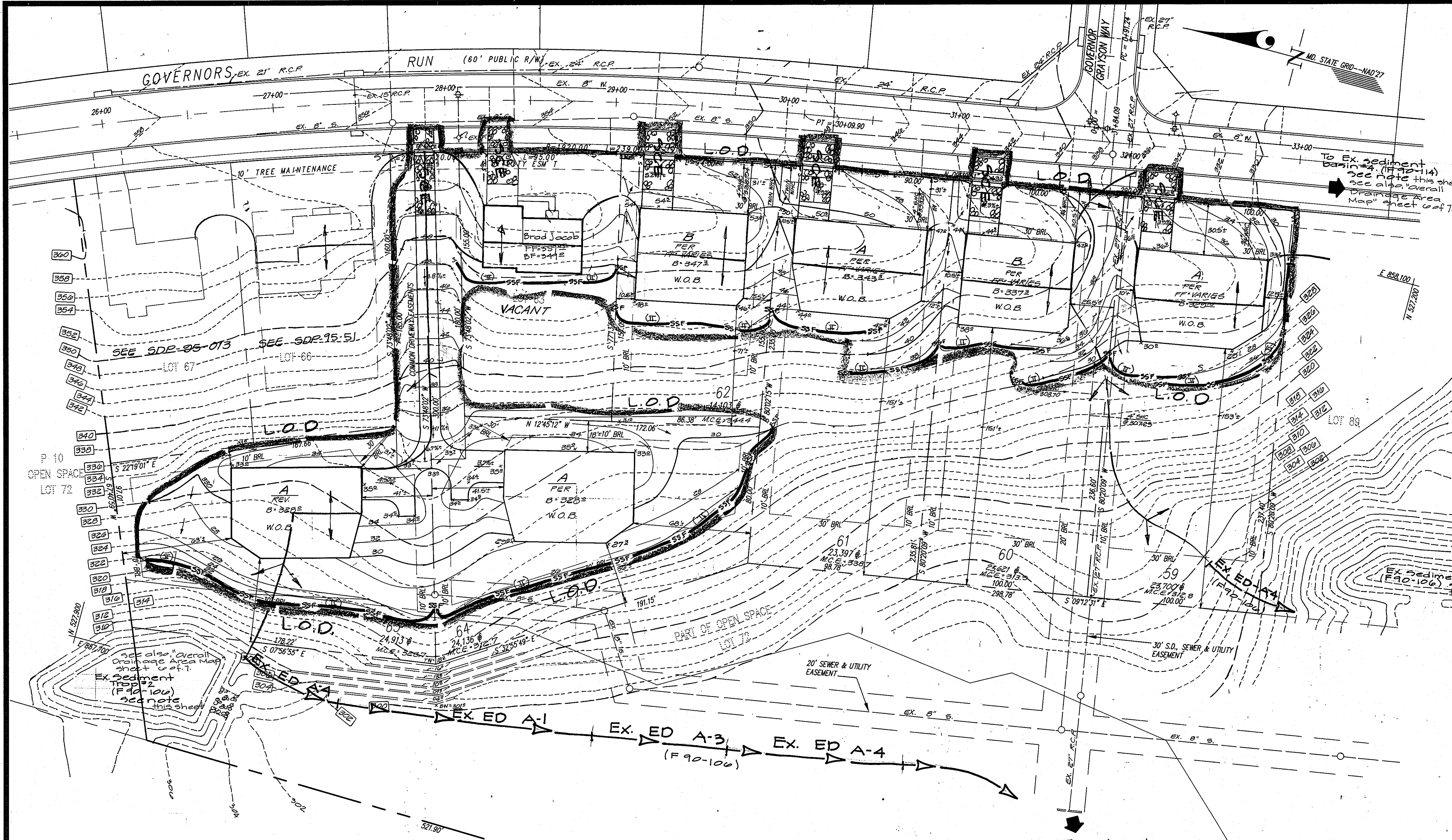
BUILDER/CONTRACT PURCHASER
 NV HOMES
 2200 DEFENSE HWY
 SUITE 301
 CROFTON, MD 21114

OWNER
 GOVERNORS RUN COMMUNITIES, INC.
 46 GREENBAUM & ROSE ASSOCIATES, INC.
 SUITE 410 WOODHOLME CRT
 1820 REGISTERED RD
 BALTIMORE, MARYLAND 21208
 (410) 484-4800

SITE DEVELOPMENT PLAN
GOVERNORS RUN
 SECTION 1 & 2
 SECTION 1: LOTS 23-35, 59 Thru 65
 SECTION 2: LOTS 77-79 & 123-126
 2nd ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=30'	R-20	94-102
DATE	TAX MAP No.	SHEET
DEC. '94	18 & 25	3 of 7

SDP 95-54



Existing Stone Outlet Sediment Trap #1
 Drainage Area: 2.5 Ac. (Pre-Dev.) 2.5 Ac. (Post-Dev.)
 Storage Required = 2.5 Ac. (1800) = 4,500 c.f.
 Storage Depth = 2.0'
 Cleanout Elevation = 263.5
 Outlet Elevation = 264.0
 Bottom Elevation = 264.0
 Side Slopes = 2:1
 Volume Provided = 4590 c.f.
 Embankment Elevation = 268.0

Existing Sediment Trap #2
 Drainage Area: 3.8 Ac. (Pre-Dev.) 3.8 Ac. (Post-Dev.)
 Storage Required = 3.8 Ac. (1800) = 6840 c.f.
 Storage Depth = 2.5'
 Cleanout Elevation = 304.5
 Outlet Elevation = 305.5
 Bottom Elevation = 302.5
 Side Slopes = 2:1
 Volume Provided = 19,388 c.f.
 Embankment Elevation = 307.5

- Sequence of Construction**
- Obtain grading permit.
 - Phase I**
 - Restore existing sediment traps #1 & 2 and sediment basins #3 & 4, per F 90-106.
 - Grade site.
 - Phase II**
 - Install silt fence and associated stabilized construction entrances as lots are developed.
 - When areas draining to sediment controls have been stabilized, and permission has been granted by the sediment control inspector, remove silt fence and stabilized construction entrance(s) and stabilize remaining areas.

Note: The sediment control devices which serve lots 59 thru 62 (44605) may not be removed or altered until the disturbed area shown on these plans is stabilized or permission is granted by the sediment control inspector.

(Phase II) Contingent sediment control to be installed as directed by Howard County sediment control inspector.

- Legend**
- 300 --- Existing Contour
 - 300 --- Proposed Contour
 - L.O.D. Limit of Disturbance (L.O.D.)
 - Silt Fence
 - Ex. Earth Dike, per F 90-106
 - Drainage Divide
 - Stabilized Construction Entrance
 - supersilt fence

Existing Sediment Basin Data

	Basin 3	Basin 4
Drainage Area	22.5 Ac. (Post)	11.8 Ac. (Post)
Storage Required	15,500 c.f.	21,240 c.f.
Storage Provided	71,040 c.f.	21,978 c.f.
Bottom Dimensions	Varies	Varies
Top Dimensions	Varies	Varies
Weir Crest Elevation	242.04	242.07
Bottom Elevation	234.00	238.00
Top of dam	248.00	248.00
Cleanout Elevation	238.32	242.54
Storage Depth	8.64'	4.01'
Riser	A-10 Inlet	A-10 Inlet
Barrel	30" R.C.P.	27" R.C.P.

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.

[Signature] 2/15/95
 Director
 Howard S.C.D.

[Signature] 2/15/95
 Director
 U.S. Soil Conservation Service



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
[Signature] 2/15/95
 Director
 Chief, Division of Land Development and Research

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
[Signature] 2/22/95
 Director
 Chief, Bureau of Engineering

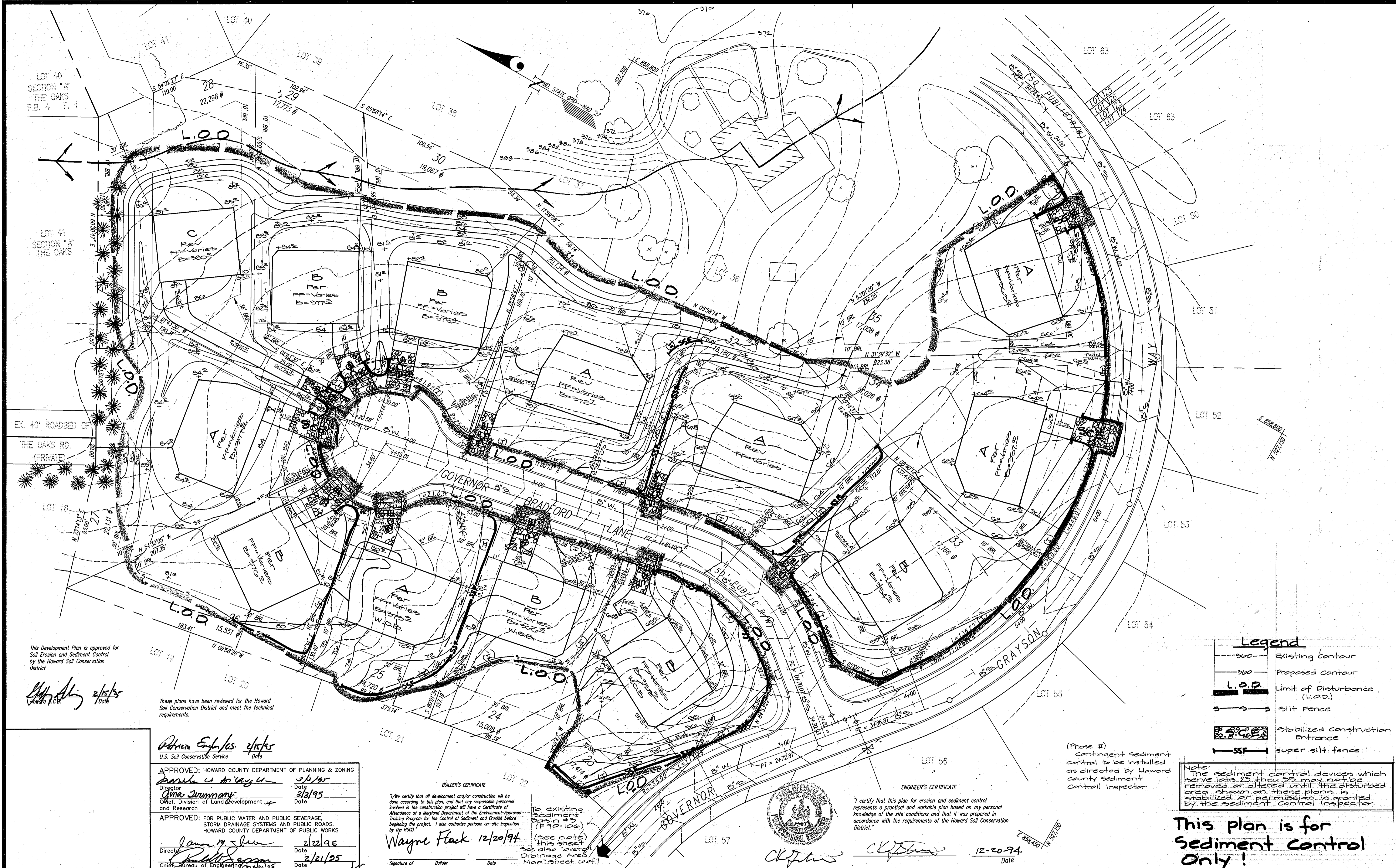
BUILDER'S CERTIFICATE
 I/We certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD.
[Signature] 12/20/94
 Signature of Builder (NV Homes) Date
 Landmark Homes (Lot 63) Date

ENGINEER'S CERTIFICATE
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
[Signature] 12-20-94
 Date

Owner:
 Governors Run Communities Inc.
 % Greenbaum & Rose Associates Inc.
 Suite 410 Woodholme Cntr.
 18294 Rickettsstown Rd.
 Balto, Maryland 21208
 (410) 484-4800

This plan is for sediment control only!

GW GUTSCHICK LITTLE & WEBER, P.A. CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20886 TEL: (301) 421-4024 NO. VA: (301) 989-2524 BALT: (410) 880-1820 FAX: (301) 421-4186 DES. DRN. CHK.	DATE REVISION BY APPR.	Builder/Contract Purchaser NV Homes 2202 Defense Hwy Suite 201 Crofton, Md 21114	Builder/Contract Purchaser Landmark Homes 8826 Orchard Trac Ln Balto, Maryland 21286 (410) 825-4200 (Lot 63 only)	Soil Erosion & Sediment Control Plan GOVERNORS RUN SECTION 1 & 2 SECTION 1: LOTS 23-35, 59-THRU 65 SECTION 2: LOTS 77-79, 123-126 2nd ELECTION DISTRICT	SCALE 1"=30' ZONING R-20 DATE DEC. '94 TAX MAP No. 18 & 25 SHEET 4 of 7	G. L. W. FILE No. 94-102
	HOWARD COUNTY, MARYLAND			SDP 95-54		



This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

[Signature] 2/15/95
Date

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.

[Signature] 2/15/95
U.S. Soil Conservation Service Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
[Signature] 3/1/95
Date
Chief, Division of Land Development and Research

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS. HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
[Signature] 2/22/95
Date
Chief, Bureau of Engineering

BUILDER'S CERTIFICATE

I/We certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD.

[Signature] 12/20/94
Signature of Builder Date

To existing sediment basin #2 (F 90-100) (see note) this sheet see also "over" Drainage Area Map sheet 4 of 1

ENGINEER'S CERTIFICATE

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.



[Signature] 12-20-94
Date

Legend

	Existing Contour
	Proposed Contour
	Limit of Disturbance (L.O.D.)
	Silt Fence
	Stabilized Construction Entrance
	super. silt. fence

Note: The sediment control devices which serve lots 23 thru 35 may not be removed or altered until the disturbed area shown on these plans is stabilized or permission is granted by the sediment control inspector.

(Phase II) Contingent sediment control to be installed as directed by Howard county sediment control inspector

This plan is for sediment control only!

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20866
TEL: (301) 421-4024 NO. VA: (301) 989-2524 BALT: (410) 880-1820 FAX: (301) 421-4186 DES. DRN. CHK. DATE REVISION BY APP'R.

DATE	REVISION	BY	APP'R.

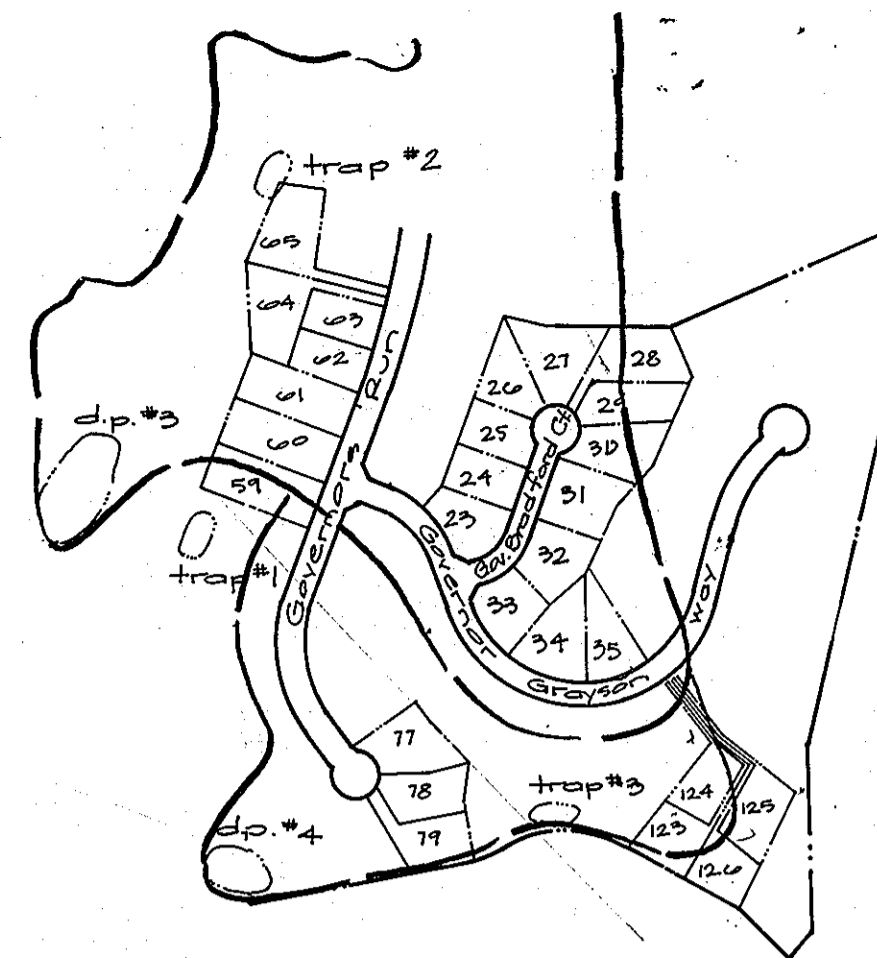
Builder/Contract Purchaser
NY Homes
2200 Defense Hwy
Suite 301
Crofton, Md 21114

Owner:
Governors Run
Communities, Inc.
10 Greenleaf
Associates, Inc.
Suite 410 Woodhome Cir
1821 Reisterstown Rd.
Baltimore, Maryland 21208
(410) 484-4800

Soil Erosion and sediment Control Plan
GOVERNORS RUN
SECTION 1 & 2
SECTION 1: LOTS 23-35, 59 Thru 65
SECTION 2: LOTS 77-79 & 123-126
2nd ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

SCALE 1"=30'	ZONING R-20	G. L. W. FILE No. 94-102
DATE DEC. '94	TAX MAP No. 18 & 25	SHEET 5 of 7

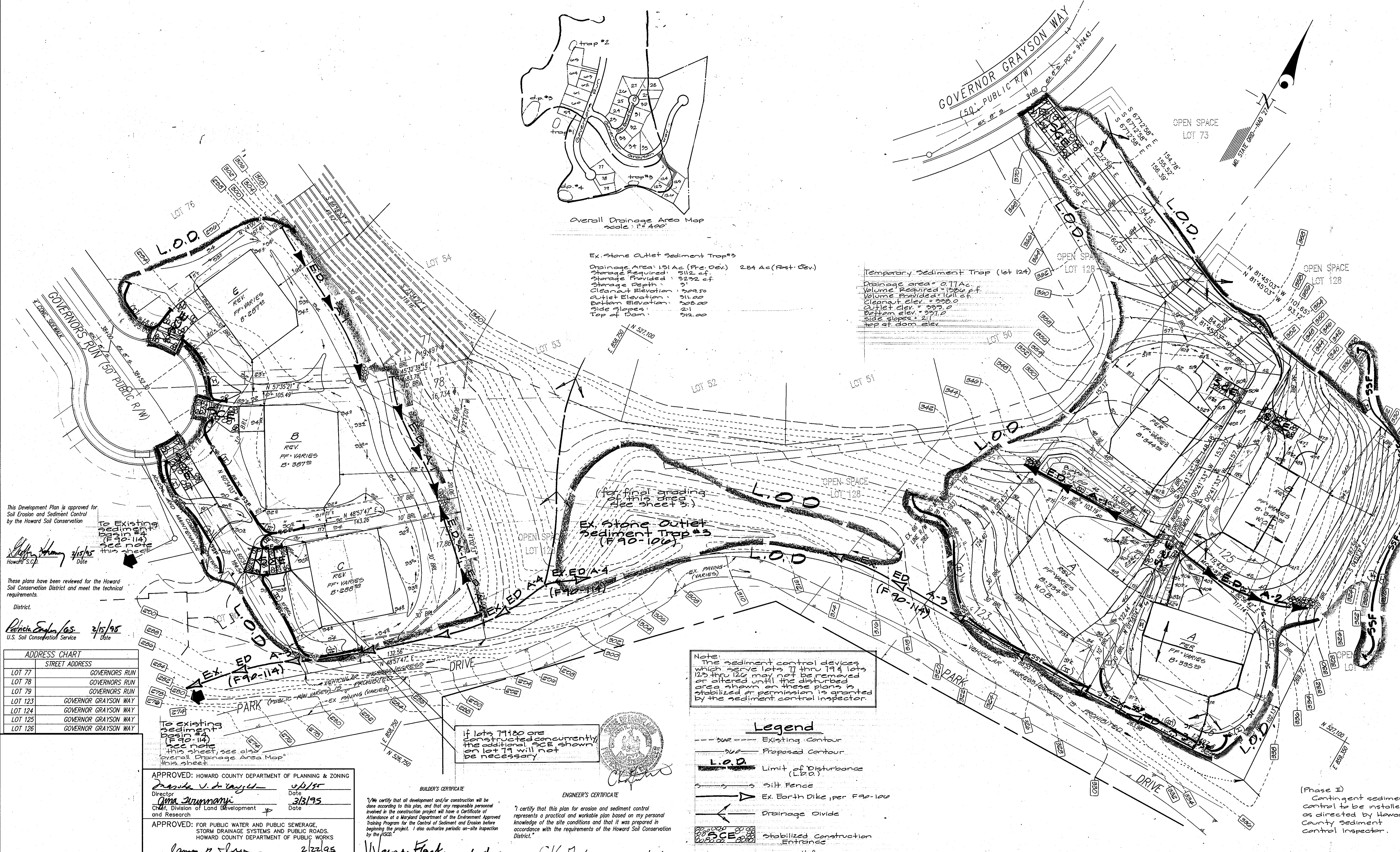
SDP 95-54



Overall Drainage Area Map
Scale: 1" = 400'

Ex. Stone Outlet Sediment Trap #3
 Drainage Area: 1.51 Ac (Pre-Dev.) 2.24 Ac (Post-Dev.)
 Storage Required: 512 cu ft
 Storage Provided: 5292 cu ft
 Storage Depth: 3'
 Cleanout Elevation: 329.50
 Outlet Elevation: 311.00
 Bottom Elevation: 288.00
 Side Slopes: 2:1
 Top of Dam: 312.00

Temporary Sediment Trap (lot 124)
 Drainage Area: 0.11 Ac
 Volume Required: 120 cu ft
 Volume Provided: 120 cu ft
 Cleanout Elev: 298.0
 Outlet Elev: 295.0
 Bottom Elev: 291.0
 Side Slopes: 2:1
 Top of Dam Elev:



This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

Robert Young 4/15/95
 Date
 Howard S.C.D.

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.

District
Patricia Engler 6/5 2/15/95
 U.S. Soil Conservation Service Date

LOT	STREET ADDRESS
LOT 77	GOVERNORS RUN
LOT 78	GOVERNORS RUN
LOT 79	GOVERNORS RUN
LOT 123	GOVERNOR GRAYSON WAY
LOT 124	GOVERNOR GRAYSON WAY
LOT 125	GOVERNOR GRAYSON WAY
LOT 126	GOVERNOR GRAYSON WAY

To Existing Sediment Basin #4 (F90-114) see note on this sheet. This sheet, see also Overall Drainage Area Map on this sheet.

if lots 79 & 80 are constructed concurrently the additional SCE shown on lot 79 will not be necessary.

Note: The sediment control devices which serve lots 77 thru 79 & lots 123 thru 126 may not be removed or altered until the disturbed area shown on these plans is stabilized or permission is granted by the sediment control inspector.

Legend

- Existing Contour
- - - Proposed Contour
- L.O.D.** Limit of Disturbance (L.D.)
- Silt Fence
- Ex. Earth Dike, per F90-106
- Drainage Divide
- SCE Stabilized Construction Entrance
- SSF super silt fence

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
David V. de Vayle 6/8/95
 Director Date
Chris Stummank 3/31/95
 Chief, Division of Land Development and Research Date

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Jamie P. Shaw 2/22/95
 Director Date
Paul J. Szymon 2/21/95
 Chief, Bureau of Engineering Date

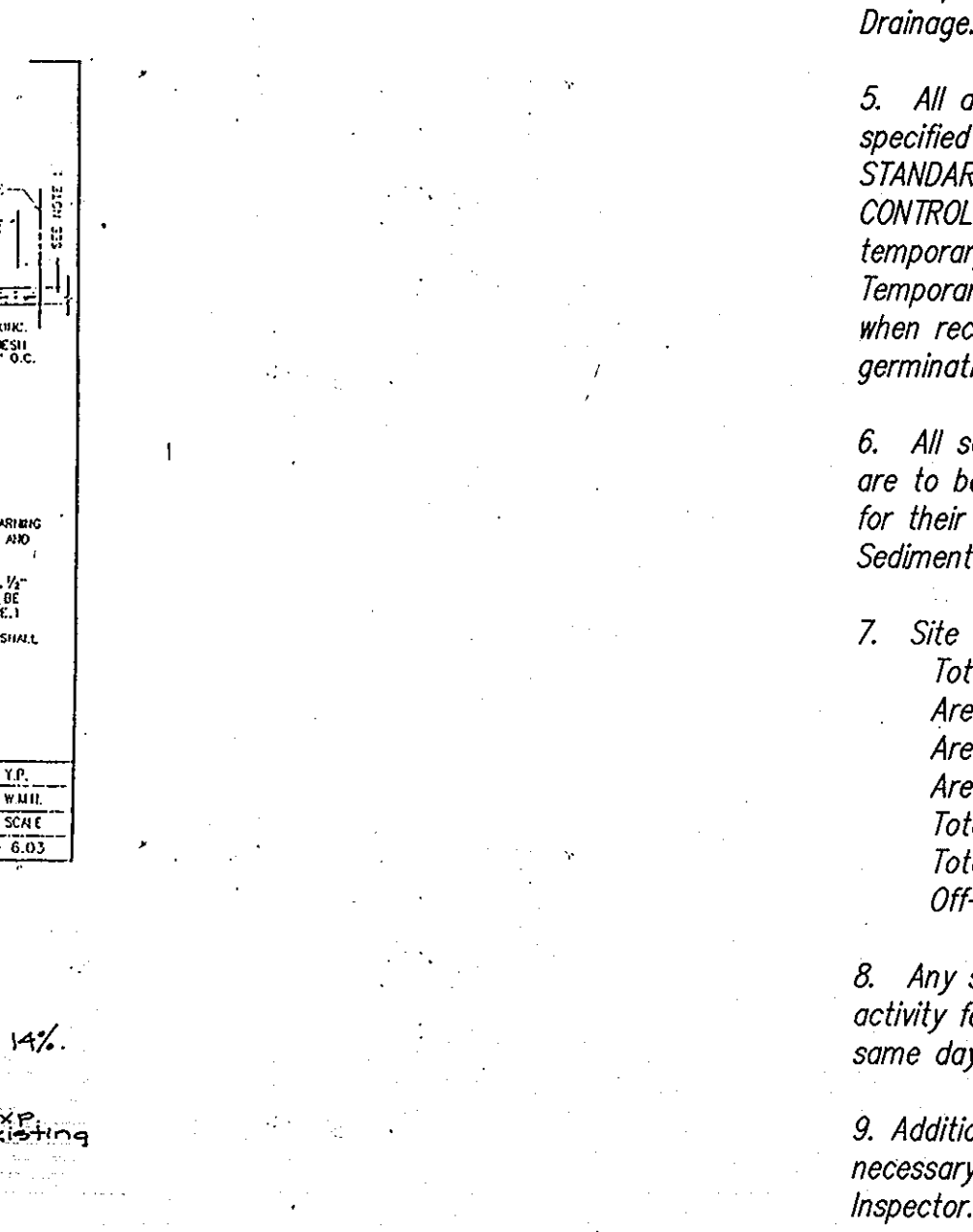
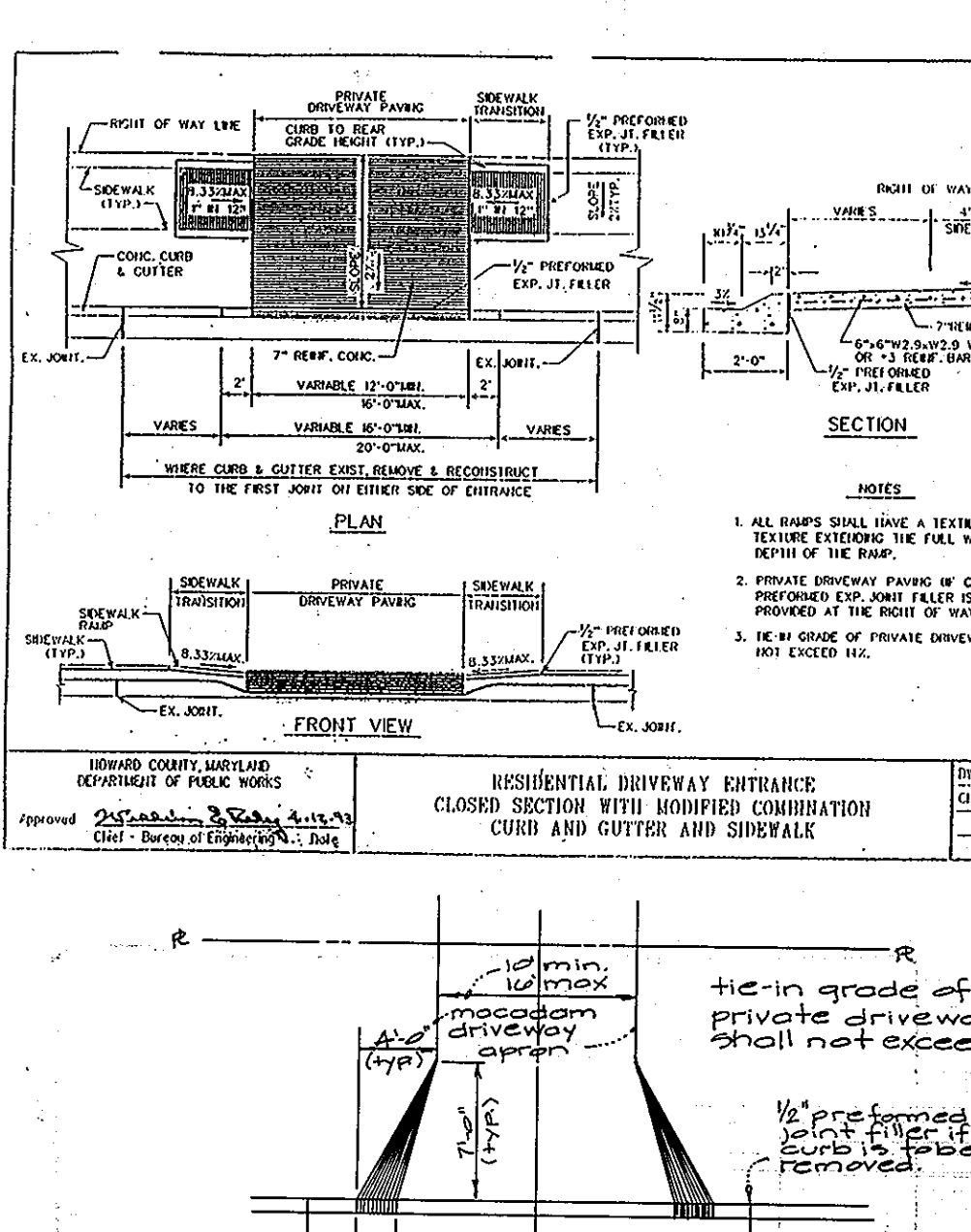
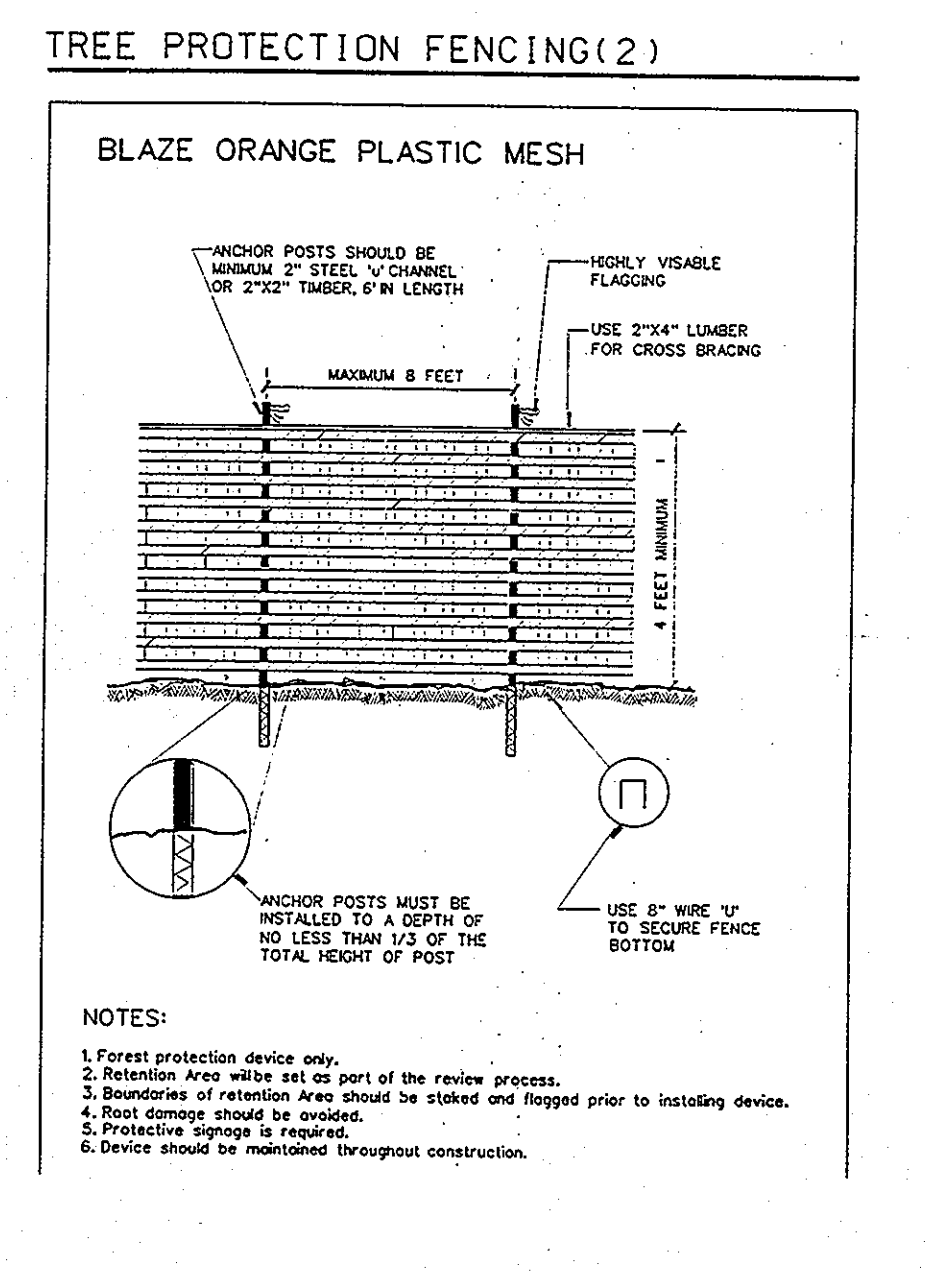
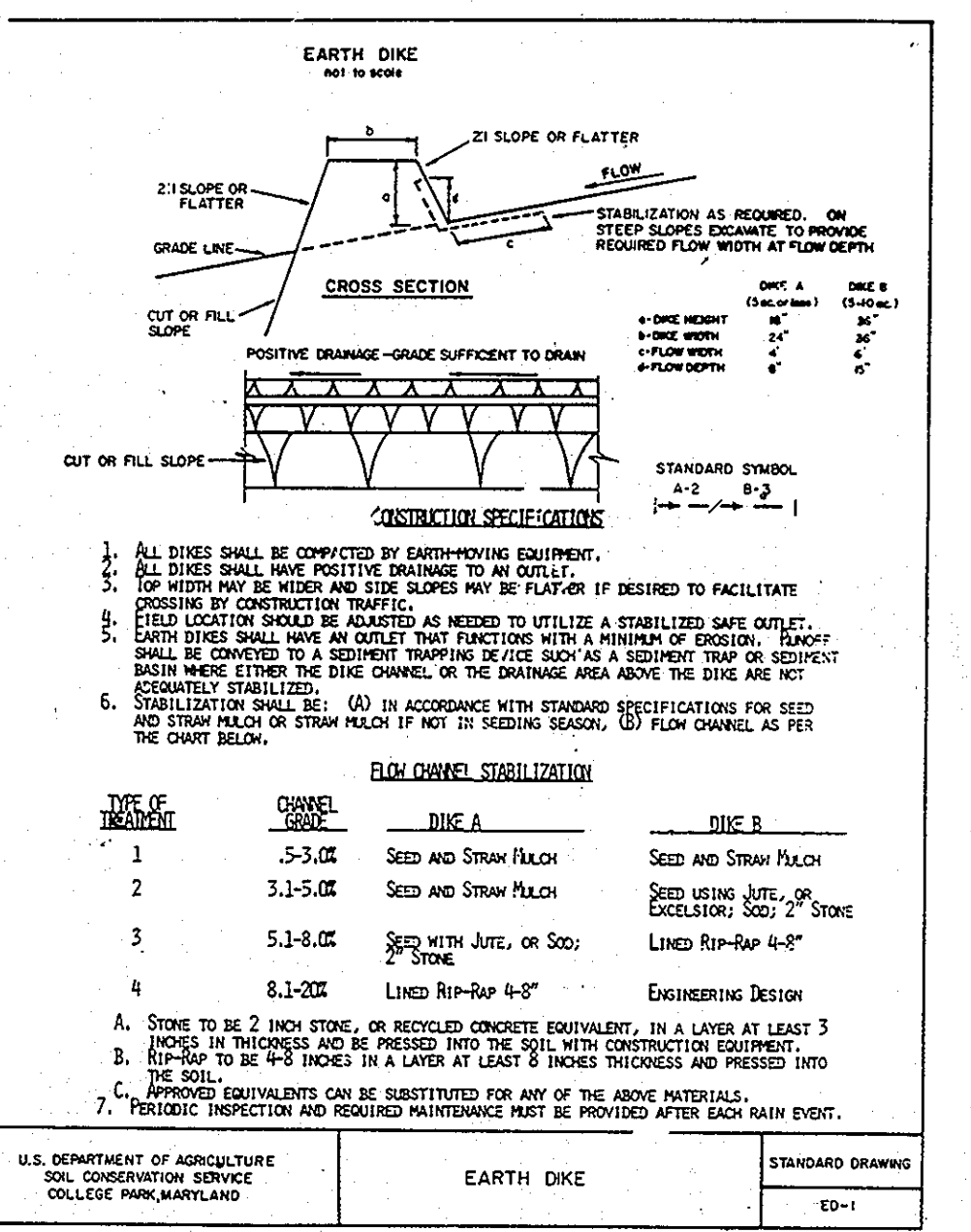
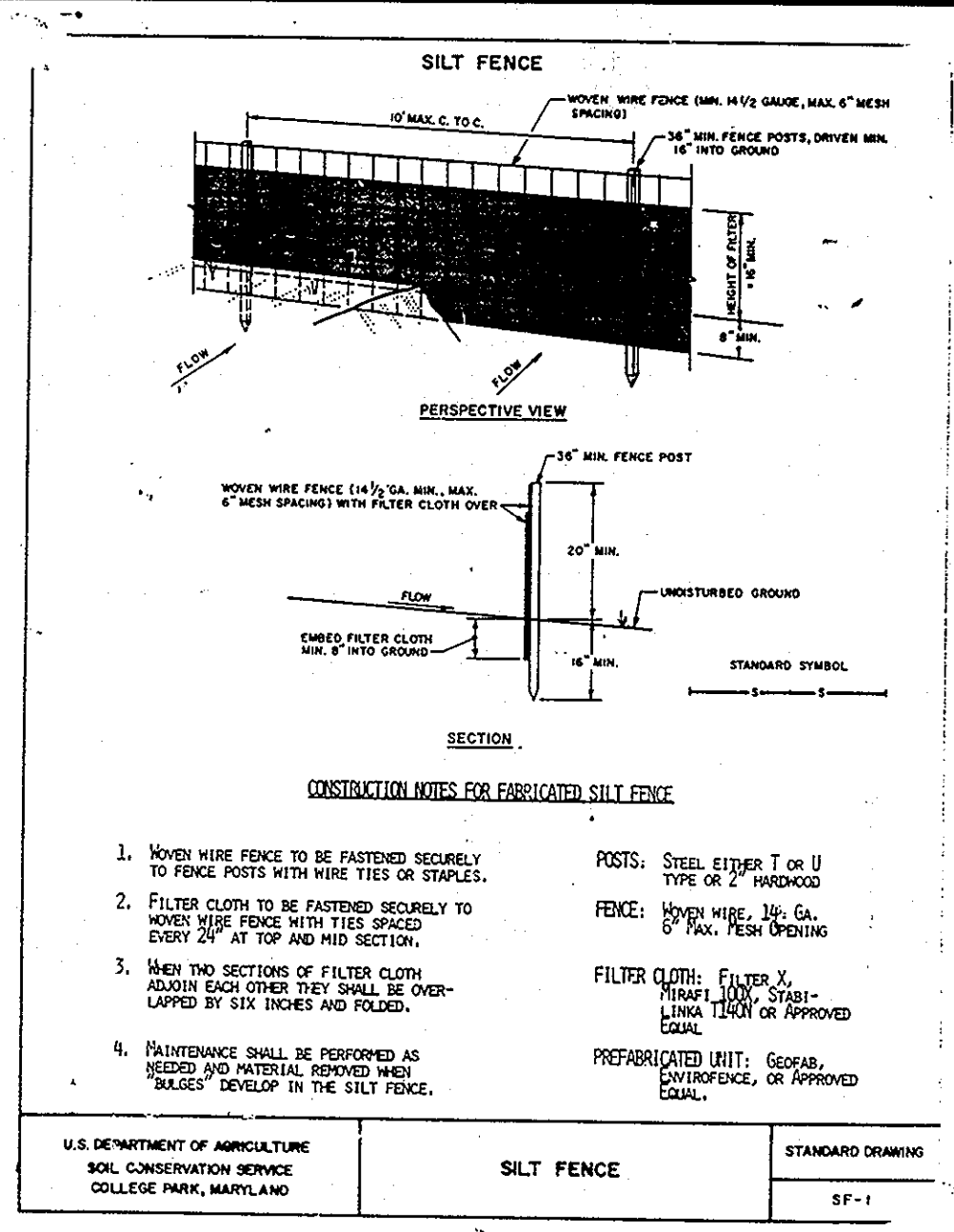
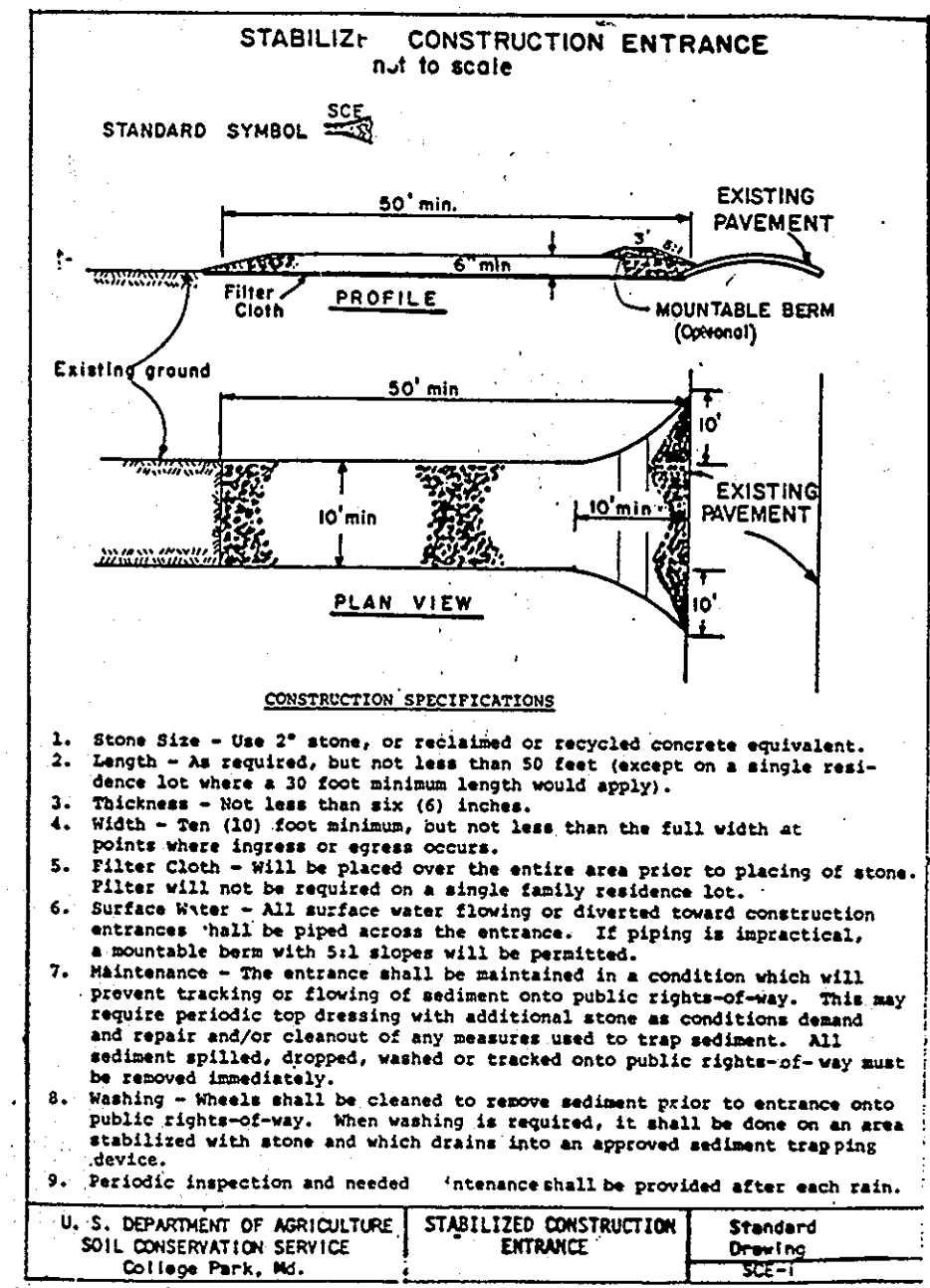
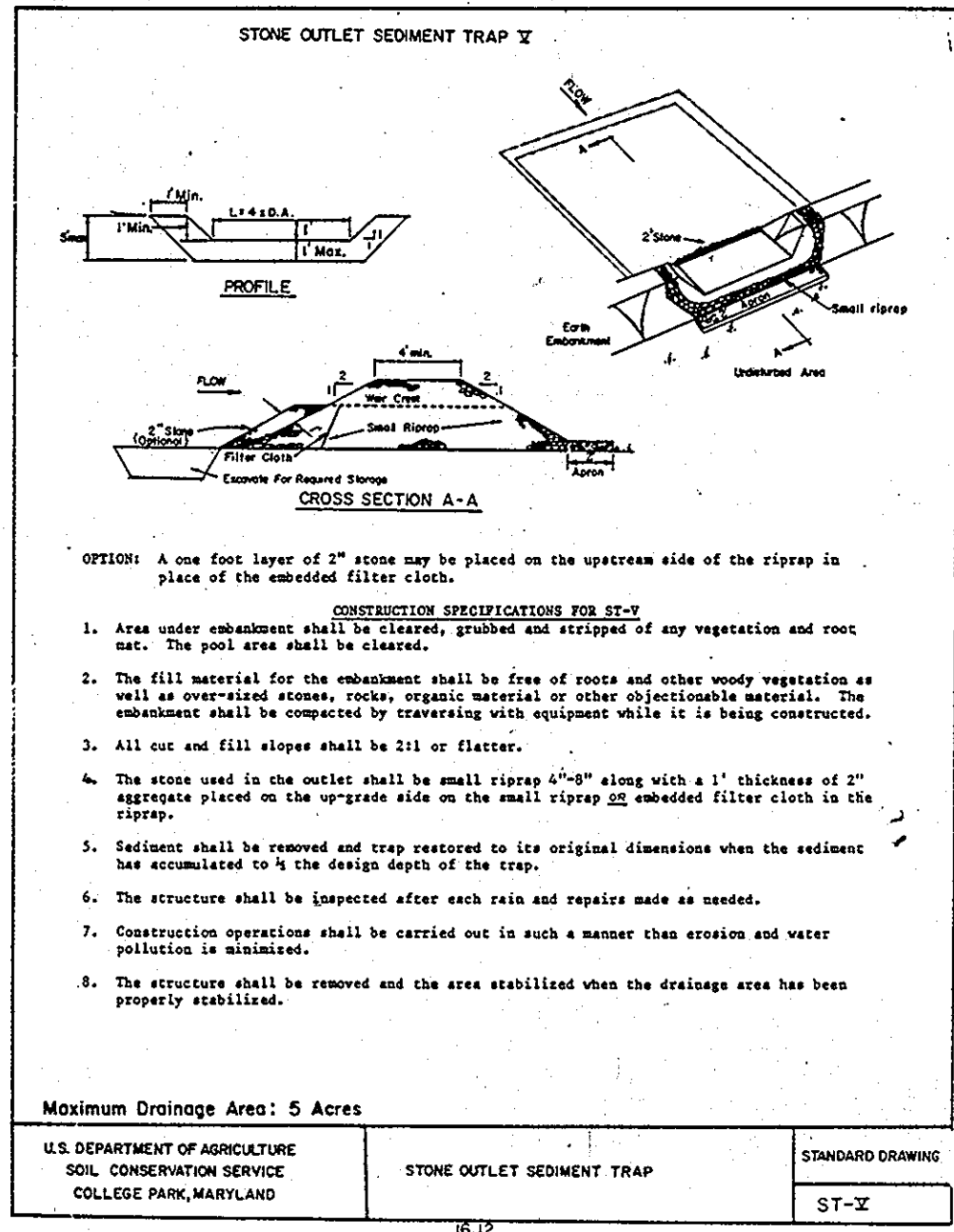
BUILDER'S CERTIFICATE
 I certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD.
Wayne Flack 12/20/94
 Signature of Builder Date

ENGINEER'S CERTIFICATE
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
CK Johnson 12/20/94
 Date

This plan is for sediment control only!

(Phase II) Contingent sediment control to be installed as directed by Howard County Sediment Control Inspector.

GW GUTSCHICK LITTLE & WEBER, P.A. CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20866 TEL: (301) 421-4024 NO. VA: (301) 989-2524 BALT: (410) 880-1820 FAX: (301) 421-4186 DES. DRN. CHK.	Builder/Contract Purchaser NY Homes 2200 Defense Hwy. Suite 209 Crofton, Md 21114	Owner Governors Run Communities, Inc. % Greenebaum & Rose Associates, Inc. Suite 410 Woodholme Ctr 1829 Reisterstown Rd. Balto, Maryland 21228 (410) 484-4800	Soil Erosion and Sediment Control Plan GOVERNORS RUN SECTION 1 & 2 SECTION 1: LOTS 23-35, 59 Thru 65 SECTION 2: LOTS 77-79 & 123-126 2nd ELECTION DISTRICT HOWARD COUNTY, MARYLAND		SCALE 1"=30' DATE DEC. 94	ZONING R-20 TAX MAP No. 18 & 25	G. L. W. FILE No. 94-102 SHEET 6 of 7
			DATE REVISION BY APPR.	DATE REVISION BY APPR.	DATE REVISION BY APPR.	DATE REVISION BY APPR.	



SEDIMENT CONTROL NOTES

- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (301) 992-2437
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes and perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 51), sod (Sec. 54), temporary seedings (Sec. 50) and mulching (Sec. 52). Temporary stabilization, with mulch alone, can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:
Total Area of Site : 11.71 Acres
Area Disturbed : 5.1 Acres
Area to be roofed or paved : 1.9 Acres
Area to be vegetatively stabilized : 3.2 Acres
Total Cut : 12,000 Cu. Yds.
Total Fill : 12,000 Cu. Yds.
Off-site waste/borrow area location: N/A
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the Howard County DPW Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.

PERMANENT SEEDING NOTES

- Apply to graded or cleared area not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.
- Seeded Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding (unless previously loosened).
- Soil Amendments: In lieu of soil test recommendations, use one of the following schedules
- Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 square feet) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq ft).
 - Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.

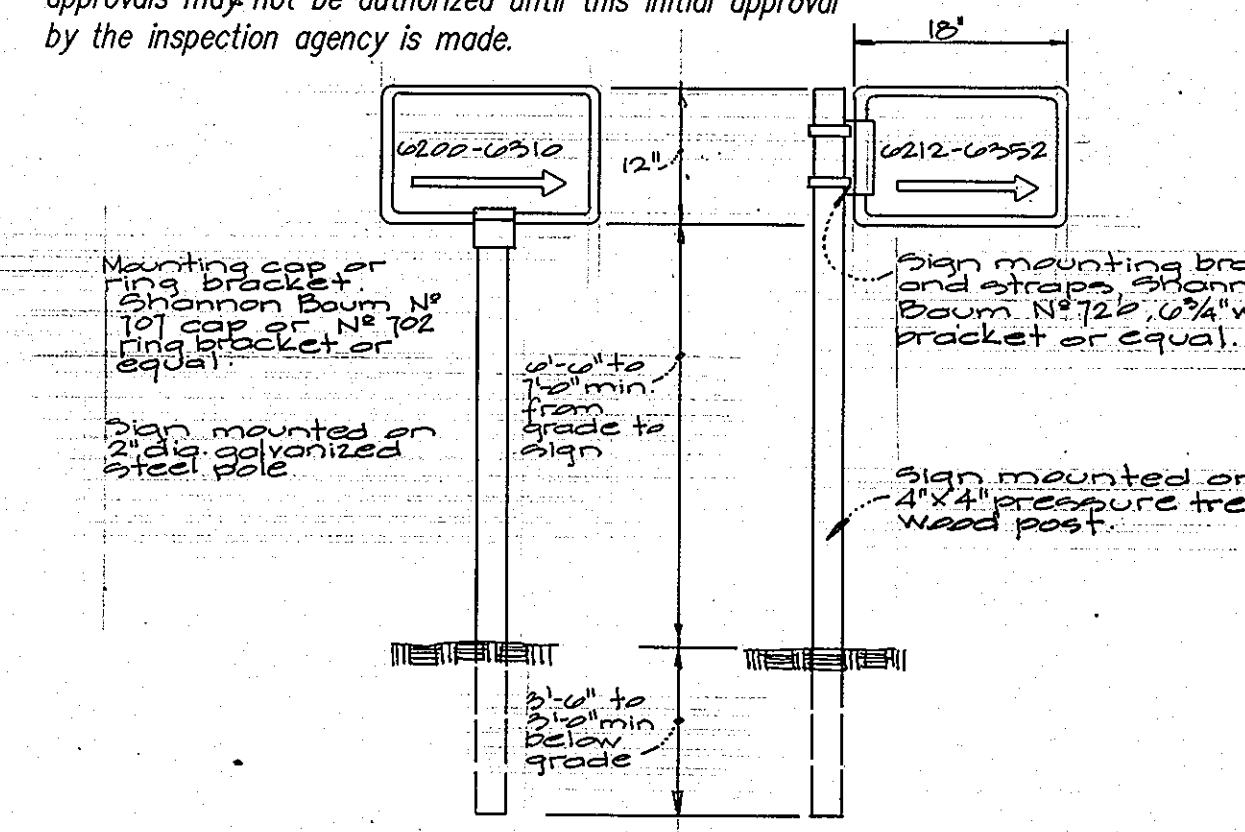
Seeding: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs/1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

Maintenance: Inspect all seeded areas and make needed repairs, replacements and reseeding.

TEMPORARY SEEDING NOTES

- Apply to graded or cleared areas likely to be redistributed where a short-term vegetative cover is needed.
- Seeded Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding (unless previously loosened).
- Soil Amendments: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft).
- Seeding: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2-1/2 bushel per acre of annual rye (3.2 lbs./1000 sq ft.). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (.07 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.
- Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes, 8 ft or higher, use 348 gal per acre (8 gal/1000 sq ft) for anchoring.
- Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Wanda U. ...* Date: 6/1/04

Chief, Division of Land Development and Research: *Gina ...* Date: 3/31/05

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

Director: *James ...* Date: 2/22/05

Chief, Bureau of Engineering: *...* Date: 2/21/05

BUILDER'S CERTIFICATE

I/We certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approval Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSDS.

Wayne Flack 12/20/94

Signature of Builder (NY Homes) Date

ENGINEER'S CERTIFICATE

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Robert ... 12/20/94

Signature of Engineer Date

GLW GUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS

3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20866

TEL: (301) 421-4024 NO. VA: (301) 989-2524 BALT. (410) 880-1820 FAX: (301) 421-4186 DES. DRN. CHK.

DATE	REVISION	BY	APPR.

Builder/Contract Purchaser

NY Homes
2200 Defense Hwy.
Suite 300
Crofton, Md 21114

Builder/Contract Purchaser

Landmark Homes
8826 Orchard Tree Ln.
Baltimore, Maryland 21286
(410) 825-4200
(lot 05 only)

Sediment Control Notes & Details

GOVERNORS RUN

SECTION 1 & 2

SECTION 1: LOTS 23-35, 59 Thru 65

SECTION 2: LOTS 77-79 1/23-120

2nd ELECTION DISTRICT

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1"=30'	R-20	94-102
DATE	TAX MAP NO.	SHEET
Dec. 94	184.25	7 of 7

SOP 95-54