

## SEDIMENT CONTROL NOTES

- . A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION. (513-2417)
- 2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS TO THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- 3. FOLLOWING THE INITIAL SOIL DISTURBANCE OR REDISTURBANCE. PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETE WITHIN: A) SEVEN (7) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) AND B) FOURTEEN (14) DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- 4. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDINGS (SEC. 51), SOO (SEC. 54), TEMPORARY SEEDING (SEC. 50), AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- 5. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- 6. ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED IF DEEMED NECESSARY BY THE HOWARD COUNTY DEPT. OF PUBLIC WORKS SEDIMENT CONTROL INSPECTOR.
- 7. REFER TO "1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR THE SOIL EROSION AND SEDIMENT CONTROL" FOR THE STANDARD DETAILS AND DETAILED SPECIFICATIONS OF EACH
- 8. WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, MINOR FIELD ADJUSTMENTS CAN AND WILL BE MADE TO INSURE THE CONTROL OF ANY SEDIMENT. CHANGES IN SEDIMENT CONTROL PRACTICES REQUIRE PRIOR APPROVAL OF THE SEDIMENT CONTROL INSPECTOR AND THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.
- 9. ANY CHANGE TO THE GRADING PROPOSED ON THIS PLAN REQUIRES RE— SUBMISSION TO HOWARD COUNTY SOIL CONSERVATION DISTRICT FOR APPROVAL.
- 10. DUST CONTROL WILL BE PROVIDED FOR ALL DISTURBED AREAS REFER TO 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. PP 62.01 OR 62.02 FOR ACCEPTABLE METHODS AND SPECIFICATIONS FOR JUST CONTROL.
- 11. ANY VARIATION FROM THE SEQUENCE OF OPERATIONS STATED ON THIS PLAN REQUIRES THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR AND THE HOWARD COUNTY SOIL CONSERVATION DISTRICT PRIOR TO THE INITIATION OF THE CHANGE.
- 12. ANY DISTURBED EARTH LEFT IDLE FOR PERIODS EXCEEDING 30 DAYS SHALL BE STABILIZED ACCORDING TO TEMPORARY STABILIZATION SPECIFICATIONS.
- 13. AT THE END OF EACH WORKING DAY ALL SEDIMENT CONTROL PRACTICE WILL BE INSPECTED AND LEFT IN OPERATIONAL CONDITION.
- 14. THE SEDIMENT CONTROL APPROVALS ON THIS PLAN EXTEND ONLY TO AREAS AND PRACTICES IDENTIFIED AS PROPOSED WORK.
- 15. THE APPROVAL OF THE PLAN FOR SEDIMENT AND EROSION CONTROL DOES NOT RELIEVE THE DEVELOPER/CONSULTANT FROM COMPLYING WITH ANY FEDERAL/STATE/COUNTY REQUIREMENTS APPERTAINING TO ENVIRONMENTAL ISSUES.
- THE DEVELOPER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS, AND/OR RIGHTS—OF—WAYS THAT MAY BE REQUIRED FOR THE SEDIMENT AND EROSION CONTROL PRACTICES, STORMWATER MANAGEMENT PRACTICES AND THE DISCHARGE OF STORMWATER ONTO OR ACROSS ADJACENT OR DOWNSTREAM PROPERTIES INCLUDED IN THIS PLAN. HE IS ALSO RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR RIGHTS—OF—WAYS THAT MAY BE REQUIRED FOR GRADING AND/OR WORK ON ADJACENT PROPERTIES INCLUDED IN THIS PLAN.

## SITE ANALYSIS

TOTAL AREA: 0.47 ACRE
DISTURBED AREA: 10,500 SQ. FT.
IMPERVIOUS AREA: 0.44 ACRE OR 19,210 SQ. FT.
AREA TO BE STABILIZED: 1,307 SQ. FT.
TOTAL CUT: 0 C.Y. TOTAL FILL: 0 C.Y.
OFFSITE WASTE BORROW LOCATION: N/A

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## TEMPORARY AND PERMANENT SEEDING NOTES

TEMPORARY SEEDING NOTES:
APPLY TO GRADED OR CLEARED AREAS WHERE A SHORT-TERM VEGETATIVE COVER IS
NEEDED. SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING,
DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: APPLY 60 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ. FT.)

SEEDING: FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 15 THRU NOVEMBER 15, SEED
WITH 2 1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS/100 SQ. FT.) FOR THE PERIOD
OF MAY 1 THRU AUGUST 14, SEED WITH 3 LBS PER ACRE OF WEEPING LOVEGRASS (.07
LBS/1000 SQ. FT.) FOR THE PERIOD OF NOVEMBER 16 THRU FEBRUARY 28, PROTECT SITE
BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS

MULCHING: APPLY 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ.FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ.FT.) FOR ANCHORING. REFER TO THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

PERMANENT SEEDING NOTES: APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE CLOVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: IN LIEU OF SOIL TESTS RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES.

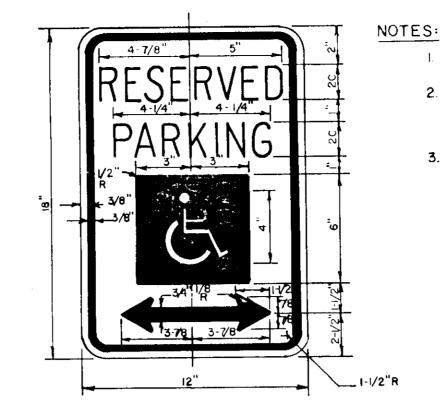
1. PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE
(92 LBS/1000 SQ.FT.) AND 800 LBS PER ACRE 10-10-10-10
FERTILIZER (14 LBS/1000 SQ.FT.) BEFORE SEEDING. HARROW
OR DISC INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LB. PER ACRE 30-0-0 UREAFORM
FERTILIZER (9 LBS/1000 SQ. FT.)

2. ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISC INTO

SEEDING: FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 80 LBS PER ACRE (1.4 LBS/1000 SQ. FT.) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 80 LBS KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS PER ACRE (.05 LBS/100 SQ. FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY: OPTION: (1) 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) USE SOD. OPTION (3) SEED WITH 60 LBS/ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.

MULCHING: APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ. FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ. FT.) FOR ANCHORING.

MAINTENANCE - INSPECT ALL SEEDED AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND



I. PLACE ONE HANDICAP SIGN PER

HANDICAP PARKING SPACE.

2. HANDICAP PARKING SIGNS SHALL BE MOUNTED WITH THE BOTTOM

SIGN EDGE AT LEAST SEVEN

3. ALL SIGNS SHALL BE ALUMINUM

PLATED.

FEET ABOVE FINISHED GRADE.

COLORS

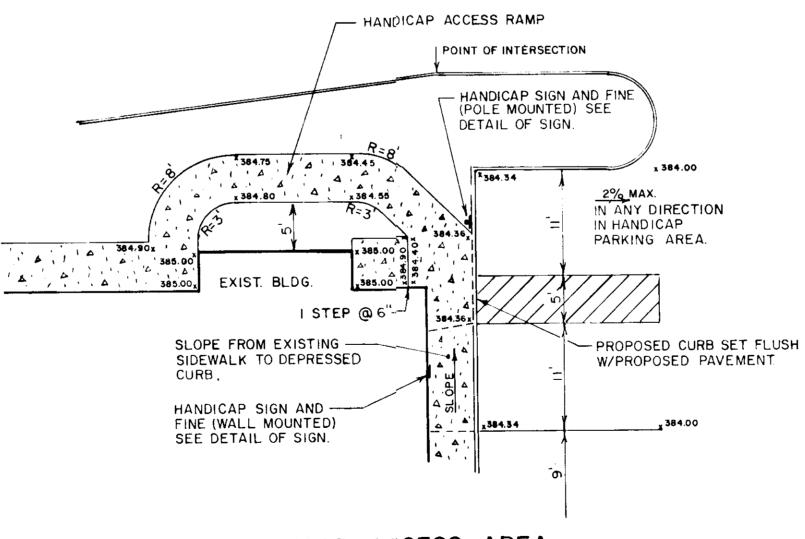
LEGEND AND BORDER - GREEN
WHITE SYMBOL ON BLUE BACKGROUND
BACKGROUND - WHITE

HANDICAP SIGN DETAIL



TO BE MOUNTED BELOW RESERVED PARKING SIGN

FINE SIGN DETAIL



HANDICAP ACCESS AREA



The RB Group ENGINEERS • ARCHITECTS • PLANNERS

5560 STERRETT PLACE, SUITE 300, COLUMBIA, MD 21044 (301) 730-7950

6. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING. 7. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUNDBREAK. 8. ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING. LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR. 9. ANY SIDEWALK, CURBING, PAVEMENT OR LANDSCAPING DISTURBED AS A RESULT OF BUILDING THE PROPOSED IMPROVEMENTS SHALL BE RESTORED TO ITS ORIGINAL CONDITION OR TO THE SATISFACTION OF McDONALD'S CORPORATION. PAVING SPECIFICATION (MINIMUM 3" TOTAL COMPACTED ASPHALT THICKNESS) NOTE: McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S. OTHERWISE, O.C. WILL HE CHARGED. LOT LIGHTING RECOMMENDATION NOTE: ELECTRICAL CONTRACTOR TO CIRCUIT LOT LIGHTING AS NOTED. PARKING INFORMATION SPACES TOTAL SPACES SPACES SPACES SPACES X UTILITY INFORMATION SIZE TYPE LOCATION SANITARY SEWER WATER STORM SEWER ELECTRIC SURVEY INFORMATION DRIVE THRU ADDITION TO PREPARED BY: APPROVED SDP 85-78 OWNER/DEVELOPER LEGEND McDONALD'S CORPORATION SANITARY SEWER ----- S ---- GAS 8850 STANFORD BLVD. SUITE 200 COLUMBIA, MD. (410) 290-0594 PROPOSED ELEVATION 77.0 PLAN SCALE: 1" = 20' ADDRESS CHART STREET ADDRESS STREET ADDRESS 9309 BALTIMORE NATIONAL PIKE P. 933 Loti 9309 BALTIMORE NATIONAL PIKE STATUS ELLICOTT CITY, MARYLAND PRELIMINARY COUNTY PLAN CHECKED HOWARD AS-BUILT 1/933 McDONALD'S PLAT BLOCK ZONE PB.6 F.20 4 B-1 24 2 6023 01 SP-4 OF 5 SEDIMENT CONTROL NOTES SEWER CODE WATER CODE 5753700 F06

GENERAL NOTES

McDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR.

CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR.

SIGNS ARE BY THE GENERAL CONTRACTER.

BOLTS ARE BY THE FLAGPOLE SUPPLIER.

ECONOMICAL INSTALLATION.

OWNER/OPERATOR.

2. BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER

3. 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERI-

METER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHT-

ING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE

4. BASES FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR, ANCHOR

5. PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT

LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST

501-43-02

