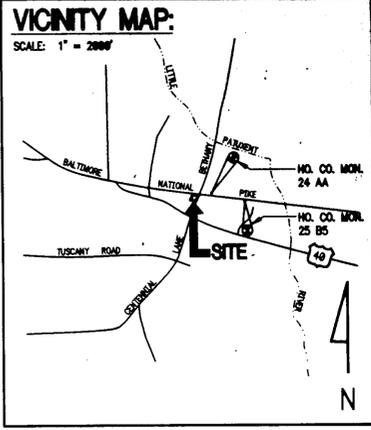


SHEET INDEX	
SHEET	TITLE
1 OF 8	OVERALL SITE DEVELOPMENT PLAN
2 OF 8	SITE DEVELOPMENT PLAN
3 OF 8	SITE GRADING/ UTILITY PLAN
4 OF 8	EROSION CONTROL PLAN
5 OF 8	LANDSCAPE PLAN
6 OF 8	SITE DETAILS
7 OF 8	SITE DETAILS
8 OF 8	STORMWATER DETAILS



**LANDSCAPE NOTE:**  
 THE G.C. IS TO PROVIDE A CONTINUOUS ROW OF 36" HIGH DENSIFORMIS YEW'S @ 3' O.C. IN AREAS DESIGNATED ALONG ROUTE 48. USE CARE TO PLANT THEM SO AS NOT TO INTERFERE WITH SIGHT TRIANGLES AND THE NEW SIGNS SHOWN HEREON.

**SITE ANALYSIS:**

- A. AREA OF PARCEL: 16,422 S.F. / 0.377 AC.
- B. ZONING CLASSIFICATION: B-2
- C. PROPOSED USE OF STRUCTURE IS A ONE STORY RESTAURANT WITH A DRIVE-THRU WINDOW.
- D. BUILDING AREA: BUILDING: 2860 S.F., COOLER: 200 S.F., TOTAL: 3060 S.F.
- E. TOTAL NO. OF UNITS ALLOWED: N/A
- F. TOTAL NO. OF UNITS PROVIDED: N/A
- G. MIN. SF AREA: N/A
- H. MAXIMUM NUMBER OF EMPLOYEES: 14
- I. NO. OF PARKING STALLS REQUIRED: EXISTING RETAIL: 22,244 SF @ 5/1000 = 112, NEW RESTAURANT: 3,060 SF @ 14/1000 = 52, TOTAL: 155
- J. NO. OF PARKING STALLS PROVIDED ON SITE: 155
- NOTE: KENNY ROGERS ROASTERS HAS RECIPROCAL PARKING AND INGRESS/ EGRESS PARKING AGREEMENTS W/ ADJOINING OWNER. COPIES ARE ATTACHED TO APPLICATION.
- K. OPEN SPACE: N/A
- L. RECR. OPEN SPACE: N/A
- M. BUILDING COVERAGE OF SITE: 18.6%
- N. PAVED PARKING LOT COVERAGE OF SITE: 3023.6 S.F. / 18.4% COVERAGE

- GENERAL NOTES:**
- THE INFORMATION SHOWN HEREIN WAS TAKEN FROM A SURVEY INCLUDED HERewith PROVIDED BY THE FISHER, COLLINS, CARTER, INC. (410) 461-2655. VERIFY SETBACKS W/ CODE OFFICIAL PRIOR TO CONSTRUCTION. SURVEY PREPARED MAY 4, 1994.
  - THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  - ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL LOCAL, STATE AND A.D.A. STANDARDS.
  - ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
  - PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY.
  - THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND R.O.W.'S, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS.
  - CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
  - ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC. SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH RESPECTIVE UTILITY.
  - CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
  - ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
  - DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
  - THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT.
  - THE G.C. SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
  - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY.
  - THE CONTRACTOR SHALL NOTIFY THE DEPT. OF PUBLIC WORKS/CONST. INSPECTION DIVISION AT 313-1888 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
  - THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
  - TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO PLACEMENT OF ANY ASPHALT.
  - THIS SITE IS TO UTILIZE PUBLIC SEWER & WATER. CONTRACT 4115 AND 84 1722 A.
  - EXISTING UTILITIES WERE LOCATED BY FIELD SURVEY. SURVEY PREPARED BY FISHER, COLLINS AND CARTER ON MAY 12, 1994.
  - THE PROPOSED WATER QUALITY TWM FACILITY IS TO BE PRIVATELY OWNED AND MAINTAINED.
  - THERE ARE NO ENCRUCHING 100 YEAR FLOOD PLAINS ON THIS SITE.
  - THIS SITE DEVELOPMENT PLAN IS SUBJECT TO WP-75-101 REQUEST TO WAIVE SECTION 16-15C (K) WHICH WOULD REQUIRE THE SUBMITTAL OF A NEW SITE DEVELOPMENT PLAN. WAIVER REQUEST WAS APPROVED ON JUNE 2, 1995.

**BENCHMARKS:**  
 COORDINATES BASED ON NAD 83, MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATION NOS. 24AA & 25B5.

STA. NO. 24 AA	N. 587388.601 E. 1352603.657	ELEVATION: 507.35
STA. NO. 24 B5	N. 586956.209 E. 1356570.817	ELEVATION: 410.58

**SIGNS @ BALT. NATIONAL PIKE**  
 SIGNAGE CONFORMING TO MD. STATE HIGHWAY ADMINISTRATION STANDARDS SHALL BE PROVIDED ON THE ENTRANCES ALONG ROUTE 48 AS DESIGNATED BELOW:

- (A) PROVIDE "RIGHT TURN ONLY" SIGN
- (B) PROVIDE "NO LEFT TURN" SIGN

**PARKING AGREEMENT:**  
 ALL PARKING IN SHOPPING CENTER IS AVAILABLE TO KENNY ROGERS ROASTERS BY VIRTUE OF A LEASE AGREEMENT DATED 04/20/94 BETWEEN DEVELOPMENT ASSOCIATES AND ROASTERS CORPORATION.

TGD	3290 CENTENNIAL LANE
PARCEL	STREET ADDRESS
	ADDRESS CHART

2-28-95  
 HARRY FITZWATER  
 THIS DEVELOPMENT APPROVED BY THE  
 PROPERTY DEVELOPMENT ASSOC.

PRESENT OWNER:  
 THE PROPERTY DEVELOPMENT ASSOC.  
 ATTN: GENERAL COUNSEL, #90-5305-03  
 15115 S.W. SEQUOIA PKWY., #200  
 PORTLAND, OR 97224

DEVELOPER/PURCHASER:  
 KENNY ROGERS ROASTERS, LTD.  
 809 W. CYPRUS CREEK ROAD  
 SUITE 500  
 FORT LAUDERDALE, FL 33308

**ENGINEER'S CERTIFICATE**  
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

**THE ROBERTS GROUP, PSC**  
 239 Southland Drive  
 Suite C  
 Lexington, KY 40503  
 (606) 276-2006

Signature: *Kevin R. Hill*  
 DATE: 11-3-94

**DEVELOPER'S CERTIFICATE**  
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

Signature: *John R. Robertson*  
 DATE: 11-3-94

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.  
*Patricia Engle* 6/16/95  
 U.S. SOIL CONSERVATION SERVICE

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
*John R. Robertson* 6/16/95  
 DISTRICT

APPROVED: DEPT. OF PLANNING AND ZONING  
*James S. Smith* 6/23/95  
 PLANNING DIRECTOR DATE

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWAGE SYSTEMS  
*John M. ...* 6/23/95  
 HEALTH OFFICER DATE

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER & SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.  
*James S. Smith* 6/23/95  
 DIRECTOR, PUBLIC WORKS DATE  
*Paul ...* 6/23/95  
 CHIEF, BUREAU OF ENGINEERING DATE

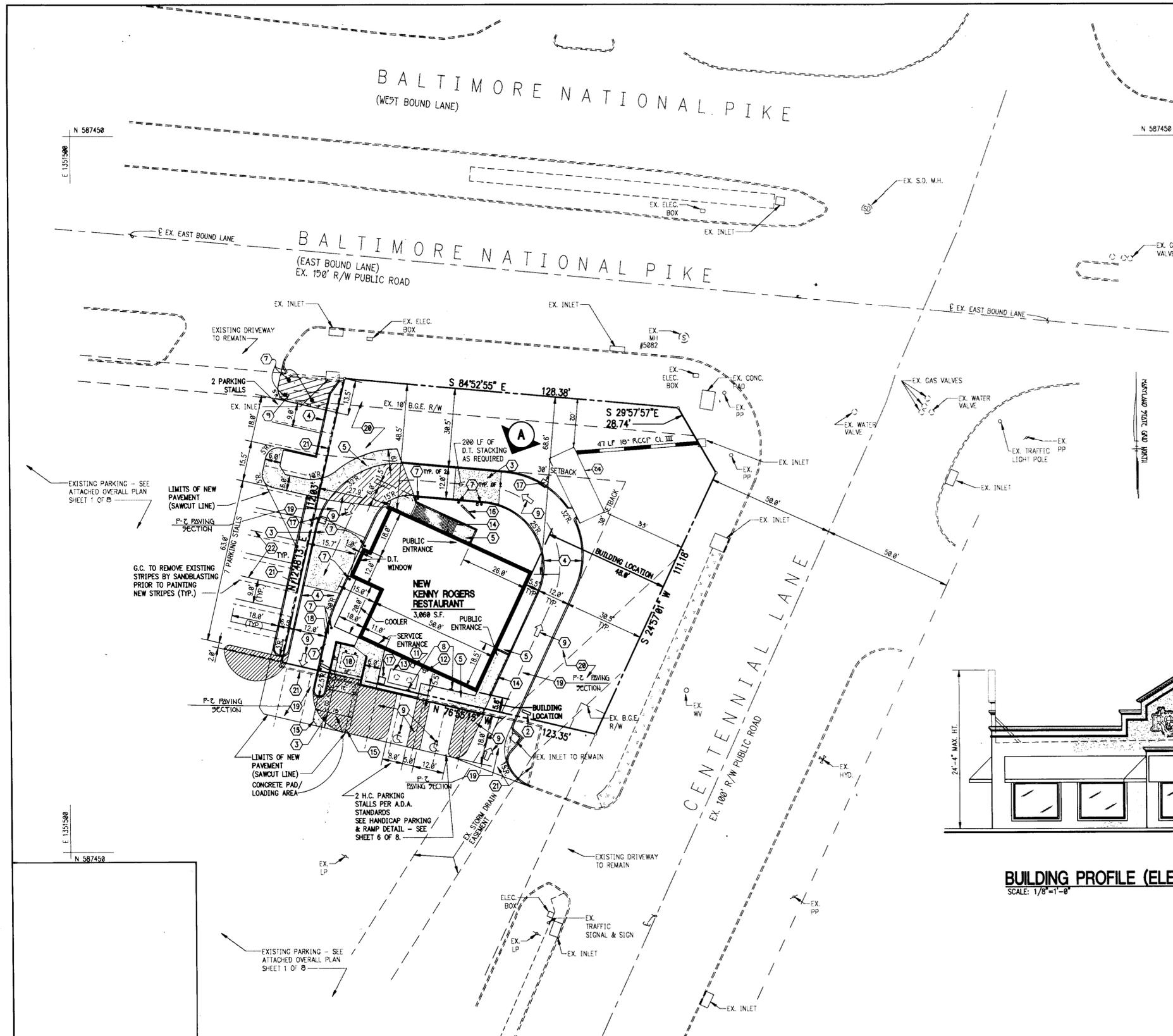
PROPERTY/SUBDIVISION	KENNY ROGERS ROASTERS	
SECTION/AREA	708	
PLAT NO.	900/24	BLOCK NO. 2
ZONE	B-2	TAX/ZONE 24/2
ELEC. DIST.	SECOND	CENSUS TR. 0823.01
WATER CODE	H-80	SEWER CODE 5448000

**OVERALL SITE DEVELOPMENT PLAN FOR: KENNY ROGERS ROASTERS RESTAURANT**

TAX MAP 24  
 SECOND ELECTION DISTRICT  
 SCALE: 1"=30'

PARCEL 708  
 HOWARD COUNTY, MARYLAND  
 DATE: JAN. 6, 1995

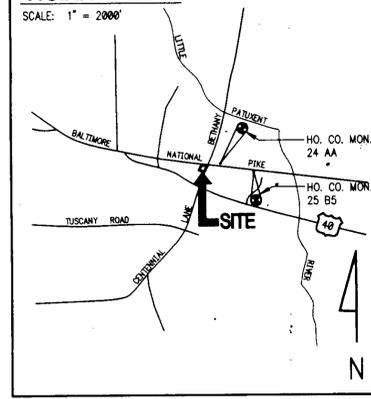
SHEET: 1 OF: 8  
 SDP 95-21



**KEY NOTES:**

- NEW POLE SIGN, SUPPLIED BY ROASTER'S, INSTALLED BY SIGN CONTRACTOR. G.C. TO PROVIDE CONDUIT/WIRE TO PANEL AS REQUIRED. (G.C. AND SIGN CONTRACTOR TO VERIFY ANY SIGN SETBACKS AND CONFIRM CORRECT PLACEMENT V CODE OFFICIAL.)
- DRIVE THRU DIRECTIONAL SIGN, INSTALLED BY SIGN CONTRACTOR. G.C. TO PROVIDE CONDUIT/WIRE TO PANEL AS REQUIRED. (G.C. AND SIGN CONTRACTOR TO VERIFY ANY SIGN SETBACKS AND CONFIRM CORRECT PLACEMENT V CODE OFFICIAL.)
- CONCRETE PAVEMENT. SEE NOTES HEREON. SEE ON 7/8.
- CONCRETE CURB, SEE 4/DETAIL SHT. G.
- CONCRETE WALK WITH TURNDOWN, SEE 5/DETAIL SHT. I. TURNDOWN MAY BE DELETED WHERE WALK DOES NOT ABUT PAVEMENT.
- CONCRETE HANDICAP RAMP. SLOPE NOT TO EXCEED 1:12. SEE GRADING PLAN.
- PIPE BOLLARD, SEE 1/DETAIL SHT. G.
- HANDICAP PARKING SIGN, SEE 6/CE-5. G.C. TO INSTALL SIGN SO AS NOT TO FALL WITHIN CAR OVERHANG.
- PAINTED SIGNS, STRIPES, ARROWS. SEE 5/DETAIL SHT. G.
- REFUSE ENCLOSURE, SEE 1-5/DETAIL SHEET B
- GAS METER.
- ELECTRIC METER.
- GREASE INTERCEPTOR, SEE GRADING PLAN AND DETAIL SHT. G.
- HANDRAIL, SEE ARCH SHEETS.
- 2' CHAMFER ON ALL CONCRETE CORNERS. TYP.
- MENU BOARD, SUPPLIED AND INSTALLED BY SIGN CONTRACTOR. SEE ELECTRICAL SHEETS.
- LOT LIGHT - SEE SCHEDULE.
- "THANK YOU"/"DO NOT ENTER" SIGN SUPPLIED AND INSTALLED BY SIGN CONTRACTOR. G.C. AND SIGN CONTRACTOR TO VERIFY ANY SIGN SETBACKS AND CONFIRM CORRECT PLACEMENT V CODE OFFICIAL.)
- ASPHALT PAVEMENT, SEE NOTES HEREON. DETAIL ON 7/8.
- LANDSCAPE AREA. SEE LANDSCAPE PLAN.
- EXISTING CURB AND PAVEMENT TO BE REMOVED AND REPLACED.
- EXISTING STRIPES TO BE REMOVED. G.C. TO REMOVE EXISTING PIPES BY SANDBLASTING PRIOR TO PAINTING NEW STRIPES (TYP.).
- NEW WATER QUALITY STRUCTURE. SEE SHEET 3 OF B AND SHEET B OF B.

**VICINITY MAP:**

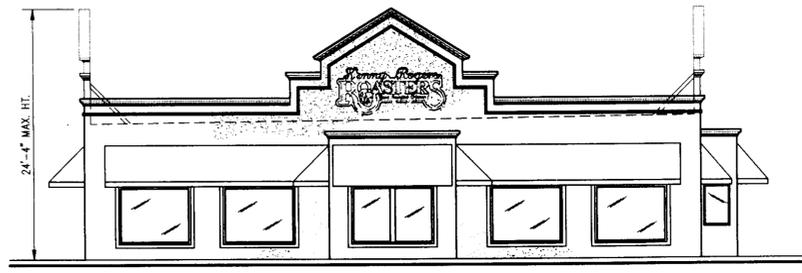


**LIGHTING SCHEDULE:**

ALL LOT LIGHTS (3) SHALL BE 1000W METAL HALIDE LIGHTS ON 30' POLES. POLES & LIGHT FIXTURES SHALL BE ANODIZED BRONZE FINISHED ALUM. POLES. G.C. SUPPLIES ALL EQUIP., WIRING, CONC. BASES, ETC.

**GENERAL NOTES:**

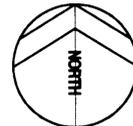
- THE INFORMATION SHOWN HEREIN WAS TAKEN FROM A SURVEY INCLUDED HERewith PROVIDED BY THE FISHER, COLLINS, CARTER, INC. (410) 461-2855. VERIFY SETBACKS V CODE OFFICIAL PRIOR TO CONSTRUCTION.
- THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL LOCAL, STATE AND A.D.A. STANDARDS.
- ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
- PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY.
- THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND R.O.W.'S, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC. SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH RESPECTIVE UTILITY.
- CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
- ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
- DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT.
- THE G.C. SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY.
- THE CONTRACTOR SHALL NOTIFY THE DEPT. OF PUBLIC WORKS/CONST. INSPECTION DIVISION AT 313-1808 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO PLACEMENT OF ANY ASPHALT.
- THIS SITE IS TO UTILIZE PUBLIC SEWER & WATER, CONTRACT No. 4115 AND 24-172C-A.
- EXISTING UTILITIES WERE LOCATED BY FIELD SURVEY.



**BUILDING PROFILE (ELEVATION)**  
SCALE: 1/8"=1'-0"

PRESENT OWNER:  
THE PROPERTY DEVELOPMENT ASSOC.  
ATTN: GENERAL COUNSEL #99-5385-03  
1515 S.W. SEQUOIA PKWY. #200  
PORTLAND, OR 97224

DEVELOPER/PURCHASER:  
KENNY ROGERS ROASTERS, LTD.  
899 W. CYPRUS CREEK ROAD  
SUITE 500  
FORT LAUDERDALE, FL 33309



**TRG** The Roberts Group, PSC  
239 Southland Drive  
Suite C  
Lexington, KY 40503  
(606) 276-2006

**ENGINEER'S CERTIFICATE**  
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*John P. Roberts*  
REGISTERED PROFESSIONAL ENGINEER  
SIGNATURE OF ENGINEER  
DATE: 11-3-94

**DEVELOPER'S CERTIFICATE**  
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

*John P. Roberts*  
SIGNATURE OF DEVELOPER  
DATE: 11-3-94

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

*Patricia Engle*  
U.S. SOIL CONSERVATION SERVICE  
DATE: 6/16/95

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John P. Roberts*  
DISTRICT  
DATE: 6/16/95

APPROVED: DEPT. OF PLANNING AND ZONING

*Joseph Smith*  
PLANNING DIRECTOR  
DATE: 6/27/95

*Anna Jaramani*  
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH  
DATE: 6/28/95

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWAGE SYSTEMS

*James McKeough*  
HEALTH OFFICER  
DATE: 6/22/95

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER & SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.

*James McKeough*  
DIRECTOR, PUBLIC WORKS  
DATE: 6/29/95

*William J. ...*  
CHIEF, BUREAU OF ENGINEERING  
DATE: 6/16/95

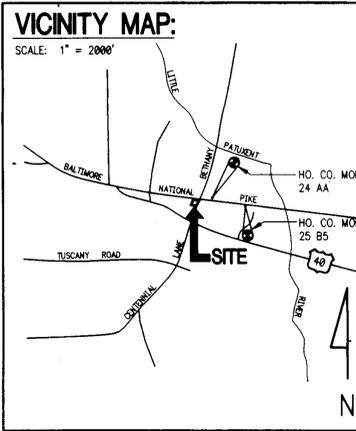
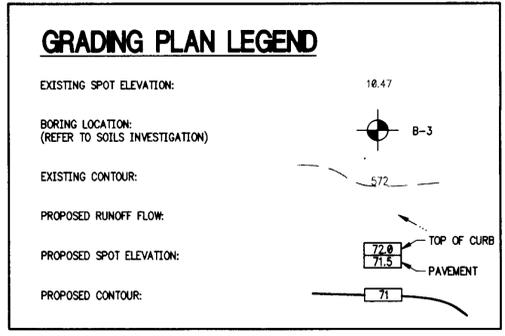
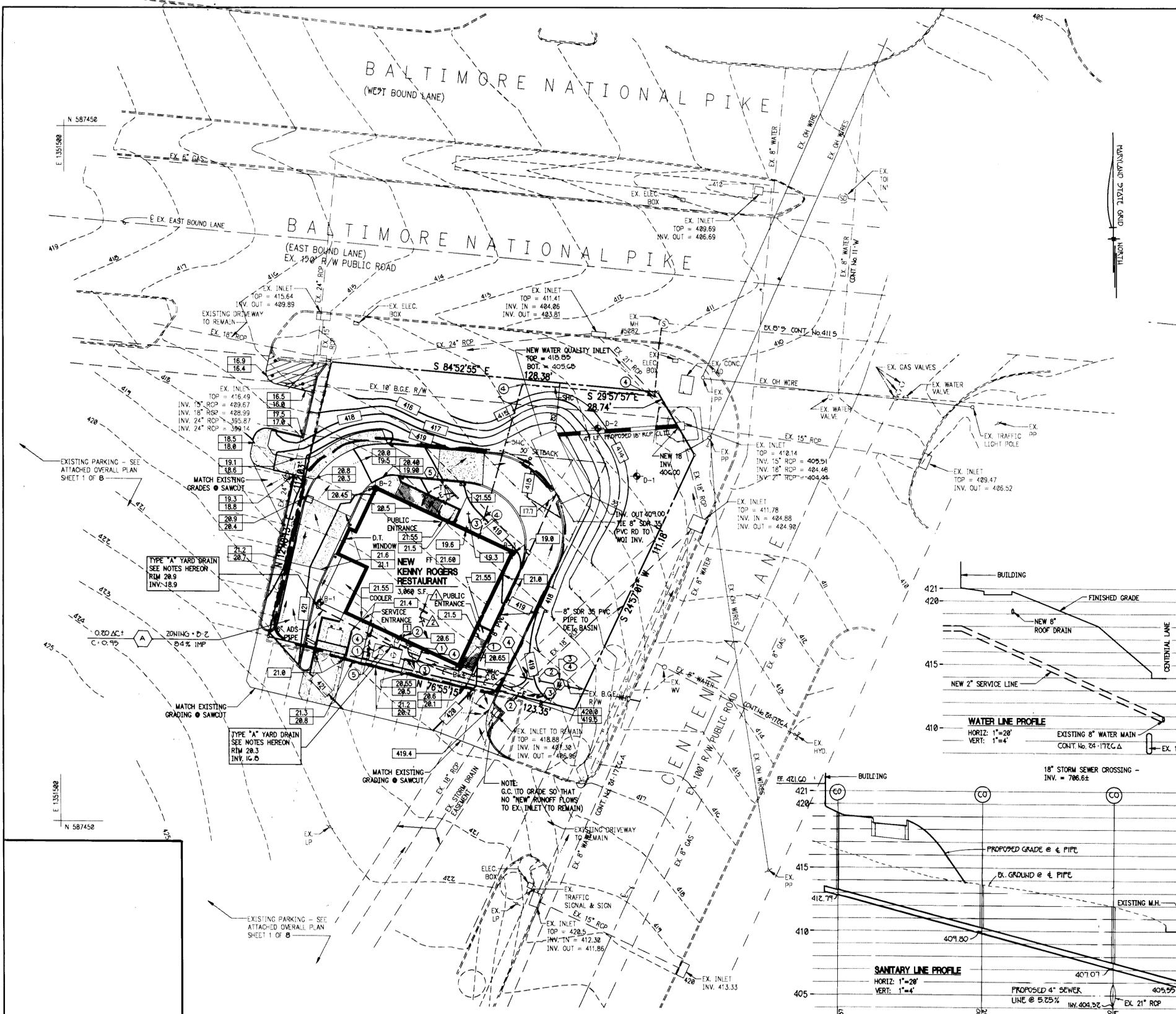
PROPERTY:		SECTION/AREA	PARCEL
KENNY ROGER'S ROASTERS			768
PLAT NO. 999/24	BLOCK NO. 2	TAX/ZONE B-2	ELEC. DIST. 24
WATER CODE 44-88		SEWER CODE	CENSUS TR. 0023.01
			5440000

**SITE DEVELOPMENT PLAN FOR: KENNY ROGERS ROASTERS RESTAURANT**

TAX MAP 24  
SECOND ELECTION DISTRICT  
SCALE: 1"=20'

PARCEL 768  
HOWARD COUNTY, MARYLAND  
DATE: JAN. 6, 1995

SHEET: 2 OF: 8  
SDP 95-21



### UTILITY NOTES:

#### ELECTRIC SERVICE

CONTACT: BALTIMORE GAS & ELECTRIC

THE G.C. SHALL BE RESPONSIBLE FOR ALL COSTS RELATED TO PROVIDING ELECTRIC SERVICE FOR THE NEW ROASTERS FACILITY. THE G.C. SHALL CONFIRM ALL COSTS PRIOR TO BIDDING.

- NEW ELECTRIC CONNECTION POINT FOR UNDERGROUND ELECTRIC SERVICE AT THIS LOCATION. (SEE SHT. E-1.)
- NEW SECONDARY ELECTRIC CONDUIT (2-4" PVC MIN.) AND CABLE AS REQUIRED BY CODE & UTILITY. G.C. TO CONFIRM W/ UTILITY CO. PRIOR TO BIDDING. G.C. IS RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH NEW ELECTRIC SERVICE.
- G.C. TO COORDINATE ELECTRIC SERVICE INSTALLATION/CONNECTION POINT.
- NEW CONDUIT AND WIRE BY G.C. TO NEW POLE SIGNS, DIRECTIONAL SIGNS AND LIGHTS. SEE E-SHEETS IN THIS SET.
- G.C. TO PROVIDE WIRING & CONDUIT FOR MENU BOARD, COMMUNICATION & TIMING SYSTEMS AS REQUIRED. SEE ELEC. SHEET E-4 IN THIS SET.

#### WATER SERVICE

CONTACT: HOWARD COUNTY PUBLIC WORKS

THE G.C. SHALL BE RESPONSIBLE FOR ALL COSTS RELATED TO PROVIDING WATER SERVICE FOR THE NEW ROASTERS FACILITY. THE G.C. SHALL CONFIRM ALL COSTS PRIOR TO BIDDING. THE NEW METER SHOULD BE SIZED BASED ON THE NEW 2" WATER SERVICE.

- 2" WATER BLDG. CONNECTION POINT.
- 2" TYPE K COPPER WATER LINE BY G.C.
- G.C. TO COORDINATE A NEW 1 1/2" WATER METER BY UTILITY CO. VERIFY NEW METER SIZE WITH THE UTILITY COMPANY.
- WATER UTILITY TO EXTEND SERVICE LINE AND SET NEW WATER METER. G.C. TO FIELD VERIFY EXACT LOCATION W/ UTILITY CO.

#### SANITARY SEWER

CONTACT: HOWARD COUNTY PUBLIC WORKS

THE G.C. SHALL BE RESPONSIBLE FOR ALL COSTS RELATED TO PROVIDING SANITARY SEWER SERVICE FOR THE NEW ROASTERS FACILITY. THE G.C. SHALL CONFIRM ALL COSTS PRIOR TO BIDDING.

- SANITARY LINE (GREASE) FROM BLDG. TO GREASE INTERCEPTOR SEE P1.
- GREASE INTERCEPTOR VENT SEE P1.
- NON-GREASE SAN. LINE SEE P1.
- CLEAN OUT. G.C. TO PROVIDE PER THIS SHEET, P1, & AS RECD. BY CODE.
- 1000 GAL. GREASE INTERCEPTOR SEE ON DETAIL SHT. 6/B
- 4" SANITARY LINE TO TAP MANHOLE BY G.C.
- SANITARY SEWER TAP BY UTILITY.

#### GAS SERVICE

CONTACT: BALTIMORE GAS & ELECTRIC

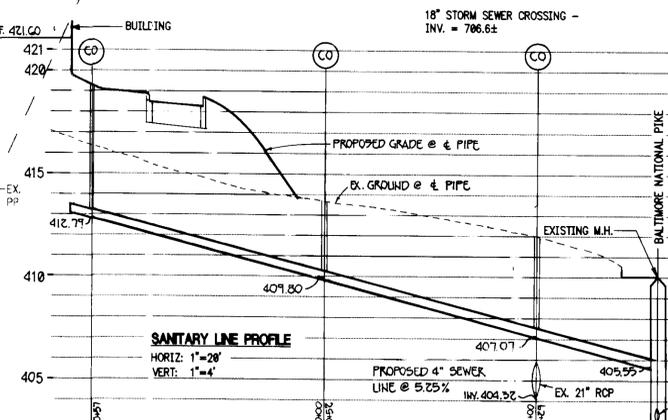
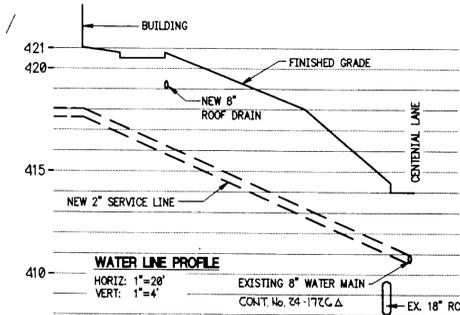
THE G.C. SHALL BE RESPONSIBLE FOR ALL COSTS RELATED TO PROVIDING GAS SERVICE FOR THE NEW ROASTERS FACILITY. THE G.C. SHALL CONFIRM ALL COSTS PRIOR TO BIDDING.

- NEW GAS METER LOCATION BY UTILITY CO., GAS SERVICE LINE TO BUILDING BY UTILITY.

#### TELEPHONE SERVICE

THE G.C. SHALL BE RESPONSIBLE FOR ALL COSTS RELATED TO PROVIDING TELEPHONE SERVICE FOR THE NEW ROASTERS FACILITY. THE G.C. SHALL CONFIRM ALL COSTS PRIOR TO BIDDING.

- TELEPHONE BOARD LOCATION SEE E1.
- APPROPRIATE UTILITY COMPANY.
- NEW TELEPHONE LINE/ CONDUIT. CONFIRM REQUIREMENTS W/ UTILITY CO. PRIOR TO BIDDING.



### GENERAL NOTES:

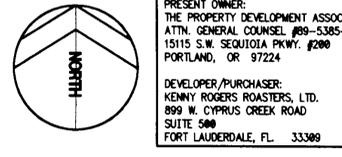
SEE SHEET SITE LAYOUT PLAN (SHT. 2 OF 6) FOR GENERAL NOTES.

### GRADING NOTES:

- REFER TO SPECIFICATION SECTION 2110, 2200, 15000 AND DRAWINGS CE-1, CE-3, CE-4, CE-5, CE-6 AND CE-7.
- ALL FILL TO BE COMPACTED TO 95% A.S.T.M. D698 STANDARD COMPACTION. SEE SOILS REPORT, CONTROLLED FILL SPECIFICATIONS AND SUBSURFACE SPECIFICATIONS.
- THE G.C. IS RESPONSIBLE FOR THE PLACEMENT AND FINAL RAKING OF ALL TOPSOIL REQUIRED TO COMPLETE THE SITE FOR ALL LANDSCAPING. TOPSOIL SHALL BE FILLED LEVEL TO THE TOP OF ADJOINING CURBS. COMPACT TOPSOIL TO 85% A.S.T.M. D698 STD. COMPACTION.
- UTILITY INFORMATION SHOWN HEREON WAS OBTAINED FROM THE BEST AVAILABLE SOURCE AND MAY OR MAY NOT BE EITHER ACCURATE OR COMPLETE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXACT LOCATIONS OF EXISTING UTILITIES AND IS RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITIES, EITHER PUBLIC OR PRIVATE, SHOWN HEREON OR NOT SHOWN HEREON.
- THE GENERAL CONTRACTOR SHALL CONFIRM ALL NEW UTILITY TAP LOCATIONS WITH THE UTILITY OWNERS.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE ACTUAL LOCATION AND AVAILABILITY OF ALL EXISTING AND PROPOSED UTILITIES IN THE FIELD PRIOR TO GROUND BREAKING.
- GENERAL CONTRACTOR SHALL PROVIDE UNDERGROUND CONDUIT & WIRE TO SIGNS, LIGHTS, ETC. IT SHALL BE PLACED IN GRASS OR LANDSCAPE AREAS WHEREVER POSSIBLE. THE LOCATION OF THE CONDUIT AS SHOWN ON THESE PLANS SHALL BE CONSIDERED TO BE SCHEMATIC WITH ACTUAL LOCATION TO BE VERIFIED BY THE GENERAL CONTRACTOR.
- SEE E SHEETS FOR SIZE OF CONDUIT AND WIRE ON ALL ELECTRICAL SERVICE.
- EXCAVATE/FILL TO REQUIRED SUB-BASE DESIGN ELEVATION AS PER REQUIREMENTS OF SPECIFICATIONS. SHOULD UNSATISFACTORY SOIL CONDITIONS EXIST CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE TO DETERMINE WHETHER OR NOT TO SEE THE RECOMMENDATIONS OF A QUALIFIED SOILS ENGINEER. FAILURE OF THE CONTRACTOR TO MAKE SUCH NOTIFICATION SHALL IMPOSE THE BURDEN OF RESPONSIBILITY FOR ADEQUACY OF SOIL BEARING QUALITIES AND SUBSEQUENT DAMAGE, UPON THE CONTRACTOR.
- CONTRACTOR IS TO ADJUST ANY UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN OUT MANHOLES, CATCH BASINS, INLETS, ETC.) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT. REFER TO SHEET CE-1.
- REMOVE EXISTING TOP SOIL FROM AREAS TO BE PAVED AND REPLACE WITH SUITABLE COMPACTED FILL.
- YARD DRAINS SHOWN HEREON SHALL BE 12" INLINE DRAIN 1/2" ADAPTOR. SET GRADE FLUSH W/ FINISH GRADE, SET INVERT OF RECEIVING PIPE AT 2" BELOW GRADE. ADS: 1-000-733-9987

### SOILS INVESTIGATION:

THE G.C. SHALL PERFORM ALL WORK IN CONFORMANCE WITH THE SOILS INVESTIGATION PREPARED FOR THIS PROJECT. ANY RECOMMENDATIONS OR MATERIAL SPECIFICATIONS SHALL SUPERCEDE THESE PLANS.



PRESENT OWNER:  
THE PROPERTY DEVELOPMENT ASSOC.  
ATTN: GENERAL COUNSEL #89-5385-03  
15115 S.W. SEQUOIA PKWY. #200  
PORTLAND, OR 97224

DEVELOPER/PURCHASER:  
KENNY ROGERS ROASTERS, LTD.  
899 W. CYPRUS CREEK ROAD  
SUITE 500  
FORT LAUDERDALE, FL 33309

**ENGINEER'S CERTIFICATE**

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

**Virginia**  
SIGNATURE OF ENGINEER DATE 11/8/94

**DEVELOPER'S CERTIFICATE**

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

**Virginia**  
SIGNATURE OF DEVELOPER DATE 11/3/94

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

**Patricia Englund** 6/16/95  
U.S. SOIL CONSERVATION SERVICE

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

**John R. Robertson** 6/14/95  
DISTRICT HOWARD SOIL CONSERVATION DISTRICT

APPROVED: DEPT. OF PLANNING AND ZONING

**James J. Smith** 6/23/95  
PLANNING DIRECTOR DATE

**Anna Stummack** 6/28/95  
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH DATE

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWAGE SYSTEMS

**James M. Boyd** 6/23/95  
HEALTH OFFICER DATE

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER & SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.

**James J. Smith** 6/23/95  
DEPUTY PUBLIC WORKS DATE

**John R. Robertson** 6/23/95  
CHIEF, BUREAU OF ENGINEERING DATE

PROPERTY: KENNY ROGERS ROASTERS SECTION/AREA PARCEL 788

PLAT NO. 988/24	BLOCK NO. 2	ZONE B-2	TAX/ZONE 24	ELEC. DIST. SECOND	CENSUS TR. 0023.01
WATER CODE H-08	SEWER CODE	5440000			

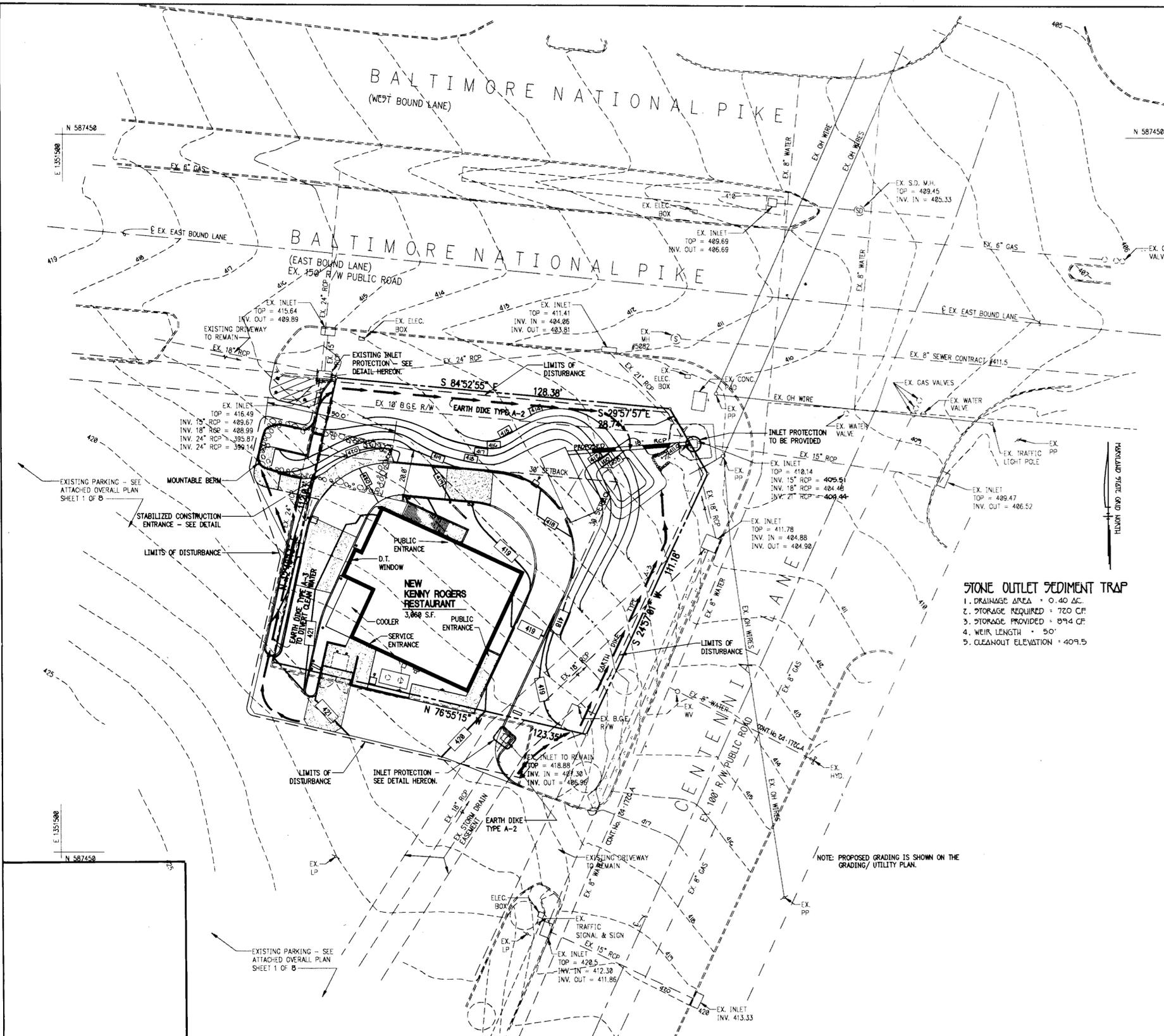
**GRADING/ UTILITY PLAN**  
FOR:  
**KENNY ROGERS ROASTERS RESTAURANT**

TAX MAP 24 SECOND ELECTION DISTRICT SCALE: 1"=20'

PARCEL 788 HOWARD COUNTY, MARYLAND DATE: JAN 6, 1995

SHEET: 3 OF 8  
9DP 95-71

C:\CURRENT\94239\95\2191B 11-02-94



**PERMANENT SEEDING NOTES:**

APPLY TO GRADED OR CLEARED AREA NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.  
 SEEDBED PREPARATION:  
 LOOSEN UPPER THREE-INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.  
 SOIL AMENDMENTS:  
 IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:  
 1) PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ. FT.) AND 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE-INCHES OF SOIL AT TIME OF SEEDING APPLY 400 LBS. PER 30-0-0 UREA FORM FERTILIZER (9 LBS/1000 SQ. FT.).  
 2) ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ. FT.) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (23 LBS/1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE-INCHES OF SOIL.  
 SEEDING:  
 FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS. PER ACRE (1.4 LBS/1000 SQ. FT.) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 LBS. PER ACRE OF WEeping LOVEGRASS, DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY: OPTION (1) 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING; OPTION (2) USE SOD; OPTION (3) SEED WITH 60 LBS/ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WITH ANCHORED STRAW.  
 MULCHING:  
 APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ. FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ. FT.) FOR ANCHORING.  
 MAINTENANCE:  
 INSPECT ALL SEEDED AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

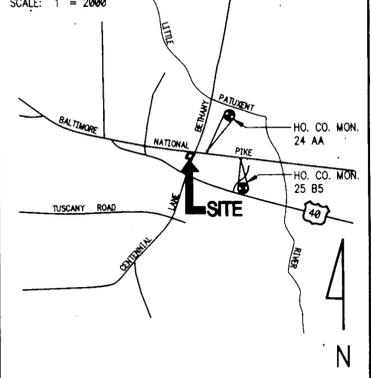
**TEMPORARY SEEDING NOTES:**

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.  
 SEEDBED PREPARATION:  
 LOOSEN UPPER THREE-INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.  
 SOIL AMENDMENTS:  
 APPLY 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ. FT.)  
 SEEDING:  
 FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU NOVEMBER 15, SEED WITH 2 1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS/1000 SQ. FT.). FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS PER ACRE OF WEeping LOVEGRASS (87 LBS/1000 SQ. FT.). FOR THE PERIOD NOVEMBER 16 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.  
 MULCHING:  
 APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ. FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL PER ACRE (5 GAL/1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FT. OR HIGHER, USE 348 GAL PER ACRE (8 GAL/1000 SQ. FT.) FOR ANCHORING.  
 REFER TO THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

**SEDIMENT CONTROL NOTES:**

- 1) A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY OFFICE OF INSPECTIONS AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION (992-2437).
- 2) ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- 3) FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKS, PERIMETER SLOPES AND ALL GREATER THAN 3:1, B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- 4) ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12 OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- 5) ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDINGS (SEC. 51) SOD (SEC. 54), TEMPORARY SEEDING (SEC. 50) AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- 6) ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- 7) SITE ANALYSIS:  
 TOTAL AREA OF SITE: 0.377 ACRES  
 AREA DISTURBED: 0.350 ACRES  
 AREA TO BE ROOFED OR PAVED: 0.135 ACRES  
 AREA TO BE VEGETATIVELY STABILIZED: 0.242 ACRES  
 TOTAL CUT: 159 CU. YDS. (TOPSOIL/ORGANIC MATTER)  
 TOTAL FILL: 1,172 CU. YDS.  
 OFFSITE WASTE/BORROW AREA LOCATION: 1,172 CU. YDS. \*\*  
 \*\*OFFSITE WASTE AREA MUST BE APPROVED BY EROSION AND SEDIMENT CONTROL INSPECTOR.
- 8) ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- 9) ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY DPW SEDIMENT CONTROL INSPECTOR.
- 10) ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS. BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.

**VICINITY MAP:**



**SEQUENCE OF CONSTRUCTION:**

1. OBTAIN GRADING PERMIT.
2. INSTALL SEDIMENT CONTROL DEVICES AS SHOWN ON PLAN - 2 DAYS.
3. CLEAR AND GRUB SITE - 2 DAYS.
4. MASS GRADE SITE, CONSTRUCT FOUNDATION AND INSTALL TEMPORARY SEEDING - 14 DAYS.
5. CONSTRUCT BUILDING AND UTILITIES - 60 DAYS.
6. INSTALL CURB/GUTTER, SIDEWALK AND DUMPSTER PAD - 7 DAYS.
7. INSTALL FENCING, FINE GRADE SITE, AND INSTALL PERMANENT SEEDING - 2 DAYS.
8. REMOVE S.C.E. AND INSTALL SUB-BASE - 2 DAYS.
9. CONSTRUCT WATER QUALITY INLET - 7 DAYS.
10. INSTALL PERMANENT SEEDING/SOD IN TRAPEZOIDAL CHANNEL - 1 DAY.
11. INSTALL LANDSCAPING - 7 DAYS.
12. INSTALL TACK COAT AND FINISH PAVING - 2 DAYS.
13. REMOVE SEDIMENT CONTROL DEVICES AS PERMISSION IS GRANTED BY E/S INSPECTOR.

**STONE OUTLET SEDIMENT TRAP**  
 1. DRAINAGE AREA = 0.40 AC.  
 2. STORAGE REQUIRED = 720 CF.  
 3. STORAGE PROVIDED = 874 CF.  
 4. WEIR LENGTH = 50'  
 5. CLEANOUT ELEVATION = 409.5

NOTE: PROPOSED GRADING IS SHOWN ON THE GRADING/UTILITY PLAN.

**ENGINEER'S CERTIFICATE**  
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL, REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

**TRG** The Roberts Group, PSC  
 239 Southland Drive  
 Suite C  
 Lexington, KY 40503  
 (606) 276-2006

*[Signature]*  
 SIGNATURE OF ENGINEER  
 DATE: 11-3-94

**DEVELOPER'S CERTIFICATE**  
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

*[Signature]*  
 SIGNATURE OF DEVELOPER  
 DATE: 11-3-94

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

*[Signature]* 6/16/95  
 U.S. SOIL CONSERVATION SERVICE

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*[Signature]* 6/16/95  
 DISTRICT

*[Signature]* 11-3-94  
 HOWARD SOIL CONSERVATION DISTRICT

APPROVED: DEPT. OF PLANNING AND ZONING

*[Signature]* 6/29/95  
 PLANNING DIRECTOR DATE

*[Signature]* 6/29/95  
 CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH DATE

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWAGE SYSTEMS

*[Signature]* 6/22/95  
 HEALTH OFFICER DATE

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER & SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.

*[Signature]* 6/29/95  
 DIRECTOR OF PUBLIC WORKS DATE

*[Signature]* 6/29/95  
 CHIEF, BUREAU OF ENGINEERING DATE

PROPERTY: KENNY ROGERS'S ROASTERS'S SECTION/AREA PARCEL 788

PLAT NO. 898/24 BLOCK NO. 2 ZONE B-2 TAX/ZONE 24 ELEC. DIST. SECOND CENSUS TR. 0623.01

WATER CODE H-08 SEWER CODE 5440000

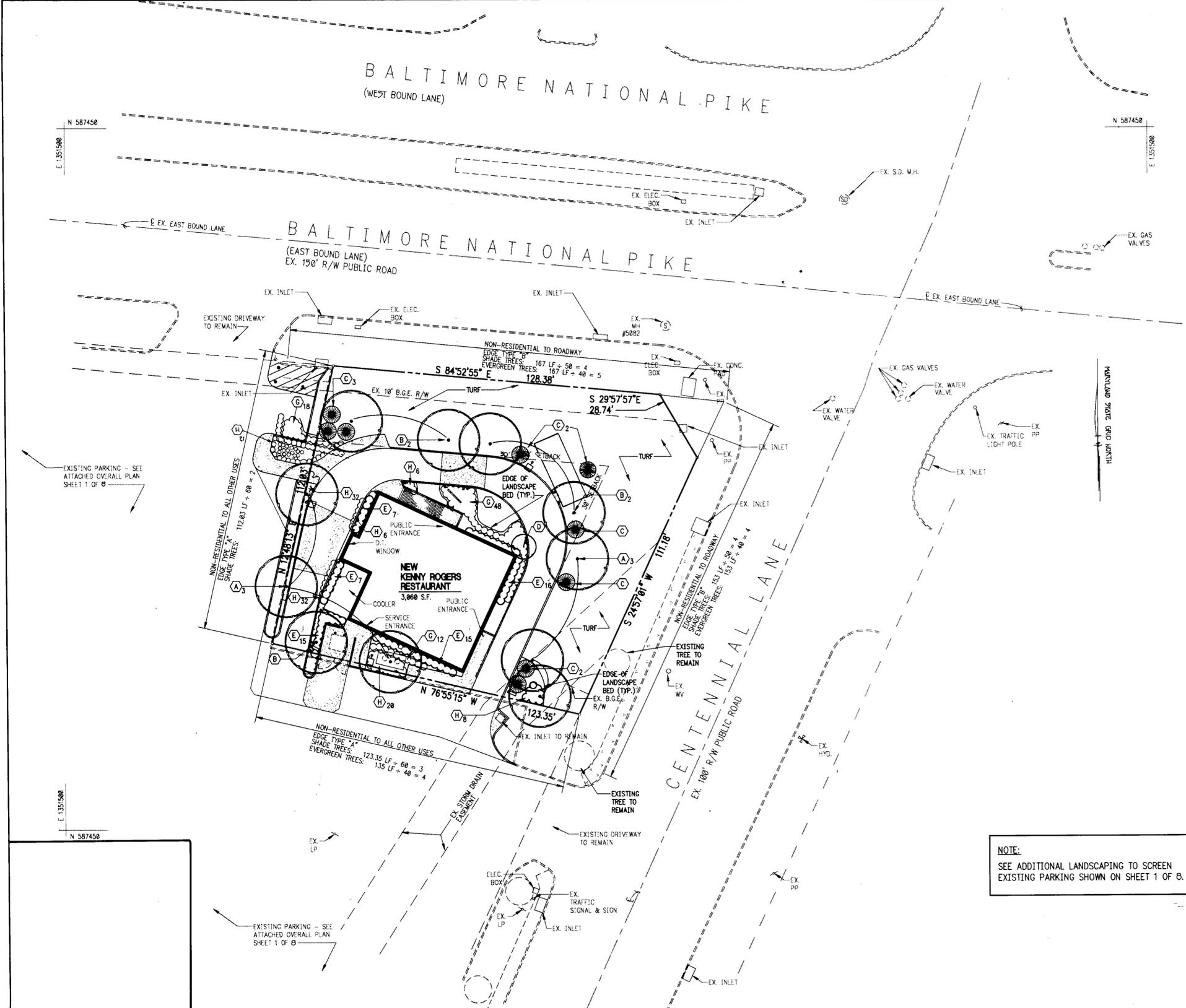
**EROSION CONTROL PLAN FOR: KENNY ROGERS ROASTERS RESTAURANT**

TAX MAP 24 SECOND ELECTION DISTRICT SCALE: 1"=200'

PARCEL 788 HOWARD COUNTY, MARYLAND DATE: JAN. C., 1995

SHEET: 4 OF: 8

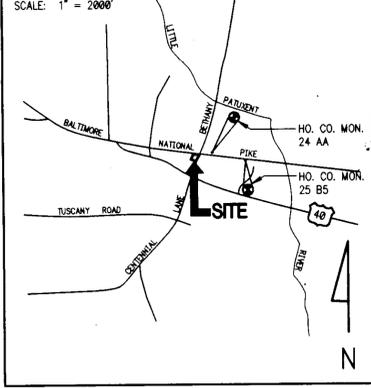
9DP 95-21



**PLANT LIST:**

KEY	PLANT	SIZE	REMARKS
A	'IMPERIAL' THORNLESS HONEYLOCUST <i>Gleditsia triacanthos inermis</i> 'Imperial'	2 1/2" caliper	BALLED/BURLAP
B	'GREENSPIRE' LITTLELEAF LINDEN <i>Tilia cordata</i> 'Greenspire'	2 1/2" caliper	BALLED/BURLAP
C	AUSTRIAN PINE <i>Pinus nigra</i>	6-8' ht.	BALLED/BURLAP
D	STAR MAGNOLIA <i>Magnolia stellata</i>	6-8' ht.	BALLED/BURLAP
E	'BUIFORDII' HOLLY <i>Ilex x cornuta</i> 'Buifordii'	24" ht.	BALLED/BURLAP
F	DWARF WINGED EUONYMUS <i>Euonymus alata</i> 'Compacta'	24" ht.	BALLED/BURLAP
G	'DELAWARE VALLEY WHITE' AZALEA <i>Azalea</i> sp. 'Delaware Valley White'	24" ht.	BALLED/BURLAP
H	'EMERALD GAIEITY' EUONYMUS <i>Euonymus fortunei</i> 'Emerald Gaieity'	3 gallon	BALLED/BURLAP

**VICINITY MAP:**



**SCHEDULE A**

CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES
LANDSCAPE TYPE	B	A
LINEAL FEET OF ROADWAY OR PERIMETER	284 LF	235.38 LF
CREDIT FOR EXISTING VEGETATION	-	-
CREDIT FOR WALL, FENCE OR VERM	-	-
NUMBER OF PLANTS (SHADE TREE) REQUIRED:	106	116

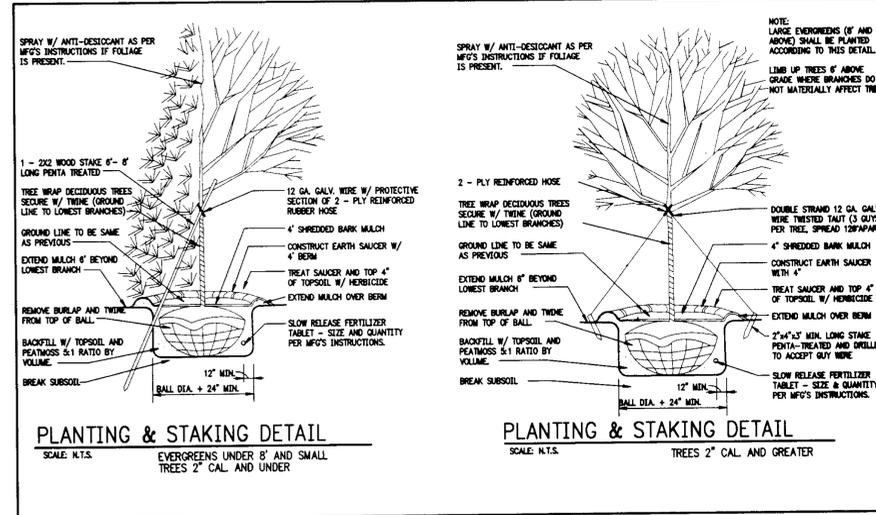
**SCHEDULE B**

**PARKING LOT INTERNAL LANDSCAPING**

NO. OF PARKING SPACES:	0
NO. OF TREES REQUIRED:	0
NO. OF TREES PROVIDED:	0

NOTE: FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS A PART OF THE D.P.W. DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$21,000.00. (LANDSCAPING 21 TREES @ \$100.00 = \$21,000)

NOTE: THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.



NOTE: SEE ADDITIONAL LANDSCAPING TO SCREEN EXISTING PARKING SHOWN ON SHEET 1 OF 8.

**DEVELOPER'S/BUILDER'S CERTIFICATE**

I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certification of Landscape Installation accompanied by an executed one year guarantee of plant materials will be submitted to the Department of Planning and Zoning.

*Larry Peter*  
SIGNATURE DATE: 3-1-95

**PRESENT OWNER:**  
THE PROPERTY DEVELOPMENT ASSOC.  
ATTN: GENERAL COUNSEL #89-5385-03  
15115 S.W. SECUTIOIA PKWY #200  
PORTLAND, OR 97224

**DEVELOPER/PURCHASER:**  
KENNY ROGERS ROASTERS, LTD.  
899 W. CYPRUS CREEK ROAD  
SUITE 500  
FORT LAUDERDALE, FL 33300

**TRG** The Roberts Group, PSC  
239 Southland Drive  
Suite C  
Lexington, KY 40503  
(606) 276-2006

**ENGINEER'S CERTIFICATE**

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*[Signature]*  
SIGNATURE OF ENGINEER DATE: 11-3-94

**DEVELOPER'S CERTIFICATE**

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

*Larry Peter*  
SIGNATURE OF DEVELOPER DATE: 11/2/94

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

*Patricia Engle* 6/14/95  
U.S. SOIL CONSERVATION SERVICE DATE

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*[Signature]* 6/14/95  
DISTRICT DATE

APPROVED: DEPT. OF PLANNING AND ZONING

*[Signature]* 6/29/95  
PLANNING DIRECTOR DATE

*[Signature]* 6/29/95  
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH DATE

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWAGE SYSTEMS

*[Signature]* 6/29/95  
HEALTH OFFICER DATE

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER & SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.

*[Signature]* 6/29/95  
DIRECTOR, PUBLIC WORKS DATE

*[Signature]* 6/29/95  
CHIEF, BUREAU OF ENGINEERING DATE

PROPERTY: KENNY ROGERS ROASTERS'S PARCEL 788

PLAT NO. 908/24	BLOCK NO. 2	ZONE B-2	TAX/ZONE 24	ELEC. DIST. SECOND	CENSUS TR. 0023.01
WATER CODE H-08	SEWER CODE	5440000			

**LANDSCAPE PLAN FOR: KENNY ROGERS ROASTERS RESTAURANT**

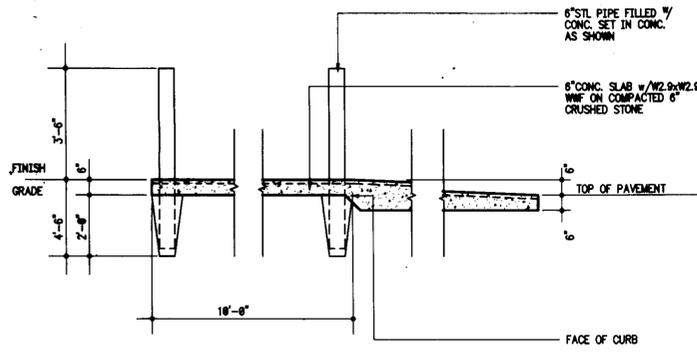
TAX MAP 24 SECOND ELECTION DISTRICT SCALE: 1" = 20'

PARCEL 788 HOWARD COUNTY, MARYLAND DATE: JAN. 6, 1995

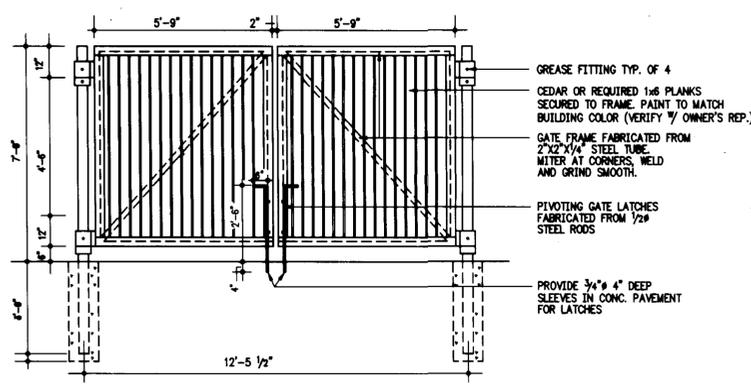
SHEET: 9 OF 9

CURRENT 9/4/2015 10:23:18  
SCALE 1" = 20'

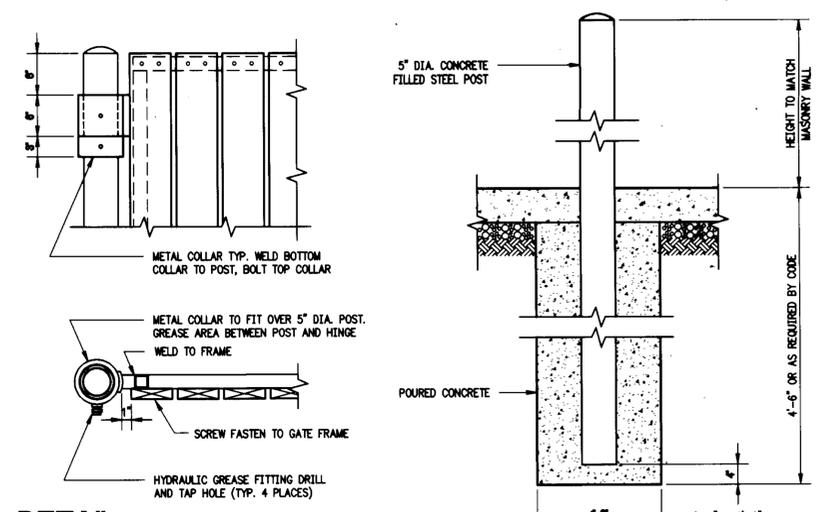




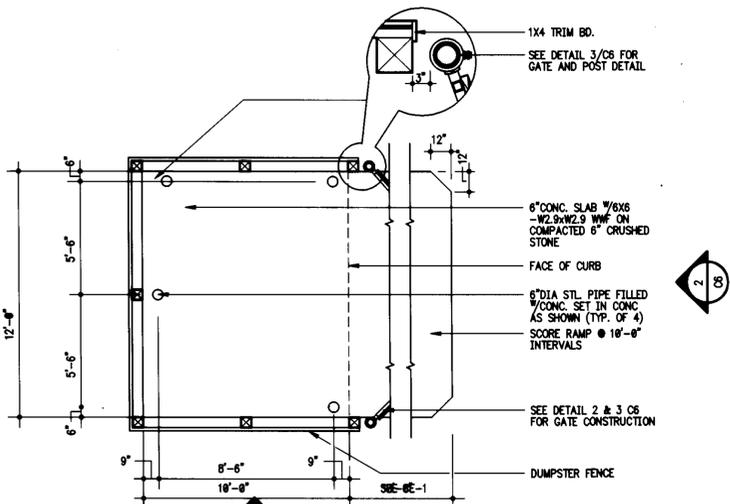
**DETAIL 1**  
DUMPSTER PAD SECTION  
SCALE: 3/8" = 1'-0"



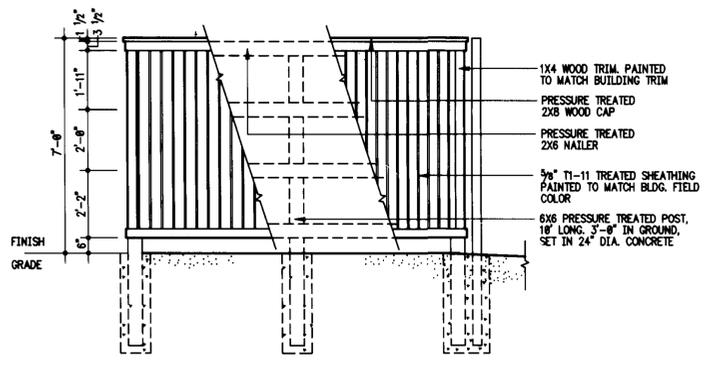
**DETAIL 2**  
DUMPSTER FENCE GATE  
SCALE: 3/8" = 1'-0"



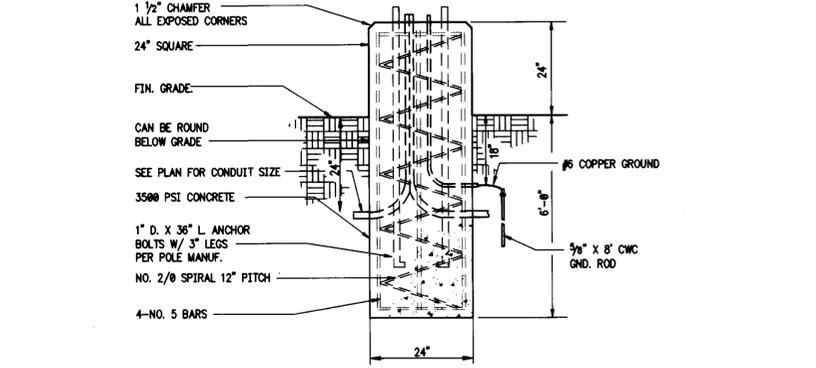
**DETAIL 3**  
DUMPSTER GATE AND HINGE  
SCALE: 1" = 1'-0"



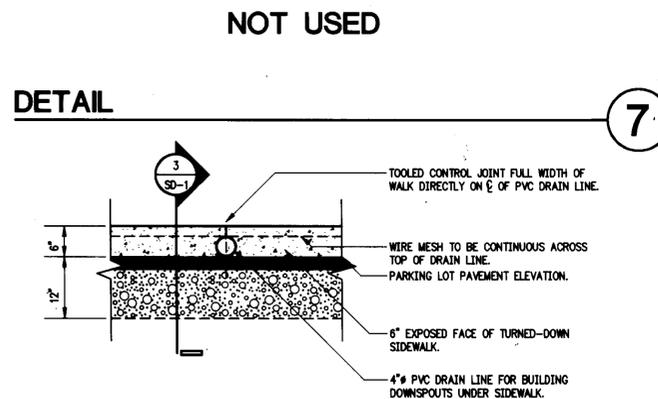
**DETAIL 4**  
WOOD DUMPSTER FENCE 1/4 CONCRETE PAD & APRON  
SEE SITE PLAN FOR TYPE OF FENCE SPECIFIED.  
SCALE: 1/4" = 1'-0"



**DETAIL 5**  
WOOD DUMPSTER FENCE ELEVATION  
SCALE: 3/8" = 1'-0"



**DETAIL 6**  
POLE BASE  
SCALE: 3/4" = 1'-0"



**DETAIL 7**  
NOT USED  
SCALE: 3/4" = 1'-0"

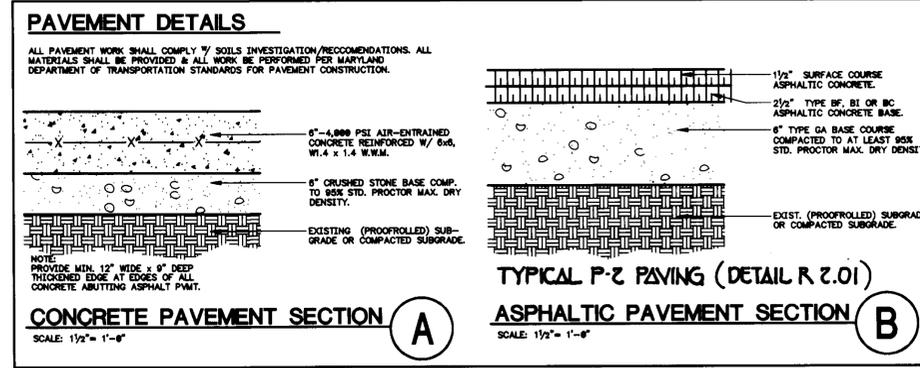
**GENERAL NOTES:**  
SEE SHEET GE-1 FOR GENERAL NOTES.

**ASPHALT PAVEMENT NOTES:**

- WORK INCLUDED: Install all asphalt paving and base as shown on drawings.
- WEATHER LIMITATIONS: Do not apply prime and tack coats when temperature is below 50 degrees F or when base is wet. Apply asphalt concrete paving only when temperature is above 50 & rising 40 degrees F and when base is dry.
- PAVING TOLERANCES: In-place compacted asphalt concrete paving will not be acceptable if exceeding the following tolerances:  
1 - Thickness of pavement, not more than 1/4", plus or minus.  
2 - Wearing course surface smoothness, not more than 3/16" when measured with a 10'-0" straightedge.
- MATERIALS: Use locally available materials and aggregate gradations, which exhibit a satisfactory record of previous installation and comply with the S.C. "STD. Specifications for Highway Construction" 1986 edition. AASHTO M228 Asphalt Cement and AASHTO M17 Mineral Filler.
- SURFACE PREPARATION: Remove loose materials from compacted base before applying prime coat. Do not begin paving work until unsatisfactory subbase conditions have been corrected.
- Apply tack coat at the rate of 0.85 to 0.15 gal. per sq. yd. to in-place asphalt or concrete contact surface and other surfaces which will contact paving. AASHTO M148 or M286.
- Apply prime coat at a rate of 0.82 to 0.85 gal. per sq. yd. over compacted base material. AASHTO M82.

**GENERAL PAVEMENT NOTES:**

- ALL SITE WORK AND PAVING MUST BE IN ACCORDANCE WITH OR SURPASS RECOMMENDATIONS OF SOILS REPORT. IF SOILS REPORT CONFLICTS WITH DRAWINGS AND SPECIFICATIONS, THE MORE PROHIBITIVE OF THE TWO SHALL TAKE PRECEDENCE AND BE CONSIDERED TO BE THE INTENT OF THE BID DOCUMENTS.
- ALL FILL ON THE PROPERTY SHALL BE ADEQUATELY COMPACTED BY ROLLING TO PRODUCE A SURFACE SATISFACTORY FOR THE PROPER INSTALLATION OF BASE COURSE AND PAVING. BEFORE PAVING WORK, THE PAVING CONTRACTOR MUST BE CERTAIN THAT THE SURFACES TO BE COVERED ARE IN PROPER CONDITIONS. SURFACES NOT ACCEPTABLE SHALL BE REPORTED TO THE OWNER IMMEDIATELY. THE APPLICATION OF PAVING MATERIALS SHALL BE HELD AS ACCEPTANCE OF THE SURFACES & WORKING CONDITIONS BY THE PAVING CONTRACTOR WHO WILL BE HELD RESPONSIBLE FOR PRODUCING THE REASONABLE RESULTS EXPECTED.



**DETAIL 8**  
UNDERWALK DRAIN LINE  
SCALE: 3/4" = 1'-0"

**DETAIL 8**  
UNDERWALK DRAIN LINE  
SCALE: 3/4" = 1'-0"

**DETAIL 9**  
PAVEMENT DETAILS AND NOTES  
SCALE: 1/2" = 1'-0"

PRESENT OWNER:  
THE PROPERTY DEVELOPMENT ASSOC.  
ATTN: GENERAL COUNSEL (800-5385-03)  
1515 S.W. SEQUOIA PKWY. #200  
PORTLAND, OR 97224

DEVELOPER/PURCHASER:  
KENNY ROGERS ROASTERS, LTD.  
809 W. CYPRUS CREEK ROAD  
SUITE 500  
FORT LAUDERDALE, FL 33306

**TRG** The Roberts Group, PSC  
238 Southland Drive  
Suite C  
Lexington, KY 40503  
(606) 276-2006

**ENGINEER'S CERTIFICATE**  
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*[Signature]*  
SIGNATURE OF ENGINEER  
DATE: 11-3-94

**DEVELOPER'S CERTIFICATE**  
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

*[Signature]*  
SIGNATURE OF DEVELOPER  
DATE: 11/3/94

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

*[Signature]* 6/14/95  
U.S. SOIL CONSERVATION SERVICE

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*[Signature]* 6/14/95  
DISTRICT  
HOWARD SOIL CONSERVATION DISTRICT

APPROVED: DEPT. OF PLANNING AND ZONING

*[Signature]* 6/22/95  
PLANNING DIRECTOR DATE

*[Signature]* 6/28/95  
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH DATE

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS

*[Signature]* 6/22/95  
HEALTH OFFICER DATE

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER & SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.

*[Signature]* 6/22/95  
DIRECTOR-PUBLIC WORKS DATE

*[Signature]* 6/22/95  
CHIEF, BUREAU OF ENGINEERING DATE

PROPERTY:	KENNY ROGERS ROASTERS			SECTION/AREA:	700
PLAT NO.	800/24	BLOCK NO.	2	TAX ZONE	D-2
WATER CODE	11-00	ELEC. DIST.	24	GENSUS TR.	0803.01
SEWER CODE	54-0000				

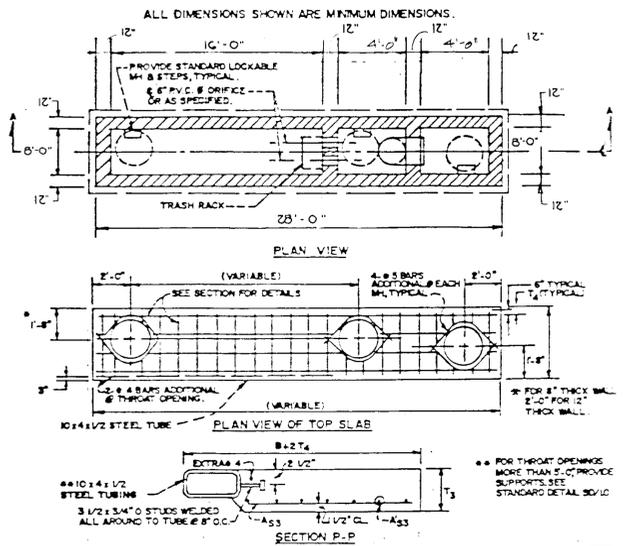
**CONSTRUCTION DETAILS FOR: KENNY ROGERS ROASTERS RESTAURANT**

TAX MAP 24  
SECOND ELECTION DISTRICT  
SCALE: 1" = 20'

PARCEL 700  
HOWARD COUNTY, MARYLAND  
DATE: JAN. C., 1995

SHEET: 7 OF 8

11:05 08-22-94

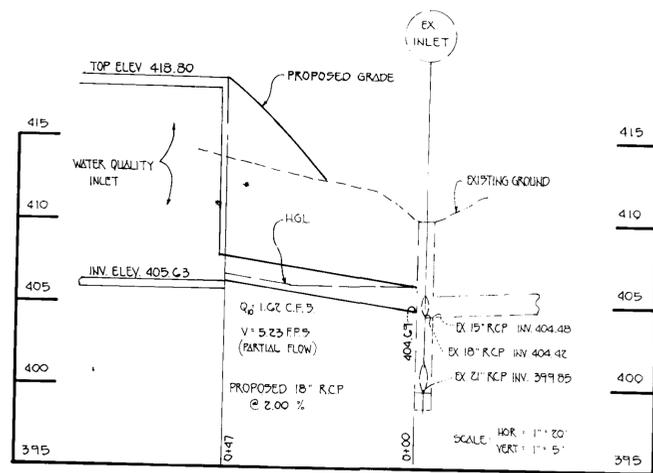


BASE SLAB		PARTITION WALLS		TOP SLAB		OUTER WALLS	
T <sub>1</sub>	A <sub>51</sub>	A <sub>52</sub>	T <sub>2</sub>	A <sub>52</sub>	T <sub>3</sub>	A <sub>54</sub>	A <sub>55</sub>
8"	6"	6"	8"	6"	8"	7"	6"

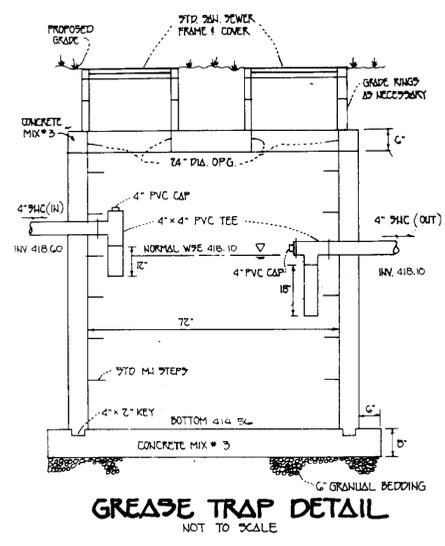
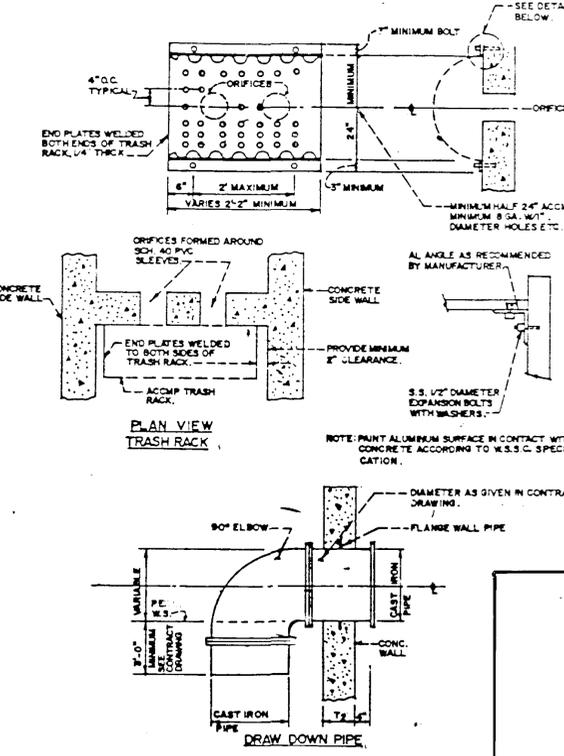
CAST IN PLACE CONCRETE  $f'_c = 4000$  psi @ 28 DAYS. REINFORCING STEEL IN ACCORDANCE WITH ASTM A615 GRADE 60

NOTE: FOR SECTION AND DETAILS REFER TO SD/706 AND SD/708.

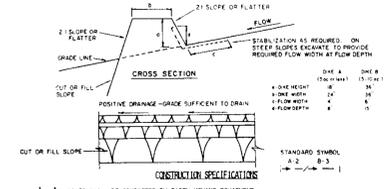
DOWELS:	A	B
#4	18	18
#5	27	27
#6	30	30



STORM DRAIN PROFILE DETAIL



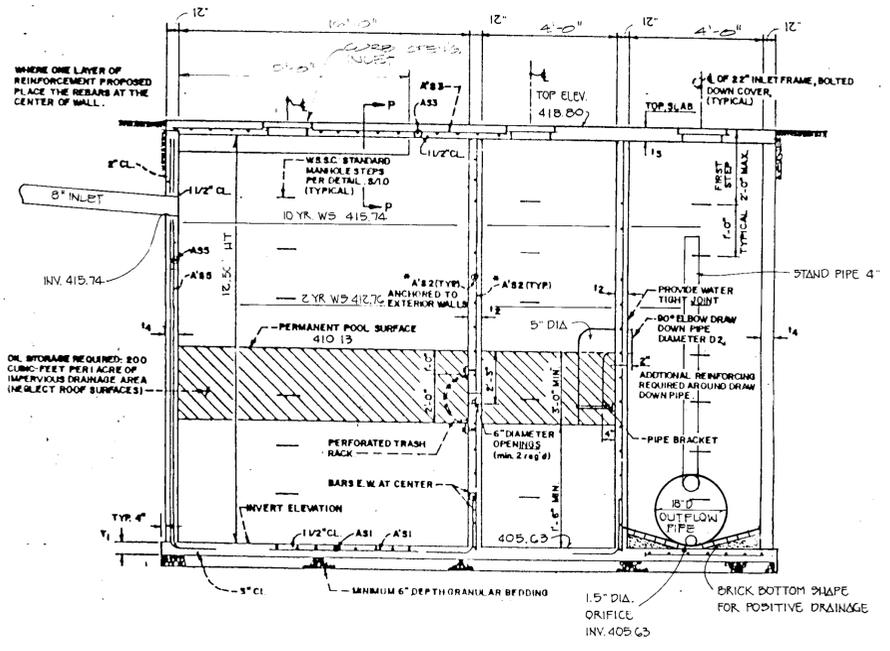
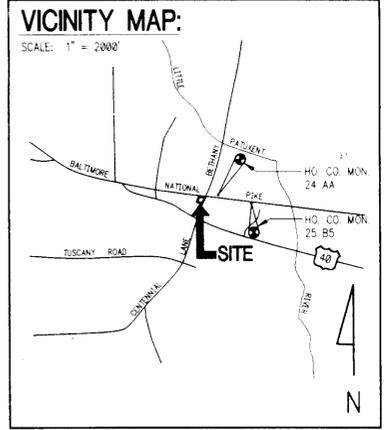
GREASE TRAP DETAIL NOT TO SCALE



CONSTRUCTION SPECIFICATIONS

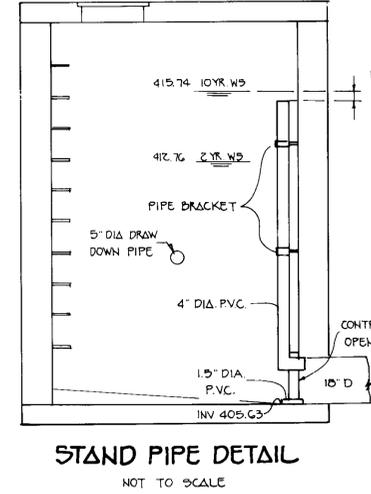
- ALL SIDES SHALL BE COMPACTED BY EARTHMOVING EQUIPMENT.
- ALL SIDES SHALL HAVE POSITIVE DRAINAGE TO AN OUTLET IF DESIRED TO FACILITATE PASSAGE BY CONSTRUCTION TRAFFIC.
- TOP WIDTH MAY BE WIDER AND SIDE SLOPES MAY BE FLATTER IF DESIRED TO FACILITATE CONSTRUCTION TRAFFIC.
- EARTH DIKES SHALL HAVE AN OUTLET THAT FUNCTIONS WITH A MINIMUM OF EROSION. TRAFFIC SHALL BE CONFINED TO A DESIGNATED TRAFFIC DRIVE SUCH AS A SIDEWALK OR DRIVEWAY. STABILIZATION SHALL BE PROVIDED TO PREVENT EROSION OF THE DIKE AREA. THE DIKE AREA IS NOT NECESSARILY STABILIZED.
- STABILIZATION SHALL BE: (a) IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEED AND STRAW MIXTURES IF NOT IN SEEDING, (b) FLOW CHANNELS AS PER THE DRAWING.

TYPE OF TREATMENT	ORIFICE SIZE	DISE A	DISE B
1	5-3/8"	SEED AND STRAW MIXTURE	SEED AND STRAW MIXTURE
2	5-1/2"	SEED AND STRAW MIXTURE	SEED AND STRAW MIXTURE
3	5-1/8"	SEED WITH LIME, OR SOIL	LIME RIB-RAP 48"
4	8-1/2"	LIME RIB-RAP 48"	ENGINEERING DESIGN



WATER QUALITY INLET DETAIL: NOT TO SCALE

EARTH DIKE NOT TO SCALE



STAND PIPE DETAIL NOT TO SCALE

STABILIZED CONSTRUCTION ENTRANCE NOT TO SCALE



PRESENT OWNER: THE PROPERTY DEVELOPMENT ASSOC. ATTN: GENERAL COUNSEL #89-5385-03 15115 S.W. SEQUOIA PKWY. #200 PORTLAND, OR 97224

DEVELOPER/PURCHASER: KENNY ROGERS ROASTERS, LTD. 899 W. CYPRUS CREEK ROAD SUITE 500 FORT LAUDERDALE, FL 33309

**TRG** The Roberts Group, PSC  
239 Southland Drive  
Suite C  
Lexington, KY 40503  
(606) 276-2006

ENGINEER'S CERTIFICATE  
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT ALL NECESSARY PERMITS HAVE BEEN OBTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: *[Signature]* DATE: 3-1-95

DEVELOPER'S CERTIFICATE  
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

APPROVED: *[Signature]* DATE: 11/3/94

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.  
*[Signature]* DATE: 6/16/95  
U.S. SOIL CONSERVATION SERVICE

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
APPROVED: *[Signature]* DATE: 6/16/95  
DISTRICT HOWARD SOIL CONSERVATION DISTRICT

APPROVED: DEPT. OF PLANNING AND ZONING  
*[Signature]* DATE: 6/29/95  
PLANNING DIRECTOR

*[Signature]* DATE: 6/28/95  
CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS  
*[Signature]* DATE: 6/22/95  
HEALTH OFFICER

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER & SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.  
*[Signature]* DATE: 6/26/95  
CHIEF, BUREAU OF ENGINEERING

PROPERTY:	KENNY ROGERS ROASTERS		SECTION/AREA:	PARCEL:	768
PLAT NO.:	996/24	BLOCK NO.:	2	TAX/ZONE:	24
WATER CODE:	H-00	ELEC. DIST.:	SECOND	CENSUS TR.:	6823.01
SEWER CODE:					5440000

**KENNY ROGERS ROASTERS RESTAURANT**

TAX MAP 24  
SECOND ELECTION DISTRICT  
SCALE: 1"=20'

PARCEL 768  
HOWARD COUNTY, MARYLAND  
DATE: JAN. C., 1995

SDP 95-21 SHEET: 8 OF: 8