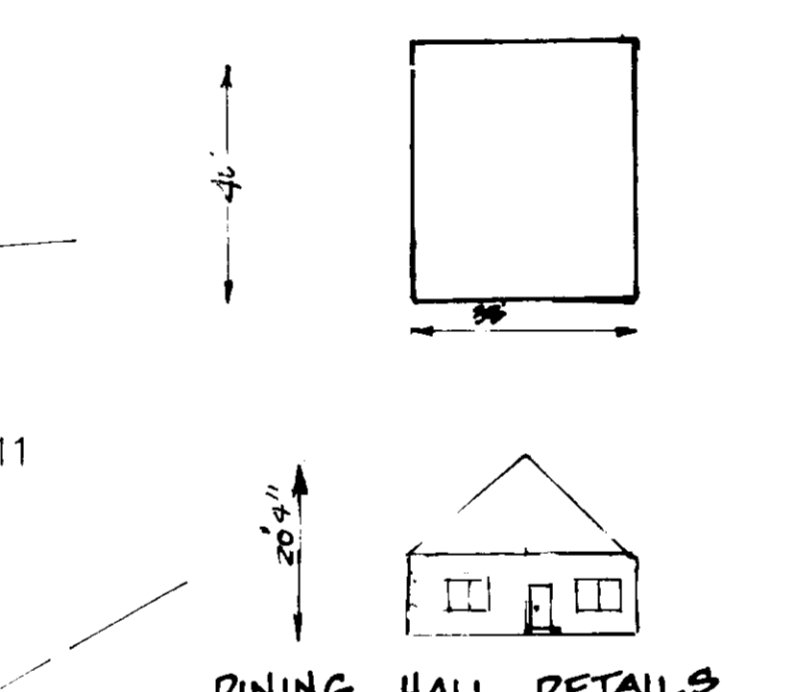
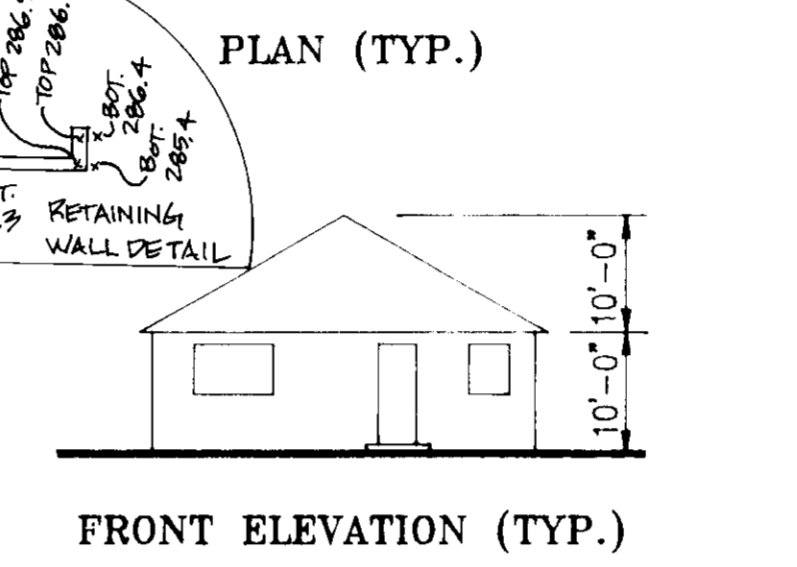
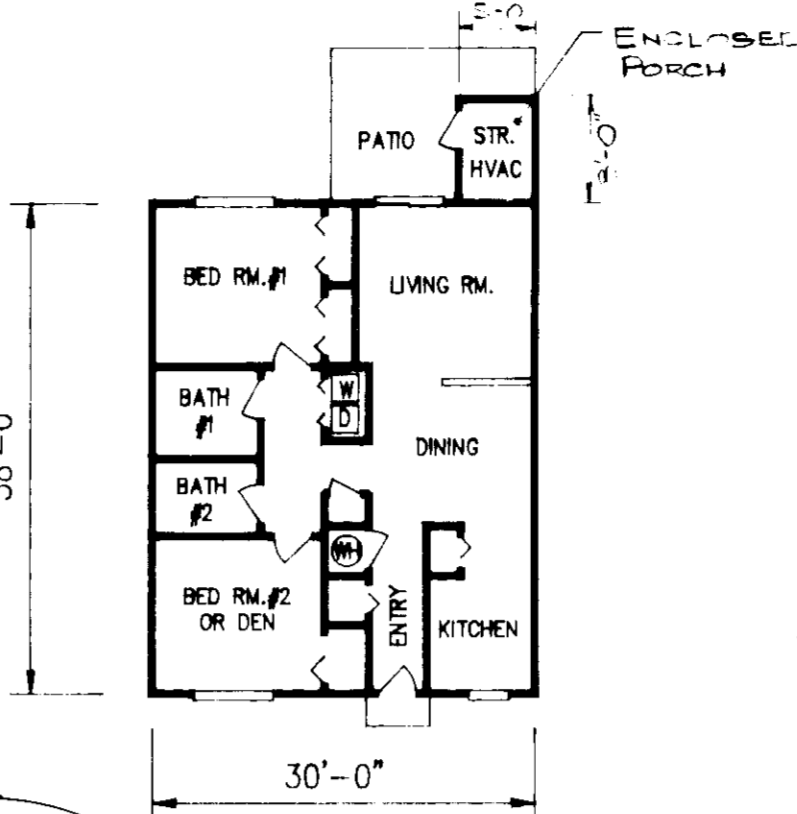
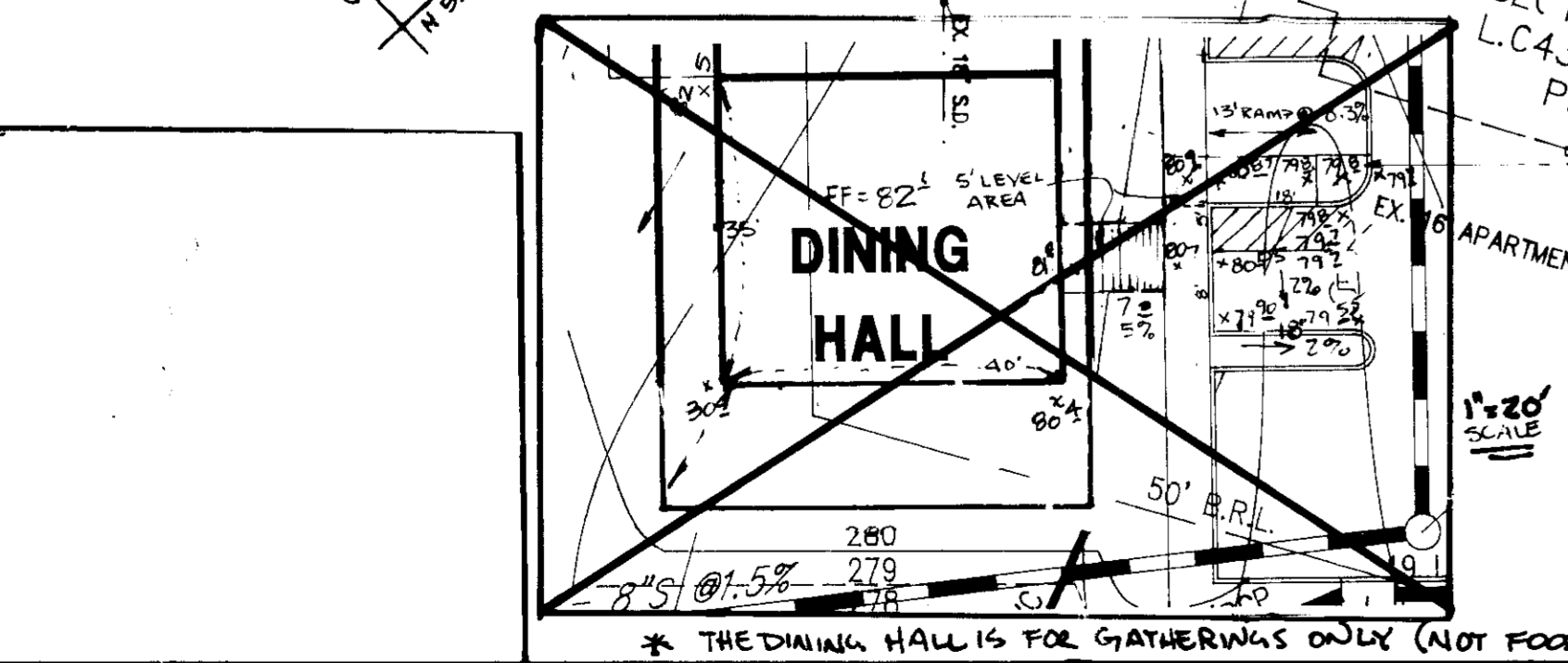
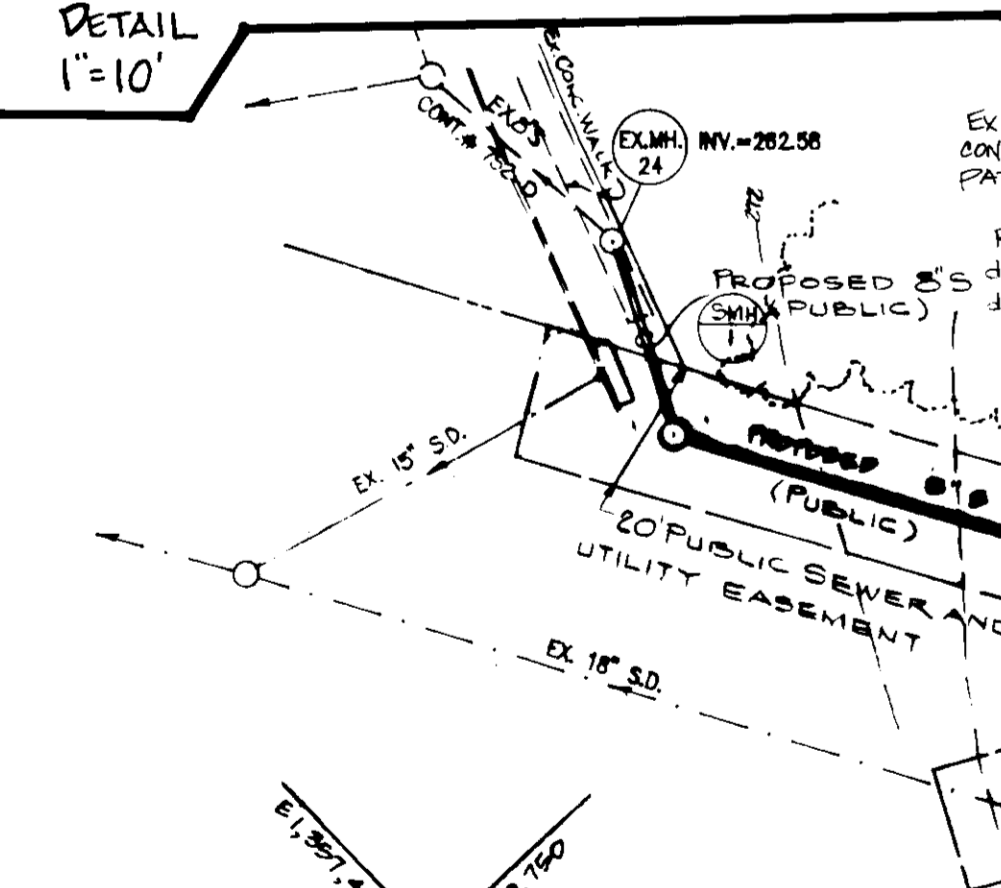
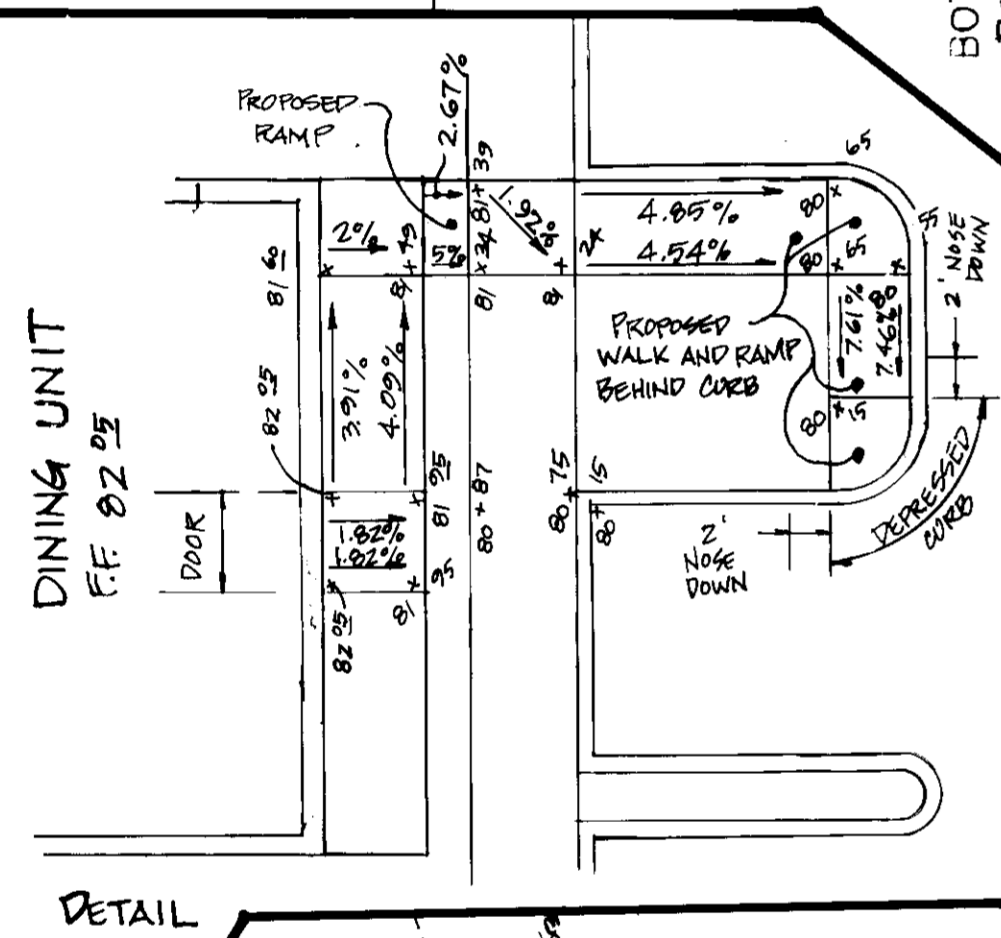
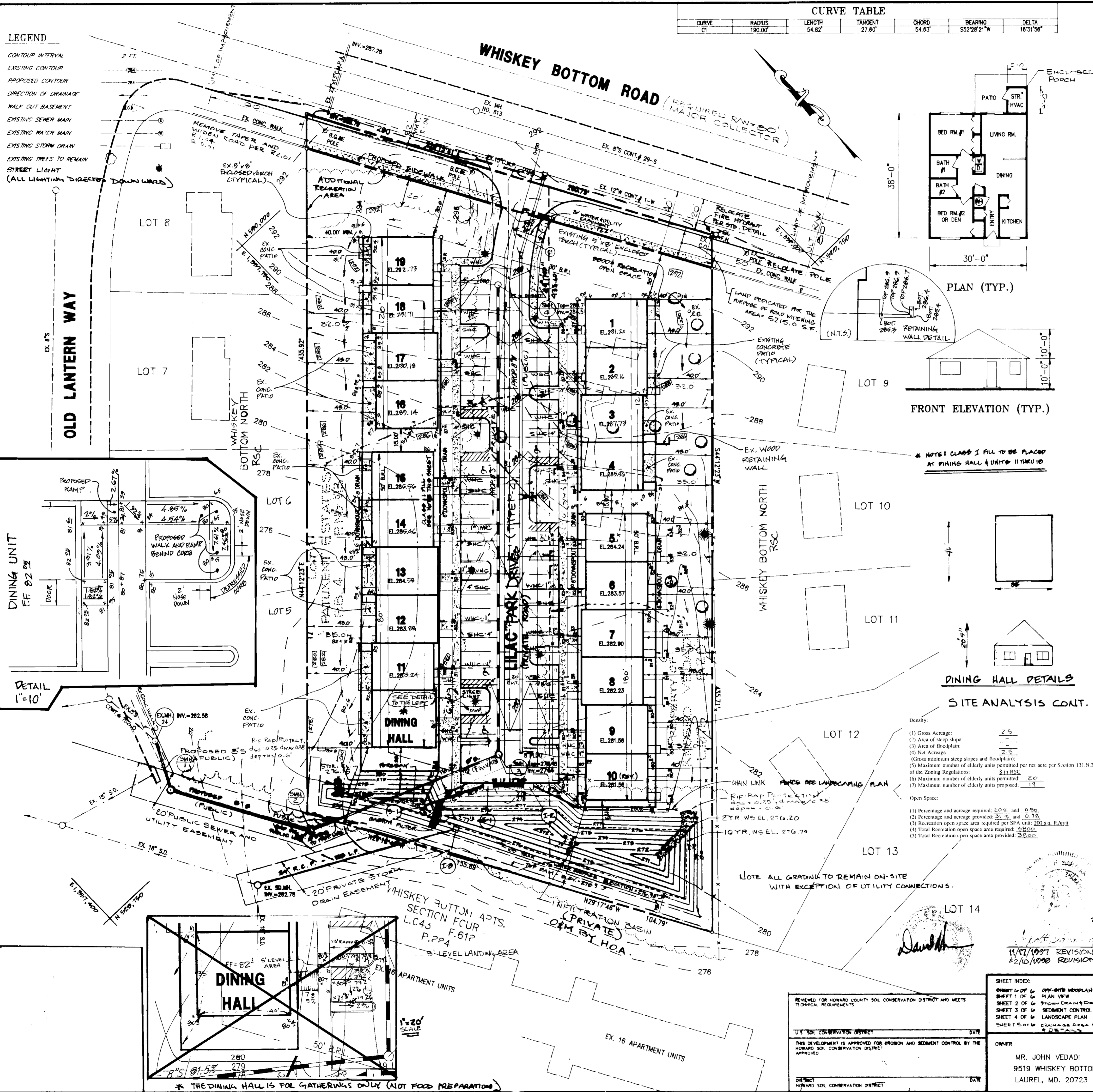


CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	190.00'	54.82'	27.60'	54.83'	S52°28'21"W	18°31'56"

- LEGEND**
- CONTOUR INTERVAL 2 FT.
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - DIRECTION OF DRAINAGE
 - WALK OUT BASEMENT
 - EXISTING SEWER MAIN
 - EXISTING WATER MAIN
 - EXISTING STORM DRAIN
 - EXISTING TREES TO REMAIN
 - STREET LIGHT (ALL LIGHTING DIRECTED DOWNWARD)



SITE ANALYSIS CONT.

- Density:
- (1) Gross Acreage: 2.5
 - (2) Area of steep slope: 0.78
 - (3) Area of floodplain: 0.78
 - (4) Net Acreage: 2.5
 - (5) Maximum number of elderly units permitted per net acre per Section 131 N 301.2) of the Zoning Regulations: 20
 - (6) Maximum number of elderly units permitted: 20
 - (7) Maximum number of elderly units proposed: 19
- Open Space:
- (1) Percentage and acreage required: 2.0% and 0.50
 - (2) Percentage and acreage provided: 31% and 0.78
 - (3) Recreation open space area required per SFA unit: 200 sq. ft. per unit
 - (4) Total Recreation open space area required: 3800 sq. ft.
 - (5) Total Recreation open space area provided: 3800 sq. ft.

NOTE: ALL GRADUALS TO REMAIN ON-SITE WITH EXCEPTIONAL OF UTILITY CONNECTIONS.

SHEET INDEX:

- SHEET 1 OF 6 OFF-SITE WOODLAND CONSERVATION PLAN
- SHEET 2 OF 6 PLAN VIEW
- SHEET 3 OF 6 STORM DRAIN DETAILS
- SHEET 4 OF 6 SEDIMENT CONTROL PLAN
- SHEET 5 OF 6 LANDSCAPE PLAN
- SHEET 6 OF 6 DRAINAGE AREA MAP & DETAILS

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

U.S. SOIL CONSERVATION DISTRICT DATE

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT APPROVED

DISTRICT HOWARD SOIL CONSERVATION DISTRICT DATE

OWNER: MR. JOHN VEDADI, 9519 WHISKEY BOTTOM RD., LAUREL, MD. 20723

DEVELOPER: PROCOPIO ENTERPRISES, INC., 1046 ANNAPOLIS ROAD, GAMBRIELLS, MD. 21054, (301) 621-9099

PREPARED BY: AMERICAN LAND DEVELOPMENT AND ENGINEERING INC., CIVIL ENGINEERING CONSULTANTS AND LAND PLANNER, 871-A MAIN STREET, BALTO. (410) 880-3030, WASH. (202) 955-1221

140. CO. CONTROL STA. E 1351627.40
14.87 243.95
474B 140.00 N 82°00'17" E 1252526.70
VERT. 152.65

A PORTION OF THE FOREST CONSERVATION OBLIGATION INCURRED BY THIS SUBDIVISION (5792 S.F.) HAVE BEEN MET BY PAYMENT OF \$1791.60 TO THE HOWARD COUNTY FOREST CONSERVATION FUND.

NOTE: ALL WATER HOUSE CONNECTIONS TO BE 1 INCH
ALL SEWER HOUSE CONNECTIONS TO BE 4 INCH

SITE ANALYSIS

- Subject property is zoned: RSC Comprehensive Zoning Plan 10-10-93
- Total area included in this subdivision is: 2.5 AC. 1675/287 * 1.002 AC 306/268 = 1.4906 AC
- Total number of units included in this subdivision are: 19
- Improvement to property: SFA DWELLING (ELDERLY HOUSING)
- Maximum lot coverage permitted is: N/A
- Department of Planning and Zoning reference file numbers are: BA 93-08E & V APPROVED 4/1/93
- Utilities shown as existing are taken from approved water and sewer plan Contract # 762-B, 1W road construction plans and actual field survey.
- Any damage to county owned right-of-way shall be corrected at the developer's expense.
- Storm water management is provided per: INFILTRATION SYSTEM
- Proposed LILAC DRIVE WILL BE A PRIVATE ROAD.
- The existing topography shown was taken from plans prepared by: W.L. MEEKING ON 4/10/94
- The coordinates shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monument Nos.: 474A & 474B.
- The contractor shall notify the Department of Public Works/Construction Inspection Division AT (410) 939-1000 at least five (5) working days prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-777 at least 48 hours prior to any excavation work.
- Under certain conditions, decks and porches may only extend 10 feet into front and rear setbacks per Sect. 12.0.A.1.(b)
- For driveway entrance details refer to Ho.Co. Design Manual Volume IV Std. Details A-6.03 and A-6.05.
- PARKING SPACES REQUIRED: 35
PARKING SPACES PROVIDED: 44
- DESIGN PER BA 93-08E & V. (REAR BEL 40) (2) ACCESSORY STRUCT.

NO.	DATE	DESCRIPTION	BY
1	11/17/97	REV. GRADING, ADD RET. WALL & DETAIL, CHANGE PERCENTAGE, LABEL ENCLOSED PORCHES, ETC.	SD/L
2	2/10/98	REVISE WALKS & RAMPS, DINING UNIT	SD/L

ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED UPON MY PERSONAL KNOWLEDGE OF SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DIST.

David C. Woessner 12/3/94
DAVID C. WOESSNER P.E. #1440 DATE

DEVELOPER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION OF THE PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY.

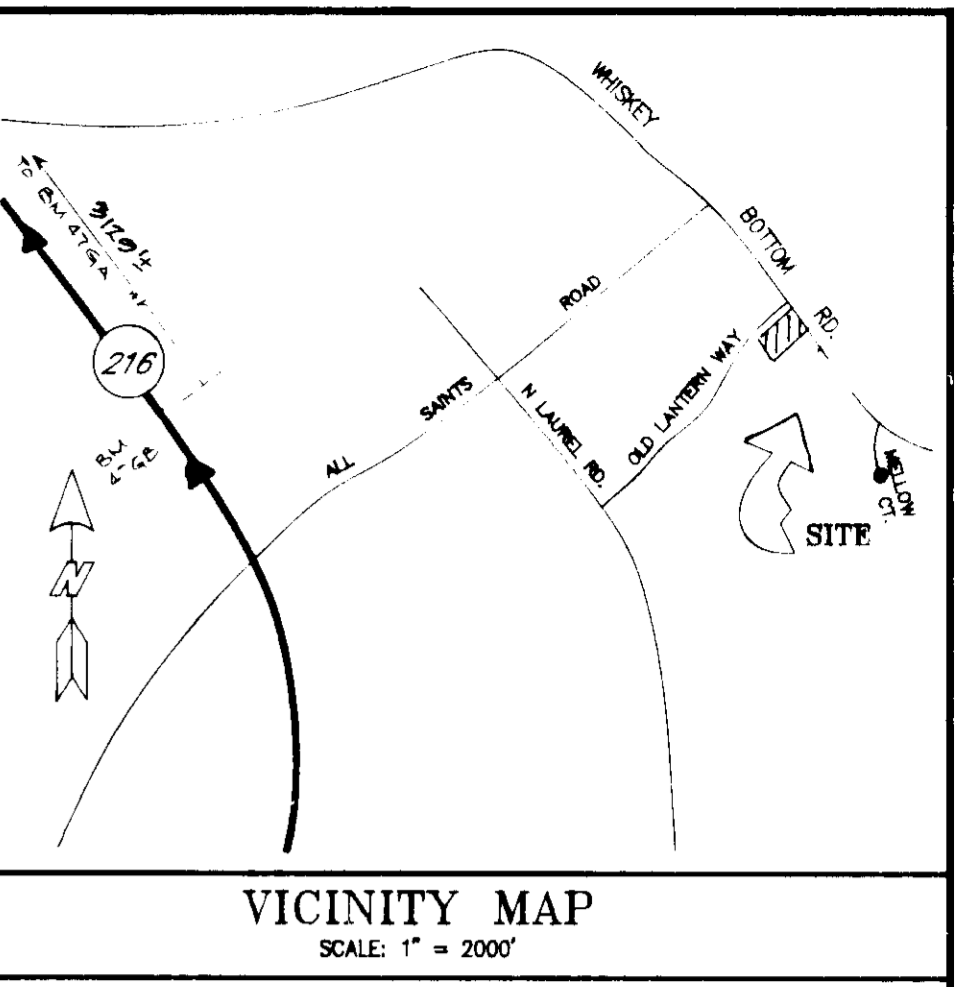
John Vedadi 12-3-94
SIGNATURE OF DEVELOPER DATE

LILAC PARK CONDOMINIUM

SDP 94-128
5A 93-08E&V

DESIGNER: B.S.
DRAWN: D.C.W.
CHECKED: D.C.W.
SCALE: 1" = 30'

JOB: FILE: DATE: 4-24-94
SHEET 1 OF 6



- GENERAL NOTES CONTINUED
- All construction shall be in accordance with the latest standards and specifications of Howard County plus MSHA standards and specifications if applicable.
 - Traffic control devices, markings, and signing shall be in accordance with the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD). All street and regulatory signs shall be in place prior to the placement of any asphalt.
 - All plan dimensions are to face of curb unless otherwise noted.
 - Traffic study prepared by Lee Cunningham 4/1/94.
 - SMV facility will be privately owned and maintained.
 - EXTENDED LIGHTING SHALL BE DIRECTED DOWNWARD AND INWARD SO AS NOT TO SHINE OR REFLECT ON ADJACENT PROPERTIES OR ROADS.

ADDRESS CHART

UNIT NUMBER	STREET ADDRESS
DINING HALL	0102 LILAC PARK DRIVE
16	0106 LILAC PARK DRIVE
17	0104 LILAC PARK DRIVE
18	0102 LILAC PARK DRIVE
19	0100 LILAC PARK DRIVE
1	9101 LILAC PARK DRIVE
2	9103 LILAC PARK DRIVE
3	9105 LILAC PARK DRIVE
4	9107 LILAC PARK DRIVE
5	9109 LILAC PARK DRIVE
6	9111 LILAC PARK DRIVE
7	9113 LILAC PARK DRIVE
8	9115 LILAC PARK DRIVE
9	9117 LILAC PARK DRIVE
10	9119 LILAC PARK DRIVE
11	9116 LILAC PARK DRIVE
12	9114 LILAC PARK DRIVE
13	9112 LILAC PARK DRIVE
14	9110 LILAC PARK DRIVE
15	9108 LILAC PARK DRIVE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER DATE

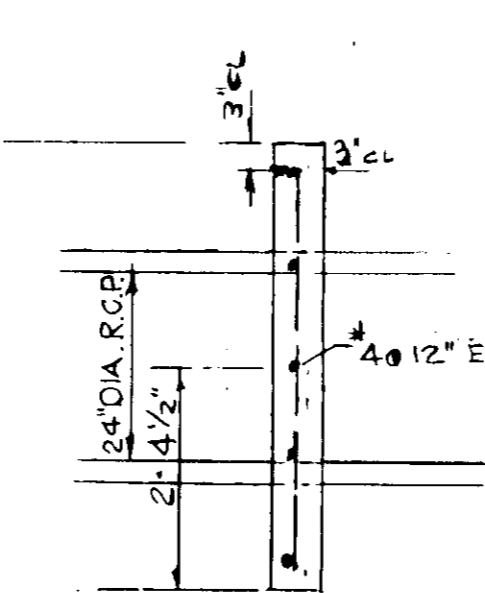
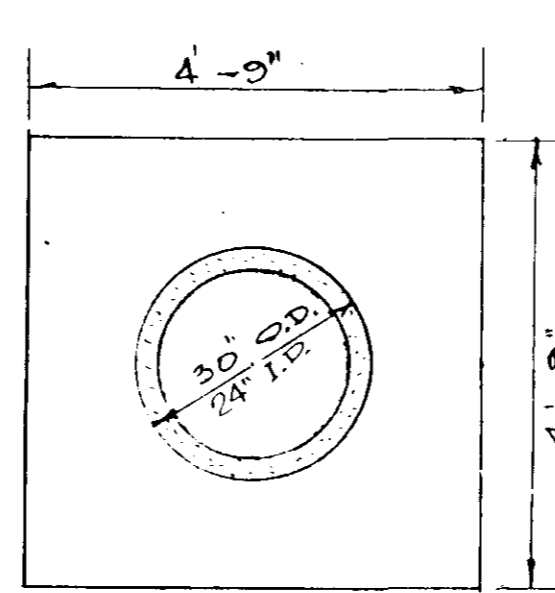
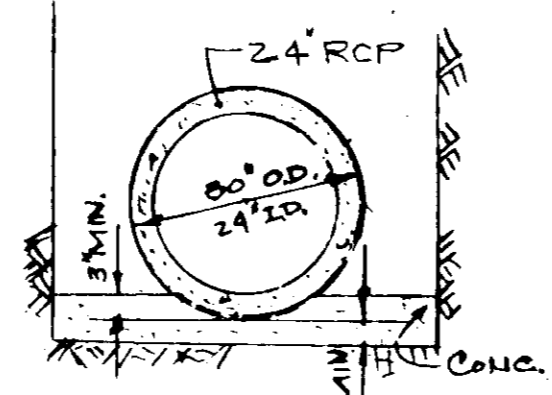
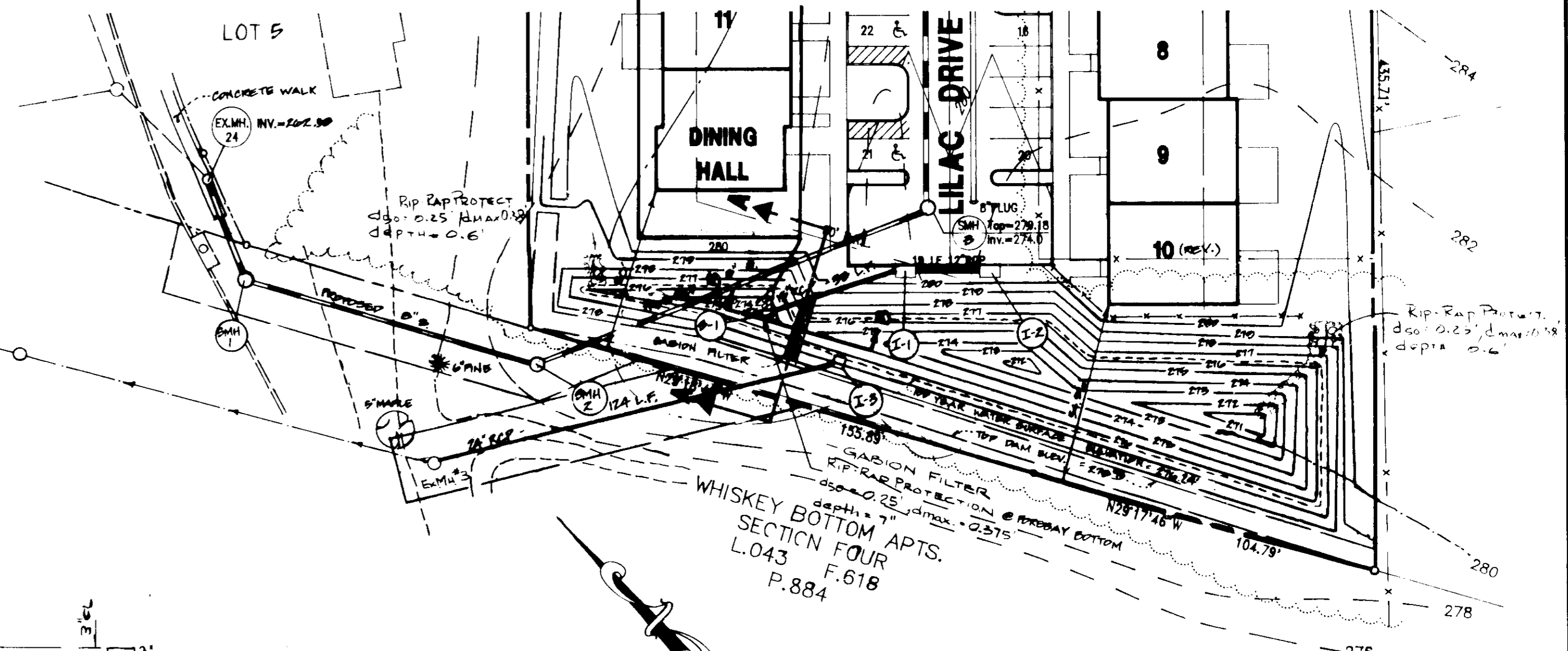
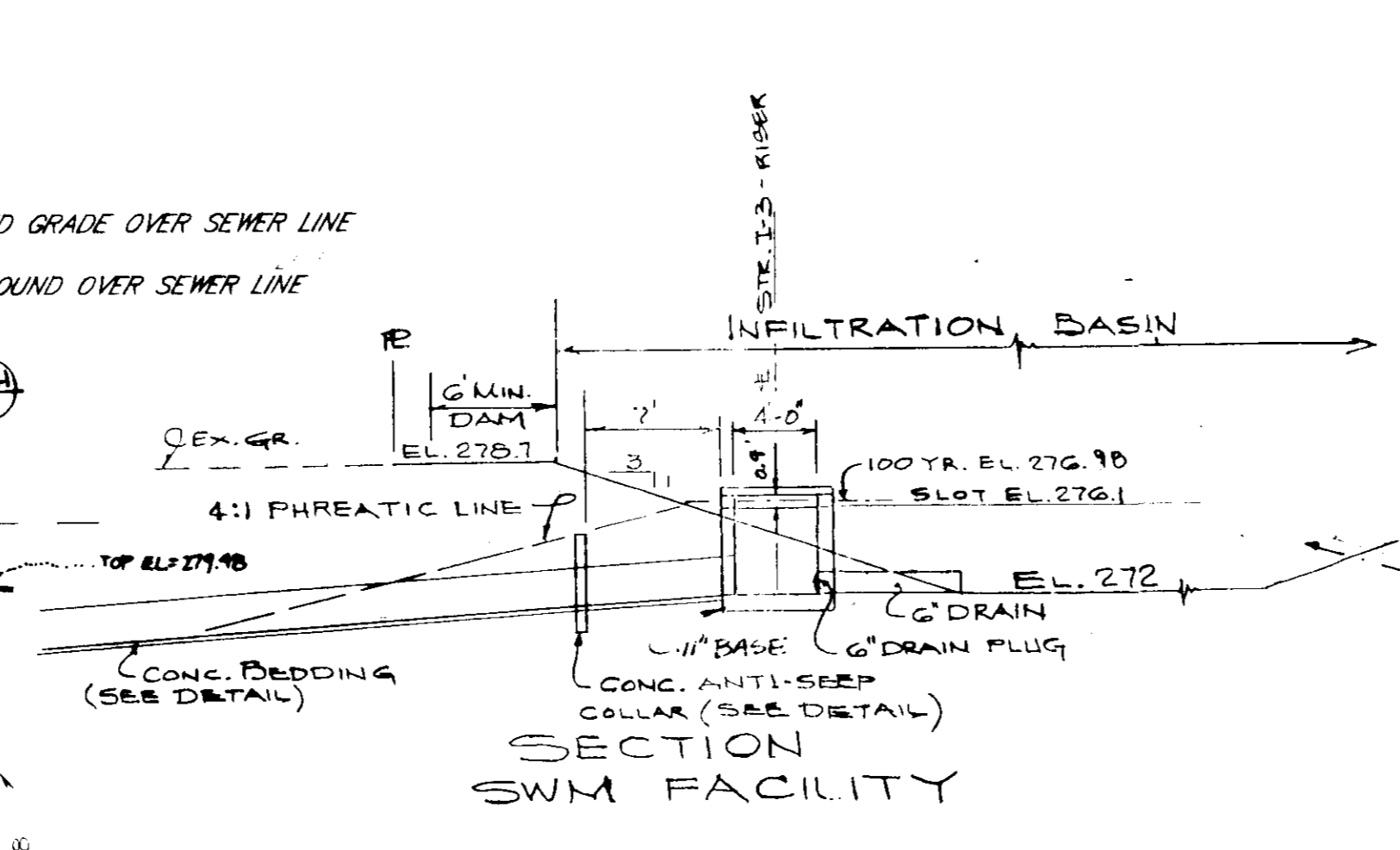
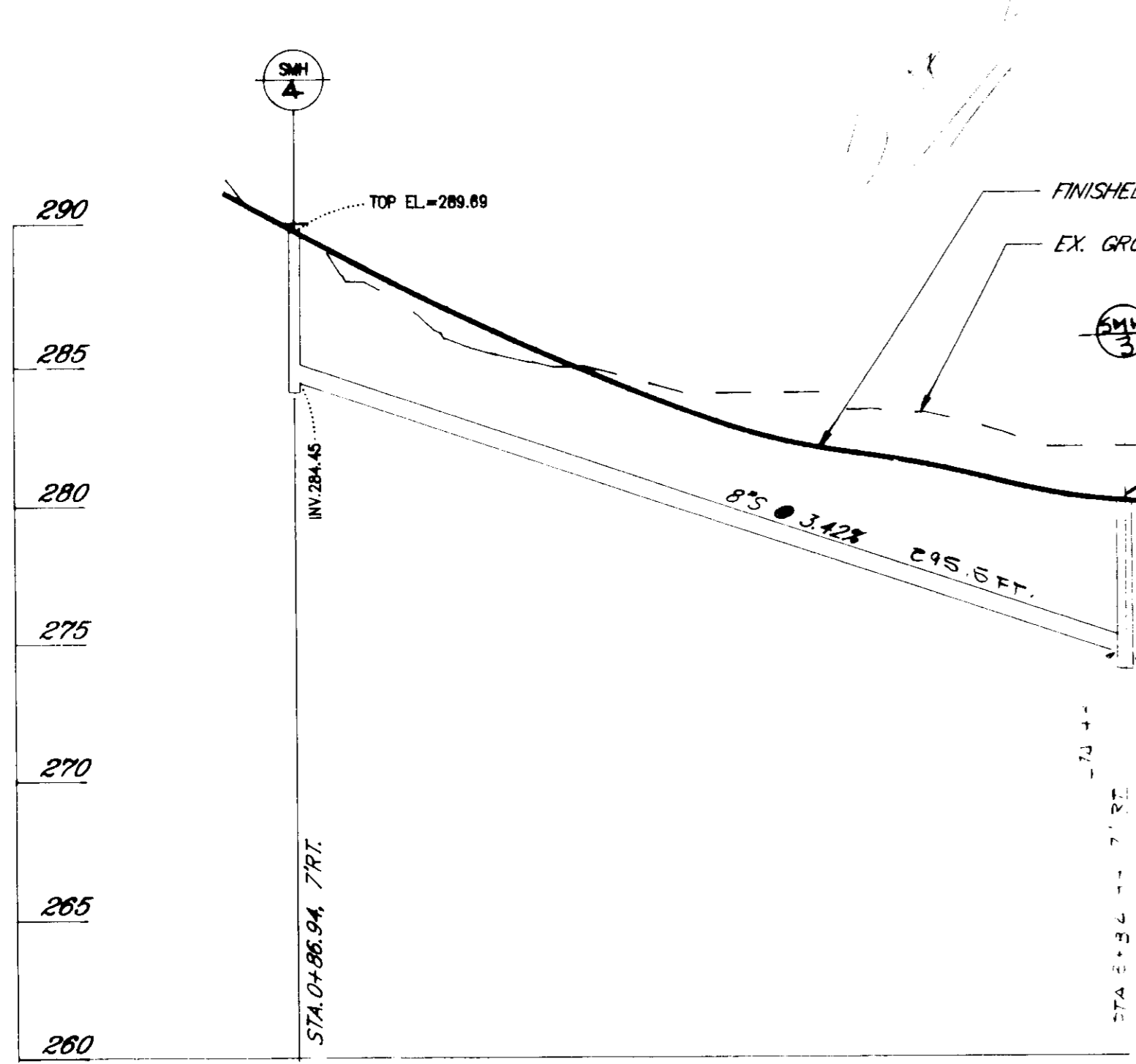
APPROVED: DEPARTMENT OF PLANNING & ZONING
John Vedadi 2/24/98
DATE

APPROVED: FOR PUBLIC WATER AND SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

N/A DIRECTOR DATE

CHIEF BUREAU OF ENGINEERING DATE

PROJECT NAME	SECT./AREA	PARCEL #
LILAC PARK CONDOMINIUMS	N/A	173 & 1026
PLAT # OR L/T	BLOCK #	ZONE
300/200/176/287	RSC	47
ELEC. DIST.	CENSUS TR.	
#6	6069-03	
WATER CODE	SEWER CODE	
C05	7191500	

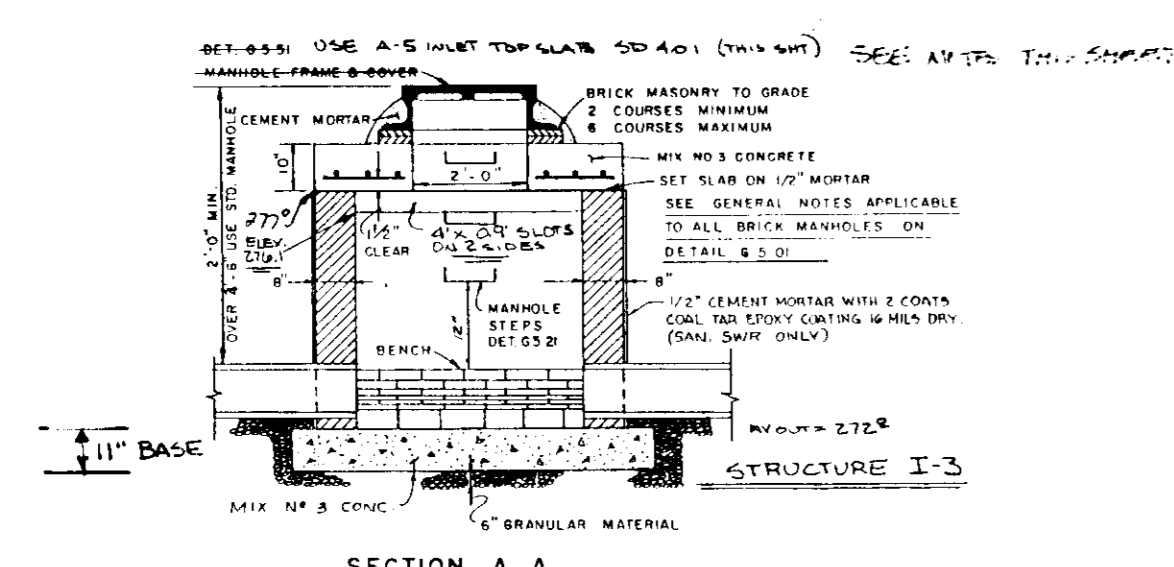


SWM OPERATIONS AND MAINTENANCE SCHEDULE

MOA ROUTINE RESPONSIBILITY

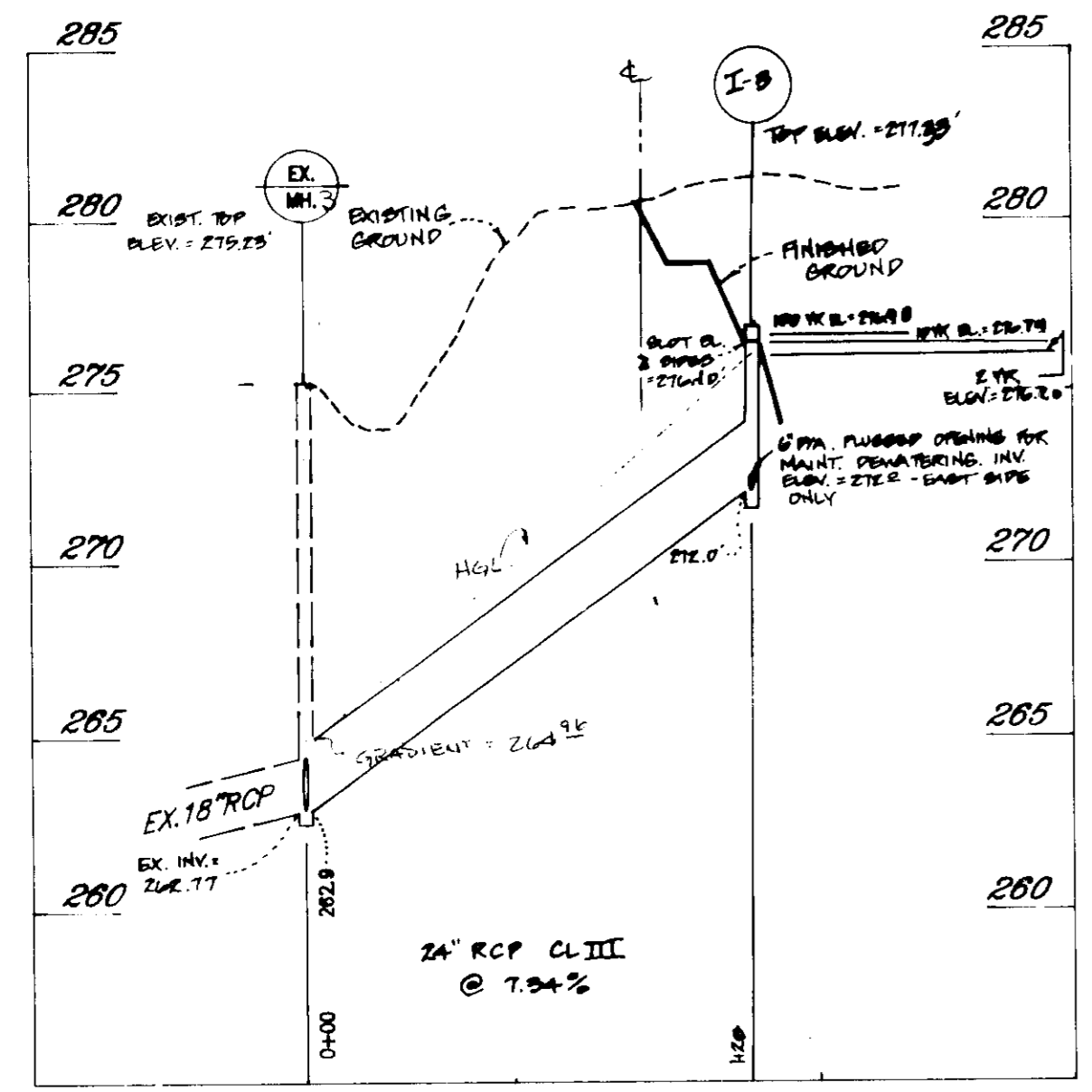
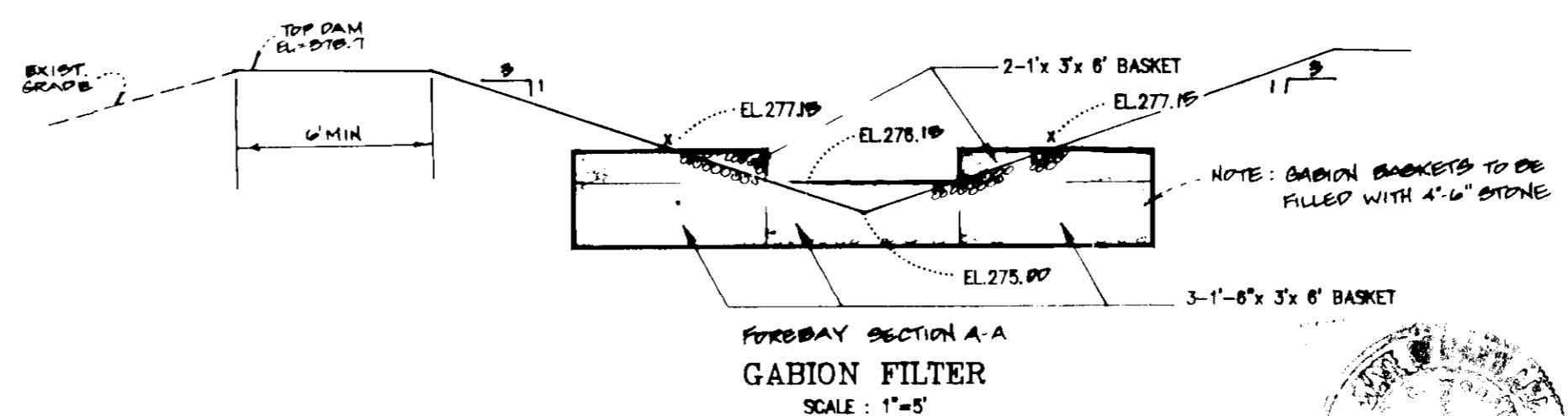
- Visible signs of erosion in the pond as well as riprap outlet area shall be repaired as soon as it is noticed.
- Debris and litter next to the outlet structure shall be removed during regular mowing operations as needed.
- Sediment should be removed when accumulation significantly reduces design storage, interferes with the function of the riser, or when deemed necessary by Howard County Department of Public Works.
- Top and side slopes of the embankment shall be mowed a minimum of 2 times per year, once in June and once in September. Other side slopes, the bottom of the pond, and maintenance access should be mowed as needed.
- Check for vegetation larvae. If present notify the MD Department of Agriculture.

Prepared by: American Engineering Inc.
671 A Main Street
Laurel, MD 20707

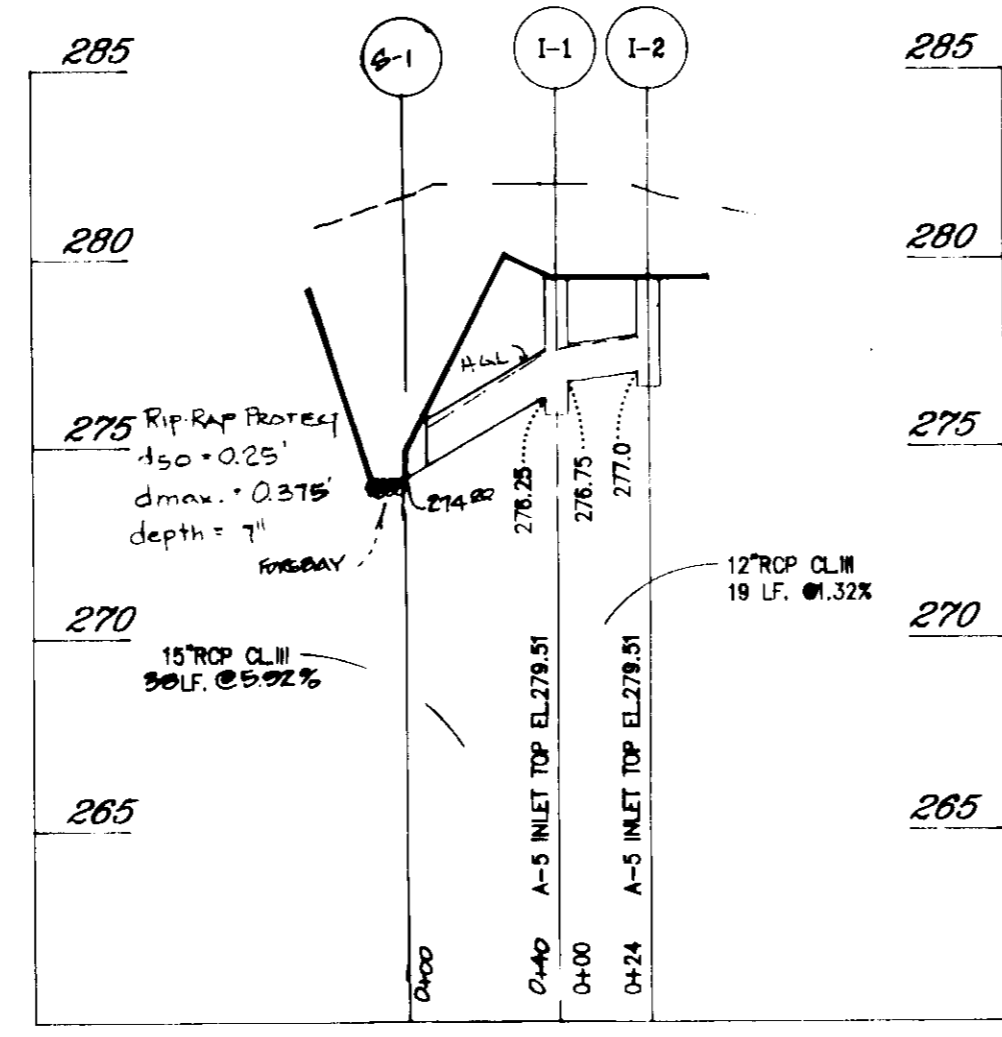


SEWER PROFILE
SCALE: HOR. 1" = 50'
VERT. 1" = 5'

FOREBAY DETAIL



STORM DRAIN PROFILE
SCALE: HOR. 1" = 50'
VERT. 1" = 5'



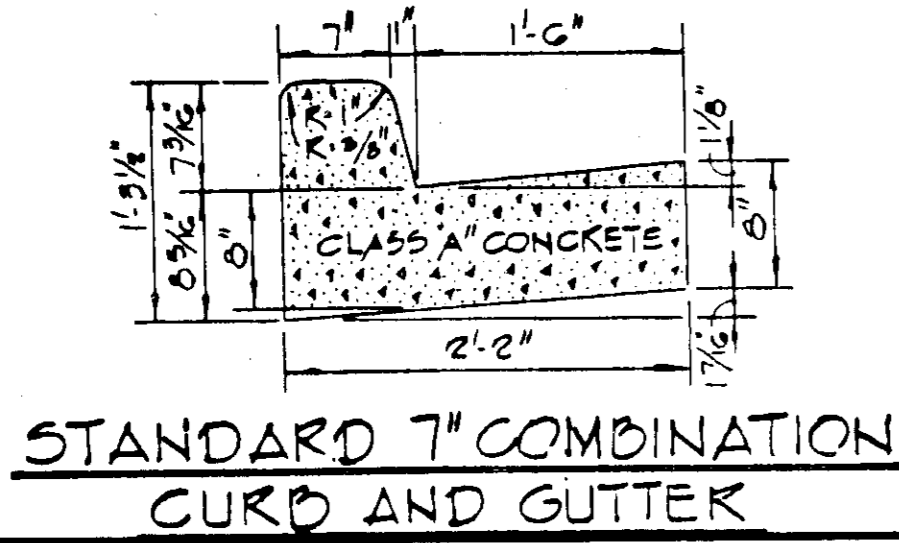
STORM DRAIN PROFILE

RISER DETAIL

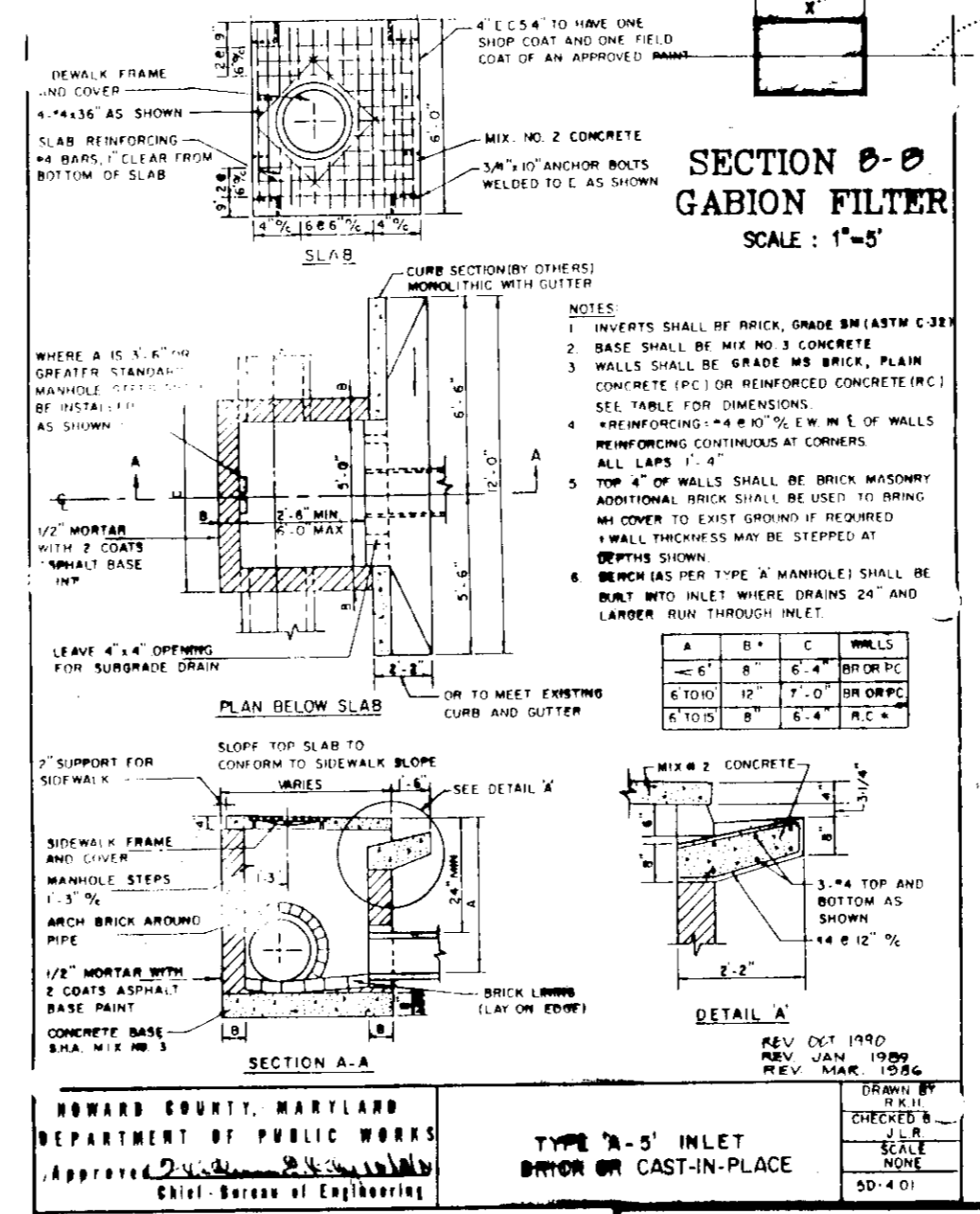
NOTES FOR STRUCTURE I-3 RISER

INLET I-3 A SHALLOW BRICK MANHOLE, STD. NO. G5.05, MODIFIED BY THE FOLLOWING (1) HIGH X 4'-0" LONG SLOTS ON 2 SIDES DIRECTLY UNDER THE TOP SLAB (2) USE A-5 INLET SLAB TO COVER MANHOLE, PROVIDE SIDEWALK FRAME AND COVER (3) MANHOLE TO BE CAST-IN-PLACE CONCRETE, REINFORCING AND CONCRETE TO BE THE SAME AS A-5 INLET, STD. NO. SD 4.01. (4) SEE NOTES PAGE 12 FOR DETAILS.

STR. NO.	STRUCTURE TYPE	INVERT IN	INVERT OUT	TOP ELEV.	REMARKS
I-1	A-5 INLET	276.75	276.25	279.52	HO.CO.STD. SD 4.01
I-2	A-5 INLET	—	277.0	279.52	HO.CO.STD. SD 4.01
I-3	MODIFIED SHALLOW MH	—	272.0	277.33	HO.CO.STD. G-5.05
3-1	CONCRETE END SECTION	—	274.00	—	HO.CO.STD. SD-S.52
M-1	4'-0" STD. MANHOLE	265.95	265.7	279.50	HO.CO.STD. G-5.12



STANDARD 7" COMBINATION CURB AND GUTTER



ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED UPON MY PERSONAL KNOWLEDGE OF SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DIST.

David C. Woessner 12/2/94
DAVID C. WOESSNER P.E. #14440 DATE

DEVELOPER'S CERTIFICATE

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION OF THE PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

Ray Propp 12-2-94
SIGNATURE OF DEVELOPER DATE

NO.	DATE	DESCRIPTION	BY
REVISION			
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT			
W.A. COUNTY HEALTH OFFICER DATE			
APPROVED: DEPARTMENT OF PLANNING & ZONING			
<i>John Summery</i> 2/2/95 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE			
<i>John Summery</i> 8/23/95 CHIEF, DIVISION OF LAND DEVELOPMENT AND RECREATION DATE			
APPROVED: FOR PUBLIC WATER AND SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS			
W.A. DIRECTOR DATE			
CHIEF BUREAU OF ENGINEERING DATE			
PROJECT NAME	SECT./AREA	PARCEL #	
LILAC PARK CONDOMINIUMS	N/A	173,1626	
PLAT# OR L/F	BLOCK	TAX/ZONE MAP	ELEC. DIST.
306/208-1876/287	RSC	47	#6
WATER CODE	SEWER CODE		
605	7141500		

LILAC PARK CONDOMINIUM

SDP 94-120
93-08E&V

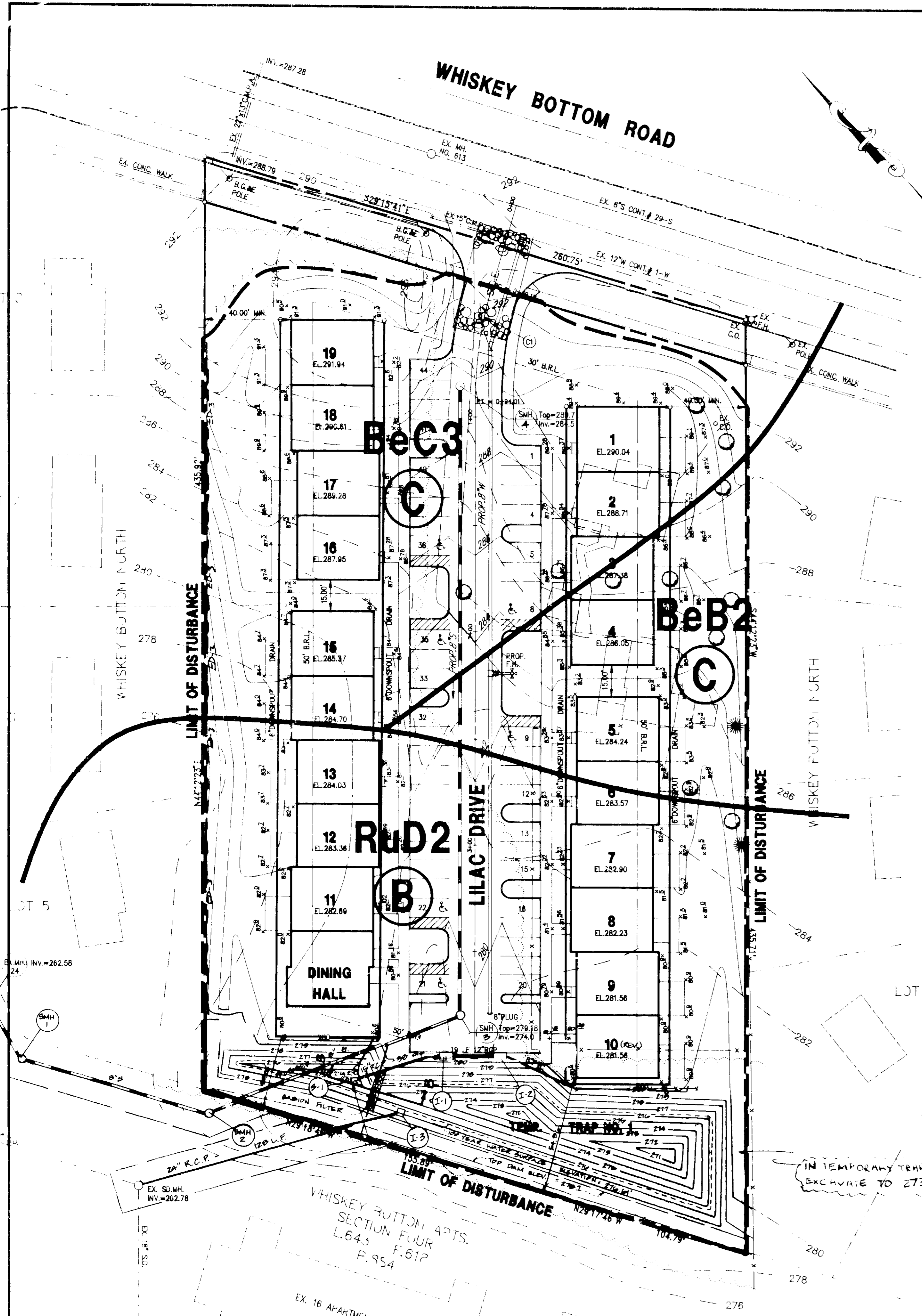
OWNER: MR. JOHN VEDADI
9519 WHISKEY BOTTOM RD.
LAUREL, MD. 20723

DEVELOPER: PROCOPIO ENTERPRISES, INC.
1046 ANNAPOLIS ROAD
GAMBRILLS, MD. 21054
(301) 621-9099

PREPARED BY: AMERICAN LAND DEVELOPMENT AND ENGINEERING INC.
CIVIL ENGINEERING CONSULTANTS AND LAND PLANNER
871-A MAIN STREET LAUREL, MD. 20707
BALT. (410) 582-3528
WASH. DC (202) 852-1221

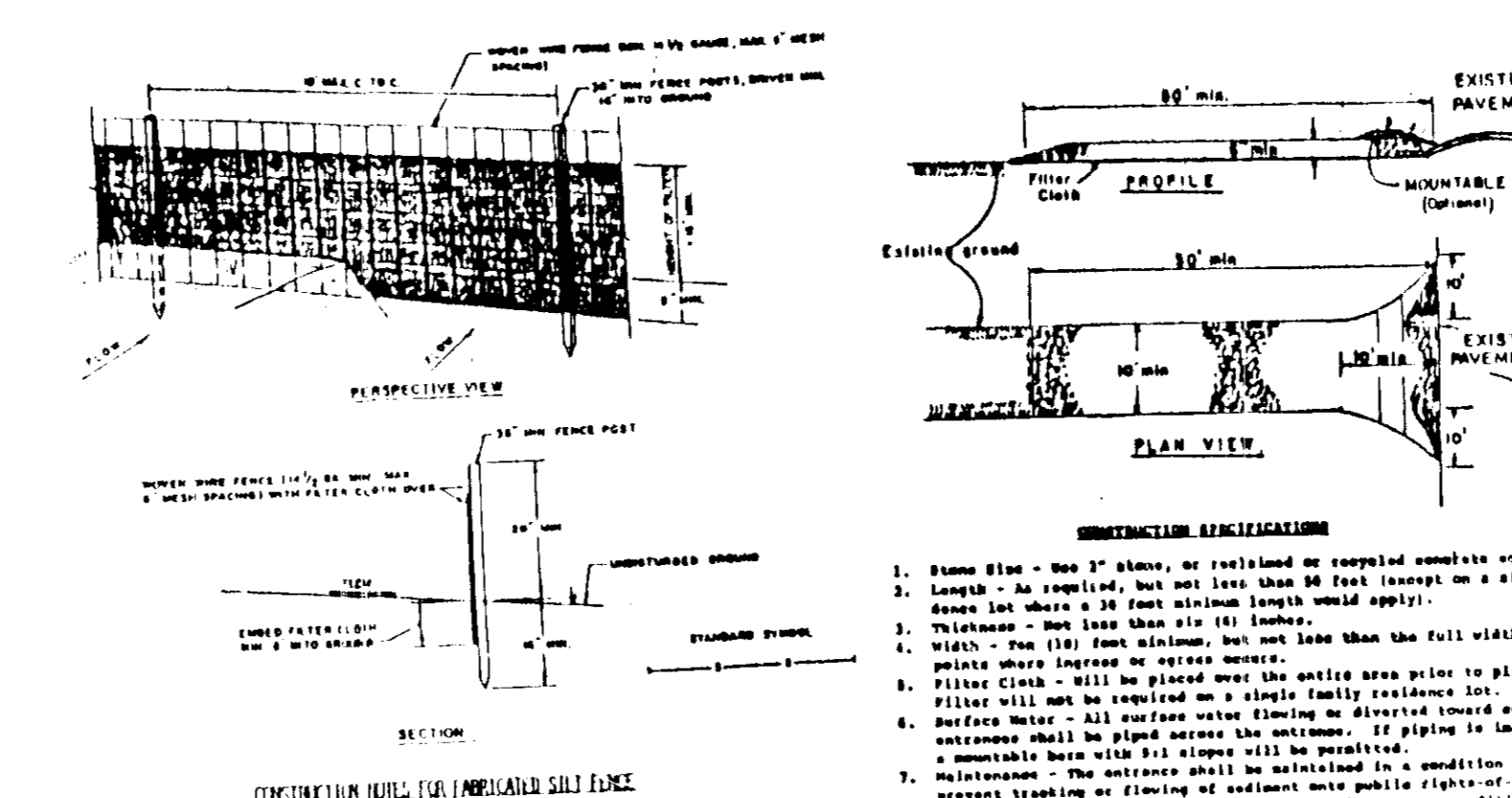
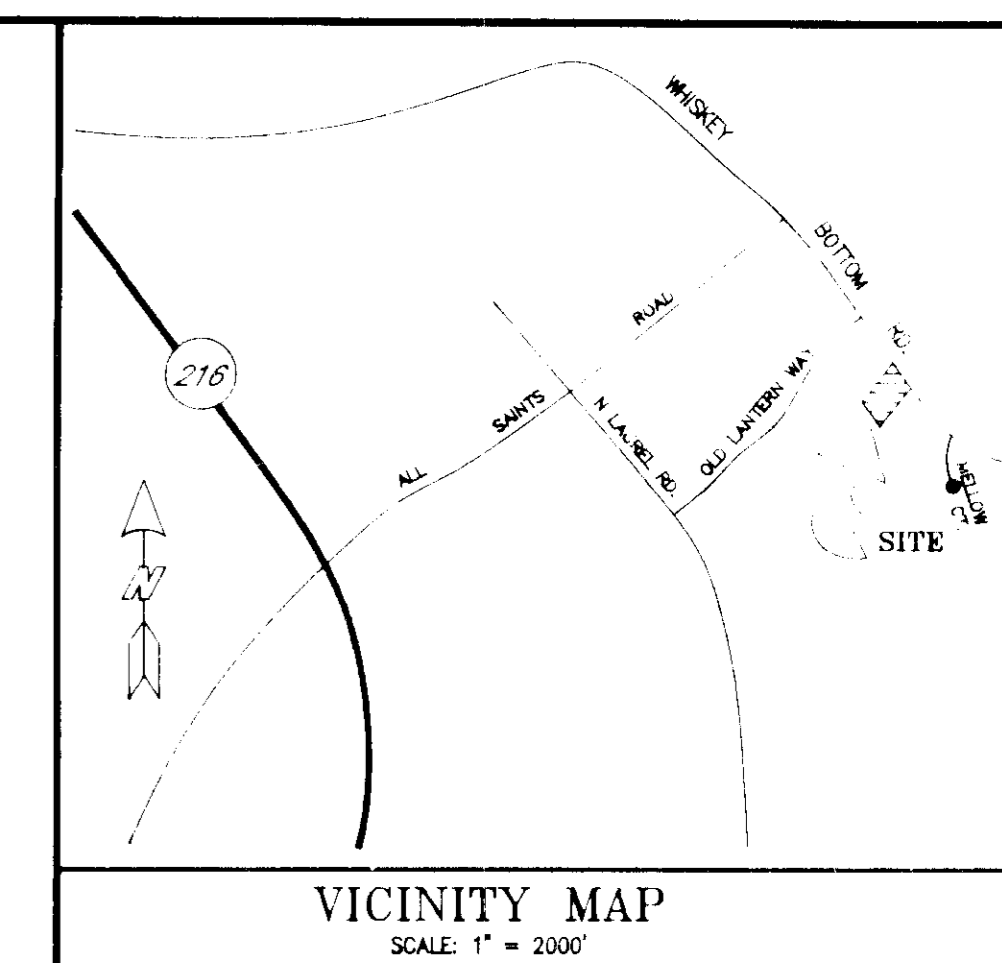
DES.: B.S.
DRW.: D.C.W.
CHK.: D.C.W.
DATE: 4-24-94
SCALE: 1" = 50'
SHEET 2 OF 6

FILE: SDP-94-12-R



BOREING 1 ELEV 280.0'	BOREING 2 ELEV 280.0'	BOREING 3 ELEV 280.0'
0 TOPSOIL UNSATURATED YELLOW BROWN SILTY SAND TRACE GRAVEL	0 TOPSOIL UNSATURATED YELLOW BROWN SILTY SAND TRACE GRAVEL	0 TOPSOIL UNSATURATED YELLOW BROWN SILTY SAND TRACE GRAVEL
1 UNSATURATED YELLOW BROWN SILTY SAND TRACE GRAVEL	1 UNSATURATED YELLOW BROWN SILTY SAND TRACE GRAVEL	1 UNSATURATED YELLOW BROWN SILTY SAND TRACE GRAVEL
2 UNSATURATED YELLOW BROWN SILTY SAND TRACE GRAVEL	2 UNSATURATED YELLOW BROWN SILTY SAND TRACE GRAVEL	2 UNSATURATED YELLOW BROWN SILTY SAND TRACE GRAVEL
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15 UNSATURATED YELLOW BROWN SILTY SAND TRACE GRAVEL	15 UNSATURATED YELLOW BROWN SILTY SAND TRACE GRAVEL	15 UNSATURATED YELLOW BROWN SILTY SAND TRACE GRAVEL
16 UNSATURATED YELLOW BROWN SILTY SAND TRACE GRAVEL	16 UNSATURATED YELLOW BROWN SILTY SAND TRACE GRAVEL	16 UNSATURATED YELLOW BROWN SILTY SAND TRACE GRAVEL

- SEDIMENT CONTROL NOTES**
- A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY OFFICE OF INSPECTIONS AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION (1992-2437).
 - ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
 - FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: a) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, b) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE. ALL SEDIMENT TRAPS/BASINS SHALL BE FENCED AND MARKING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH W. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDINGS (SEC. 51) SOO (SEC. 54). TEMPORARY SEEDING WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
 - ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
 - SITE ANALYSIS:
 - TOTAL AREA OF SITE: 2.50 ACRES
 - AREA DISTURBED: 2.50 ACRES
 - AREA TO BE ROUGHED OR PAVED: 0.00 ACRES
 - AREA TO BE VEGETATIVELY STABILIZED: 0.00 ACRES
 - TOTAL CUT: 0.00 CU. YDS.
 - TOTAL FILL: 0.00 CU. YDS.
 - OFFSITE WASTE/ACCUMULATION AREA LOCATION: 0.00 ACRES
 - ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
 - ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
 - ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROL. BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING, OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE APPLIED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.



- SEQUENCE OF CONSTRUCTION**
- OBTAIN GRADING PERMIT.
 - INSTALL SEDIMENT CONTROL DEVICES AS SHOWN ON PLAN.
 - CLEAR AND GRUB SITE, INSTALL TEMPORARY SEEDING.
 - ROUGH GRADE SITES.
 - CONSTRUCT BUILDING.
 - REMAINING WALLS, STAIRS, COMPUTER PAD (UTILITIES).
 - FINE GRADE SITE AND INSTALL SUB BASE PAVING.
 - INSTALL SIDEWALKS AND PERMANENT SEEDING.
 - INSTALL LANDSCAPING.
 - REMOVE SEDIMENT CONTROL DEVICES AS PERMISSION IS GRANTED BY R/S INSPECTOR.
 - INSTALL TACK COAT AND FINISH PAVING.

- PERMANENT SEEDING NOTES**
- APPLY TO GRADED OR CLEARED AREA NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.
- SEEDBED PREPARATION:** LOOSEN UPPER THREE-INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING. IF NOT PREVIOUSLY LOCATED, SOIL AMENDMENTS: APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ. FT.) AND 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ. FT.) BEFORE SEEDING.
- SEEDING:** FOR PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 80 LBS. PER ACRE (14 LBS/1000 SQ. FT.) OF KENTUCKY 31 TALL FESCUE; FOR PERIOD MARCH 1 THRU APRIL 30, SEED WITH 80 LBS. KENTUCKY 31 TALL FESCUE AND 2 LBS. PER ACRE (405 LBS/1000 SQ. FT.) OF WEEPING LOVERPASS; DURING PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE WITH OPTION (1) 2 TONS PER ACRE OF WELLS ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING; OPTION (2) USE SOO; OPTION (3) SEED WITH 40 LBS KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELLS ANCHORED STRAW.
- MULCHING:** APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ. FT.) OF UNWADDED SMALL BRANCH STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 BALLS PER ACRE (5 GAL/1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS, ON SLOPES 8 FEET OR GREATER, USE 348 BALLS PER ACRE (8 GAL/1000 SQ. FT.) FOR ANCHORING. MAINTENANCE: INSPECT ALL SEEDED AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.
- TEMPORARY SEEDING NOTES:**
- APPLY TO GRADED OR CLEARED AREA LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.
- SEEDBED PREPARATION:** LOOSEN UPPER THREE-INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING. IF NOT PREVIOUSLY LOCATED, SOIL AMENDMENTS: APPLY 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ. FT.)
- SEEDING:** FOR PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU NOVEMBER 15, SEED WITH 2 1/2 TONS PER ACRE OF ANNUAL RYE (33 LBS/1000 SQ. FT.); FOR PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS PER ACRE OF WEEPING LOVERPASS (107 LBS/1000 SQ. FT.); FOR PERIOD NOVEMBER 16 THRU FEBRUARY 28, PROTECT SITE WITH 1 1/2 TO 2 TONS PER ACRE OF WELLS ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING; OR USE SOO.
- MULCHING:** APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ. FT.) OF UNWADDED SMALL BRANCH STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL PER ACRE (5 GAL/1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS, ON SLOPES 8 FEET OR GREATER, USE 348 GAL PER ACRE (8 GAL/1000 SQ. FT.) FOR ANCHORING.
- REFER TO THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

Plan
SCALE: 1" = 30'

Soils:
 BeB2 - BELTSVILLE SILT LOAM 1 - 5%
 BeC3 - BELTSVILLE SILT LOAM 5 - 10%
 RuD2 - RUMFORD LOAMY SAND 10 - 15%

SPECIAL NOTES:

This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.C.P. are not to be used for construction. For construction, see approved Road Construction Plans F-xx-xx and/or approved Water and Sewer Plans.

SEDIMENT TRAP DATA

- TRAP NUMBER = 1
- STONE OUTLET SEDIMENT TRAP
- DRAINAGE AREA = 3.09 AC.
- STORAGE REQUIRED = 5662 CF
- STORAGE PROVIDED = 7119 CF
- OUTLET LENGTH = 11'-0"
- CHEST ELEV. = 276.5
- CLEAN OUT ELEV. = 276.5
- BOTTOM ELEV. = 273.0

ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED UPON MY PERSONAL KNOWLEDGE OF THE PROJECT AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DIST.

David M. ... DATE: 8/7/95

DEVELOPER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION OF THE PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ONSITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS DEEMED NECESSARY.

Hugh Procopio DATE: 12-2-94

LILAC PARK CONDOMINIUM GRADING AND SEDIMENT CONTROL PLAN

SDP 94-128
93-08E&V

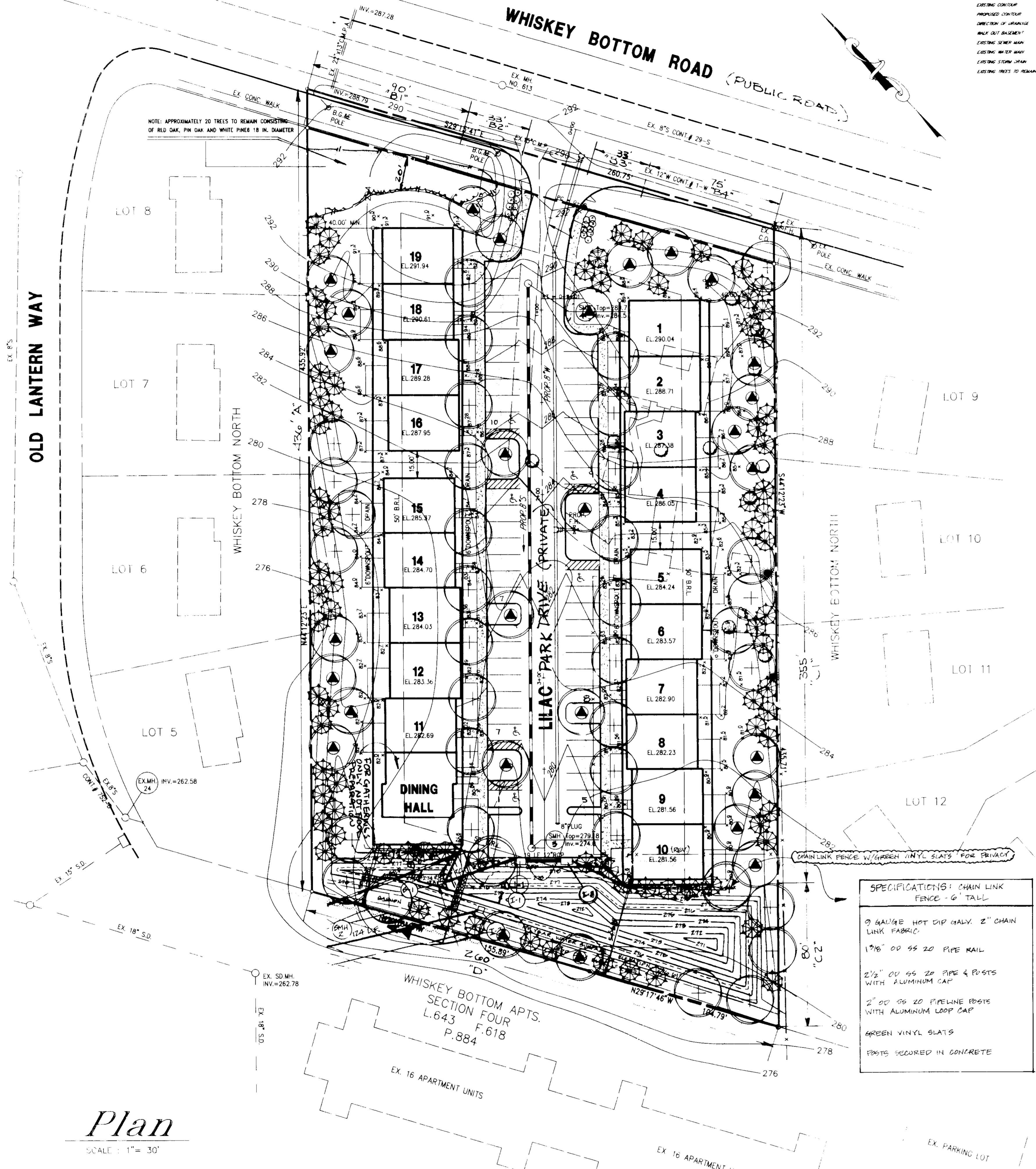
DEVELOPER: PROCOPIO ENTERPRISES, INC.
1046 ANNAPOLIS ROAD
GAMBRILLS, MD. 21054
(301) 621-9099

OWNER: MR. JOHN VEDADI
9519 WHISKEY BOTTOM RD.
LAUREL, MD. 20723

PREPARED BY: AMERICAN LAND DEVELOPMENT AND ENGINEERING INC.
CIVIL ENGINEERING CONSULTANTS AND LAND PLANNER
871-A MAIN STREET
LUMAS, MD. 20707
BALT. (410) 860-3039
WASH. (301) 963-1221

DES.: B.S.
CHK.: D.C.W.
SCALE: 1" = 30'

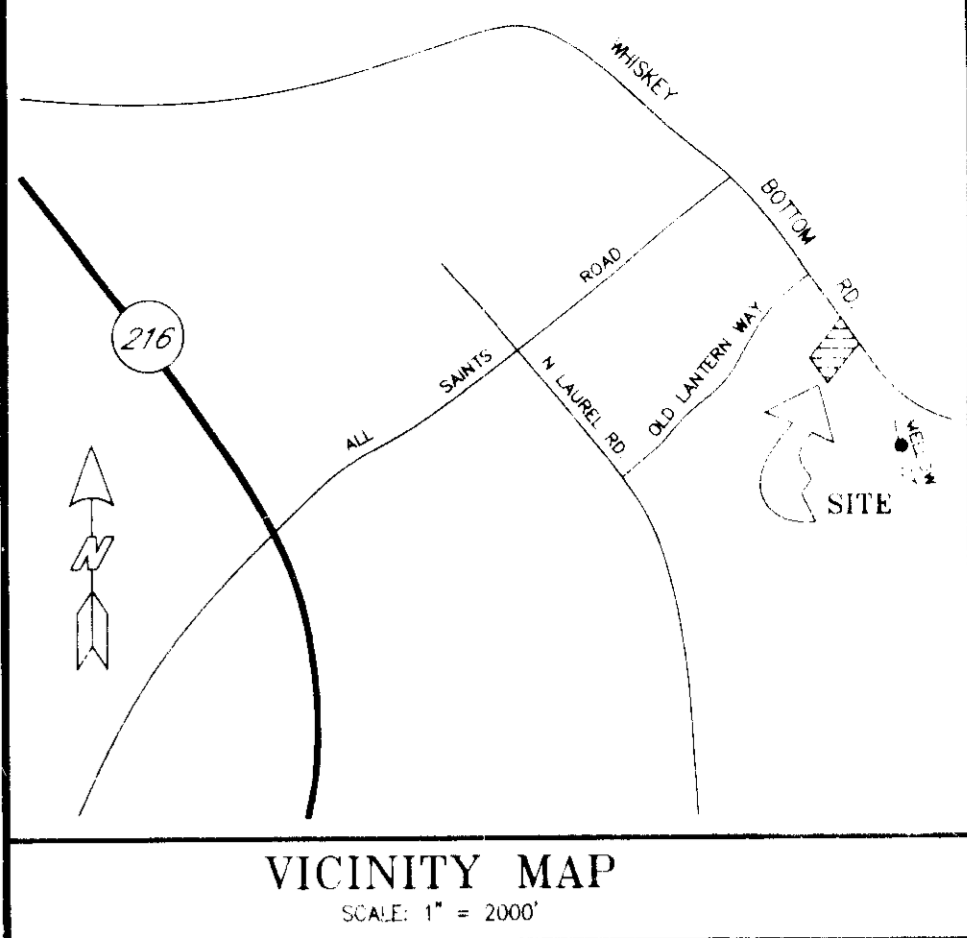
JCB:
FILE:
DATE: 4-24-94
SHEET 3 OF 6



LEGEND

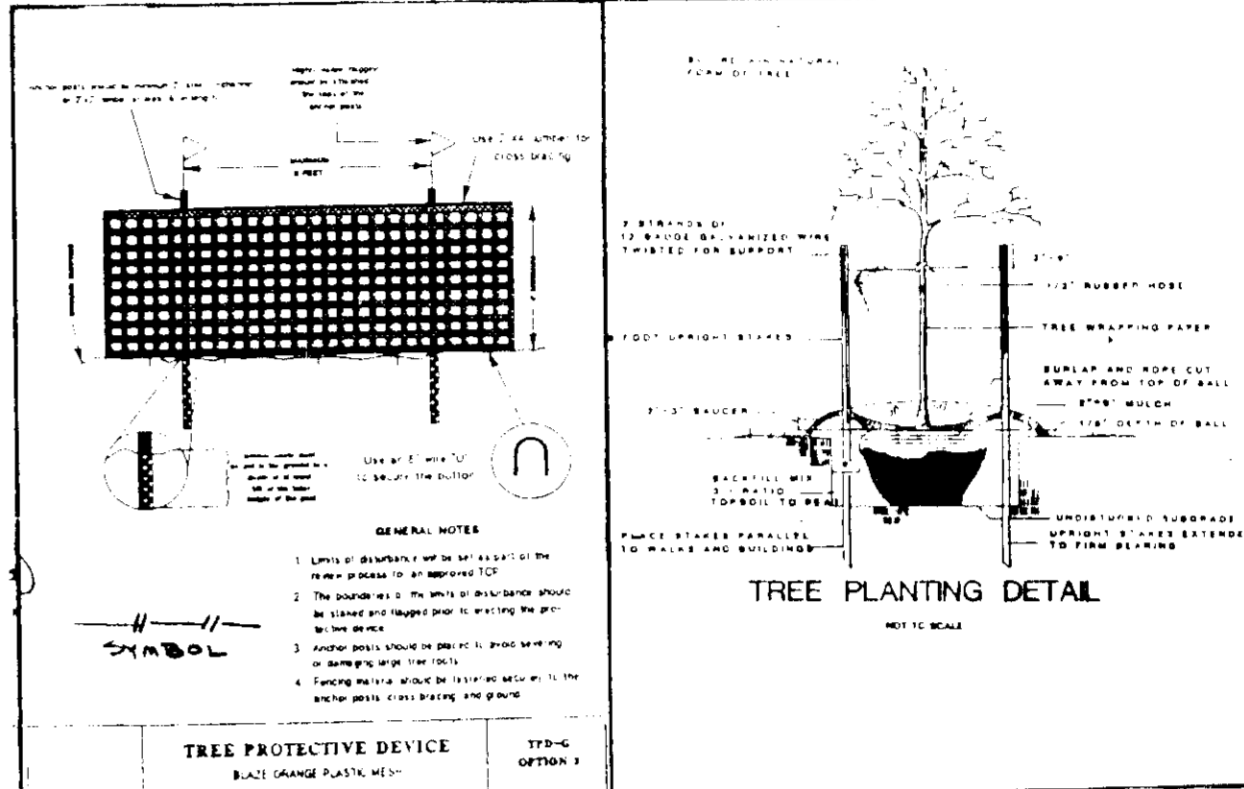
- CONCRETE SIDEWALK
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- DIRECTION OF LANDSCAPE
- WALK OUT BALCONY
- EXISTING SIDEWALK
- EXISTING WATER MAIN
- EXISTING STORM SEWER
- EXISTING TREES TO REMAIN

KEY	QUANT	BOTANICAL NAME COMMON NAME	SIZE	COND	NOTES
⊕	29	QUERCUS PHELLOS WILLOW OAK	3" CAL	BB	
⊙	36	ACER RUBRUM RED MAPLE	3" CAL	BB	
⊗	83	PINUS STROBUS E. WHITE PINE	6"-7"	BB	9' O.C.
⊖	18	AZALEA EXBURY (RED)	10"-24"	BB	



**TABLE 1
PERIMETER LANDSCAPE TYPES - BASED ON ADJACENT LAND USE**

Landscaping	Landscaping	Shade Trees	Evergreen Trees	Other Trees
A	Light Buffer	1.60	0	0
B	Moderate Buffer	1.50	1.40	0
C	Heavy Buffer	1.40	1.20	0
D	Screen	1.60	1.10	0
E	Buffer - Parking Adjacent to Roadway	1.40	0	1.4



PERIMETER LANDSCAPING SCHEDULE A

PERIMETER SEGMENT	ADJACENT TO ROADS				ADJACENT PROPERTIES			
	B1	B2	B3	B4	A	C1	C2	D
LANDSCAPE TYPE	C	E	E	C	C	C	B	B
LINEAR FOOTAGE	90	33	33	75	436	355	80	260
PLANTS REQUIRED								
SHADE TREES	7	1	1	2	11	9	2	6
PINE TREES	5	0	0	4	22	18	2	7
SHRUBS	0	9	9	0	0	0	0	0
PLANTS PROVIDED								
SHADE TREES	4	2	1	3	12	12	2	6
PINE TREES	4	0	0	8	29	24	2	8
SHRUBS	9	9	0	0	0	0	0	0

* NOTE: A CREDIT WAS TAKEN FOR 20 TREES IN GOOD CONDITION IN SEGMENT B1. THESE TREES CONSIST OF RED OAK, PIN OAK AND WHITE PINE AND ARE IN GOOD CONDITION.

**SCHEDULE B
PARKING LOT INTERNAL LANDSCAPING**

Number of Parking Spaces	17
Number of Trees Required	5
Number of Trees Provided	5
Shade Trees	5
Other Trees (2:1 substitution)	0

1 ISLAND REQUIRED PER 10 PARKING SPACES

**SCHEDULE C
RESIDENTIAL DEVELOPMENT INTERNAL LANDSCAPING**

Number of Dwelling Units	19
Number of Trees Required	19
(1:0.5) SHADE TO OTHER PROPERTIES	19
Number of Trees Provided	19
Shade Trees	19
Other Trees (2:1 substitution)	0

**SCHEDULE D
STORMWATER MANAGEMENT AREA LANDSCAPING**

Linear Feet of Perimeter	225 FT
Number of Trees Required	5
Shade Trees	5
Evergreen Trees	0
Credit for Existing Vegetation (No, Yes and %)	-
Credit for Other Landscaping (No, Yes and %)	-
Number of Trees Provided	2
Shade Trees	2
Evergreen Trees	0
Other Trees (2:1 substitution)	0

*** SUBSTITUTIVE EVERGREENS (1:2) PER 1:1 SHADE TREE**

NO.	DATE	DESCRIPTION	BY
1	11/17/97	CHANGE FENCE TYPE	SKL

NOTES: 1) THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
2) FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN FURNISHED AS PART OF DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$2,000.

SPECIFICATIONS: CHAIN LINK FENCE - 6' TALL

- 2 GAUGE HOT DIP GALV. 2" CHAIN LINK FABRIC
- 1 1/2" OD 33 20 PIPE RAIL
- 2 1/2" OD 33 20 PIPE 4 POSTS WITH ALUMINUM CAP
- 2" OD 33 20 PIPELINE POSTS WITH ALUMINUM LOOP CAP
- GREEN VINYL SLATS
- POSTS SECURED IN CONCRETE

Paul H. ...
David ...

11/17/1997 REVISIONS

REVISION

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER: _____ DATE: _____

APPROVED: DEPARTMENT OF PLANNING & ZONING

CHIEF DEVELOPMENT ENGINEERING DIVISION
Jim ... DATE: 11/24/97

CHIEF DIVISION AND LAND DEVELOPMENT AND RESEARCH
... DATE: 11/24/97

APPROVED: FOR PUBLIC WATER AND SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

DIRECTOR: _____ DATE: _____

CHIEF BUREAU OF ENGINEERING: _____ DATE: _____

PROJECT NAME: LILAC PARK CONDOMINIUMS
SECT./AREA: N/A
PARCEL: 173 & 1020

PLAT# OR L/F: 566/268-1675/281
BLOCK#: RSC
ZONE: 42
TAX/ZONE MAP: #6
ELEC. DIST: 666-33
CENSUS TR: 173 & 1020

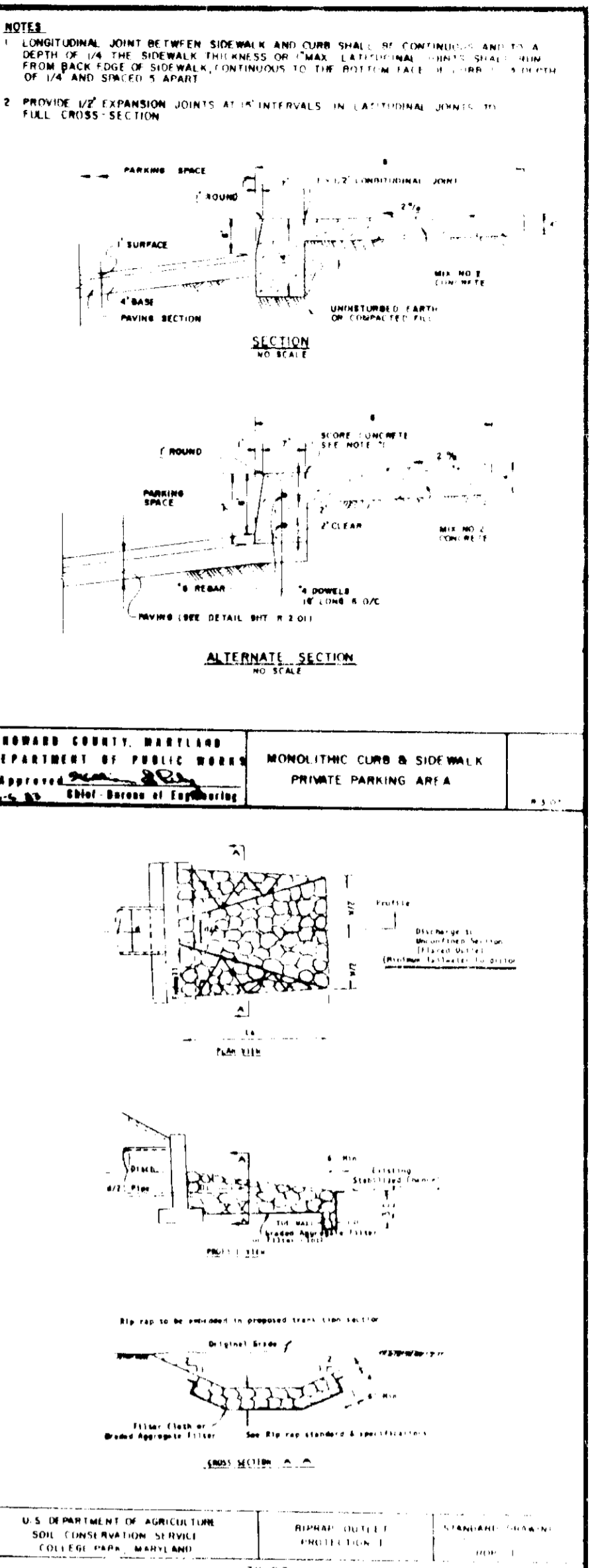
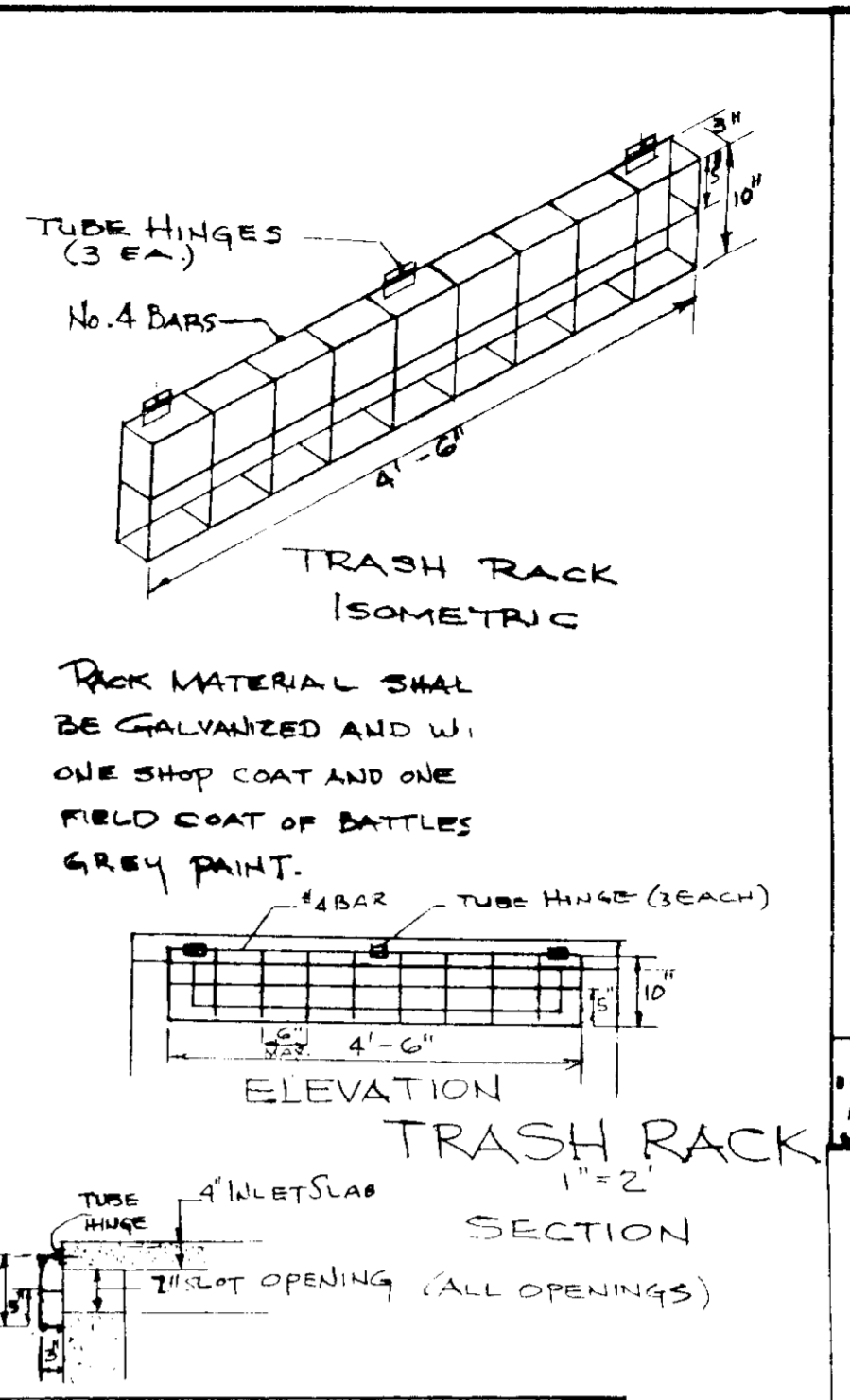
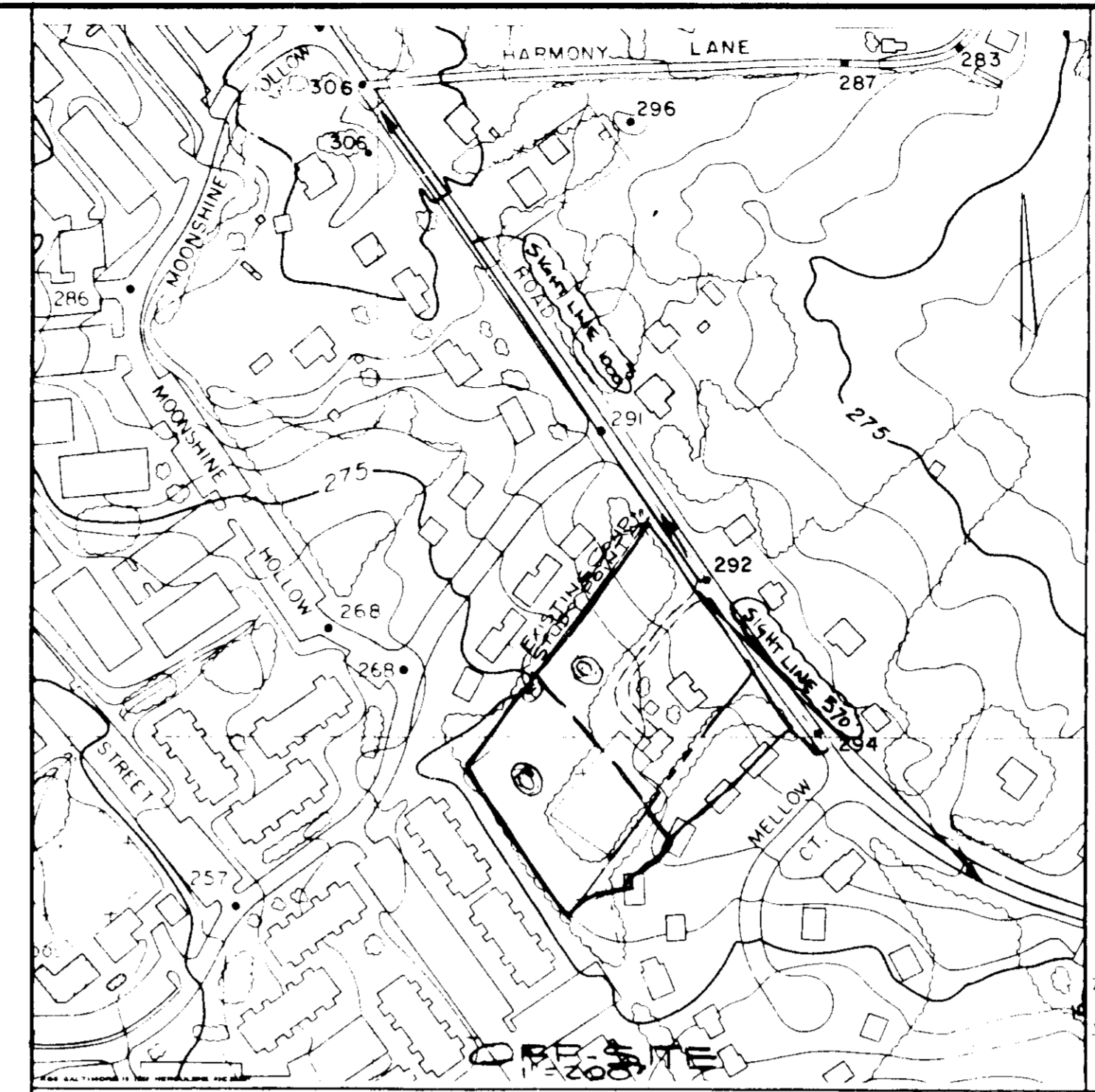
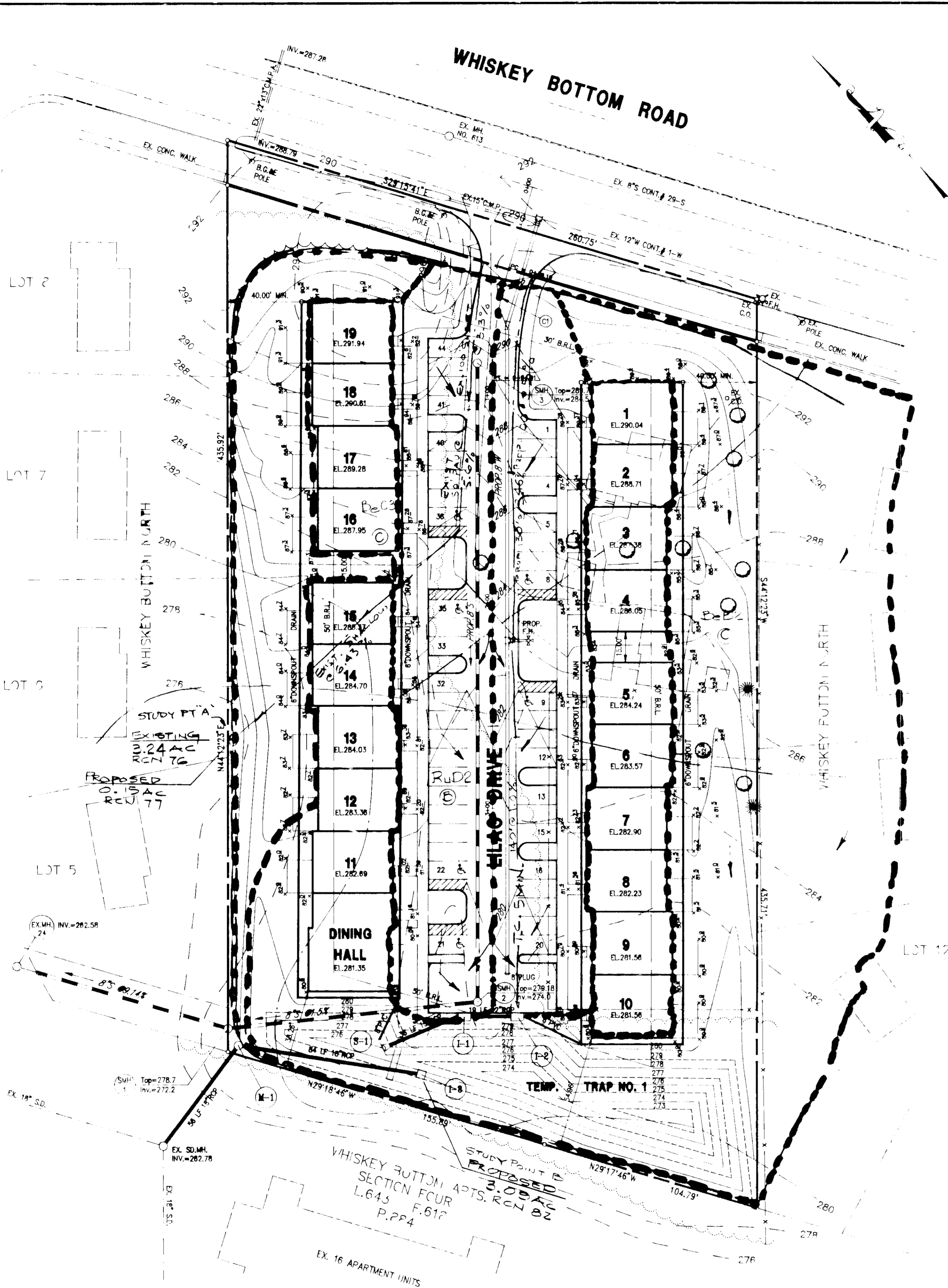
WATER CODE: C09
SEWER CODE: 7141800

LILAC PARK CONDOMINIUMS LANDSCAPE PLAN

SDP 94-128
93-08E&V

OWNER: MR. JOHN VEDADI 9519 WHISKEY BOTTOM RD. LAUREL, MD. 20723	DEVELOPER: PROCOPIO ENTERPRISES, INC. 1046 ANNAPOLIS ROAD GAMBRILLS, MD. 21054 (301) 621-9099	PREPARED BY: AMERICAN LAND DEVELOPMENT AND ENGINEERING INC. CIVIL ENGINEERING CONSULTANTS AND LAND PLANNER 871-A MAIN STREET LAUREL, MD. 20707 BALT. (410) 860-5039 WASH. (301) 953-1221	DES.: B.S. DRW.: D.C.W. CHK.: D.C.W.	JOB: FILE DATE: 4-24-94 SHEET 4 OF 6
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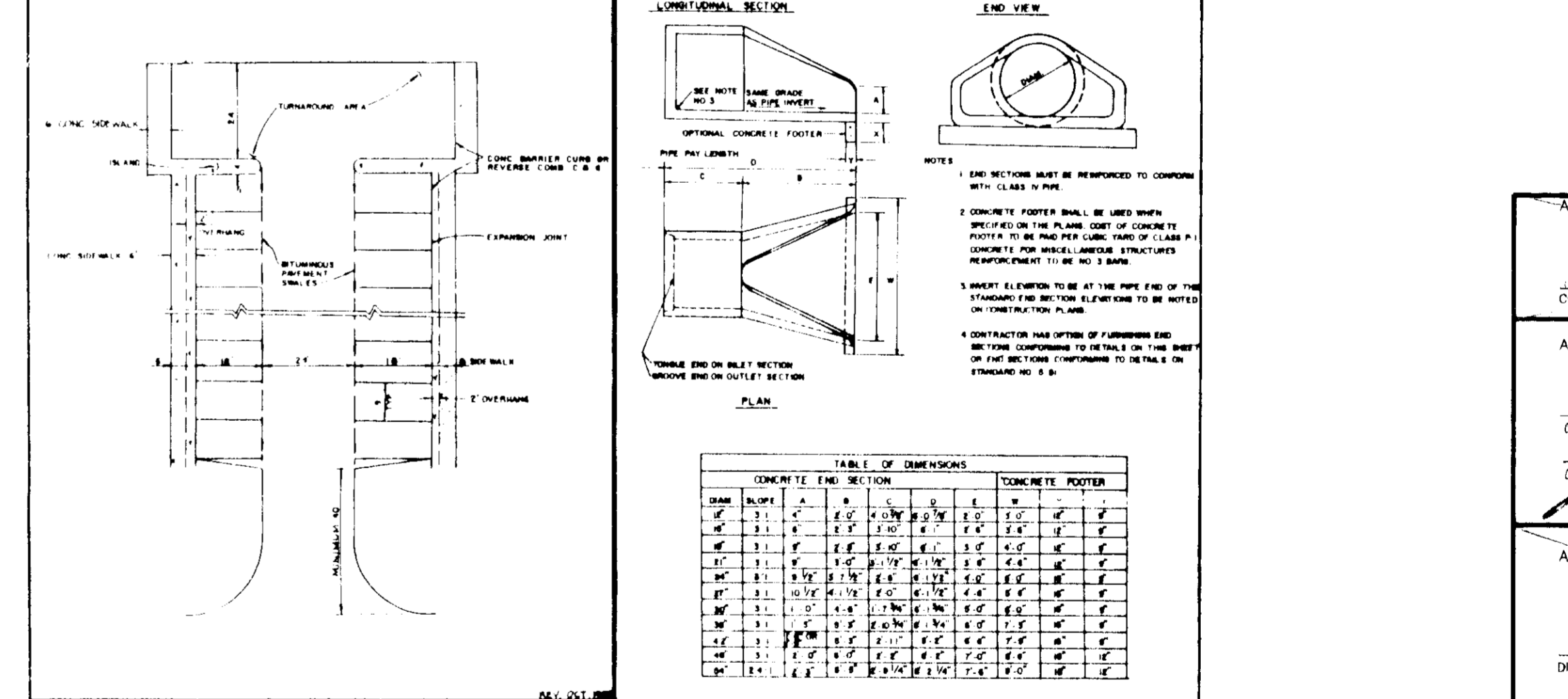
Plan
SCALE: 1" = 30'



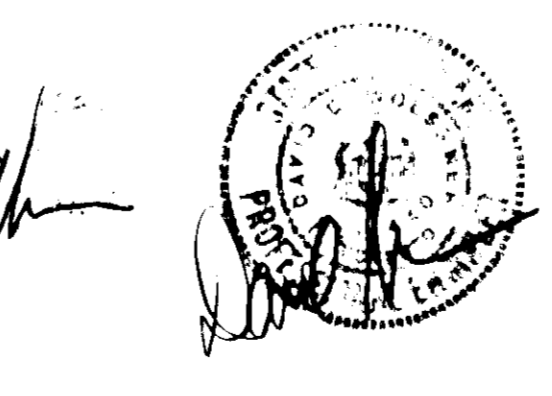
ROADWAY STREET CLASSIFICATION: PAVEMENT MATERIAL: CONCRETE

SECTION NUMBER	ROADWAY STREET CLASSIFICATION	PAVEMENT MATERIAL	CONCRETE BASE ALTERNATE
1	PRIVATE DRIVEWAY	CONCRETE	CONCRETE
2	PRIVATE DRIVEWAY	CONCRETE	CONCRETE
3	PRIVATE DRIVEWAY	CONCRETE	CONCRETE
4	PRIVATE DRIVEWAY	CONCRETE	CONCRETE
5	PRIVATE DRIVEWAY	CONCRETE	CONCRETE
6	PRIVATE DRIVEWAY	CONCRETE	CONCRETE
7	PRIVATE DRIVEWAY	CONCRETE	CONCRETE
8	PRIVATE DRIVEWAY	CONCRETE	CONCRETE TYPICAL PARKING SECTION</td
9	PRIVATE DRIVEWAY	CONCRETE	CONCRETE
10	PRIVATE DRIVEWAY	CONCRETE	CONCRETE
11	PRIVATE DRIVEWAY	CONCRETE	CONCRETE
12	PRIVATE DRIVEWAY	CONCRETE	CONCRETE
13	PRIVATE DRIVEWAY	CONCRETE	CONCRETE
14	PRIVATE DRIVEWAY	CONCRETE	CONCRETE
15	PRIVATE DRIVEWAY	CONCRETE	CONCRETE
16	PRIVATE DRIVEWAY	CONCRETE	CONCRETE
17	PRIVATE DRIVEWAY	CONCRETE	CONCRETE
18	PRIVATE DRIVEWAY	CONCRETE	CONCRETE
19	PRIVATE DRIVEWAY	CONCRETE	CONCRETE

CONCRETE END SECTION
CONCRETE END SECTION
CIRCULAR CONCRETE PIPE



Plan
SCALE: 1" = 30'



LILAC PARK CONDOMINIUM
DRAINAGE AREA MAP

SDP 94-128
93-08E&V

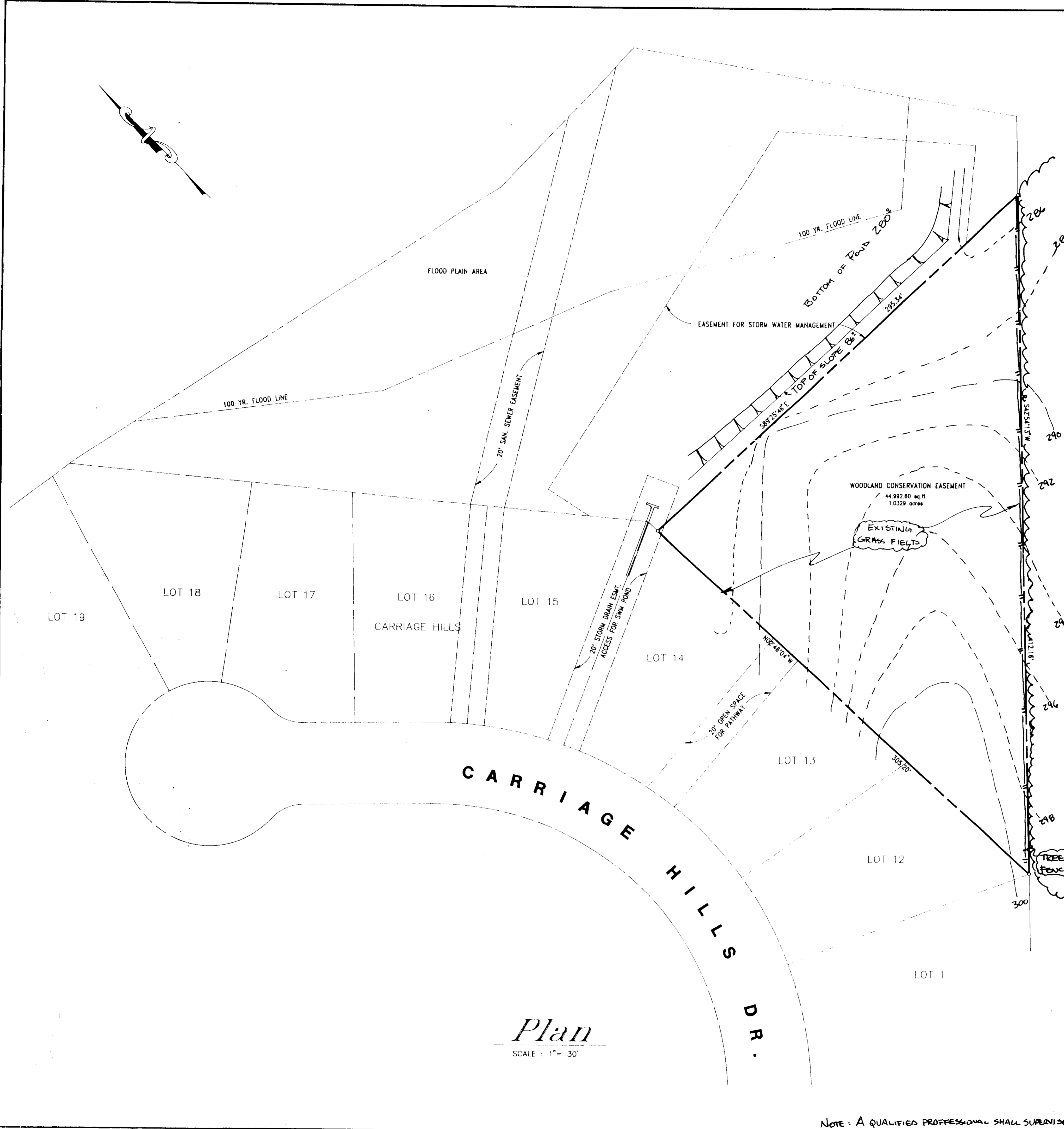
OWNER: MR. JOHN VEDADI
9519 WHISKEY BOTTOM RD.
LAUREL, MD. 20723

DEVELOPER: PROCOPIO ENTERPRISES, INC.
1046 ANNAPOLIS ROAD
GAMBRILLS, MD. 21054
(301) F21-9099

PREPARED BY: AMERICAN LAND DEVELOPMENT AND ENGINEERING INC.
CIVIL ENGINEERING CONSULTANTS AND LAND PLANNER
871-A MAIN STREET
LAUREL, MD. 20707

DESIGNED BY: B.S.
DRAWN BY: D.C.W.
CHECKED BY: D.C.W.
SCALE: 1" = 30'

JOB NO.: FILE NO.: DATE: 4-24-94
SHEET: 5 OF 6



LILAC PARK FOREST STAND DELINEATION AND FOREST CONSERVATION PLAN
 Prepared by William Bridgland
 State Qualified Professional
 October 20, 1994

FOREST STAND DELINEATION
 The following narrative is a portion of a complete Forest Stand Delineation (FSD) which was conducted on the Lilac Park property located on the south side of Whiskey Bottom Road approximately 1/4 mile southeast of 48 Basile Road in Howard County (reference: Lot: Liber 264, Folio 248; and Liber 1878, Folio 287; totaling approximately 2.5 acres). As required by the Howard County DPZ, a sketch map of the site showing forest boundaries and other pertinent environmental features, and a completed Forest Stand Analysis Table is included to complete the FSD.

FOREST DESCRIPTION (also see Forest Stand Analysis Table)
 The forested area is in one stand covering slightly more than the northwest half of the site. The property is surrounded on three sides by a residential community and other development, and on the fourth side by Whiskey Bottom Road, so the stand is isolated from treated land off-site. The forest is a transition from Virginia Pine to a mixed oak and beech association, with the pines still dominant in the canopy, especially in the southwest portion of the stand. Canopy species include American beech, white oak, black oak, black cherry, sassafras, and flowering dogwood. Ground cover species in the interior portions of the stand, and comprised of: Virginia blueberry and poison ivy. Near the forest edges, rearses honeylocust and English ivy become more dominant. The reproduction is vigorous throughout the stand except the northern corner where stambling from a children's play area has opened the understorey.

SENSITIVE AREAS
 There are no environmentally sensitive areas on the site, but the site is considered of low productivity and prone to erosion, so appropriate precautions should be taken when the vegetation is cleared.

FOREST CONSERVATION PLAN
REFORESTATION CALCULATIONS FOR THE LILAC PARK CONDOMINIUM SITE

Net tract area =	2.5 ac.
Existing forest =	1.4 ac.
Proposed forest removal =	1.48 ac.
Forest remaining =	0.04 ac.
Theoretical (CO ₂ & O ₂) =	0.8 ac.
Reforestation deficit:	
25 X 1 = 25	1.2 ac. (to meet 0.1 ac.)
2 X 48 = 92	
Total = 117	

The above 1.2 acres of reforestation will be required for this proposed development. The site is suited to allow the construction of high density subdivisions as proposed. Reforestation of forest on approximately half the site would create a small isolated woodland and impose a severe burden on the development of the property. Therefore, the owner proposes to fulfill most of the reforestation requirement (0.8 ac.) on a separate property in Howard County which has the same soil type as the site for the remaining 0.4 ac. The proposed site is a portion of open forest adjacent to the built out Carriage Hills subdivision off Carriage Hills Drive in Columbia, Maryland (see attached site plan). This site is currently an unreforested field next to a BSW treatment area. Reforestation of this site would significantly increase an existing forested area on the adjacent property.

PLANTING PLAN (see site map)
 Species were chosen for planting in the afforestation site to match the species in the adjacent existing forest. The planting area is fairly level and currently well vegetated with upland meadow species such as bromegrass and other grasses, goldenrod, asters, and scattered seedlings of dogwood, hickory, and black cherry. Existing vegetation (especially woody plants) will be disturbed as little as possible during the planting process. Species will be removed and planted approximately 11' apart from other plantings. Straight rows should be avoided to simulate a more natural arrangement.

SPECIES	SIZE	QUANTITY
Loblolly pine (Pinus taeda)	18-24"	40
Black cherry (Prunus serotina)	18-24"	40
Red maple (Acer rubrum)	18-24"	40
Red oak (Quercus rubra)	18-24"	30
Scarlet oak (Quercus coccoinea)	18-24"	30
Dogwood (Cornus florida)	18-24"	30
Sassafras (Sassafras albidum)	18-24"	30
Common blueberry (Vaccinium corymbosum)	18-24"	30
Virginia blueberry (Vaccinium corymbosum)	18-24"	30
AMERICAN RED CEDAR	18-24"	72
TOTAL		372 TREES

Plant material should be obtained from a reputable nursery and ordered 3 to 6 months before desired delivery. Delivery should be arranged to occur as close to planting time as possible, and stock should be protected from direct sun and drying wind during planting. Planting dates are March and April. (Suggested supplier: Blue Nettle Nursery & Seed Co., New Freedom, PA, (717) 327-0484)

Stock should be inspected before planting for signs of damage, disease, or insect infestation, vigor, and size. Damaged or inferior plants should be replaced.

Upon planting container grown stock, plants should be removed from the container and the soil gently loosened from the roots. If roots encircle the root ball, or are J-shaped or knotted, root pruning is necessary. Do not use tools on site.

The planting field should be dug and backfilled with the native soil. Rake the surface and cover the disturbed area with approximately 4 inches of mulch, but avoid burying the base of the stem to prevent fungal rot. Water immediately to settle the soil around the roots.

NOTE PLANTS TO BE EVENLY DISPERSED.

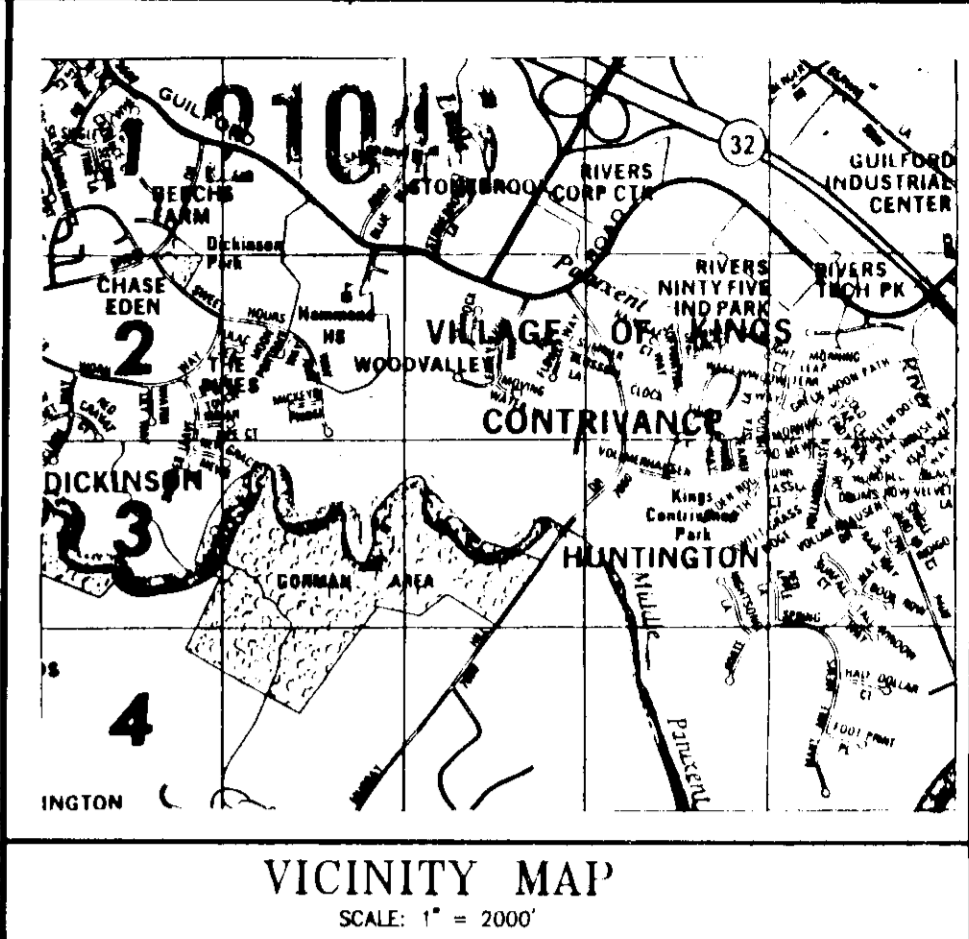
MAINTENANCE AND PROTECTION OF PLANTED AREA
 Soils should be tested to determine the need for fertilizer. If fertilizer is needed, it should be applied at the testing lab's recommended rates after the first growing season (late fall or early spring). Organic or slow-release fertilizers are preferred.

Watering should be planned to compensate for deficient rainfall. New plantings need water once a week for the first growing season. The second year, watering may only be necessary in July and August, and in subsequent years only water during drought periods. Watering should be done slowly enough to permit deep soaking of the root zone.

Monitor the young trees for several years for health, insect damage, and invasive vines. Replace dead and dying trees. Do not spray insecticides unless it has been determined that an infestation with the potential to threaten the survival of the trees is present. Control invasive vines manually, or by careful and selective use of appropriate herbicide.

Post-planting signage that states that this area is a Forest Conservation Area and trees have been planted for reforestation. An effort should be made to inform and gain the cooperation of the Carriage Hills residents to monitor and protect the plantings.

RESPECTFULLY SUBMITTED,
 William Bridgland



VICINITY MAP
 SCALE: 1" = 2000'

THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF THE HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING ALL CLEARING, REMOVALS OR TRIMMING OF TREES WITHIN THE FOREST CONSERVATION EASEMENT SHALL BE DONE IN ACCORDANCE WITH THE FOREST CONSERVATION EASEMENT AND THE TREE PROTECTIVE FENCING.

APPROVED:	FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT
N.A.	COUNTY HEALTH OFFICER
DATE:	
APPROVED:	DEPARTMENT OF PLANNING & ZONING
<i>William Bridgland</i>	DATE: 8/13/95
CHIEF, DEVELOPMENT ENGINEERING DIVISION	
<i>John J. ...</i>	DATE: 8/24/95
CHIEF DIVISION AND LAND MANAGEMENT AND RESEARCH	
DATE:	
APPROVED:	FOR PUBLIC WATER AND SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
N.A.	DIRECTOR
DATE:	
CHIEF BUREAU OF ENGINEERING	DATE:
PROJECT NAME:	LILAC PARK CONDOMINIUMS
SECT./AREA:	N/A
PARCEL#:	173 F/L 26
PLAT# OR L/F:	386/268-18/75/287
BLOCK#:	RSC
TAX ZONE MAP:	42
ELEC. DIST.:	#6
CENSUS TR.	6000.3
WATER CODE:	COB
SEWER CODE:	7141500

OFF-SITE WOODLAND CONSERVATION PLAN
LILAC PARK CONDOMINIUM

SDP 94-93-08E&V

DEVELOPER:	PROCOPIO ENTERPRISES, INC. 1046 ANNAPOLIS ROAD GAMBRILLS, MD. 21054 (301) 621-9099	PREPARED BY:	AMERICAN LAND DEVELOPMENT AND ENGINEERING, INC. CIVIL ENGINEERING CONSULTANTS AND LAND PLANNER 871-A MAIN STREET LAWNEE, MD. 20707	DES.:	B.S.	DRAWN BY:	D.C.W.	CHECKED BY:	D.C.W.	JOB FILE:	DATE:	4-21-94
				SCALE:	1" = 30'					SHEET		6 OF 6

NOTE: A QUALIFIED PROFESSIONAL SHALL SUPERVISE PLANTING OF TREES