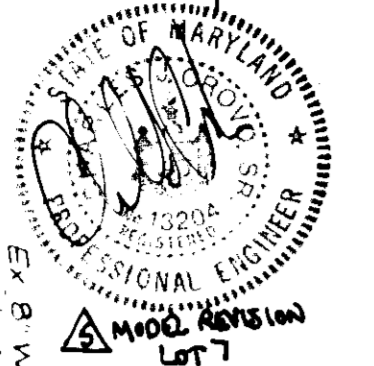


NO	REVISIONS	Date
1	Rev hse & grd. lot 0	3-19-93
2	Rev hse & grd. lot 5 Add hse typical	5-14-93
3	REV. HSE & GRD. ON LOT 6	8-17-93
4	Rev hse & grd. lot 1	12-7-93
5	Rev hse & grd on lot 7	2-8-94
6	Rev hse & grd. lot 2, Add hse typical	9-11-94
7	Rev hse & grd. lot 8, Add hse typical	9-16-94
8	Rev hse & grd. lot 4	2-28-94

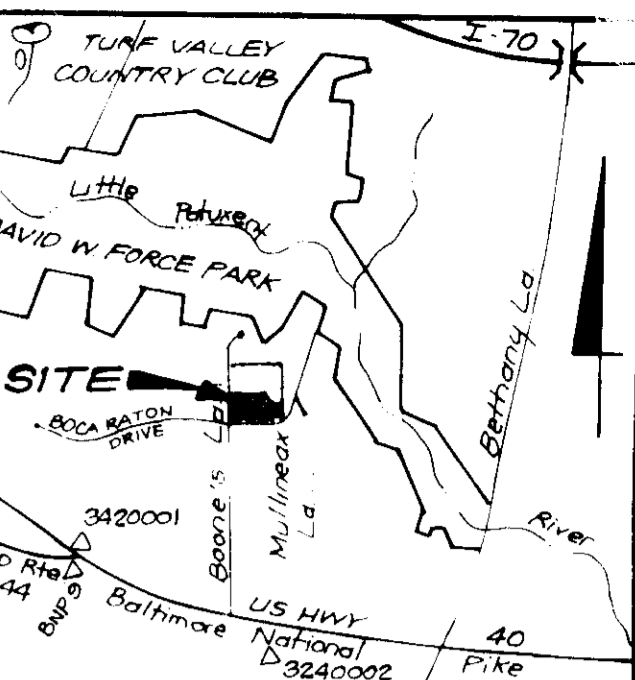
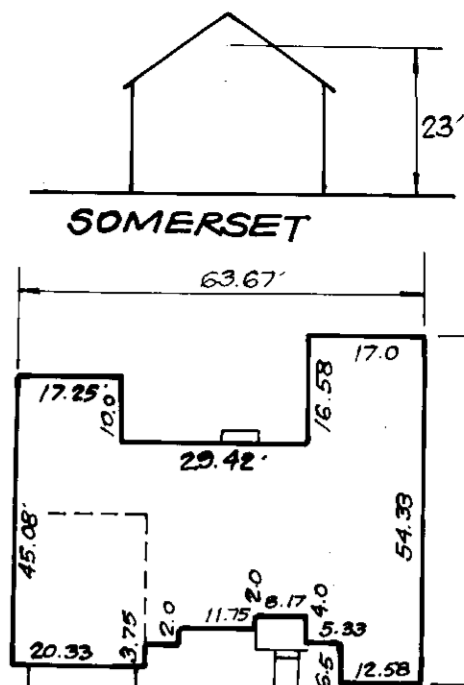


LEGEND

CONTOUR INTERVAL
EXISTING CONTOUR
PROPOSED CONTOUR
DIRECTION OF DRAINAGE
WALK OUT BASEMENT
Existing Trees to Remain
Tree Protection Fence

LOT SIZE TABULATION CHART

LOT #	SQ. FT.	FLOODPLAIN / STEEP SLOPE	PIPESTEM + 10% CREATED STEEP SLOPE	MIN. LOT AREA
2	17,900		851	17,109



GENERAL NOTES:

- Subject property is zoned: R-20 per 8-2-85 Comprehensive Zoning Plan.
- The total area included in this submission is 3.38 Ac.
- The total number of lots included in this submission are: 10
- Improvement to property: Single family detached
- The maximum lot coverage permitted is: 30%
- Department of Planning and Zoning reference file numbers are: 5-89-95, F-89-81, F-90-95, S-90-98, H-92-173
- Utilities shown as existing are taken from approved water and sewer plan Contract # 24-3060-D, approved road construction plans F-90-95, and actual field survey.
- Any damage to county owned rights-of-way shall be corrected at the developer's expense.
- Storm water management is provided per: F-90-95.
- All roadways are public and existing.
- The existing topography shown was taken from road construction plans F-90-95 prepared by American Engineering, Inc.
- The coordinates shown herein are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monument Nos.: 344000 & 344002
- The contractor shall notify the Department of Public Works Bureau of Construction Inspection a (301) 792-7272 at least five (5) working days prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
- Under certain conditions, decks and porches may only extend 10 feet into front and rear setbacks.
- On April 9, 1992 WP-92-173 was approved, granting relief to Section 16-12(A)(6) for reactivation and extension of time to submit final plans for signature and recordation.
- For driveway entrance details refer to Howard County Design Manual Volume II Std Details R-6.01.

SPECIAL NOTES:

This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-90-95 and/or approved Water and Sewer Plans Contract #C-24-3060-WS.

SHEET INDEX:

SHEETS 1 & 2 SITE DEVELOPMENT PLAN
SHEETS 3 & 4 SEDIMENT & EROSION CONTROL PLANS

ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
1	3020 MULLINEAUX LANE
2	3016 MULLINEAUX LANE
3	3012 MULLINEAUX LANE
4	3008 MULLINEAUX LANE
5	3004 MULLINEAUX LANE
6	3000 MULLINEAUX LANE
8	3047 BOONES LANE
9	3004 Martin Meadows Court
10	3008 " " "
7	3051 BOONES LANE

SUBDIVISION NAME	SECTION/AREA	LOTS/PARCELS
MARTIN MEADOWS	1/1	1-6 AND 7-10
PLAT NO. 10652	BLOCK NO. 17	ZONE R-20
TAX MAP NO. 10653	ELECTION DIST. 2ND	CENSUS TRACT 60E2
WATER CODE H-03	SEWER CODE 5980000	

NOTE: EXISTING HOUSE TO BE RAZED PRIOR TO APPLICATION OF BUILDING PERMIT

VILLANOVA II
2136.38 = 7123.2 sq. Min. Lot Size w/All options

ORION 'C'
1502 sq. ft. / 0.3 = 5,006.7 sq. Min. Lot Size w/All options

BELL HAVEN
2242 = 7473.33 sq. Min. Lot Size

PLANT SCHEDULE

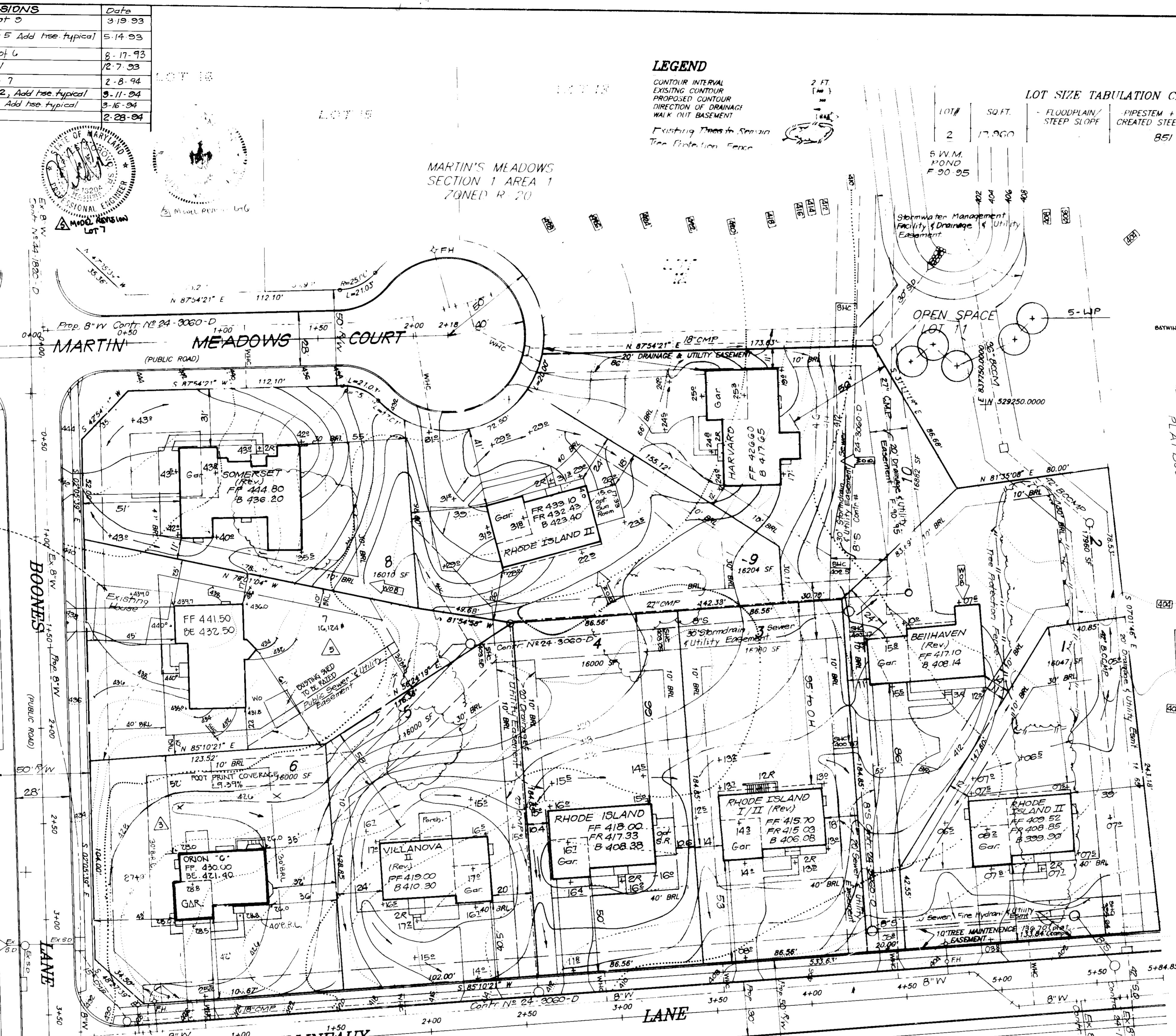
KEY	PLANT NAME	QTY	SIZE	COM.
1	2" x 2" STRIP	5	1" x 4" x 12"	04D
2	WHITE PINE	5	1" x 4" x 12"	04D

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
James M. Boyd 2/3/93
COUNTY HEALTH OFFICER

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
James S. Smith 2/12/93
DIRECTOR

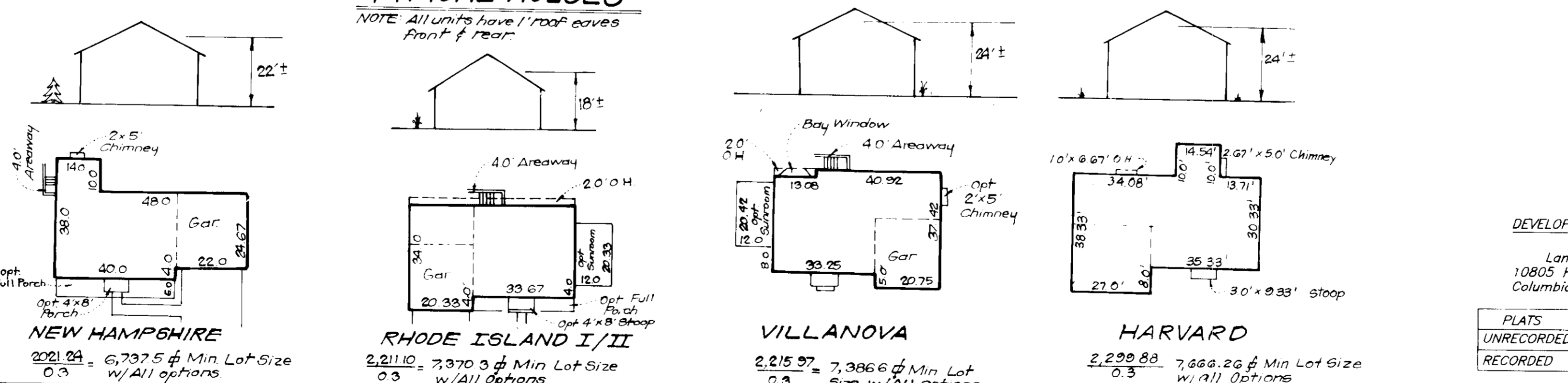
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE
STORM DRAINAGE SYSTEMS AND PUBLIC WORKS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
James M. Smith 2-1-93
DIRECTOR

CHIEF BUREAU OF ENGINEERING
Michael B. Reed 2-1-93
DATE



TYPICAL HOUSES

NOTE: All units have 1" roof eaves front & rear



OWNER:
ROBERT J. MARTIN
3083 Boones Lane
Ellicott City, MD
Columbia, MD, 21044

CLARK • FINEFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS
7135 MINISTREL WAY • COLUMBIA MD 21045 • (301) 871-7500 • BALTO • (410) 631-4000 WASH

DEVELOPER:
Land Design & Development, Inc.
10805 Hickory Ridge Rd.
Columbia, MD, 21044

DESIGNED: VLP
DRAWN: VLP
CHECKED: BAL
DATE: 10/1/92

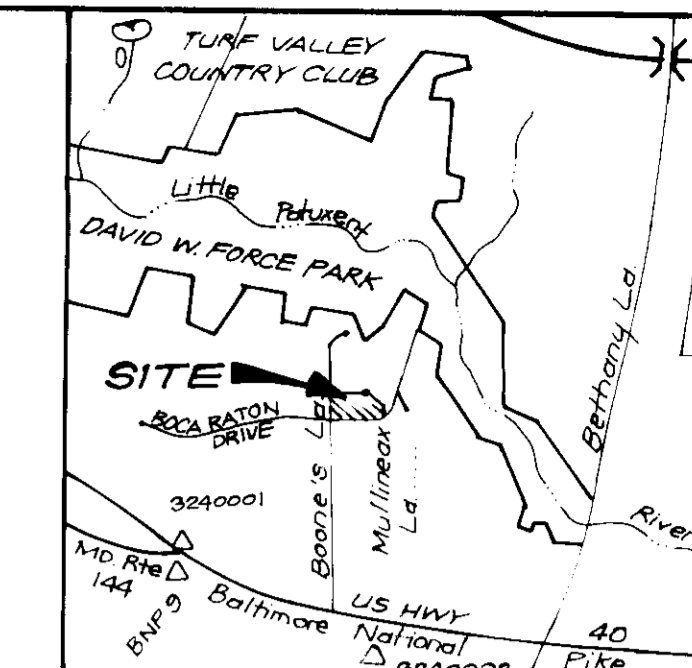
SCALE: 1" = 30'
DRAWING: 1 OF 3
JOB NO: 92-145
FILE NO: 92-145X

SITE DEVELOPMENT PLAN
LOTS 1-6 AND 7-10
MARTIN MEADOWS
SECTION 1 AREA 1
2ND ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
FOR: ALTIERI ENTERPRISES, INC.
7949 Gardenview Drive
Elkridge, Md. 21227
SDP-93-23

EX INLET TRAP NO 1 PER F-30-95
(TO BE UTILIZED)

Drainage Area 5.87 Ac.
Storage Required 10,566 of
Storage Provided 33,500 of
Bottom Elev. 401.5
Clean out Elev. 404.0
Crest Elev. 405.8

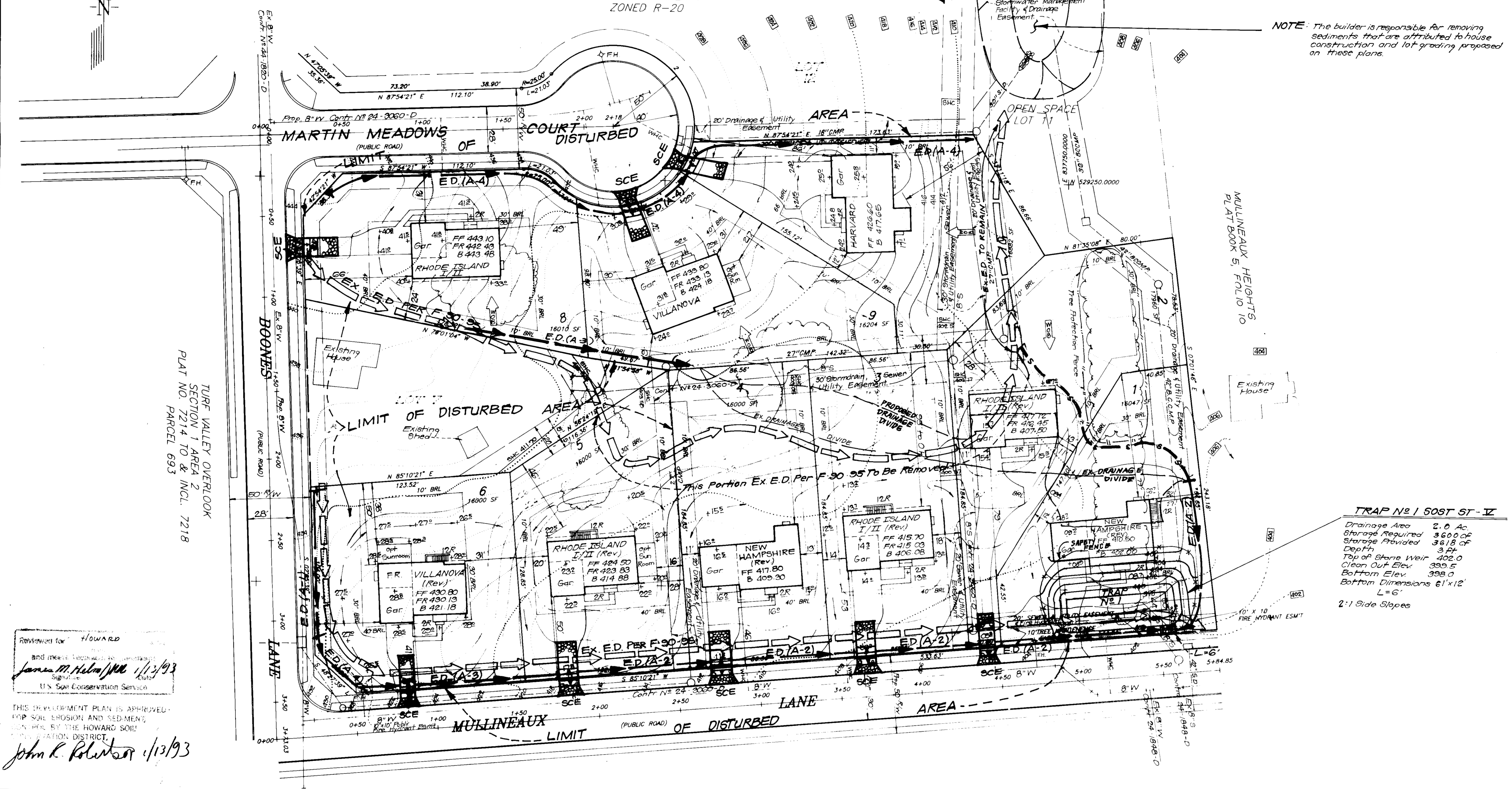
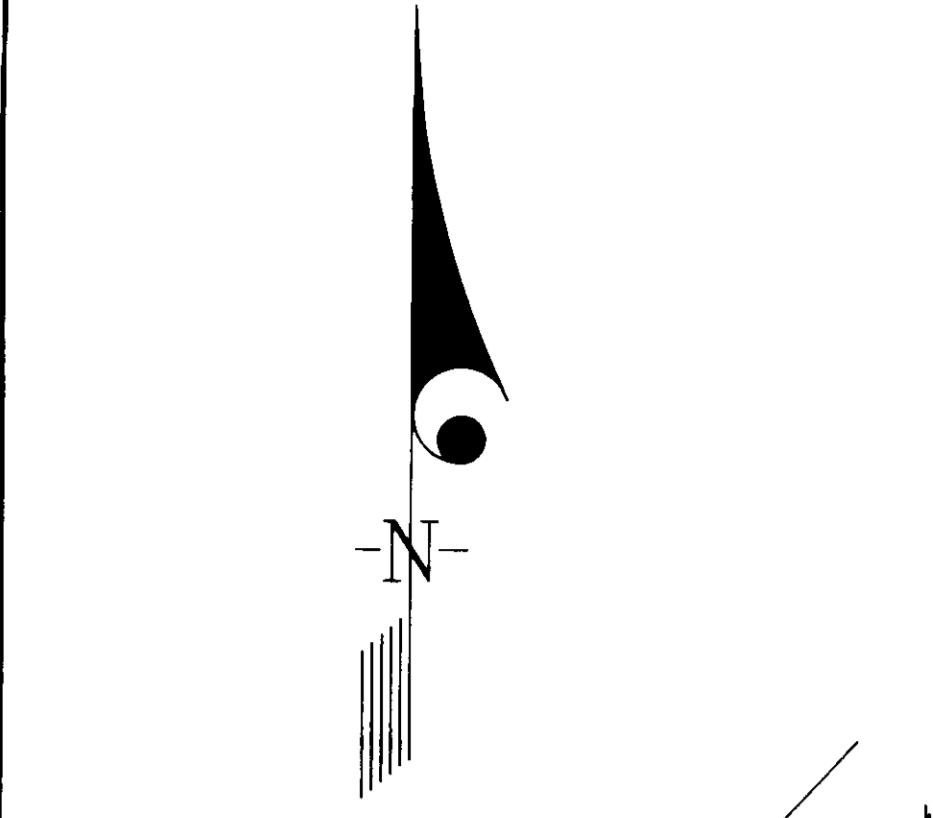
NOTE: The builder is responsible for removing sediments that are attributed to house construction and lot grading proposed on these plans.



VICINITY MAP
Scale: 1" = 2000'

LEGEND

- CONTOUR INTERVAL
- EXISTING CONTOUR
- PROPOSED CONTOUR
- DIRECTION OF DRAINAGE
- WALK OUT BASEMENT
- Proposed Earth Dike
- Existing Earth Dike
- Stabilized Constr. Entrance w/ Mountable Berm



TRAP NO 1 SOST ST - II

Drainage Area 2.0 Ac.
Storage Required 3600 of
Storage Provided 3618 of
Depth 3 ft.
Top of Stone Weir 402.0
Clean Out Elev. 399.5
Bottom Elev. 398.0
Bottom Dimensions 61' x 12'
L=6'
2:1 Side Slopes

TURF VALLEY OVERLOOK
SECTION 1 AREA 2
PLAT NO. 7214 TO & INCL. 7218
PARCEL 693

Reviewed for HOWARD
and meet requirements of
James M. Helms 1/13/93
U.S. Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
John K. Robertson 1/13/93

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT <i>Joseph M. Boyd</i> 2/3/93 COUNTY HEALTH OFFICER DATE
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING <i>James M. Helms</i> 2/12/93 DIRECTOR DATE
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS <i>Sam M. Helms</i> 2/1/93 DIRECTOR DATE
CHIEF BUREAU OF ENGINEERING <i>M.K.</i> DATE

DEVELOPER'S/BUILDER'S CERTIFICATE

"We certify that all development and construction will be done according to this plan of development and plan for erosion and sediment control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Dept. of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or its authorized agents, as is deemed necessary."

Greg Athert 9/17/92
Signature of Developer/Builder
Greg Athert

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Erosion and Sediment Control represents a professional and accurate plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

g h e c a k 9-17-92
Signature of Engineer
g h e c a k

OWNER:
ROBERT J. MARTIN
3083 Boones Lane
Ellicott City, MD,
Columbia, MD. 21044

DEVELOPER:
c/o Land Design & Development, Inc.
10805 Hickory Ridge Rd.
Columbia, MD. 21044

CLARK • FINEFROCK & SACKETT, INC. ENGINEERS • PLANNERS • SURVEYORS 7315 MINNISTREL WA • COLUMBIA, MD. 21045 • (410) 987-7500 BALTO • (301) 427-7800 WASH		
DESIGNED KIWM	SEDIMENT & EROSION CONTROL PLAN LOTS 1-6 AND 8-10 MARTIN MEADOWS SECTION 1 AREA 1 2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND FOR: ALTIERI ENTERPRISES, INC. 7349 Gardenview Drive Elkridge, Md. 21227	SCALE 1" = 30'
DRAWN BAL		DRAWING 2 OF 3
CHECKED VLS		JOB NO. 92-145
DATE Sept 1992		FILE NO. 92-145SE

SDP-7303

SEDIMENT AND EROSION CONTROL NOTES

1. A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (992-2437).
2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECS. FOR SOIL EROSION AND SEDIMENT CONTROL.
3. Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
4. All sediment traps/basins must be fenced and warning signs posted around their perimeters in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec.51) and temporary seedings (Sec.52) and mulching (Sec.52). Temporary stabilization with mulch alone can only be done when recommended seeding rates do not allow for proper germination and establishment of grasses.
6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
7. SITE ANALYSIS:
 - Total Area of Site: 3.38 Ac.
 - Area Disturbed: 3.23 Ac.
 - Area to be rooted or paved: 0.78 Ac.
 - Area to be vegetatively stabilized: 2.45 Ac.
 - Total Fill: 5800 cu yd
 - Total Cut: 5100 cu yd
8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
9. Additional sediment control must be provided, if deemed necessary by the Howard County DWM Sediment Control Inspector.
10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
11. If houses are to be constructed on an "as sold" basis, at random, Single Family Sediment Control, as shown below shall be implemented.
12. The total amount of silt fence = 135 LF

*It is the responsibility of the contractor to identify the spoil/borrow site and notify and gain approval from the sediment control inspector of the site and it's grading permit number at the time of construction.

CONSTRUCTION SEQUENCE:	No. of Days
A. Obtain Grading Permit.	7
B. Install Sediment and Erosion Control Devices, Tree Protection Fence and Stabilize.	7
C. Excavate for Foundations and Rough Grade & Temporarily Stabilize.	14
D. Construct Structures, Sidewalks and Driveways.	60
E. Final Grade and stabilize in accordance with Sds. & Specs.	14
F. Upon approval of the sediment control inspector, remove sediment and erosion controls and stabilize.	7

*NOTE: Delay construction on Lot 1 until BOST #1 is removed and area draining to it has been stabilized.

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: In lieu of soil test recommendations, use one of the following schedules:
 1) Preferred: Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq ft.) and 600 lbs per acre 10-10-10 fertilizer (14 lbs./1000 sq ft.) before seeding.
 Harrow or disc into upper three inches of soil. At the time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (8 lbs./1000 sq ft.)

2) Acceptable: Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq ft.) and 1000 lbs per acre 10-10-10 fertilizer (28 lbs./1000 sq ft.) before seeding.
 Harrow or disc into upper three inches of soil.

SEEDING: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 80 lbs per acre (1.4 lbs./1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 80 lbs per acre Kentucky 31 Tall Fescue per acre and 2 lbs per acre (0.5 lbs./1000 sq ft) of creeping longgrass. During the period of October 16 thru February 28, protect site by: Option (1) 2 tons per acre well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 80 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq ft) of unrattled small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal./1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal./1000 sq ft) for anchoring.

MAINTENANCE: Inspect all seeded areas and make needed repairs, replacements and grassings.

TEMPORARY SEEDING NOTES

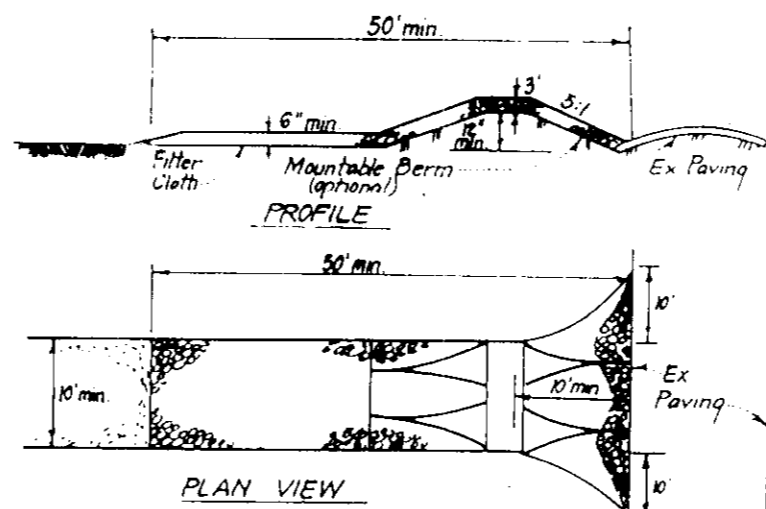
SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: Apply 800 lbs per acre 10-10-10 fertilizer (14 lbs./1000 sq ft).

SEEDING: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2 1/2 bushels per acre of annual ryegrass (15 lbs./1000 sq ft.). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq ft) of unrattled small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal./1000 sq ft) of emulsified asphalt or flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal./1000 sq ft) for anchoring.

REFER TO THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

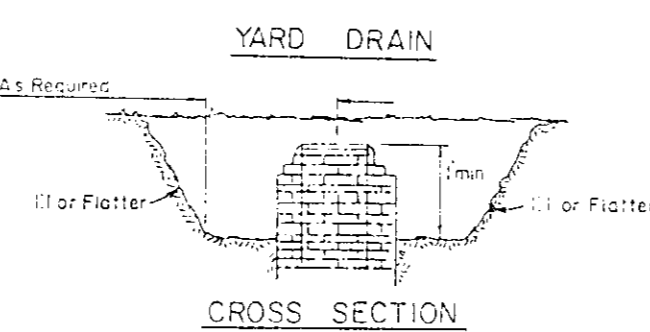
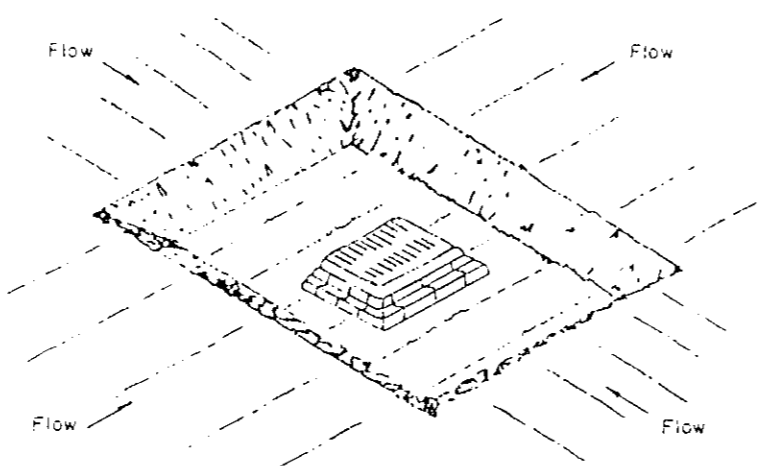


- ### CONSTRUCTION SPECIFICATIONS:
1. Stone size - Use 2" stone, or equivalent in recycled concrete equivalent.
 2. Length - As required, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would apply).
 3. Thickness - Not less than six (6) inches.
 4. Width - Ten (10) feet minimum, but not less than the full width of points where ingress or egress occurs.
 5. Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on single family residence lot.
 6. Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mound side berm with 5:1 slopes will be constructed.
 7. Maintenance - The entrance shall be maintained in a condition, which will prevent tracking or flowing of sediment into public rights-of-way. This may require periodic top dressing with additional stone as construction demand and repair and/or cleanup if any measures used to trap sediment. All sediment spillover, tracked, washed or tracked onto public rights-of-way must be removed immediately.
 8. Warning - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
 9. Periodic inspection and needed maintenance shall be provided after each rain.

STABILIZED CONSTRUCTION ENTRANCE (SCE)

NO SCALE

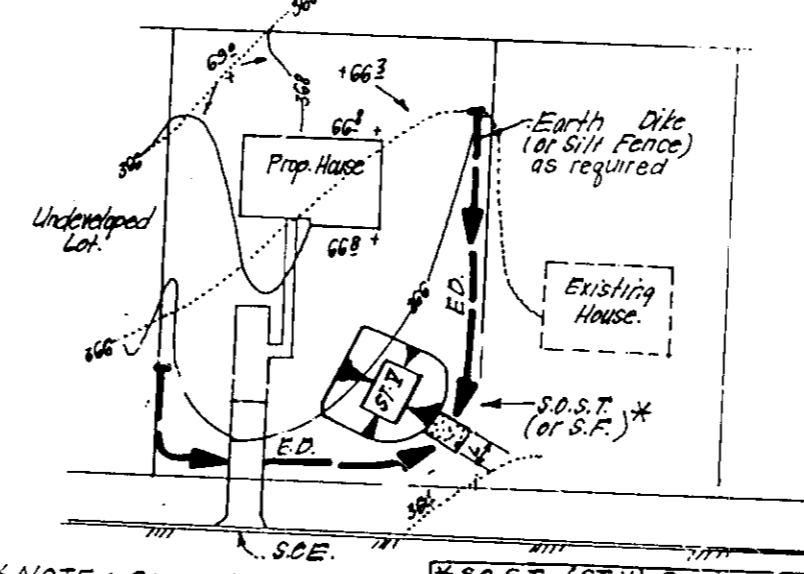
STORM INLET SEDIMENT TRAP ST-11



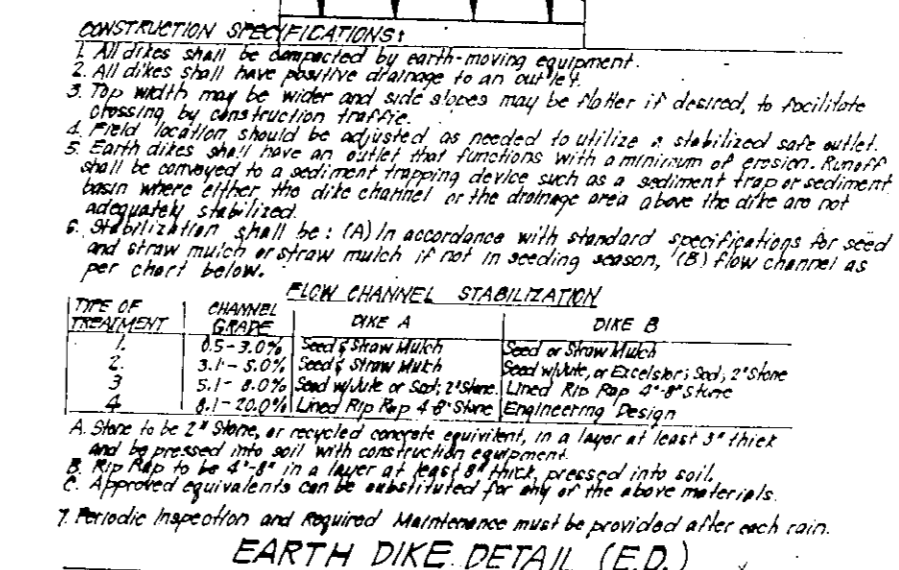
CONSTRUCTION SPECIFICATION FOR ST-11:

1. Sediment shall be removed and the trap restored to its original dimensions. Removed sediment has accumulated to 4" the design depth of the trap. A manner that it will not erode.
2. The volume of sediment storage shall be 1800 cubic feet per acre of contributory drainage.
3. The structure shall be inspected after each rain and repairs made as needed.
4. Construction operations shall be carried out in such a manner that erosion and water pollution shall be minimized.
5. The sediment trap shall be removed and the area stabilized when the constructed drainage area has been properly stabilized.
6. All cut slopes shall be 1:1 or flatter.

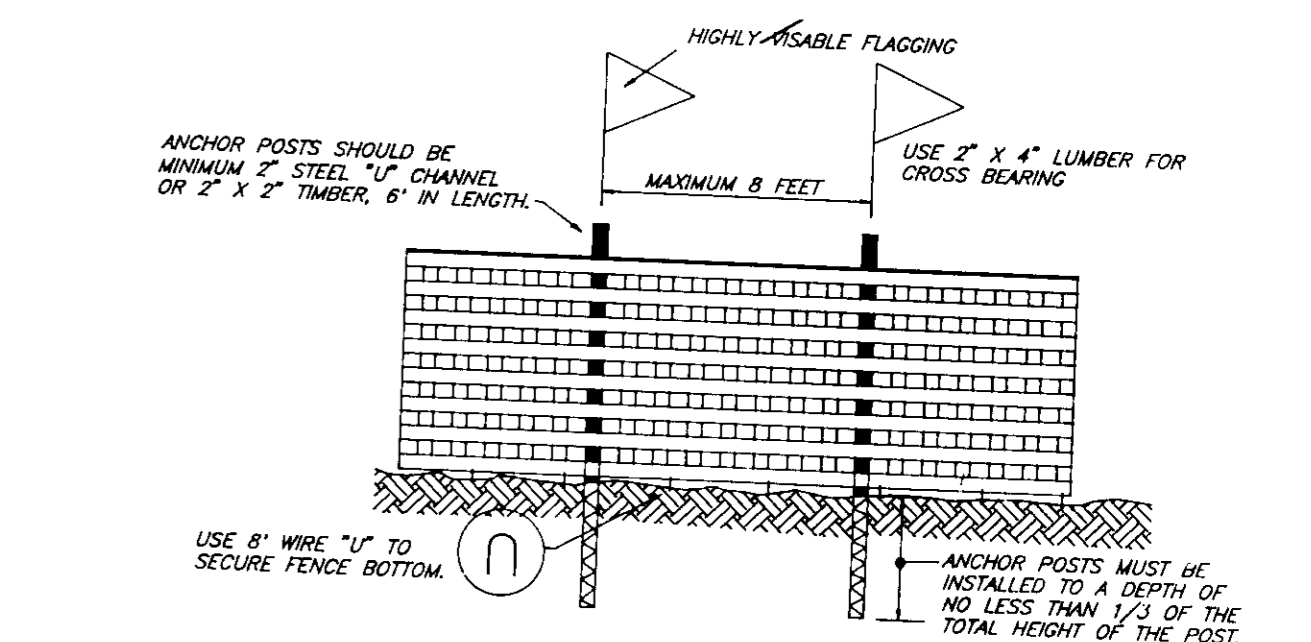
Maximum Drainage Area: 3 Acres



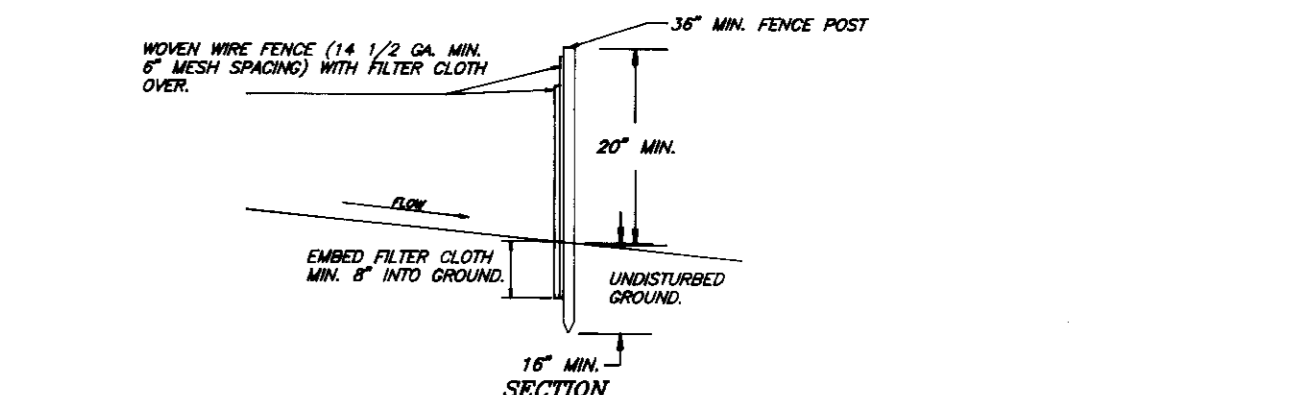
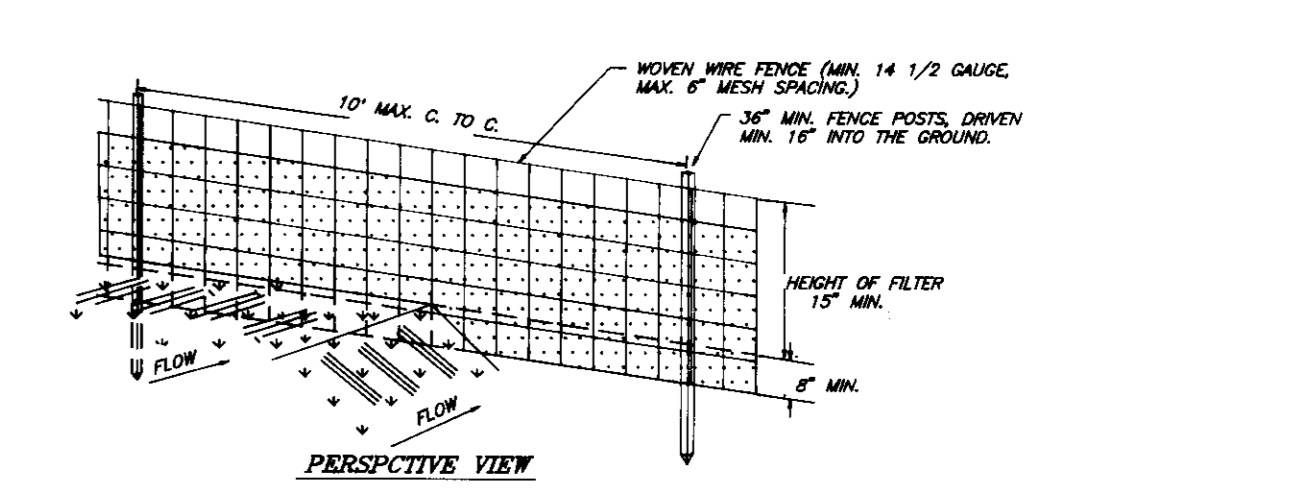
SINGLE LOT SEDIMENT CONTROL PLAN
NO SCALE



EARTH DIKE DETAIL (E.D.)
NO SCALE



BLAZE ORANGE PLASTIC MESH TYPICAL TREE PROTECTION FENCE DETAIL
NO SCALE



STANDARD SYMBOL: - S - S - S -

CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

1. WOMEN WIRE FENCE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOMEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND TOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BUILDUP" DEVELOPS IN THE SILT FENCE.

POSTS: STEEL EITHER T OR U TYPE OR 2" HARDWOOD.
 FENCE: WOMEN WIRE, 14 GA., 6" MAX. MESH SPACING.
 FILTER CLOTH: FILTER X, MIRAPL 1000, STABILINKA 1740N, OR APPROVED EQUAL.
 PREPARED BY UNIT: GEORGE ENVIROTECH, OR APPROVED EQUAL.

SILT FENCE (S)
NO SCALE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT James M. Bonded for 2/3/93 COUNTY HEALTH OFFICER	APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING [Signature] 2/12/93 DIRECTOR
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS [Signature] 2/1/93 DIRECTOR	APPROVED: [Signature] 2/1/93 CHIEF BUREAU ENGINEERING

Reviewed for HOWARD S.C.D.
Name and meets Technical Requirements
[Signature] 1/13/93
Signature Date
US Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
[Signature] 1/13/93
Approved

DEVELOPER'S/BUILDER'S CERTIFICATE
"I/we certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."
[Signature] Greig Altieri
Date 9/18/92

ENGINEER'S CERTIFICATE
I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
[Signature] G. Nelson Clark
Date 9-17-92



OWNER:
ROBERT J. MARTIN
3083 Boone's Lane
Ellicott City, MD,
Columbia, MD. 21044

DEVELOPER:
c/o Land Design & Development, Inc.
10805 Hickory Ridge Rd.
Columbia, MD. 21044

CLARK • FINEROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS
7135 MINNISTREL WAY • COLUMBIA MD 21045 • (301) 381-7500 - BALTO • (301) 621-8000 - WASH

DESIGNED KIWM	SEDIMENT & EROSION CONTROL PLAN LOTS 1-6 AND 8-10 MARTIN MEADOWS SECTION 1 AREA 1 2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND FOR: ALTIERI ENTERPRISES, INC. 7349 Gardenview Drive Elkridge, Md. 21827 SDP- 98-23	SCALE 1"= 30'
DRAWN BAL		DRAWING
CHECKED ULS		JOB NO.
DATE Sept 1992		92-145
		FILE NO. 92-145SE