

VICINITY MAP

Scale: 1" = 2000'

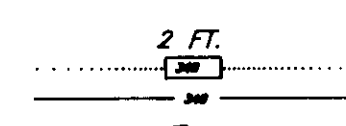
□ Denotes Building Site

LOT SIZE TABULATION CHART

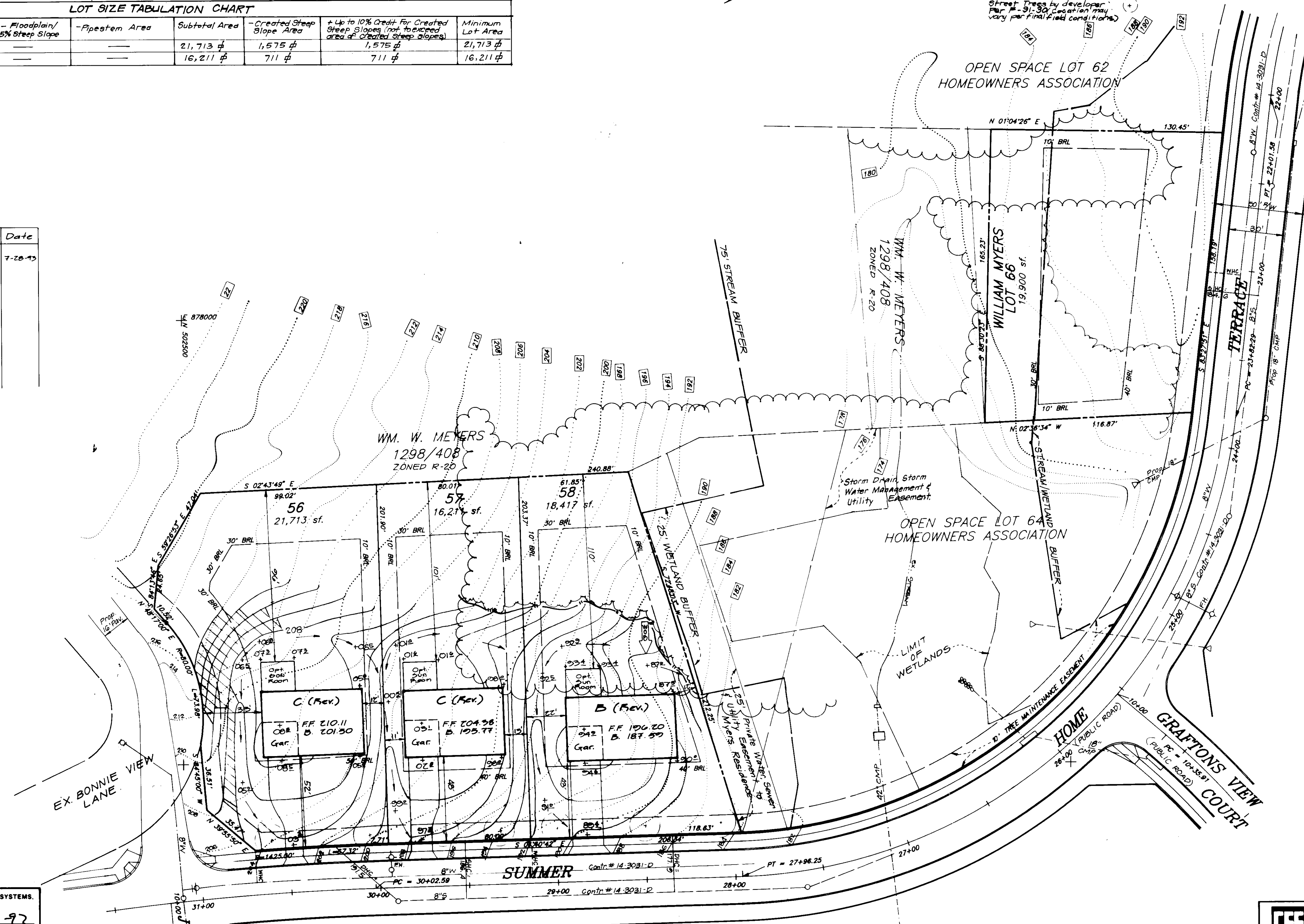
LOT No.	Gross Area	- Floodplain/ 25% Steep Slope	- Riparian Area	Subtotal Area	- Created Steep Slope Area	+ Up to 10% Credit for Created Steep Slopes (not to exceed area of created steep slopes)	Minimum Lot Area
56	21,713 sq ft			21,713 sq ft	1,575 sq ft	1,575 sq ft	21,713 sq ft
57	16,211 sq ft			16,211 sq ft	711 sq ft	711 sq ft	16,211 sq ft

LEGEND

- CONTOUR INTERVAL
- EXISTING CONTOUR
- PROPOSED CONTOUR
- DIRECTION OF DRAINAGE
- WALK OUT BASEMENT
- Existing Trees to be Saved
- Tree Protection Fence
- Street Trees by developer
- Per # 91-30 (location may vary per final field conditions)



No.	Revision	Date
1	Rev. hcc. 3 grad. lots 56 thru 58 to Generic Footprints	7-28-93



GENERAL NOTES:

- Subject property is zoned: R-20 per 8-2-85 Comprehensive Zoning Plan.
- The total area included in this submission is: 11,548 Ac.
- The total number of lots included in this submission are: 20
- Improvement to property: Single family detached dwellings.
- The maximum lot coverage permitted is: 30%
- Department of Planning and Zoning reference file numbers are: S-87-49, P-90-04, WP-90-16, WP-90-157, F-91-30
- Utilities shown as existing are taken from approved water and sewer plan Contract #14-3031-D, approved road construction plans F-91-30, and actual field survey.
- Any damage to county owned rights-of-way shall be corrected at the developer's expense.
- Storm water management is provided per F-91-30, SWM type is 100% detention.
- All roadways are public and existing.
- The existing topography shown was taken from plans prepared by Greenman-Pederson, Inc. F-91-30. The contour interval is 2 feet.
- The coordinates shown herein are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monument Nos. 2747001 & 2747002
- The contractor shall notify the Department of Public Works/Construction Inspection Division of (410) 313-1870 at least five (5) working days prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
- The owner/builder shall be advised that all porch/deck structures located within the front/rear building setback shall be in accordance with section 12B of the Zoning Regulations. Section 12B of the Zoning Regulations allows porches or decks, open or enclosed, not to project more than 10 feet into the required front or rear yard building restriction lines.
- No clearing, grading or construction is permitted within the required wetlands and/or stream buffer.
- For driveway entrance details, refer to Howard County Design Manual Volume III for Details R-601, R-603 & R-605.

SPECIAL NOTES:

This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-91-30 and/or approved Water and Sewer Plans Contract #C-14-3031-D.

SHEET INDEX:

SHEETS 1, 2, 3 & 4 SITE DEVELOPMENT PLAN
SHEETS 5, 6, 7, 8 & 9 SEDIMENT & EROSION CONTROL PLANS

ADDRESS CHART

LOT NUMBER	STREET ADDRESS
56	6258 Summer Home Terrace
57	6254 " " "
58	6250 " " "

REVISION NOTE

This plan supercedes previously approved plan sheet 1 of 3 SDP 93-50. The grading on this plan supercedes the grading on sheet 5 of 3. The purpose of this plan is to revise lots 56-58 to generic boxes.

SUBDIVISION NAME	SECTION/AREA	LOTS/PARCELS
THE GABLES AT LAWYERS HILL	N/A	1, 3-8, 10-17, 30-40, 56-58
PLAT NO.	BLOCK NO.	ZONE
10150-10165	2	R-20
TAX MAP NO.	ELECTION DIST.	CENSUS TRACT
	38	1ST 6012
WATER CODE	SEWER CODE	
009	2022400	

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
HOWARD COUNTY HEALTH DEPARTMENT

[Signature] 10-23-93
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

[Signature] 10-29-93
DIRECTOR DATE

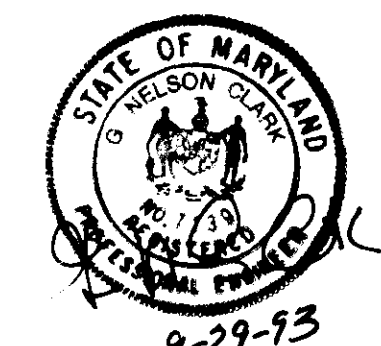
[Signature] 10-29-93
CHIEF DIVISION OF LAND DEVELOPMENT AND RESEARCH DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE.
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

[Signature] 10/20/93
DIRECTOR DATE

[Signature] 10/10/93
CHIEF BUREAU OF ENGINEERING DATE

THE GABLES AT LAWYERS HILL
PLAT #10163
ZONED R-20



OWNER / DEVELOPER:
GLH LIMITED PARTNERSHIP
9030 RED BRANCH ROAD # 200
COLUMBIA, MARYLAND 21045

PLATS	DATE	CHECKED BY
UNRECORDED		
RECORDED		

CLARK • FINEFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS

7135 MINSTREL WAY • COLUMBIA MD 21045 • (410) 381-7500 • BALTO • (301) 621-8100 - WASH.

DESIGNED: VLP
DRAWN: VLP
CHECKED: JME
DATE: 7-28-1993

REVISED SITE DEVELOPMENT PLAN
LOTS 1, 3-8, 10-17, 30-40, 56-58

SCALE
1" = 30'

DRAWING
1 of 9

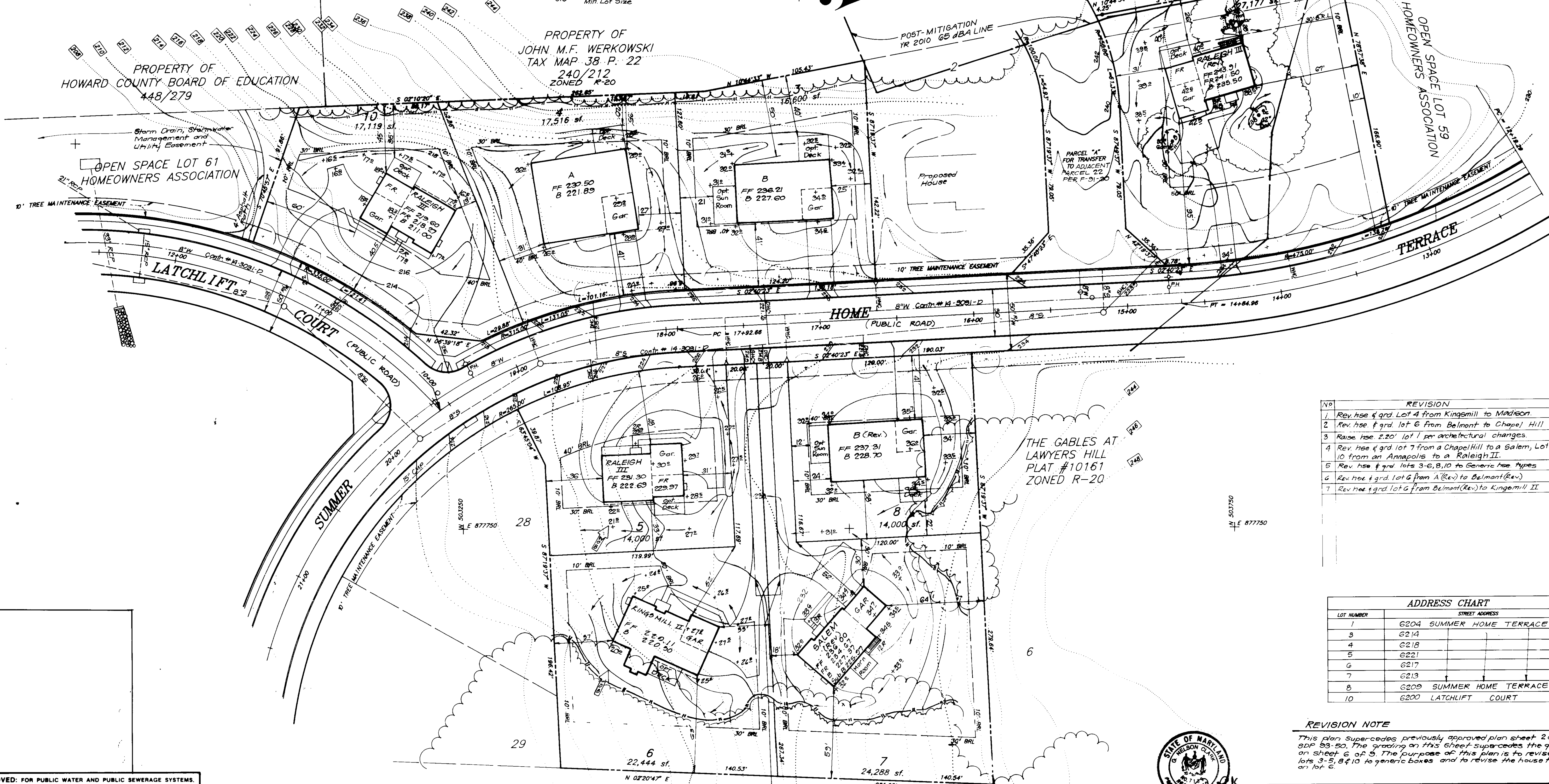
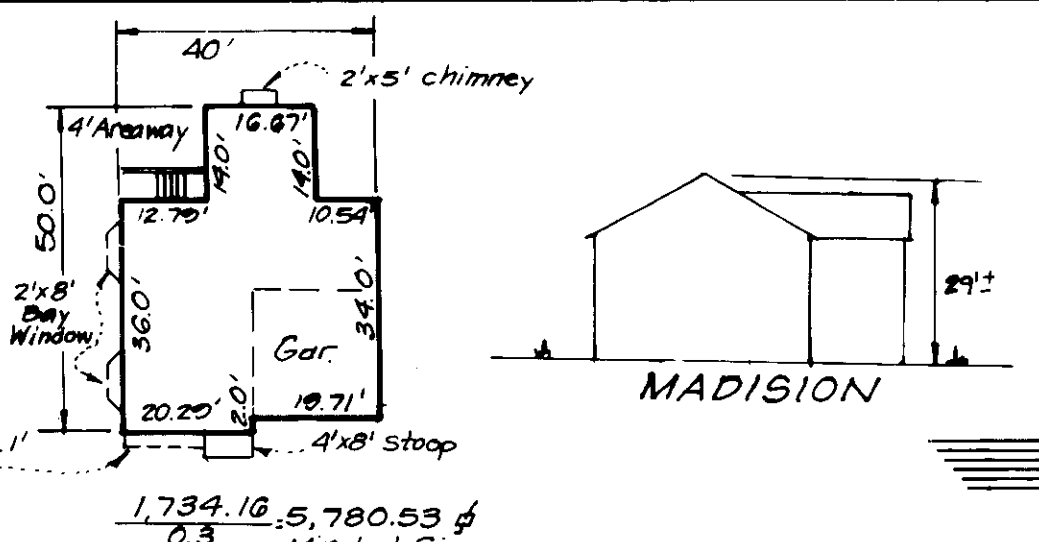
JOB NO.
92-197

FILE NO.
92-197-X

FOR: NV HOMES, INC.
15215 SHADY GROVE ROAD #304
ROCKVILLE, MD 20850

SDP-93-50

LOT SIZE TABULATION CHART							
LOT#	Gross Area	- FLOODPLAIN/ 25% STEEP SLOPE	- FIRSTEN AREA	SUBTOTAL AREA	- CREATED STEEP SLOPE AREA	+ up to Credit for Created Steep Slopes (not to exceed grid of Created Steep Slopes)	Minimum Lot Area
6	22,444 sq	-	2,344	20,100 sq	-	-	20,100 sq
7	24,288 sq	-	2,344	21,944 sq	-	-	21,944 sq



NO	REVISION	DATE
1	Rev. hse & grd. Lot 4 from Kingmill to Madison	1-28-93
2	Rev. hse & grd. lot 6 from Belmont to Chapel Hill	2-23-93
3	Raise hse 2.20' lot 1 per architectural changes	4-5-93
4	Rev. hse & grd. lot 7 from a Chapel Hill to a Salem, Lot 10 from an Annapolis to a Raleigh II.	4-8-93
5	Rev. hse & grd. lots 3-6, 8, 10 to generic hse types	7-14-93
6	Rev. hse & grd. lot 6 from A (Rev) to Belmont (Rev)	8-11-93
7	Rev. hse & grd. lot 6 from Belmont (Rev) to Kingmill II	8-24-93

ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
1	6204 SUMMER HOME TERRACE
3	6214
4	6218
5	6221
6	6217
7	6213
8	6209 SUMMER HOME TERRACE
10	6200 LATCHLIFT COURT

REVISION NOTE
This plan supercedes previously approved plan sheet 2 of 3 SDF 93-50. The grading on this sheet supercedes the grading on sheet 6 of 9. The purpose of this plan is to revise lots 3-5, 8, 9, 10 to generic hse types and to revise the house type on lot 6.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
HOWARD COUNTY HEALTH DEPARTMENT
James M. Ball 10-23-93
COUNTY HEALTH OFFICER DATE

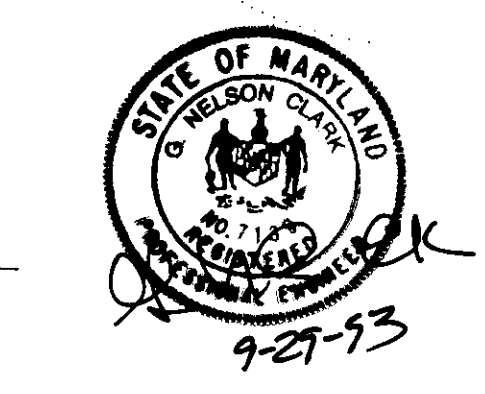
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
James V. DeLoach 10/25/93
DIRECTOR DATE

Uma Summery 10/29/93
CHIEF DIVISION OF LAND DEVELOPMENT AND RESEARCH DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
James J. DeLoach 10/29/93
DIRECTOR DATE

Richard J. DeLoach 10/10/93
CHIEF BUREAU OF ENGINEERING DATE

NO	REVISIONS	DATE
1	Rev. hse & grd. lot 5	5-18-94
2	Rev. hse & grd. lot 10	2-2-94
3	Rev. grd. and hse. lot 10	1-7-94



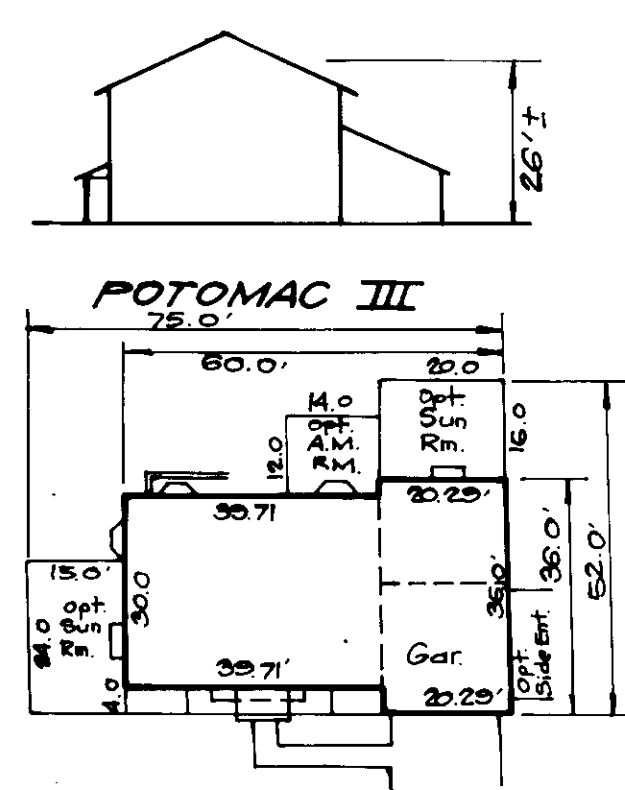
CLARK • FINEFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS
7135 MINTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 • BALTO. • (301) 621-8100 • WASH.

OWNER / DEVELOPER:
GLH LIMITED PARTNERSHIP
9030 RED BRANCH ROAD # 200
COLUMBIA, MARYLAND 21045

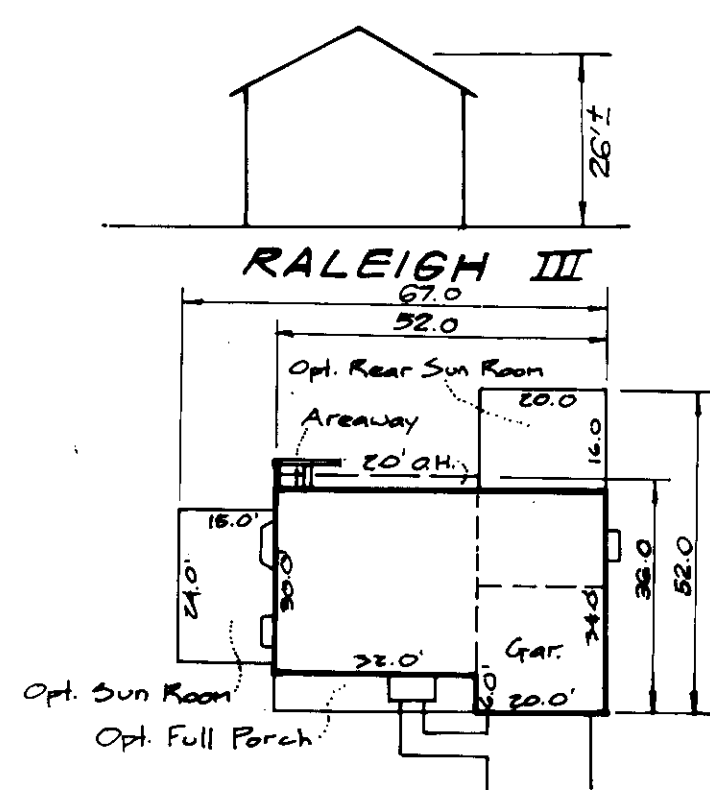
PLATS	DATE	CHECKED BY
UNRECORDED		
RECORDED		

DESIGNED	REVISD DTE DEVELOPMENT PLAN	SCALE
VLP	LOTS 1, 3-8, 10-17, 30-40, 56-58	1" = 30'
DRAWN		DRAWING
VLP		2 of 9
CHECKED		JOB NO.
JME		02-197
DATE		FILE NO.
9-29-93		02-197X

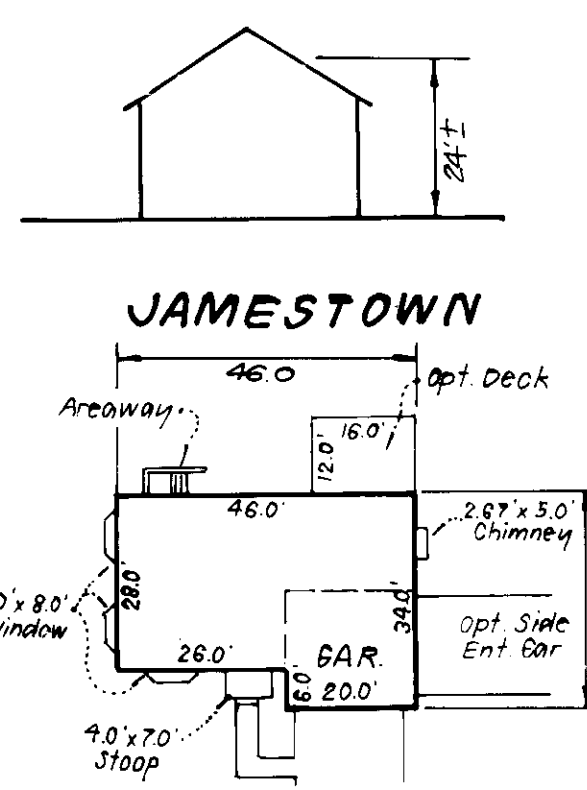
FOR: MY HOMES, INC.
15215 SHADY GROVE ROAD #304
ROCKVILLE, MD 20850



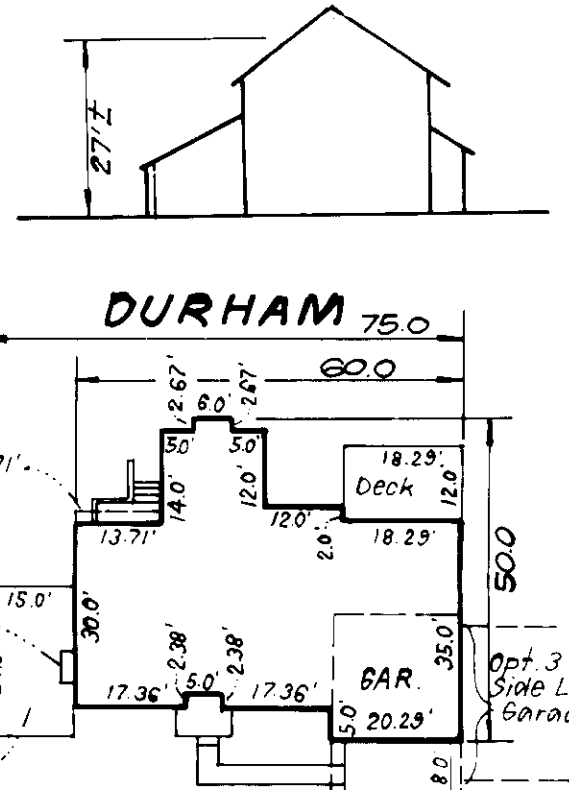
2078.50 / 0.3 = 10,261.00 sq ft Min. Lot Size



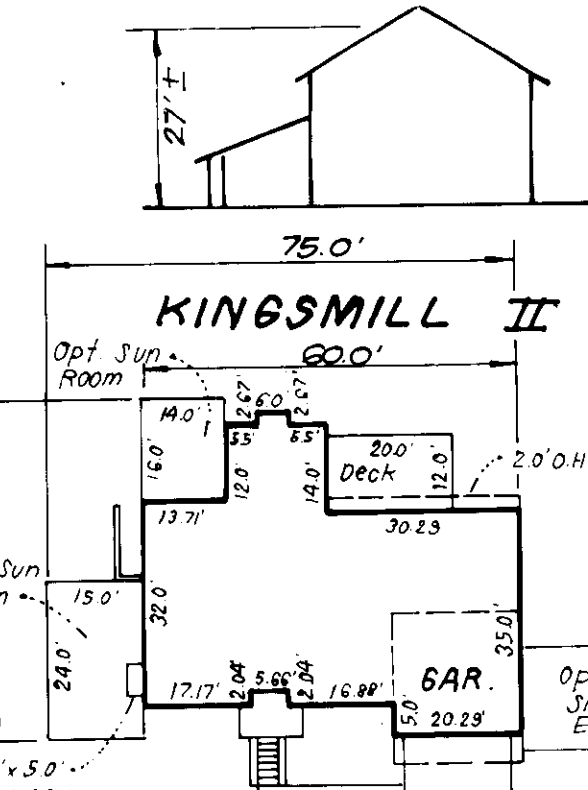
2240 / 0.3 = 8820 sq ft Min. Lot Size



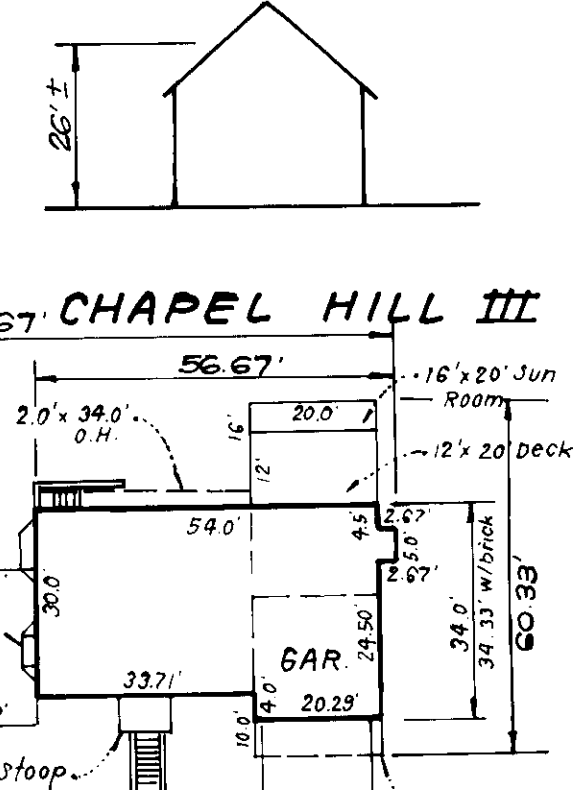
1784 / 0.3 = 5946.67 sq ft Min. Lot Size



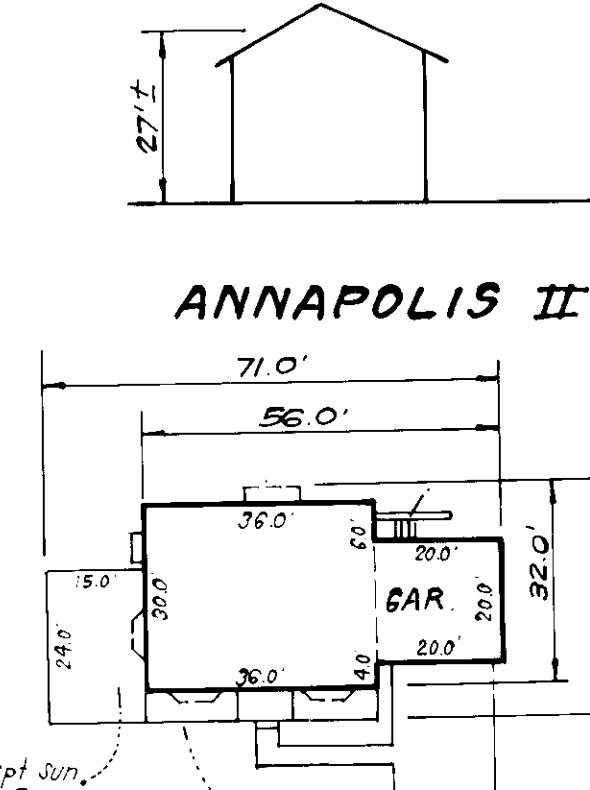
2951.45 / 0.3 = 9838.17 sq ft Min. Lot Size



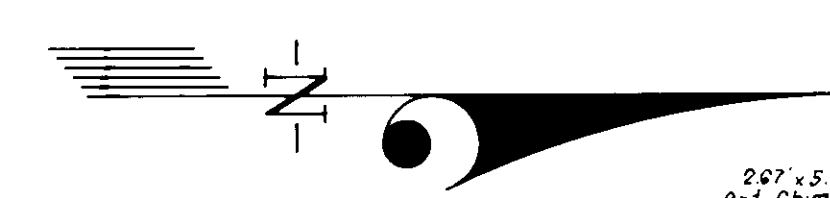
3175.45 / 0.3 = 10,584.83 sq ft Min. Lot Size



2510.16 / 0.3 = 8,367.2 sq ft Min. Lot Size



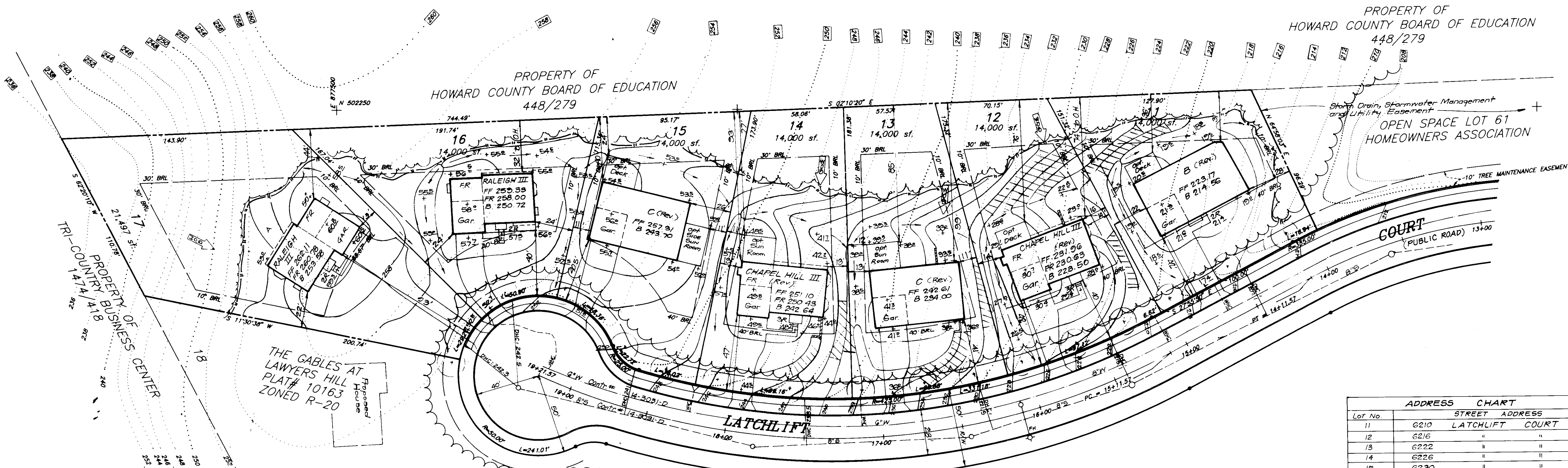
2086 / 0.3 = 6,953.33 sq ft Min. Lot Size



PROPERTY OF HOWARD COUNTY BOARD OF EDUCATION 448/279

PROPERTY OF HOWARD COUNTY BOARD OF EDUCATION 448/279

OPEN SPACE LOT 61 HOMEOWNERS ASSOCIATION



LOT No.	ADDRESS CHART
11	6210 LATCHLIFT COURT
12	6216 " "
13	6222 " "
14	6226 " "
15	6230 " "
16	6234 " "
17	6238 LATCHLIFT COURT

LOT No.	Gross Area	- Floodplain / 25% Steep Slope	- Pipestem Area	Subtotal Area	- Created Steep Slope Area	Up to 10% Credit for Created Steep Slopes (not to exceed area of created Steep Slopes)	Minimum Lot Area
11	14,000 sq ft			14,000 sq ft	495 sq ft	495 sq ft	14,000 sq ft
12	14,000 sq ft			14,000 sq ft	1,341 sq ft	1,341 sq ft	14,000 sq ft
13	14,000 sq ft			14,000 sq ft	846 sq ft	846 sq ft	14,000 sq ft
14	14,000 sq ft			14,000 sq ft	531 sq ft	531 sq ft	14,000 sq ft

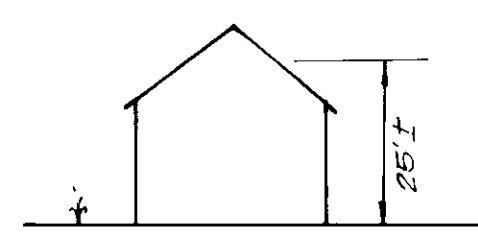
No.	REVISION	Date
6	Rev. hse. fgrd. lot 17	12-17-93
5	Rev. hse. fgrd. lot 16 from C to Raleigh III	5-24-93
4	Rev. hse. fgrd. lot 17 from A to Belmont	8-11-93
3	Rev. lots 11, 13, 15-17 to Generic hse. types	7-14-93
2	Rev. hse. fgrd. Lot 12 from Salem to Chapel Hill III	6-16-93
1	Rev. hse. fgrd. lot 17 from Belmont to Kingsmill II	2-3-93

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

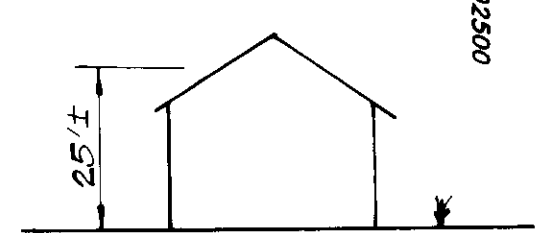
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

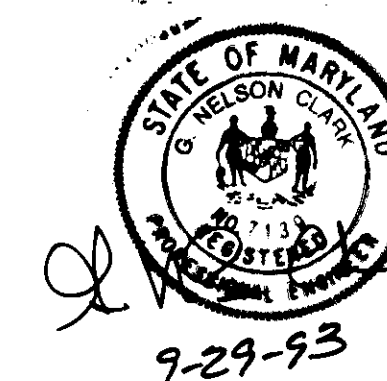
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS



2168 / 0.3 = 7,226.67 sq ft Min. Lot Size



2214 / 0.3 = 7,380.00 sq ft Min. Lot Size



OWNER / DEVELOPER: GLH LIMITED PARTNERSHIP 9030 RED BRANCH ROAD # 200 COLUMBIA, MARYLAND 21045

PLATS	DATE	CHECKED BY
UNRECORDED		
RECORDED		

REVISION NOTE: This plan supercedes previously approved plan sheet 3029 SDP 93-50. The grading on this sheet supercedes the grading on sheet 7 of 8. The purpose of this plan is to revise lots 11-15 to generic bases and revise hse. types on lots 16 & 17.

CLARK • FINEPROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 - BALTO • (301) 621-8100 - WASH

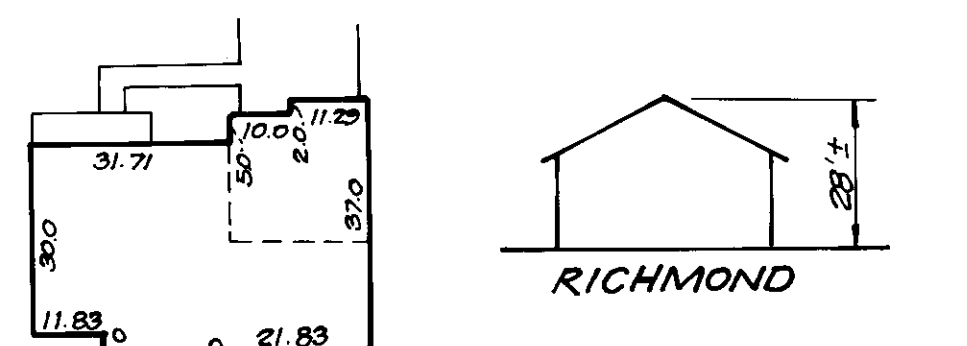
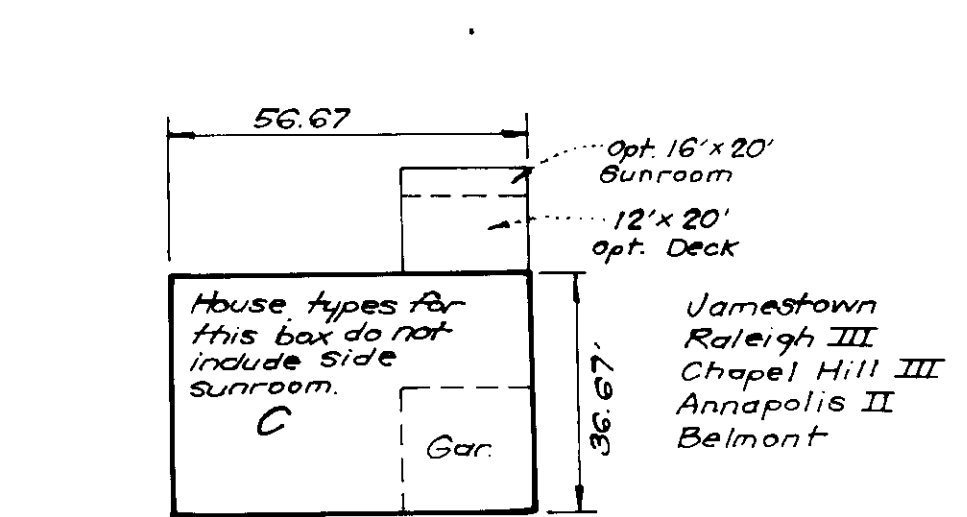
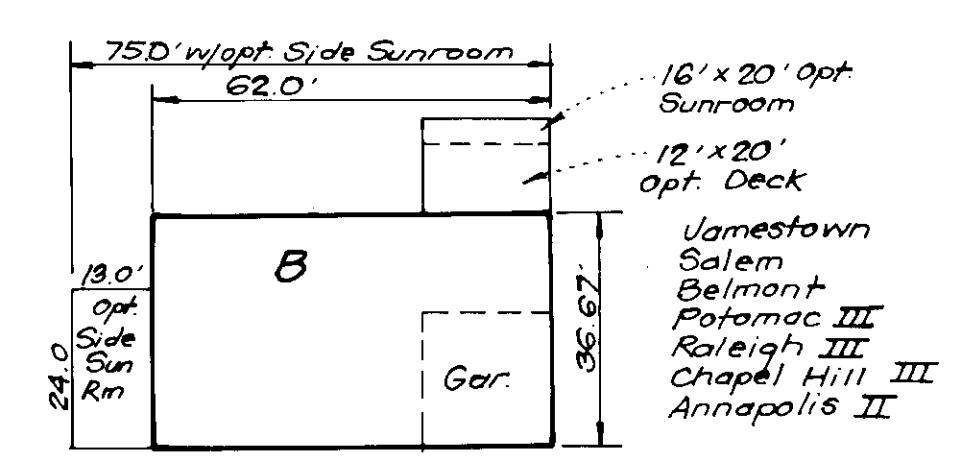
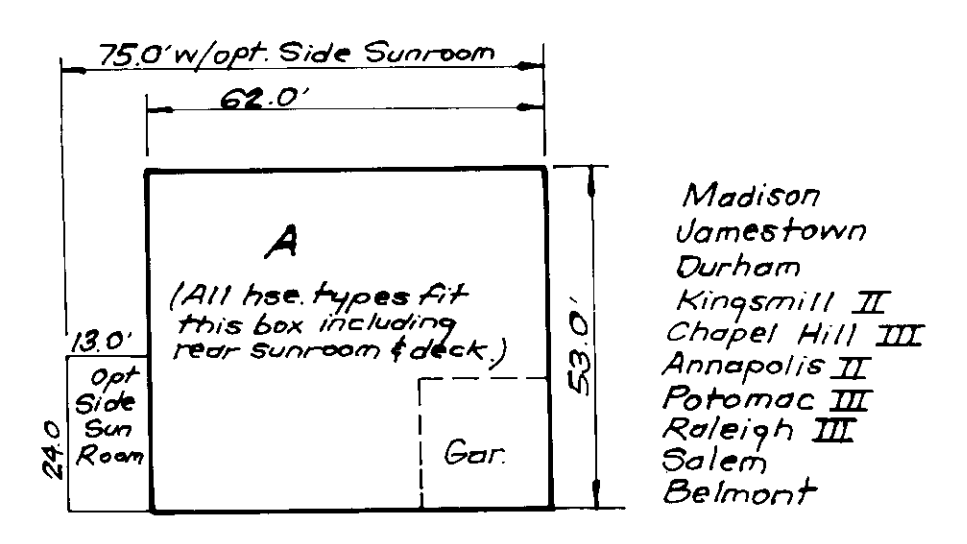
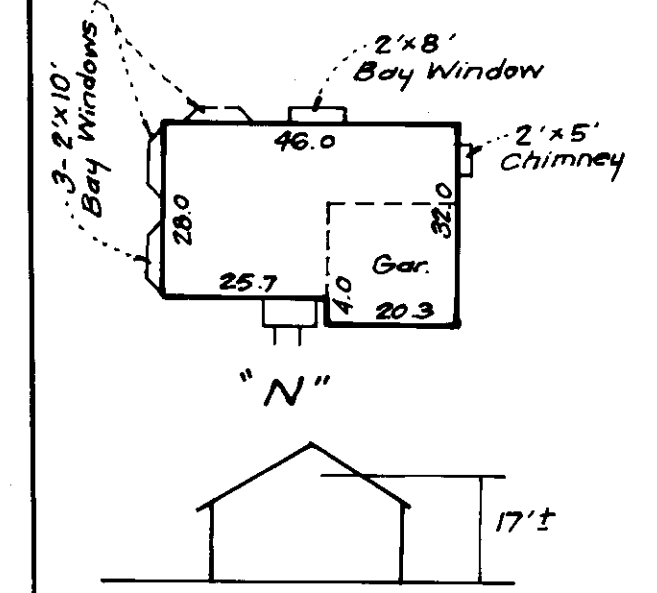
DESIGNED: VLP
 DRAWN: VLP
 CHECKED: JME
 DATE: 9-28-93

REVISIONS: 3 of 9
 JOB NO: 92-197
 FILE NO: 92-197X

FOR: NV HOMES, INC.
 15215 SHADY GROVE ROAD #304
 SDP-93-50

LOT#	GROSS AREA	- FLOODPLAIN/ 25% STEEP SLOPE	- PIPESTEM AREA	SUBTOTAL AREA	- CREATED STEEP SLOPE AREA	+ UP TO 10% CREDIT FOR CREATED STEEP SLOPES (NOT TO EXCEED AREA OF CREATED STEEP SLOPES)	MINIMUM LOT AREA
31	16,000 #	2825	-	14,575 #	-	-	14,575 #
32	16,000 #	2,375	-	15,025 #	315 #	315 #	15,025 #
33	17,000 #	5,050	-	14,250 #	2925 #	1,790 #	14,250 #
34	18,552 #	2,450	-	16,102 #	-	-	16,102 #
35	19,201 #	3,201	-	16,000 #	-	-	16,000 #
36	19,364 #	-	2,108	17,526 #	-	-	17,526 #
38	16,000 #	3,000	-	14,400 #	-	-	14,400 #
39	16,000 #	3,100	-	14,300 #	-	-	14,300 #
40	16,872 #	1,250	-	16,872 #	-	-	16,872 #
37	16,000 #	-	-	16,000 #	360 #	360 #	16,000 #
30	16,000 #	-	-	16,000 #	625 #	625 #	16,000 #

No.	Revision	Date
1	Rev. use for lots 30 thru 39 to Generic Footprint	7-28-93
2	Rev. use of grad. lot 34	1-19-94
3	Rev. use of grad. lot 40, Add use typical	3-4-94
4	Rev. use of grad. lot 33, Add use typical	4-21-94
5	Rev. use of grad. lot 37	5-6-94



LOT No.	STREET ADDRESS
30	6201 GRAFTONS VIEW COURT
31	6205
32	6209
33	6213
34	6217
35	6221
36	6225
37	6214
38	6210
39	6206
40	6202 GRAFTONS VIEW COURT

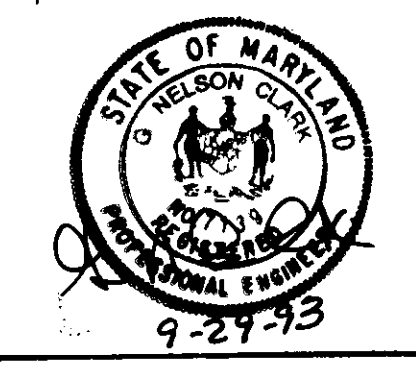
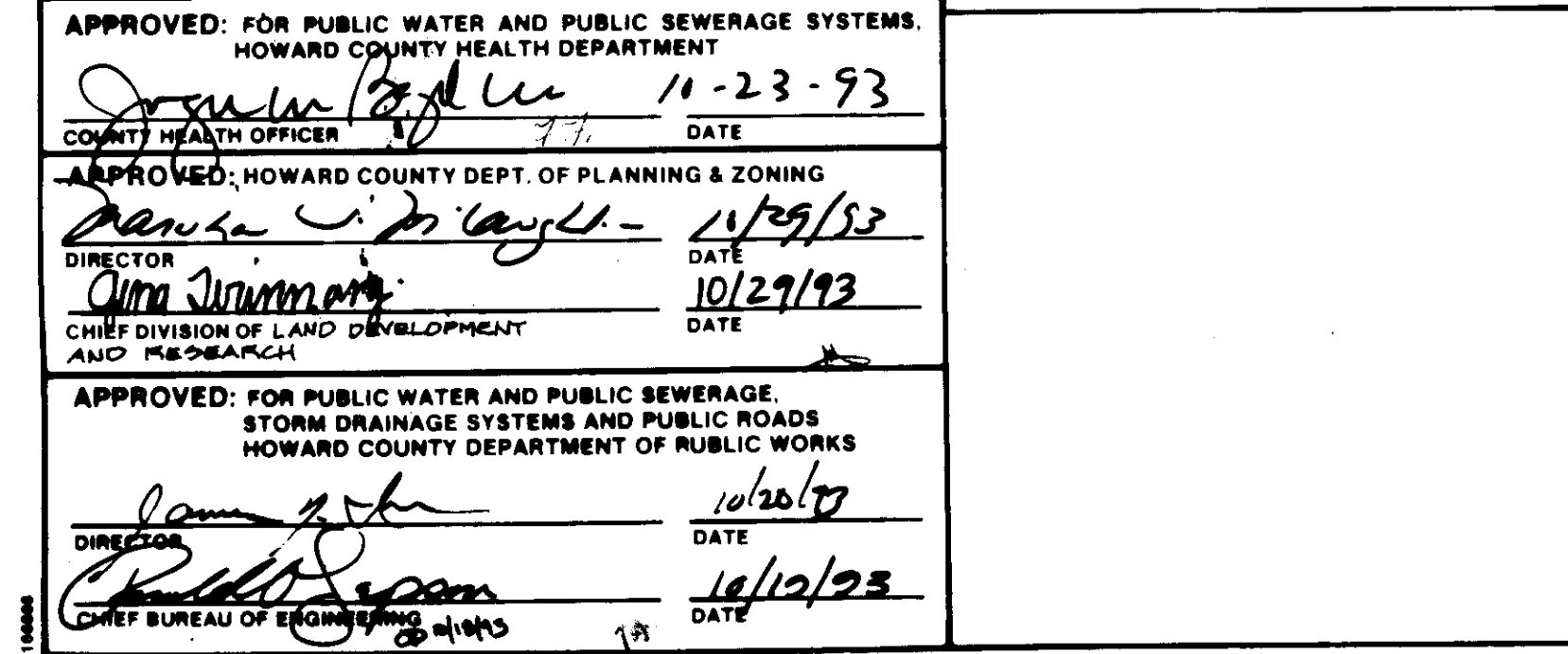
REVISION NOTE
This plan supercedes previously approved plan sheet 4 of 9 SDP-93-50. The grading on this sheet supercedes the grading on sheet 8 of 9. The purpose of this plan is to revise lots 30-35 to generic boxes.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
HOWARD COUNTY HEALTH DEPARTMENT
DATE: 11-23-93
COUNTY HEALTH OFFICER

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
DATE: 11/29/93
DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DATE: 10/26/93
DIRECTOR

CHIEF BUREAU OF ENGINEERING
DATE: 10/29/93



OWNER / DEVELOPER:
GLH LIMITED PARTNERSHIP
9030 RED BRANCH ROAD # 200
COLUMBIA, MARYLAND 21045

PLATS	DATE	CHECKED BY
UNRECORDED		
RECORDED		

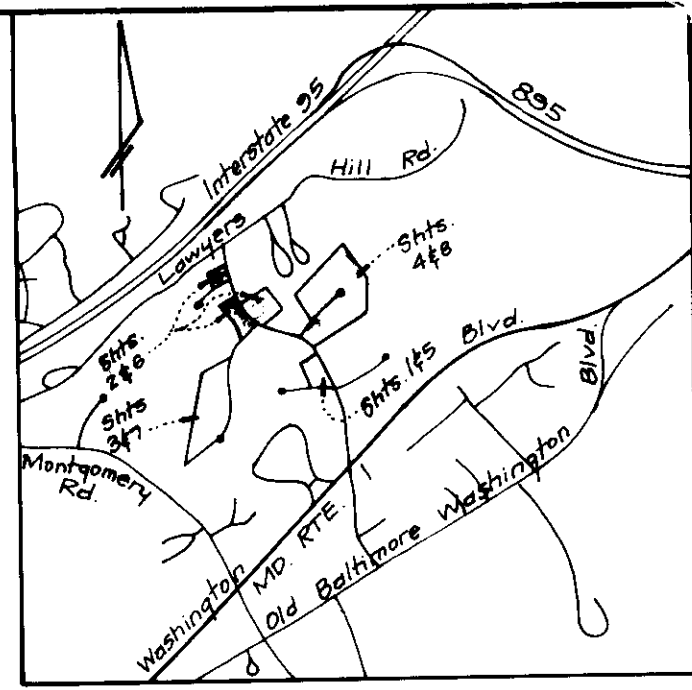
CLARK • FINEFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS
7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 • BALTO. • (301) 621-8100 - WASH.

DESIGNED: [Signature]
DRAWN: VLP
CHECKED: JME
DATE: 9/28/93

REVISD SITE DEVELOPMENT PLAN
LOTS 1, 3-8, 10-17, 30-40, 56-58,
THE GABLES AT
LAWYERS HILL
1ST ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

FOR: NY HOMES, INC.
15215 SHADY GROVE RD. #104
ROCKVILLE, MD. 20850

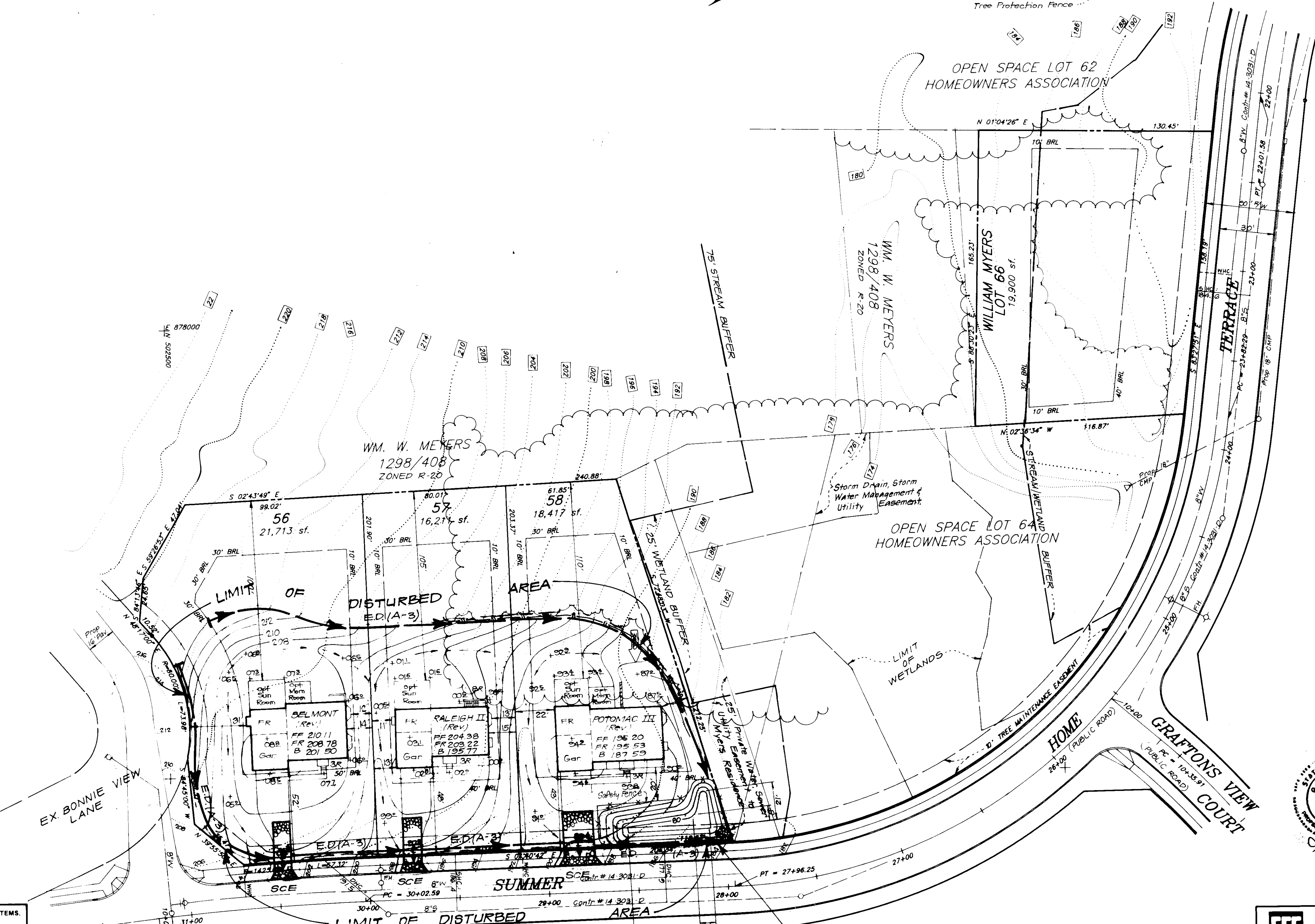
SCALE: 1"=30'
DRAWING: 4 of 9
JOB NO: 92-107
FILE NO: 92-107-X



LEGEND
 CONTOUR INTERVAL
 EXISTING CONTOUR
 PROPOSED CONTOUR
 DIRECTION OF DRAINAGE
 WALK OUT BASEMENT
 Existing Trees to be Saved
 Tree Protection Fence



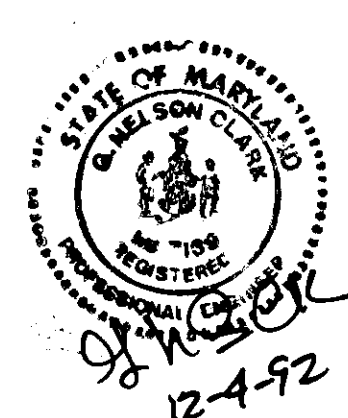
SEDIMENT & EROSION CONTROL LEGEND
 Silt Fence ————
 Tree Protection Fence ————
 Proposed Earth Dike ———— E.D.(A-2) ————
 Existing Earth ————
 Stabilized Construction Entrance w/ Mountable Berm
 Safety Fence ————



Reviewed for Name S.C.D.
 and approved Requirement
 Date 2-1-93
 US Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT
 Approved 2/1/93
 John Robertson

DEVELOPER'S/BUILDER'S CERTIFICATE
 "I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."
 Signature: John H. Clark Date: 12-5-92



ENGINEER'S CERTIFICATE
 I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Signature: J. H. Clark Date: 1-13-93

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 County Health Officer: [Signature] Date: 2-19-93
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
 Director: [Signature] Date: 2/26/93
 Chief Division of Community Planning and Land Development: [Signature] Date: 2/23/93
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Director: [Signature] Date: 2-11-93
 Chief Bureau of Engineering: [Signature] Date: 2-11-93

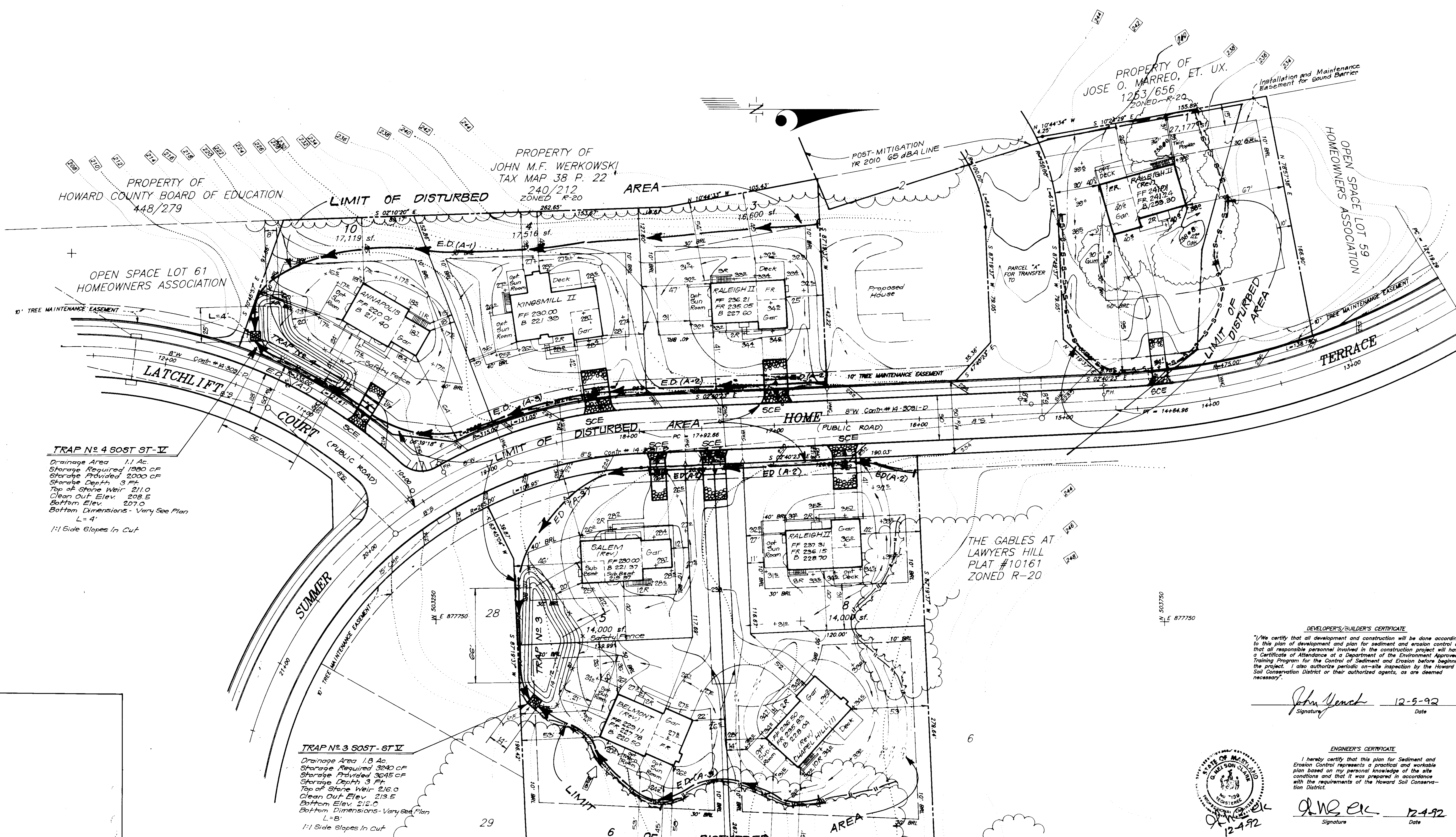
TRAP NO 1 SOST ST IV
 Drainage Area: 0.80 Ac.
 Storage Required: 1440 CF
 Storage Provided: 1600 CF
 Storage Depth: 3 Ft.
 Top of Stone Weir: 394.0
 Clean Out Elev.: 381.5
 Bottom Elev.: 380.0
 Bottom Dimensions - Varies See Plan L=4'
 1:1 Side Slopes In Cut

OWNER / DEVELOPER:
 GLH LIMITED PARTNERSHIP
 9030 RED BRANCH ROAD # 200
 COLUMBIA, MARYLAND 21045

CLARK • FINEPROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 7145 MINNIFIELD WAY • COLUMBIA, MD 21045 • (301) 981-7500 • BALTO • (410) 621-8800 • WASH

DESIGNED KIWM	SEDIMENT & EROSION CONTROL PLAN LOTS 1, 3-8, 10-17, 30-40, 56-58 THE GABLES AT LAWYERS HILL 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1"=30'
DRAWN BAL		DRAWING 5 of 9
CHECKED JLS		JOB NO 02-197
DATE DEC., 1992		FILE NO 92-197-02

THE GABLES AT LAWYERS HILL PLAT #10163 ZONED R-20



PROPERTY OF
HOWARD COUNTY BOARD OF EDUCATION
448/279

PROPERTY OF
JOHN M.F. WERKOWSKI
TAX MAP 38 P. 22
240/212
ZONED R-20

PROPERTY OF
JOSE O. MARREO, ET. UX.
1253/656
ZONED R-20

TRAP No 4 SOST ST-V
Drainage Area 1.1 Ac.
Storage Required 1980 CF
Storage Provided 2000 CF
Storage Depth 3 Ft.
Top of Stone Weir 211.0
Clean Out Elev. 208.5
Bottom Elev. 207.0
Bottom Dimensions - Vary See Plan
L=4'
1:1 Side Slopes In Cut

TRAP No 3 SOST - 6T V
Drainage Area 1.8 Ac.
Storage Required 3640 CF
Storage Provided 3645 CF
Storage Depth 3 Ft.
Top of Stone Weir 216.0
Clean Out Elev. 213.5
Bottom Elev. 212.0
Bottom Dimensions - Vary See Plan
L=6'
1:1 Side Slopes In Cut

THE GABLES AT
LAWYERS HILL
PLAT #10161
ZONED R-20

DEVELOPER'S/BUILDER'S CERTIFICATE
I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.

John Yench 12-9-92
Signature Date

ENGINEER'S CERTIFICATE
I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

D.W. Eck 12-9-92
Signature Date



APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,
HOWARD COUNTY HEALTH DEPARTMENT
John In Boyd 2-19-93
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
James Smith 2/26/93
DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE,
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
James P. Schum 2-11-93
DIRECTOR DATE

James P. Schum 2-11-93
CHIEF BUREAU OF ENGINEERING DATE

Reviewed for HOWARD S.C.D.
Name
Signature
Date
US Soil Conservation Service

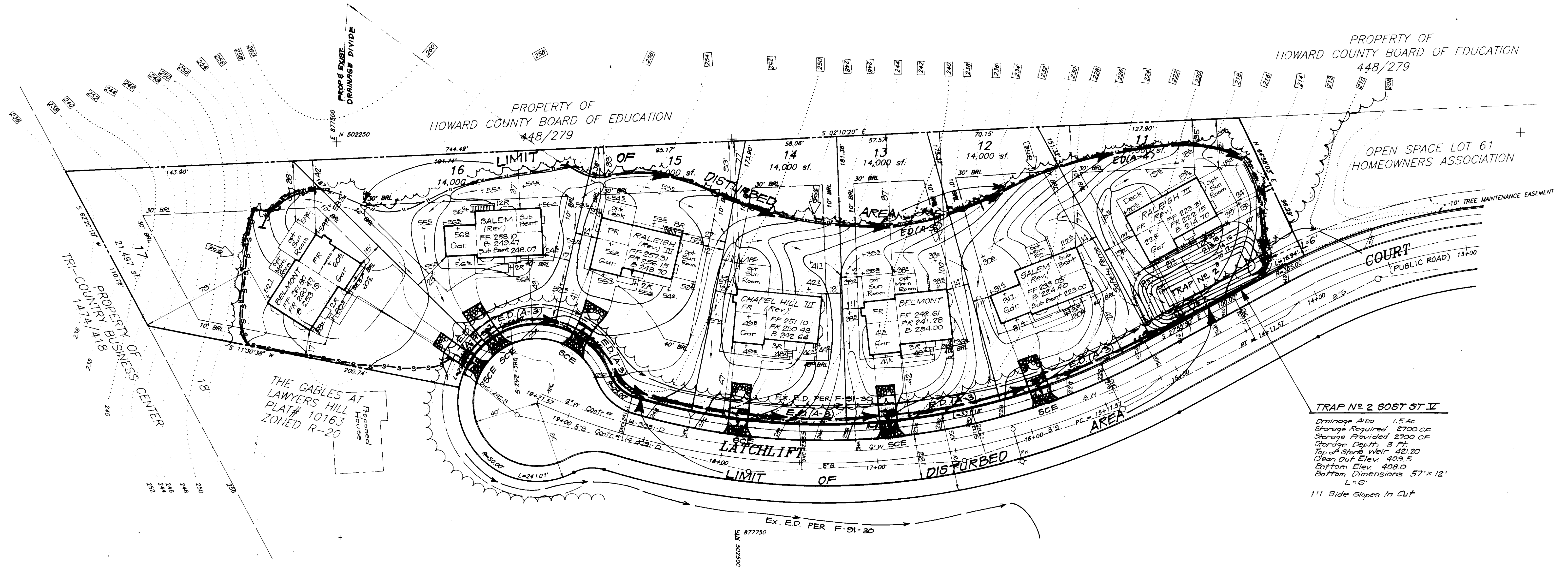
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
John Edwards 2/11/93
Approved

15' WIDE COMMON ACCESS & MAINTENANCE EASEMENT TO LOTS 6 & 7 (150' FROM R/W) BY AGREEMENT DATED NOV. 22, 1991 IN LIBER # 2423, AT FOLIO 0373.

PROPERTY OF
BERTHA S. ROHLEDER
388/314
ZONED R-20

OWNER / DEVELOPER:
GLH LIMITED PARTNERSHIP
9030 RED BRANCH ROAD # 304
COLUMBIA, MARYLAND 21045

CLARK • FINEFROCK & SACKETT, INC. ENGINEERS • PLANNERS • SURVEYORS 7135 MINSTREL WAY • COLUMBIA MD 21045 • (301) 881-7500 BALTO • (301) 621-8100 WASH		
DESIGNED KIV/M	SEDIMENT & EROSION CONTROL PLAN LOTS 1, 3-8, 10-17, 30-40, 56-58 THE GABLES AT LAWYERS HILL 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND FOR: NV HOMES, INC. 15215 SHADY GROVE ROAD #304 ROCKVILLE, MD 20850	SCALE 1" = 30'
DRAWN BAL		DRAWING 6 of 9
CHECKED JLS		JOB NO. 02-197
DATE DEC., 1992		FILE NO. 02-1979e



PROPERTY OF
HOWARD COUNTY BOARD OF EDUCATION
448/279

OPEN SPACE LOT 61
HOMEOWNERS ASSOCIATION

TRAP No. 2 6057 ST IV
Drainage Area 1.5 Ac
Storage Required 2700 CF
Storage Provided 2700 CF
Storage Depth 3 Ft.
Top of Stone Weir 421.20
Clean Out Elev. 409.5
Bottom Elev. 408.0
Bottom Dimensions 57' x 12'
L=6'
1:1 Side Slopes In Cut

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
James B. Lee 2-19-93
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
Thomas J. Holman 2/26/93
DIRECTOR DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE,
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
James P. Lee 2/11/93
DIRECTOR DATE

Reviewed for HOWARD S.C.D.
Name
Signature Date 2-18-93
US Soil Conservation Service


THIS DEVELOPMENT PLAN IS APPROVED
FOR SOIL EROSION AND SEDIMENT
CONTROL BY THE HOWARD SOIL
CONSERVATION DISTRICT.
John Redman 2/11/93
Approved

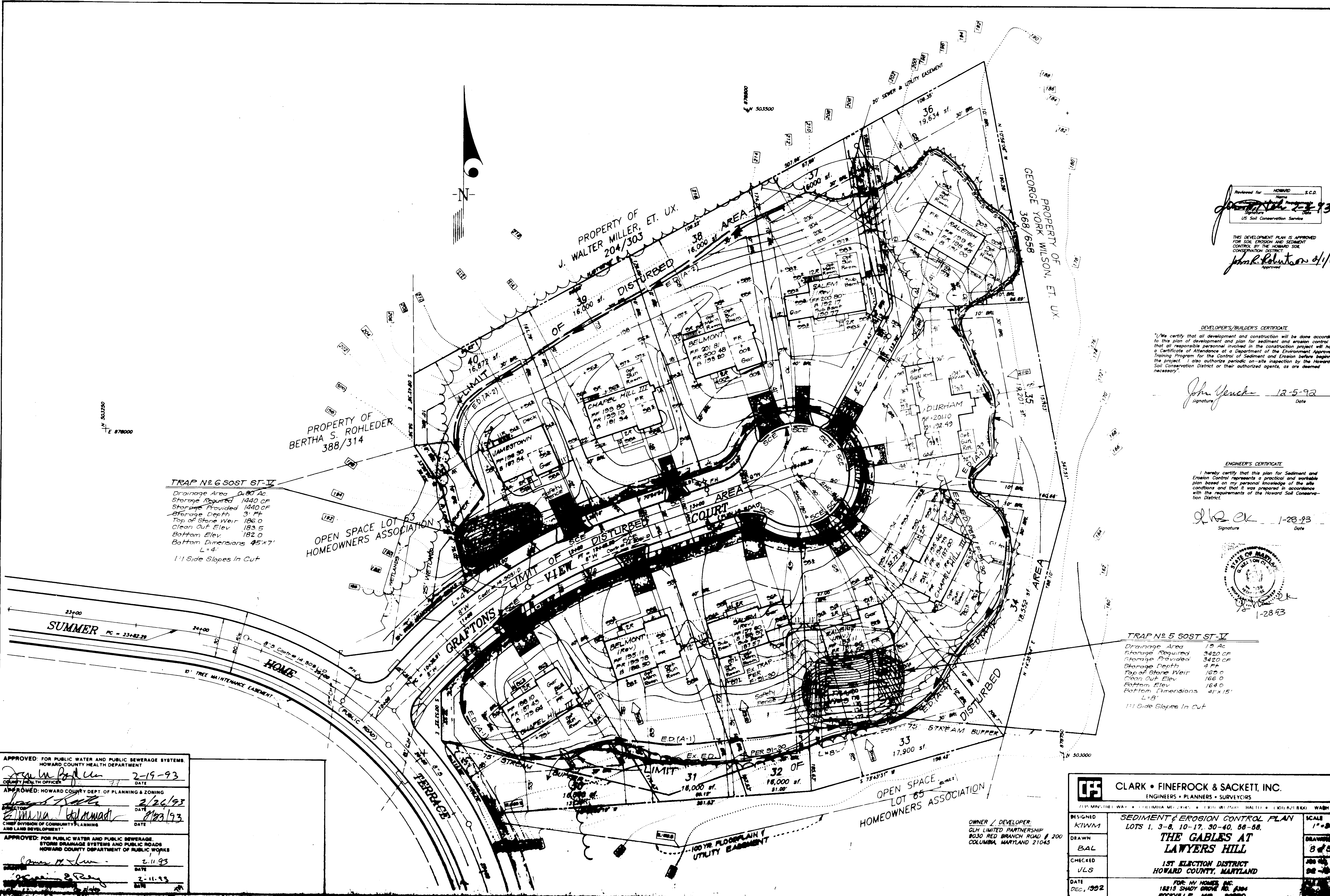
DEVELOPER'S/BUILDER'S CERTIFICATE
I/We certify that all development and construction will be done according
to this plan of development and plan for sediment and erosion control and
that all responsible personnel involved in the construction project will have
a Certificate of Attendance at a Department of the Environment Approved
Training Program for the Control of Sediment and Erosion before beginning
the project. I also authorize periodic on-site inspection by the Howard
Soil Conservation District or their authorized agents, as are deemed
necessary.
John Kenek 12-5-92
Signature Date

ENGINEER'S CERTIFICATE
I hereby certify that this plan for Sediment and
Erosion Control represents a practical and workable
plan based on my personal knowledge of the site
conditions and that it was prepared in accordance
with the requirements of the Howard Soil Conserva-
tion District.
John Kenek 12-4-92
Signature Date



OWNER / DEVELOPER
GLH LIMITED PARTNERSHIP
9030 RED BRANCH ROAD # 200
COLUMBIA, MARYLAND 21045

		CLARK • FINEFROCK & SACKETT, INC. ENGINEERS • PLANNERS • SURVEYORS	
DESIGNED KIWM	SEDIMENT & EROSION CONTROL PLAN LOTS 1, 3, 8, 10, 17, 30, 40, 56, 58		SCALE 1" = 30'
DRAWN BAL	THE GABLES AT LAWYERS HILL		DRAWING 7 of 9
CHECKED JLS	1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND		JOB NO. 92-107
DATE DEC, 1992	FOR: NV HOMES, INC. 15215 SHADY GROVE ROAD #304 KNOXVILLE, TN 37922		FILE NO. 92-1976E



TRAP NO 6 SOST ST-IV
 Drainage Area 0.80 Ac
 Storage Required 1440 CF
 Storage Provided 1440 CF
 Storage Depth 3.1 Ft
 Top of Stone Weir 186.0
 Clean Out Elev 183.5
 Bottom Elev 182.0
 Bottom Dimensions 45'x7'
 L=4'
 1:1 Side Slopes In Cut

TRAP NO 5 SOST ST-IV
 Drainage Area 1.5 Ac
 Storage Required 3420 CF
 Storage Provided 3420 CF
 Storage Depth 4.1 Ft
 Top of Stone Weir 165.0
 Clean Out Elev 166.0
 Bottom Elev 164.0
 Bottom Dimensions 41'x15'
 L=8'
 1:1 Side Slopes In Cut

Reviewed for HOWARD S.C.D.
 Name: *John K. Sackett*
 Title: *12-1-93*
 US Soil Conservation Service

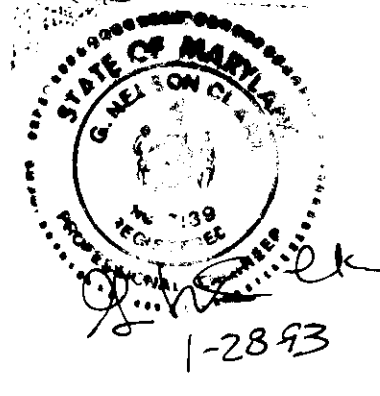
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
John K. Sackett 12/1/93
 Approved

DEVELOPER'S/BUILDER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.

John Yench 12-5-92
 Signature Date

ENGINEER'S CERTIFICATE
 I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

John K. Sackett 1-28-93
 Signature Date



APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
 HOWARD COUNTY HEALTH DEPARTMENT
John M. Boyle 2-19-93
 COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
James H. Ferraces 2/26/93
 DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
James H. Ferraces 2-11-93
 DATE

CLARK • FINEROCK & SACKETT, INC. ENGINEERS • PLANNERS • SURVEYORS <small>7311 MARKET WA. • COLUMBIA, MD. 21046 • 410.321.7500 • BALTIMORE • LENOX HILL RD. WADE</small>		SCALE 1" = 80' DRAWING 843 88-483
SEDIMENT & EROSION CONTROL PLAN LOTS 1, 3-8, 10-17, 30-40, 56-68, THE GABLES AT LAWYERS HILL 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND		FOR: NY HOMES, INC. 15215 SHADY GROVE RD., #204 ROCKVILLE, MD. 20850

OWNER / DEVELOPER:
 GUN LIMITED PARTNERSHIP
 8030 RED BRANCH ROAD # 200
 COLUMBIA, MARYLAND 21045

SEDIMENT AND EROSION CONTROL NOTES

- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (1992-2437)
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECS. FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within:
 - 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins must be fenced and warning signs posted around their perimeters in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 51) sod (Sec. 54), temporary seeding (Sec. 50) and mulching (Sec. 52). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- SITE ANALYSIS:**

Total Area of Site:	11,548 Ac.
Area Disturbed:	8,483 Ac.
Area to be roofed or paved:	2,65 Ac.
Area to be vegetatively stabilized:	5,833 Ac.
Total Cut:	5,550 Cy.
Total Fill:	5,550 Cy.
- Offsite Waste/Borrow Area Location: _____
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the Howard County DFW Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- If houses are to be constructed on an "as sold" basis, at random, Single Family Sediment Control, as shown below shall be implemented.
- The total amount of silt fences: 510 LF

It is the responsibility of the contractor to identify the spoil/borrow site and notify and gain approval from the sediment control inspector of the site and it's grading permit number at the time of construction.

CONSTRUCTION SEQUENCE:

	NO. OF DAYS
A. Obtain grading permit	7
B. Install tree protection fence	7
C. Install sediment and erosion control devices and stabilize	14
D. Excavate for foundations, rough grade and temporarily stabilize	30
E. Construct structures, sidewalks and driveways	90
F. Final grade and stabilize in accordance with Stds. and Specs.	14
G. Upon approval of the sediment control inspector, remove sediment and erosion control devices and stabilize	7

*Delay construction of houses on lots: 114-33. See single lot sediment control detail, this sheet.

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDING PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: In lieu of soil test recommendations, use one of the following schedules:
 1) Preferred: Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq ft.) and 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq ft.) before seeding. Harrow or disc into upper three inches of soil. At the time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (9 lbs./1000 sq ft.).
 2) Acceptable: Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq ft.) and 1000 lbs. per acre 10-10-10 fertilizer (23 lbs./1000 sq ft.) before seeding. Harrow or disc into upper three inches of soil.

SEEDING: For the periods March 1 thru April 30 and August 1 thru October 15, seed with 500# per acre (1 1/2 lbs./1000 sq ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (.25 lbs./1000 sq ft.) of seeding vavilova. During the period of October 16 thru February 28, protect site by Option (1) 2 tons per acre well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs./acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq ft.) of untreated small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft.) for anchoring.

MAINTENANCE: Inspect all seeded areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES

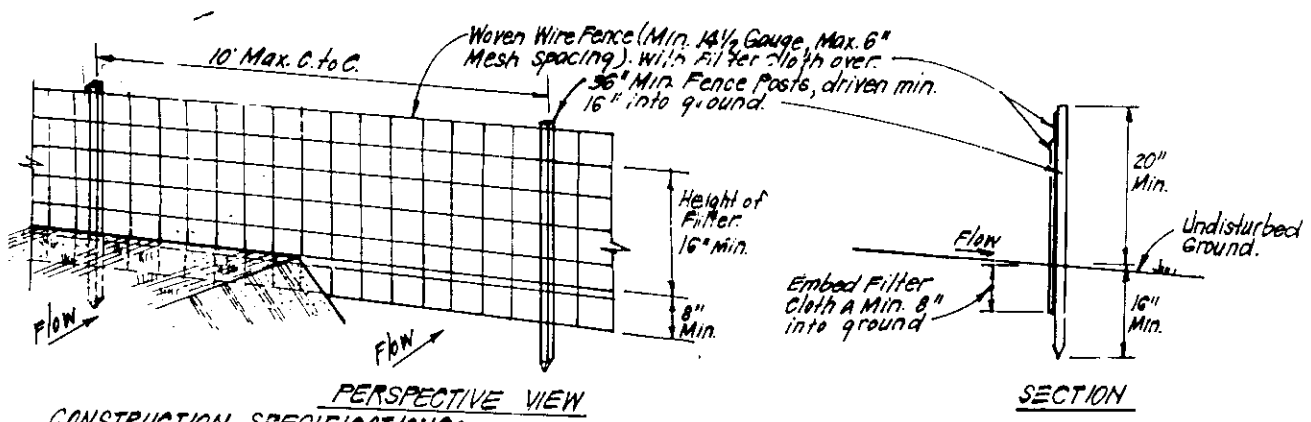
SEEDING PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs./1000 sq ft.).

SEEDING: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2 1/2 bushels per acre of annual ryegrass (12 lbs./1000 sq ft.). For the period May 1 thru August 14, seed with 3 lbs per acre of vavilova grass (0.7 lbs./1000 sq ft.). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq ft.) of untreated small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft.) for anchoring.

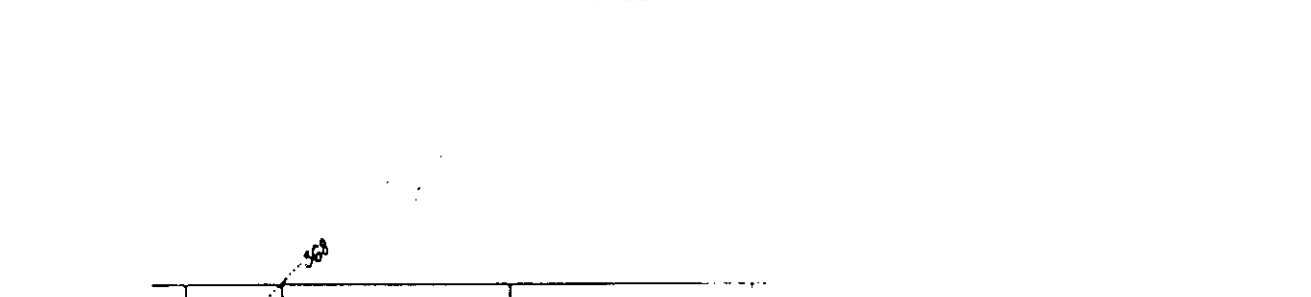
REFER TO THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR DATE AND METHODS NOT COVERED.



CONSTRUCTION SPECIFICATIONS:

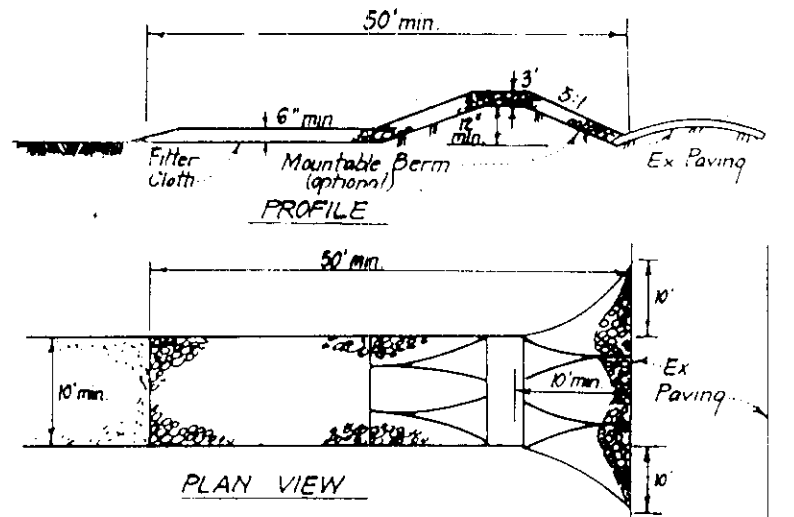
- Woven wire fence to be fastened securely to fence posts with wire ties or staples.
- Filter cloth to be fastened securely to woven wire fence with wire ties or staples every 36" at top and mid section.
- When 2 sections of filter cloth begin each other they shall be overlapped by 6" and stapled.
- Maintenance shall be performed as needed and material removed when it begins to develop in silt fence.

POSTS: Steel either T or U Type or Hardwood
FENCE: Woven Wire, 40% open
MAX. MESH OPENING: 4" x 4"
FILTER CLOTH: Filter, Miraflex 100X
Substrate: TYPON Approved
PREFABRICATED UNIT: Geotex
ANCHORING: as shown



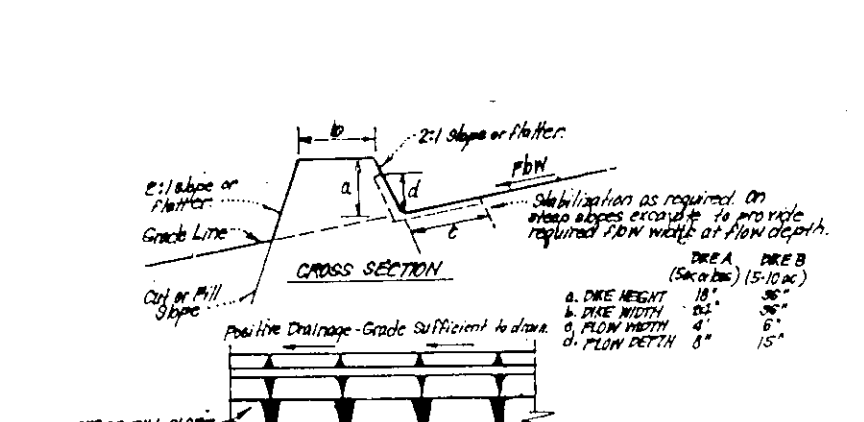
* NOTE: Single lot detail can not be utilized if any two lots sharing common property lines are to be disturbed at the same time or an any lots sharing a sediment trap.

A single outlet in place, but sediment area must be as given or greater.



CONSTRUCTION SPECIFICATIONS:

- Stone size - Use 2" stone or equivalent or recycled concrete equivalent.
- Length - As required, but not less than 50 feet (exception a complete residence lot where a 30 foot minimum length would apply).
- Thickness - Not less than six (6) inches.
- Width - Ten (10) feet minimum, but not less than the full width at points where ingress or egress occurs.
- Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required over single family residence lot.
- Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mounded berm with 5:1 slopes will be permitted.
- Maintenance - The entrance shall be maintained in a condition, which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanup of any resources used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
- Working - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
- Periodic inspection and needed maintenance shall be provided after each rain.



CONSTRUCTION SPECIFICATIONS:

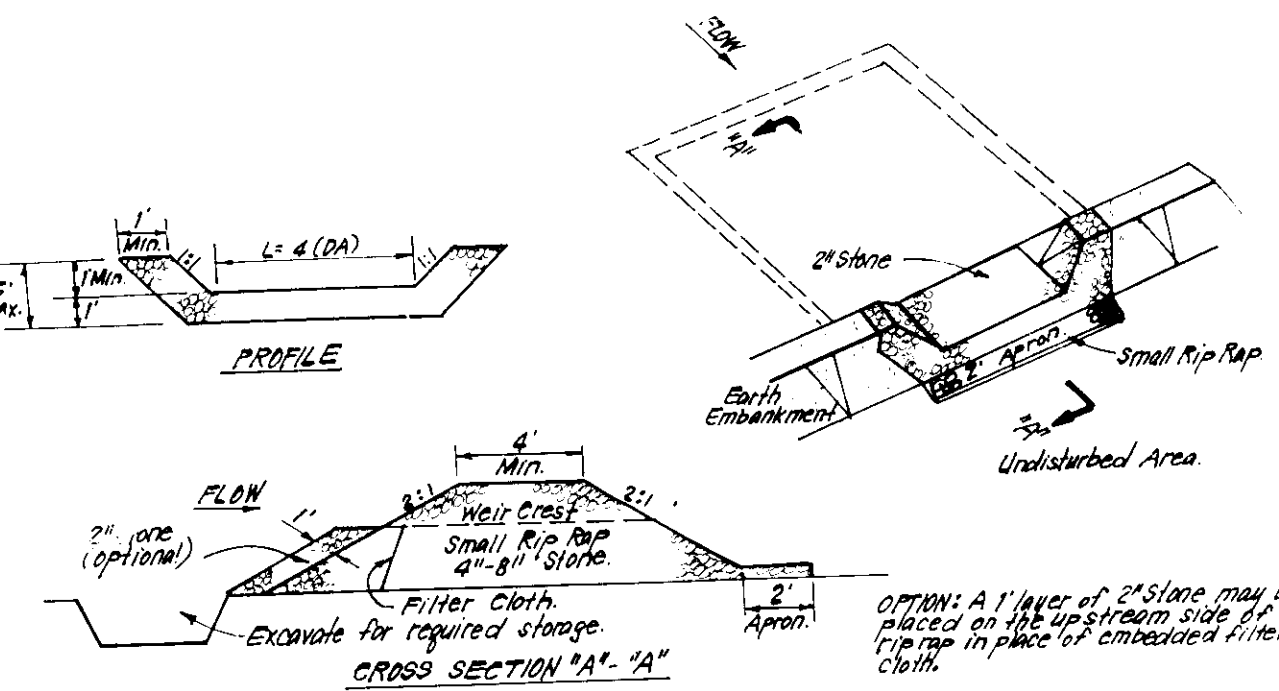
- All dikes shall be constructed by earth-moving equipment.
- Excavation shall have maximum drainage to an outlet.
- The width may be wider and side slopes may be flatter if observed to facilitate drainage to construction entrance.
- Final location shall be adjusted as needed to utilize a stabilized silt wall.
- Earth dikes shall have an outlet and function with a minimum of erosion. Earth dikes shall be constructed in a sediment trapping device such as a sediment trap or sediment basin where dikes are side channel or the drainage area above the dike are not adequately stabilized.
- Stabilization shall be in accordance with standard specifications for seed and straw mulch or straw mulch if not in seeding season, (8) flow channel as per chart below.

FLOW CHANNEL STABILIZATION	TYPE OF	THICKNESS	ANCHORING
1	Grass	1.5-2.0"	None
2	Grass	1.5-2.0"	2" x 4" Lumber
3	Grass	1.5-2.0"	2" x 4" Lumber
4	Grass	1.5-2.0"	2" x 4" Lumber
5	Grass	1.5-2.0"	2" x 4" Lumber
6	Grass	1.5-2.0"	2" x 4" Lumber
7	Grass	1.5-2.0"	2" x 4" Lumber
8	Grass	1.5-2.0"	2" x 4" Lumber
9	Grass	1.5-2.0"	2" x 4" Lumber
10	Grass	1.5-2.0"	2" x 4" Lumber
11	Grass	1.5-2.0"	2" x 4" Lumber
12	Grass	1.5-2.0"	2" x 4" Lumber
13	Grass	1.5-2.0"	2" x 4" Lumber
14	Grass	1.5-2.0"	2" x 4" Lumber
15	Grass	1.5-2.0"	2" x 4" Lumber
16	Grass	1.5-2.0"	2" x 4" Lumber
17	Grass	1.5-2.0"	2" x 4" Lumber
18	Grass	1.5-2.0"	2" x 4" Lumber
19	Grass	1.5-2.0"	2" x 4" Lumber
20	Grass	1.5-2.0"	2" x 4" Lumber

A dike to be 2' high, or recycled concrete equivalent, in a layer at least 3" thick and reinforced with 2" x 4" lumber.

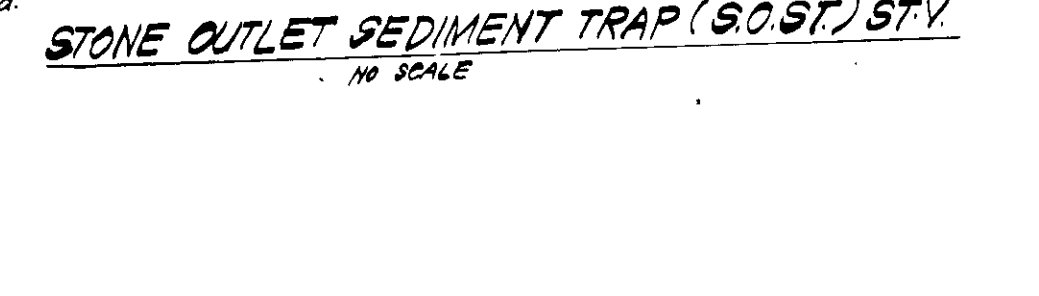
A rip rap to be 4" in a layer at least 3" thick, placed over the dike.

Provide inspection and required maintenance must be provided after each rain.



CONSTRUCTION SPECIFICATIONS:

- Area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat. The post should remain in place.
- The fill material for the embankment shall be free of roots and other woody vegetation as well as other objectionable material. The embankment shall be compacted by traversing with equipment while it is being constructed.
- All cut and fill slopes shall be 3:1 or flatter.
- The stone outlet in the outlet shall be small rip rap 4" x 4" with 1" thickness of aggregate placed on the up-slope side on the small rip rap or embedded filter cloth in the rip rap.
- Sediment shall be removed and transported to the original dimensions when the sediment has accumulated to 1/2 the design depth of the trap.
- The structure shall be inspected after each rain and repairs made as needed.
- Construction operations shall be carried out in such a manner that erosion and water pollution is minimized.
- The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.



CONSTRUCTION SPECIFICATIONS:

- Use 2" x 4" lumber for cross bearing.
- Use 8" wire "U" to secure fence bottom.
- Anchor posts should be installed to a depth of no less than 1/3 of the total height of the post.

NOTES:

- Forest protection device only.
- Retention area will be set as part of the review process.
- Boundaries of retention area should be staked and flagged prior to installing device.
- Root damage should be avoided.
- Protection signage may also be used.
- Device should be maintained throughout construction.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

[Signature] 2-15-93
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

[Signature] 2/26/93
DIRECTOR DATE

[Signature] 2/23/93
CHIEF DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

[Signature] 2/11/93
DIRECTOR DATE

[Signature] 2-11-93
CHIEF BUREAU OF ENGINEERING DATE

Approved for HOWARD S.C.D. Name: _____
and meets technical requirements. Signature: _____ Date: 2-13-93
US Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 2/11/93
Approved

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

[Signature] 12-5-92
Date

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

[Signature] 12-4-92
Date

[Signature] 12-4-92
Date

CLARK • FINEROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS

7135 MINNISTREL WAY • COLUMBIA MD 21045 • (301) 181-7500 BALTO • (301) 621-8100 - WASH

DESIGNED KIWM	SEDIMENT & EROSION CONTROL PLAN LOTS 1, 3-8, 10-17, 30-40, 56-58	SCALE As Shown
DRAWN BAL	THE GABLES AT LAWYERS HILL	DRAWING 9 of 9
CHECKED JLS	1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND	JOB NO 92-197
DATE DEC, 1992	FOR: NY HOMES, INC. 15215 SHADY GROVE ROAD #304 ROCKVILLE, MD 20850	FILE NO 92-197-5E