

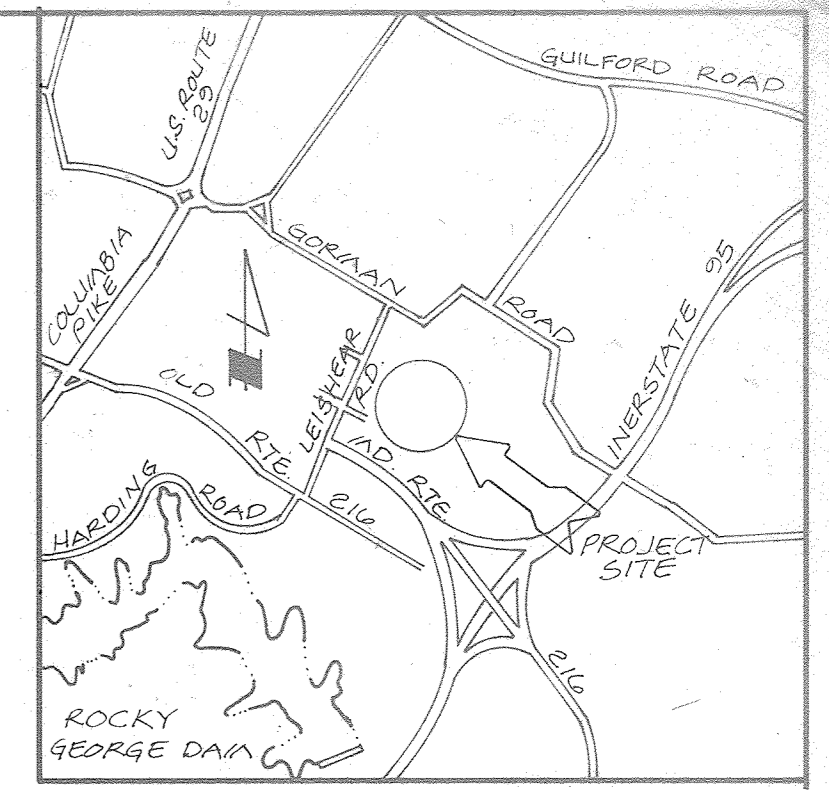


LIMIT OF DISTURBANCE CHART

REV.	DATE	DESC.	AREA
7	4/17/96	ADD EVAPORATOR BUILDING	4,500 [±]
8	6/10/96	ADD EVAPORATOR BUILDING	250 [±]
9	10-1-97	ADD PROPANE BACKUP	4,544 [±]
TOTAL			4,750

NOTE: FULL SWM WILL BE REQUIRED WHEN U.O.R. EXCEEDS 4,000[±] SQ. FT. *SWM SEPARATELY ADDRESSED FOR THIS.

- BULK REGULATIONS SECTION 118 M-1 DISTRICT**
- Setback for buildings from any external public street right-of-way is 50' plus 2' of setback for every additional 1' of height above 50'.
 - Minimum: 126'
 - Provided: 950'
 - Setback for buildings from any residential district other than public street right-of-way is 150' plus 2' of setback for every additional 1' of height above 50'.
 - Minimum: 226'
 - Provided: 900'
 - Setback for fences and parking uses from any external public street right-of-way.
 - Minimum: 30'
 - Provided: 880'
 - Open space (including landscaped area)
 - Minimum: 20%
 - Provided: 97%
 - Landscaped islands in parking lot.
 - Minimum: 5%
 - Provided: All parking lots are existing to remain and do not have the required landscaping. There is no additional parking required by this addition due to reduction in employees.
 - Landscape buffers:
 - Required: 30' minimum landscaped edge along residential districts. 10' minimum landscaped edge along external street right-of-way. 3' high landscaped area between parking area and any residential district or public street right-of-way.
 - Provided: 560' landscaped edge along residential district owned by Maryland and Virginia Milk Producers Association. 880' landscaped edge along residential district owned by others. 880' landscaped edge along external street right-of-way.



ENGINEER: Greenman-Pedersen, Inc. 14504 Greenview Drive Suite 100 Laurel, MD 20708 (410) 880-3055 Daniel J. Matetic, P.E.

OWNER: Maryland and Virginia Milk Producers Association P.O. Box 184 Laurel, MD 20810 (410) 792-7850 George Walgrove

CONTRACTOR: The Whiting-Turner Contracting Company 300 East Joppa Road Baltimore, MD 21204 (410) 821-1100 G. Kevin Atkinson

- SITE ANALYSIS**
- Total area of site: 223.89 ac. Undisturbed Area: 223.58 ac.
 - Total area of project: 5000[±] or 0.11 ac
 - Present zoning: M-1 (M-1 in projected area), R-20 and PEC
 - Existing use: Processing of dairy products, particularly processing of whole milk into condensed and powdered milk.
 - Proposed use: Same as existing
 - Maximum number of employees: Existing: 78 Proposed: 72
 - Peak hour employees: Existing: 37 Proposed: 34
 - Off-street parking: Required: 34 spaces based on 1 space/1 peak hour employee. Provided: 60 spaces. Based on a parking study submitted by Greenman-Pedersen, Inc. on January 23, 1992, the Department of Planning and Zoning has determined that 34 parking spaces are required for this site in accordance with Section 127.8.3 of the Zoning Regulations.
 - Open space (green area): Existing: 216.37 ac (96.7%) Proposed: 216.28 ac (96.7%)
 - Building coverage of site: Existing: 2.81 ac (1.3%) Proposed: 2.92 ac (1.3%)
 - Impervious area: Existing: 4.51 ac (2.0%) Proposed: 4.53 ac (2.0%)

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

Joseph H. Holt 2/14/92
SOIL CONSERVATION SERVICE DATE

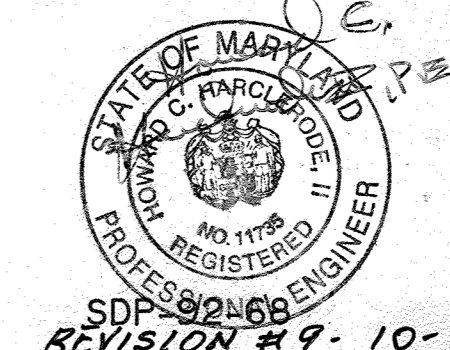
THESE PLANS FOR THE SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

John P. Rhoton 2/14/92
HOWARD SOIL CONSERVATION DISTRICT DATE

Easement Note:
Maryland and Virginia Milk Producers Association, Inc. has reserved the right to cross and extend roads and public utility facilities across the B.G.&E. fee simple rights-of-way (423/268, 446/525, 530/219) anywhere except within twenty-five (25) feet of any structure of B.G.&E. and has reserved the right to farm or use the same in any manner as long as such farming or use, in the sole judgement of Bankers Trust Company and B.G.&E. or either of them, their successors and assigns, or the successors and assigns of either of them, will not interfere with the construction, operation and maintenance of B.G.&E. facilities. Maryland and Virginia Milk Producers Association, Inc. is limited in that it shall not erect any buildings or structures within the easements.

Wetlands Note:
The Proposed Addition will not impact Non-Tidal Wetlands or the required 25' Wetlands Buffer.

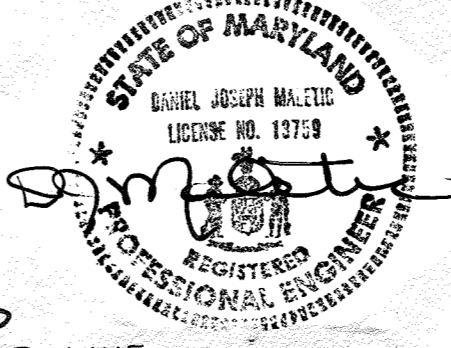
- SETBACK SUMMARY**
- Buildings**
- 950'± from public ROW (Route 216)
 - 1060'± from public ROW (Leishar Road)
 - 1030'± from onsite R-20 District
- Parking**
- 930'± from onsite R-20 District
 - 960'± from onsite R-20 District
 - 880'± from public ROW (Leishar Road)
 - 880'± from public ROW (Route 216)



SDP-92-68
REVISION #9 - 10-1-2017
ADD 2 30,000-GALLON ABOVE GROUND PROPANE STORAGE TANKS AND OTHER EQUIPMENT TO INSTALL A BACK-UP GAS SYSTEM TO BE UTILIZED AT TIMES WHEN THE NATURAL GAS SERVICE IS CURTAILED OR REDUCED.

KBD ENGINEERING & COMPANY
1 COUNTRY CLUB LN. PHOENIX, AZ
H.C. HARLERODE II, P.E.
MD LICENSE #11735
410-592-9005 F410-592-8858

FOR REVISION #7



- LEGEND**
- ZONE LINE
 - LIMITS OF SITE
 - PROPERTY LINES
 - TREE STANDS
 - 9-15-97 REVISED TRACTOR SHED LOCATION & DIMENSION
 - 4-11-97 ADDED MOTOR CONT. ROOM, SHED & COVERED SCALE STRUCTURE

DATE	REVISION
9/14/93	ADDED PROPOSED EQUALIZATION BASIN.
8/31/94	ADDED PROP. SLUDGE COND. BLDG. & RELATED TANKS + SWM POND
11/22/94	ADDED PROP. PIPERWORK FOR SLUDGE COND. BLDG.
PROJ. MGR.	D.J.M.
DESIGN	M.B.G.
DRAWN	N.R.B.
CHECKED	D.J.M.

MARYLAND & VIRGINIA MILK PRODUCERS ASSOCIATION

PROPOSED ADDITION SITE DEVELOPMENT PLAN

TAX MAP 46 & 47
6th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

DRAWING NO. 91165.00	SCALE 1"=200'	DATE JAN. 30, 1992	SHEET NO. 1 OF 5
----------------------	---------------	--------------------	------------------

GREENMAN-PEDERSEN, INC.
ENGINEERS/ARCHITECTS/PLANNERS
14504 GREENVIEW DRIVE, SUITE 100, LAUREL, MD. 20708
WASH. (301) 470-2772 BALT. (301) 360-3055

AREA TO BE DEVELOPED WITH THE PROPANE BACKUP SYSTEM ENLARGED PLAN ON SHEET 4

GENERAL NOTES - WATER LINE

NOTES:

EX. UNDERGROUND FIRE SUPPRESSION SYSTEM IN BUILDING IS SHOWN AS SCHEMATIC ONLY. FOR DETAILED LAYOUT, SEE SPRINKLER DRAWINGS.

ALL EXISTING HYDRANTS, HOSE SHEDS AND SPRINKLER ZONE SHUTOFF VALVES WHICH ARE FED BY HOWARD COUNTY WATER SYSTEM ARE PAINTED RED. GREEN HYDRANT IN NORTHWEST CORNER IS FED BY DOMESTIC WATER SUPPLY FROM ELEVATED TANK. PROPOSED HYDRANT TO BE PAINTED RED.

THE PROPOSED ADDITION REQUIRES AN APPROVED AUTOMATIC SPRINKLER SYSTEM AS PER THE FIRE DEPARTMENT.

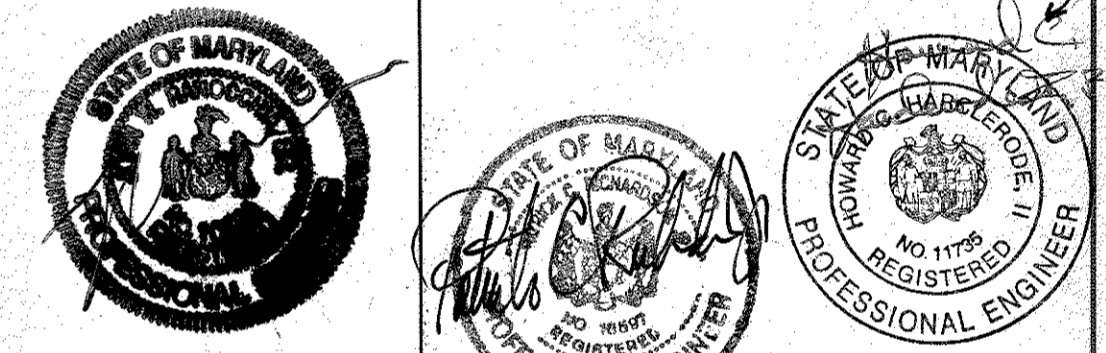
THE SITE HAS AN IMBALANCE IN THE CUT/FILL. THE EXCESS YARDAGE WILL BE HAULED OFF-SITE.

THIS PLAN REPRESENTS ONE BUILDING. EACH SECTION OF THE BUILDING IS DESIGNATED BY ITS USE.

- APPROXIMATE LOCATION OF EXISTING MAINS ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING MAINS AND SERVICES AND MAINTAIN UNINTERRUPTED SUPPLY. ANY DAMAGE INCURRED SHALL BE REPAIRED IMMEDIATELY TO THE SATISFACTION OF THE ENGINEER AT THE CONTRACTOR'S EXPENSE.
- ALL HORIZONTAL CONTROLS ARE BASED ON MARYLAND STATE COORDINATES.
- ALL VERTICAL CONTROLS ARE BASED ON U.S.G.S. DATUM.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- CLEAR ALL UTILITIES BY A MINIMUM OF 6". CLEAR ALL POLES BY 2'-0" MINIMUM OR TUNNEL AS REQUIRED. ANY COST INCURRED TO THE CONTRACTOR FOR TUNNELING OR BRACING AT POLES SHALL BE INCLUDED IN UNIT PRICES BID FOR CONSTRUCTION OF THE MAIN.
- FOR DETAILS NOT SHOWN ON THE DRAWINGS USE HOWARD COUNTY STANDARD DETAILS.
- CONTRACTOR SHALL LOCATE EXISTING UTILITIES A MINIMUM OF TWO (2) WEEKS IN ADVANCE OF CONSTRUCTION OPERATIONS IN THE VICINITY OF PROPOSED UTILITIES AT HIS OWN EXPENSE.
- CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE (5) WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE PLANS.
 - STATE HIGHWAY ADMINISTRATION 531-5533
 - BALTIMORE GAS AND ELECTRIC COMPANY - UNDERGROUND GAS & ELECTRIC DISTRIBUTION CUSTOMER SERVICE 685-0123
 - ENGINEERING - "DAMAGE CONTROL" 234-5611
 - "MISS UTILITY" 1-800-257-7777
 - CHESAPEAKE & POTOMAC (C & P) TELEPHONE COMPANY 725-9976
 - AMERICAN TELEPHONE AND TELEGRAPH - CABLE LOCATION DIVISION 393-3533
 - COLONIAL PIPELINE COMPANY 795-9976
 - BUREAU OF UTILITIES HOWARD COUNTY 313-4900
- TREES ARE TO BE PROTECTED FROM DAMAGE TO MAXIMUM EXTENT. TREES LOCATED WITHIN THE CONSTRUCTION STRIP ARE NOT TO BE REMOVED OR DAMAGED BY THE CONTRACTOR.
- CONTRACTOR SHALL REMOVE TREES, STUMPS, AND ROOTS ALONG LINE OF EXCAVATION AS DIRECTED BY THE ENGINEER. PAYMENT FOR SUCH REMOVAL SHALL BE INCLUDED IN THE UNIT PRICE BID FOR CONSTRUCTION OF THE MAIN.
- PLACE REGULATION "MEN WORKING" AND WARNING SIGNS AS REQUIRED TO COMPLY WITH MARYLAND STATE HIGHWAY ADMINISTRATION MANUAL OF TRAFFIC CONTROL FOR HIGHWAY CONSTRUCTION AND MAINTENANCE.
- ALL WATER MAINS TO BE D.I.P. CLASS 52 ONLY.
- TOP OF ALL WATER MAINS TO HAVE A MINIMUM OF 3-1/2" COVER UNLESS OTHERWISE NOTED.
- VALVES ADJACENT TO TEES SHALL BE STRAPPED TO TEES.
- BLOCK ALL FITTINGS WITH CONCRETE.
- BURY LINE ELEVATIONS ON FIRE HYDRANTS SHALL BE SET AS SHOWN ON THE DRAWINGS. ALL FIRE HYDRANTS SHALL BE STRAPPED AND BUTTRESSED WITH CONCRETE IN ACCORDANCE WITH STANDARD DETAILS. SOIL AROUND THE FIRE HYDRANT TO BE COMPACTED IN ACCORDANCE WITH SECTION 1000 AND 1005 OF THE STANDARD SPECIFICATIONS.
- ALL WATER HOUSE CONNECTIONS SHALL BE FOR AN INSIDE METER SETTING UNLESS OTHERWISE SHOWN.
- THE CONTRACTOR SHALL NOT OPERATE ANY WATER MAIN VALVES ON THE EXISTING SYSTEM.
- ALL WATER HOUSE CONNECTIONS SHALL COMPLY WITH HOWARD CO. STD. 3.21 AS SHOWN ON ARTICLE 40, SPECIAL PROVISIONS.
- MINIMUM CRIMP RADIUS WILL BE SPECIFIED BY PIPE MANUFACTURER.

10-1-17 - PURPOSE OF REVISION #9
ADD 2,300 GALLON ABOVE GROUND PROPANE STORAGE TANKS & EQUIPMENT TO BACK UP NATURAL GAS WHEN NEEDED

KBD ENGINEERING COMPANY
1 COUNTRY CLUB LANE, PHOENIX, MD
M.C. HARCLODE, II, P.E.
MD LICENSE # 11735



FOR REVISION #7
2/21/92 Revision 5/1/92

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.
James M. Hester 2/4/92
U.S. SOIL CONSERVATION SERVICE

THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
John P. Robinson 2/4/92
HOWARD SOIL CONSERVATION DISTRICT

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS.
HOWARD COUNTY HEALTH DEPARTMENT
William J. ... 2-13-92

APPROVED: ... OF PLANNING & ZONING
... 3/10/92

APPROVED: FOR STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
... 2-21-92

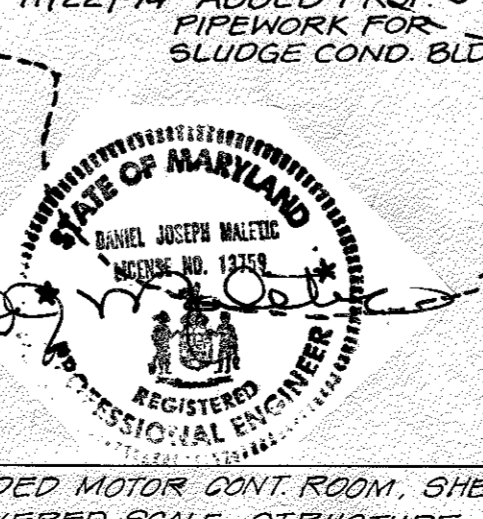
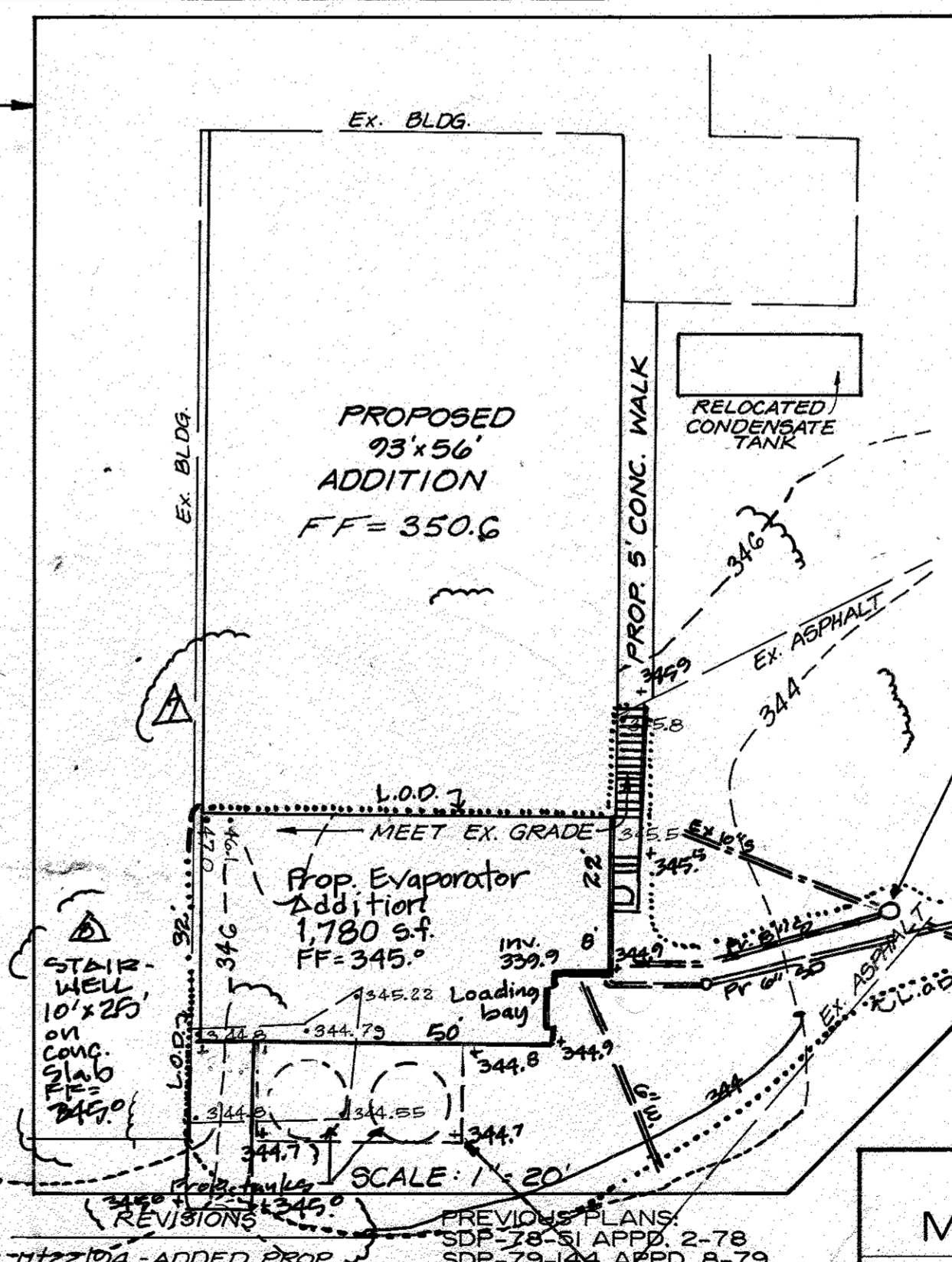
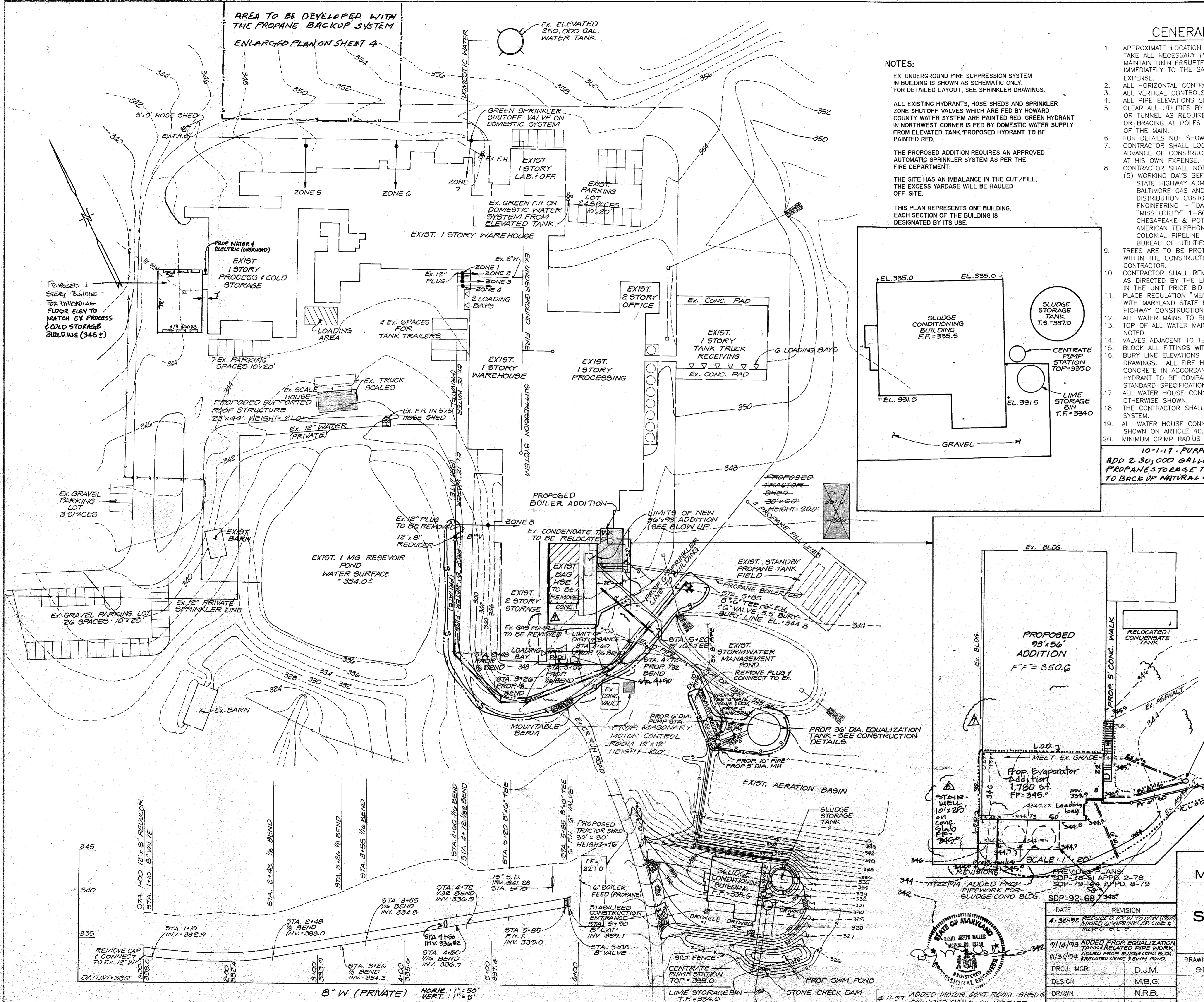
MARYLAND & VIRGINIA MILK PRODUCERS ASSOCIATION

PROPOSED ADDITION SITE DEVELOPMENT PLAN
TAX MAP 46 B 47
6th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

DRAWING NO.	SCALE	DATE	SHEET NO.
9165.00	1"=50'	JAN. 30, 1992	2 OF 3

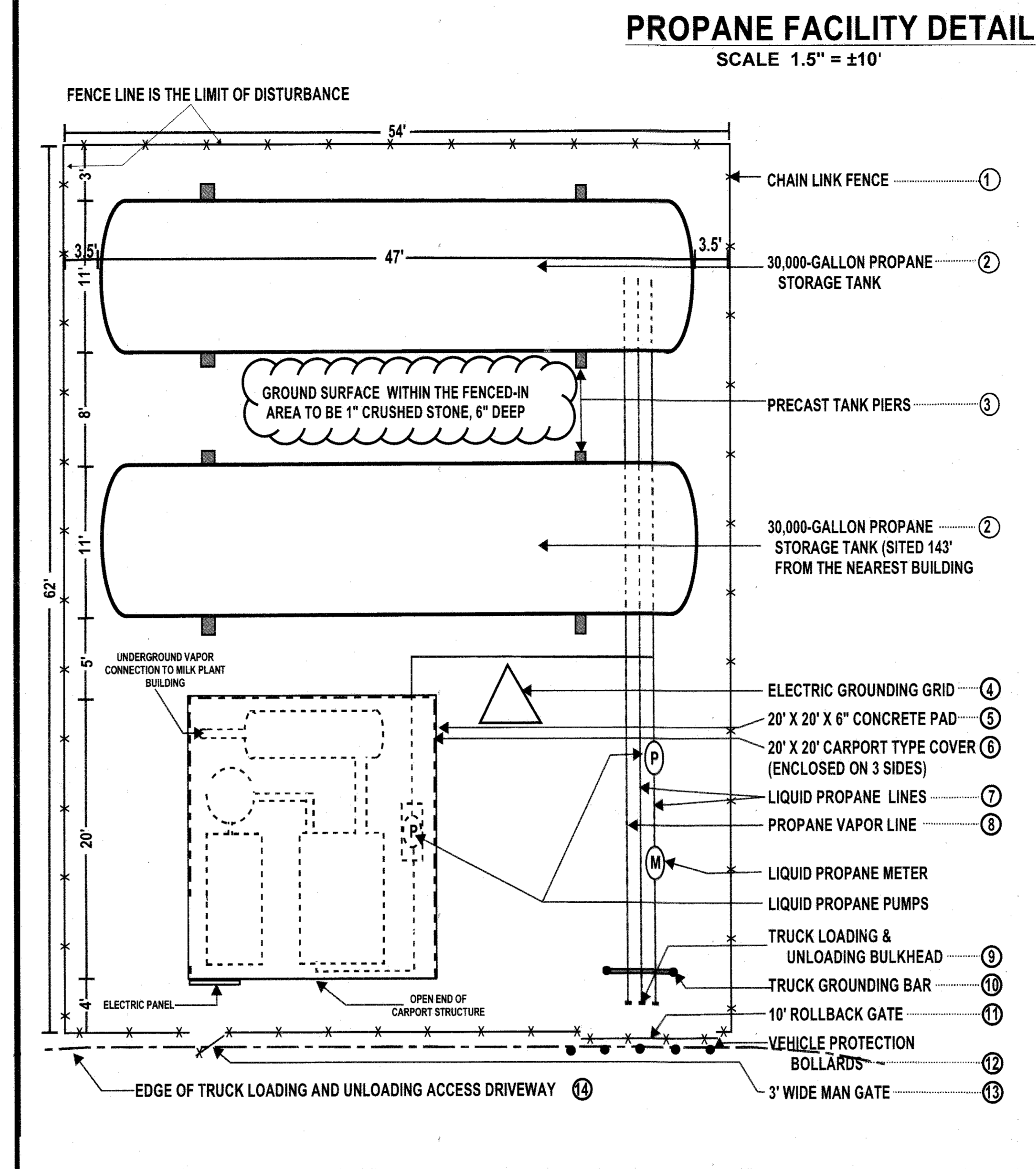
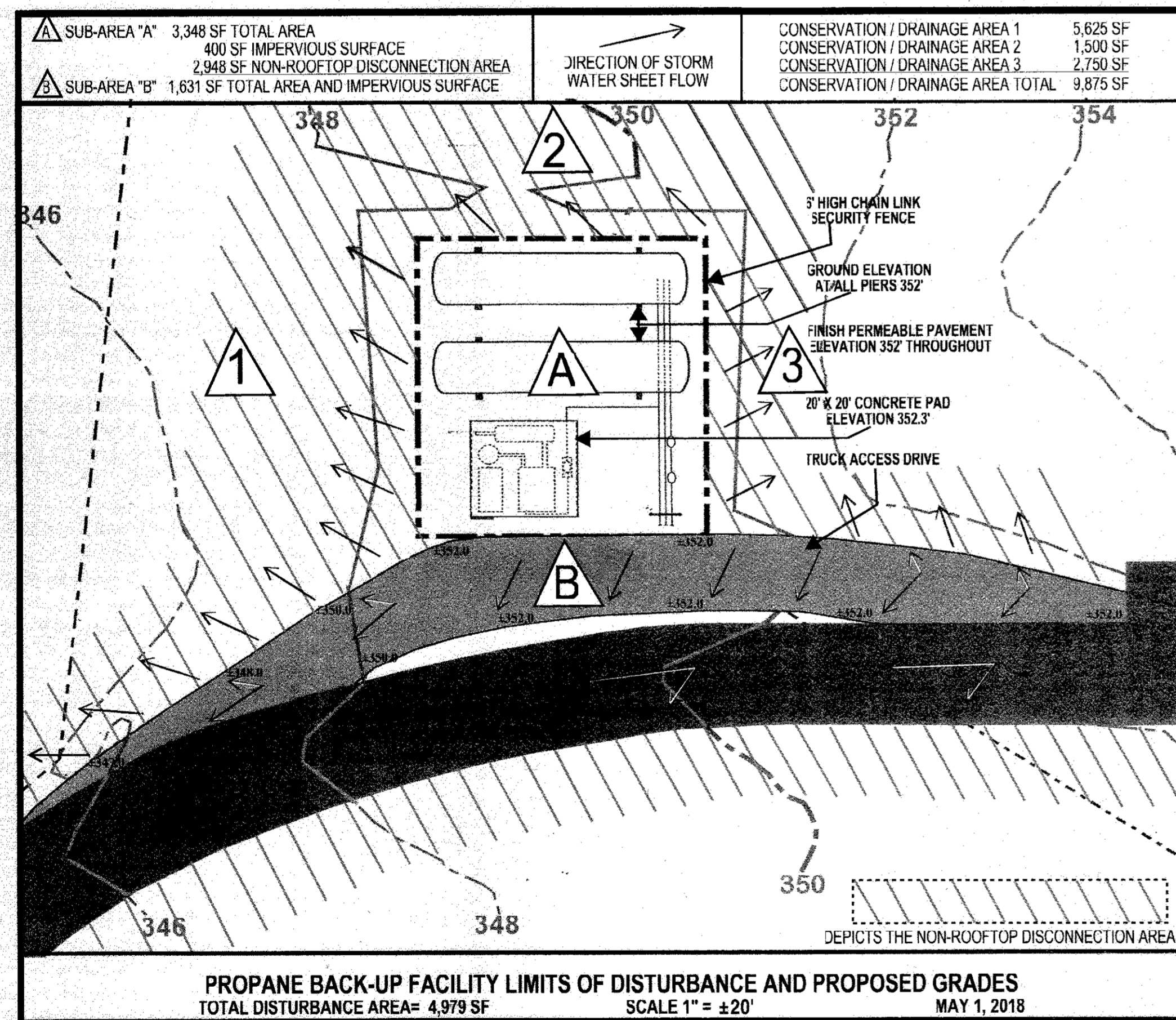
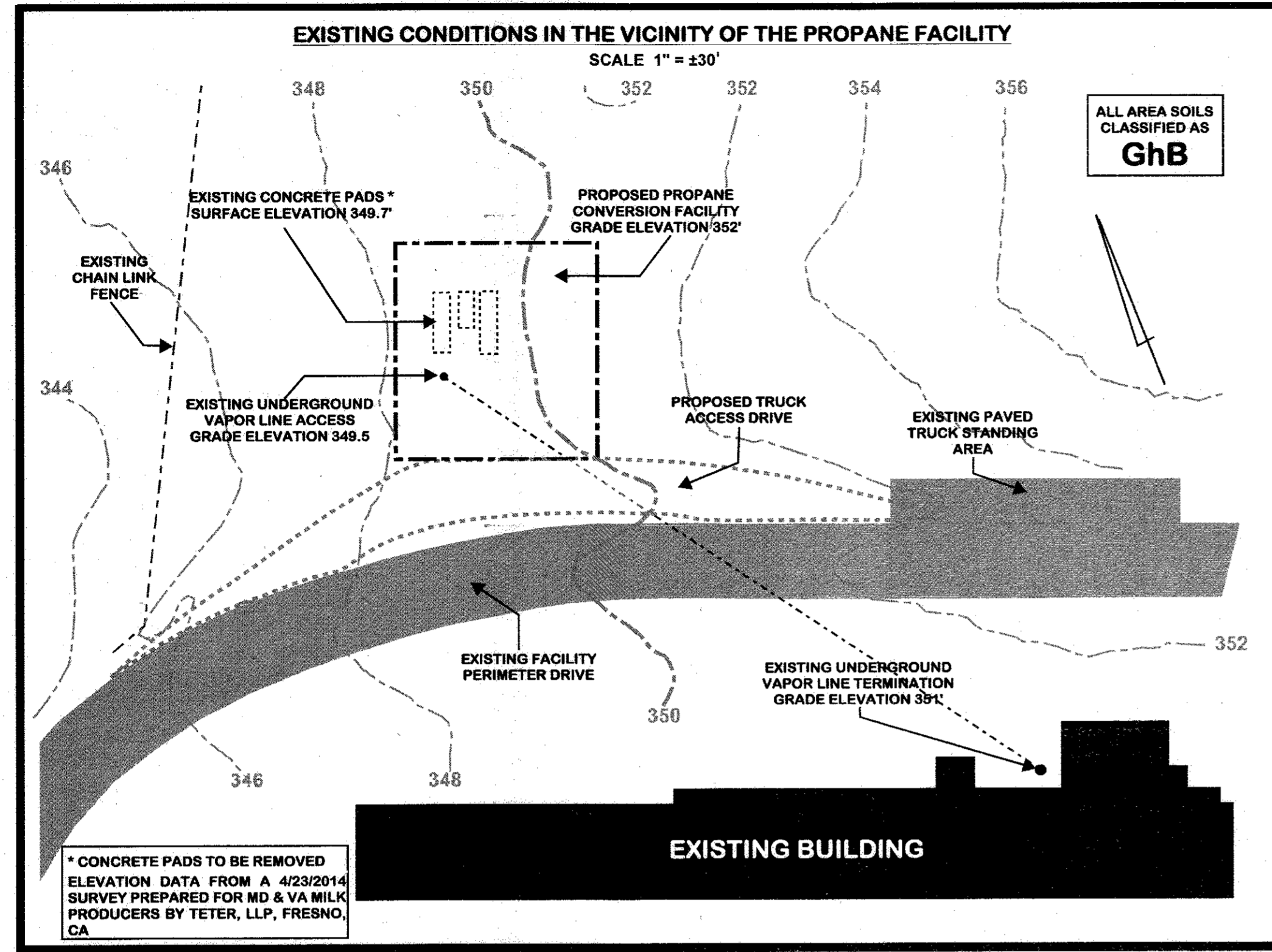
GREENMAN-PEDERSEN INC.
ENGINEERS/ARCHITECTS/PLANNERS
14504 GREENVIEW DRIVE, SUITE 100, LAUREL, MD. 20708
WASH. (301) 470-2772 BALT. (301) 880-3055

SDP-92-68



DATE	REVISION
4-30-92	REDUCE 10' IN TO 2' IN (PROP) ADDED 6" SPRINKLER LINE & TRIED 0' ST.C.E.
9/14/93	ADDED PROP EQUALIZATION TANK & RELATED PIPE WORK
8/31/94	ADDED PROP SLUDGE COND BLDG & RELATED TANKS & SWIM POND
4-11-97	ADDED MOTOR CONT. ROOM, SHED & COVERED SCALE STRUCTURE
9-15-97	REVISED TRACTOR SHED LOCATION & DIMENSION.
9/6/98	ADDED PROPOSED BOILER ADDITION

10-1-17 Add. Evap. Bldg. Stairwell | 4-11-97 Add Evaporator bldg | 5/11/00 ADD UNDOING BUILDING | 9-15-97 REVISED TRACTOR SHED LOCATION & DIMENSION. | 9/6/98 ADDED PROPOSED BOILER ADDITION



- KEYED NOTES**
- SEE FENCE AND GATE DETAIL ON SHEET 5
 - SEE PROPANE TANK DETAIL & SPECIFICATIONS ON SHEET 5
 - SEE PRECAST PIER DETAIL & SPECIFICATIONS ON SHEET 5
 - SEE SHEET 5 ELECTRIC GROUNDING GRID DETAIL
 - SEE CONCRETE PAD SPECIFICATIONS ON SHEET 5
 - CARPORY DETAIL AND SPECIFICATIONS WILL BE SUBMITTED UNDER A SEPARATE BUILDING PERMIT
 - LIQUID PROPANE LINES SHALL BE 3" SCHEDULE 40 STEEL PIPE WITH WELDED JOINTS
 - PROPANE VAPOR LINES SHALL BE 2" SCHEDULE 40 STEEL PIPE WITH WELDED JOINTS
 - TRUCK LOADING BULKHEAD SUPPORT SHALL BE SET IN CONCRETE TO PROVIDE AN ADEQUATE ANCHOR
 - TRUCK GROUNDING BAR SHALL BE INSTALLED FOR TRUCK USE WHEN LOADING & UNLOADING. TRUCK BULKHEAD SUPPORT MAY BE SUBSTITUTED
 - SEE FENCE & GATE SPECIFICATIONS ON SHEET 5
 - SEE VEHICLE BOLLARD SPECIFICATIONS ON SHEET 5
 - SECOND ACCESS GATE PER NFPA-58. SEE FENCE & GATE DETAILS ON SHEET 5
 - SEE PAVEMENT SPECIFICATIONS ON SHEET 5
- GENERAL NOTES**
- ALL ABOVE GROUND PIPE SHALL BE INSTALLED 8" TO 12" ABOVE GROUND AND SECURED PER NFPA-58
- ALL EQUIPMENT SHALL BE GROUNDED AND BONDED TO SITE GROUNDING SYSTEM USING #6 BARE COPPER WIRE PER NEC-2014 AND ANY AND ALL STATE & LOCAL REQUIREMENTS. THIS SHALL INCLUDE TANKS, TRUCK LOADING AREA, PROPANE CONVERSION EQUIPMENT, THE STEEL CARPORT STRUCTURE AND THE PERIMETER FENCE
- FIXTURE LAYOUT SHOWN ON THE CONCRETE PAD IS CONCEPTUAL

KBD ENGINEERING COMPANY
 Process-Mechanical-Structural-Electrical & Environmental Consultants
 ONE COUNTRY CLUB LANE PHOENIX, MARYLAND 21131
 PHONE: 410-892-9003
 FAX: 410-892-8858
 MOBILE: 410-241-5630
 EMAIL: skp@kbdengineering.com

PROPOSED PROPANE BACKUP SYSTEM TO SUPPLEMENT NATURAL GAS SUPPLY
 OWNER: THE MD & VA MILK PRODUCERS COOPERATIVE ASSOCIATION, INC.
 8321 LEISHEAR ROAD, LAUREL, MD 20723 - 301-955-2964 WWW.MDVAMILK.COM
 DEVELOPER: THE H.J. POIST GAS COMPANY, INC.
 380 MAIN STREET, LAUREL, MD 20707 - 301-725-3232 - WWW.POISTGAS.COM

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THE REQUIREMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND
 LICENSE NO 11735
 EXPIRATION DATE 12/4/2019



ORIGINAL PAGE 4 PURPOSE STATEMENT AS APPROVED BY THE HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING ON 12/6/17

SDP 92-68 WAS AMENDED WITH THE ADDITION OF SHEETS 4 AND 5 AS APPROVED ON 12/6/2017 FOR THE PURPOSE OF ADDING TWO (2) 30,000-GALLON (WATER CAPACITY) PROPANE STORAGE TANKS, CONCRETE PADS, A SECURITY FENCE, A CARPORT-TYPE STRUCTURE AND OTHER EQUIPMENT NECESSARY TO INSTALL A PROPANE GAS BACK-UP SYSTEM TO BE UTILIZED IN THE PROPERTY OCCUPANT'S OPERATION AT TIMES WHEN NATURAL GAS SERVICE IS CURTAILED OR REDUCED.

NOTE:
 IMPROVEMENTS ARE EXEMPT FROM STORMWATER MANAGEMENT AS THE LAND DISTURBANCE AREA IS 4,790 SQUARE FEET. ANY ADDITIONAL IMPROVEMENTS WHERE THE CUMULATIVE DISTURBANCE AREA EXCEEDS 5,000 SQUARE FEET SHALL REQUIRE THAT THE CURRENT STORMWATER MANAGEMENT CRITERIA BE ADDRESSED

PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN SHEET 4

THE PURPOSE OF THIS PAGE 4 SHEET REVISION IS TO SHOW ON THE FACILITY PLAN THE (i) INCREASE IN THE SIZE OF THE LIMIT OF DISTURBANCE WITHIN THE FENCED AREA BY 807 SQUARE FEET TO A TOTAL OF 3,348 SF. THE DISTURBED AREA SIDES WERE MADE 7' DEEPER TO THE SOUTH OF WHAT WAS SHOWN ON THE ORIGINAL PLAN; (ii) INCREASE IN THE SIZE OF THE LARGEST CONCRETE PAD FROM 15' X 20' TO 20' X 20' AS NECESSARY TO ACCOMMODATE THE PROPANE-TO NATURAL-GAS CONVERSION EQUIPMENT; (iii) ELIMINATE THE TWO OTHER CONCRETE PADS SHOWN ON THE ORIGINAL DRAWING; (iv) SQUARE OFF AND ENLARGE THE PERIMETER OF THE SECURITY FENCE SO IT WILL SURROUND THE LARGER FACILITY DISTURBANCE AREA; AND TO CHANGE THE TRUCK ACCESS CONFIGURATION, REDUCING THE DRIVEWAY DISTURBANCE AND PAVEMENT AREA BY 394 SF, FROM 2,025 SF TO 1,631 SF. THE ELEVATION OF THE FENCED-IN DISTURBANCE AREA WAS ALSO RAISED BY ADDING CRUSHED STONE ACROSS ITS SURFACE TO ALLOW ANY PUDDLING WATER IN THE STONE TO FLOW ONTO THE NON-ROOFTOP DISCONNECTION AREAS SURROUNDING THE FACILITY'S PERIMETER. OVERALL, THE IMPERVIOUS SURFACE AREA HAS BEEN REDUCED BY 474 SF AND THE NON-ROOFTOP DISCONNECTION AREAS HAVE INCREASED BY 3,263 SF. BECAUSE OF THE FAVORABLE CHANGES IN THE IMPERVIOUS SURFACES AND STORMWATER COLLECTION AREAS, NO NEW STORM WATER CALCULATIONS WERE MADE. FOR CLARITY, THIS REVISION OF THE SHEET 4 DEVELOPMENT PLAN WAS PREFERABLE TO THE REDLINE MARKING OF THE MANY CHANGES DESCRIBED ABOVE ON THE ORIGINAL MYLAR.

REVISIONS

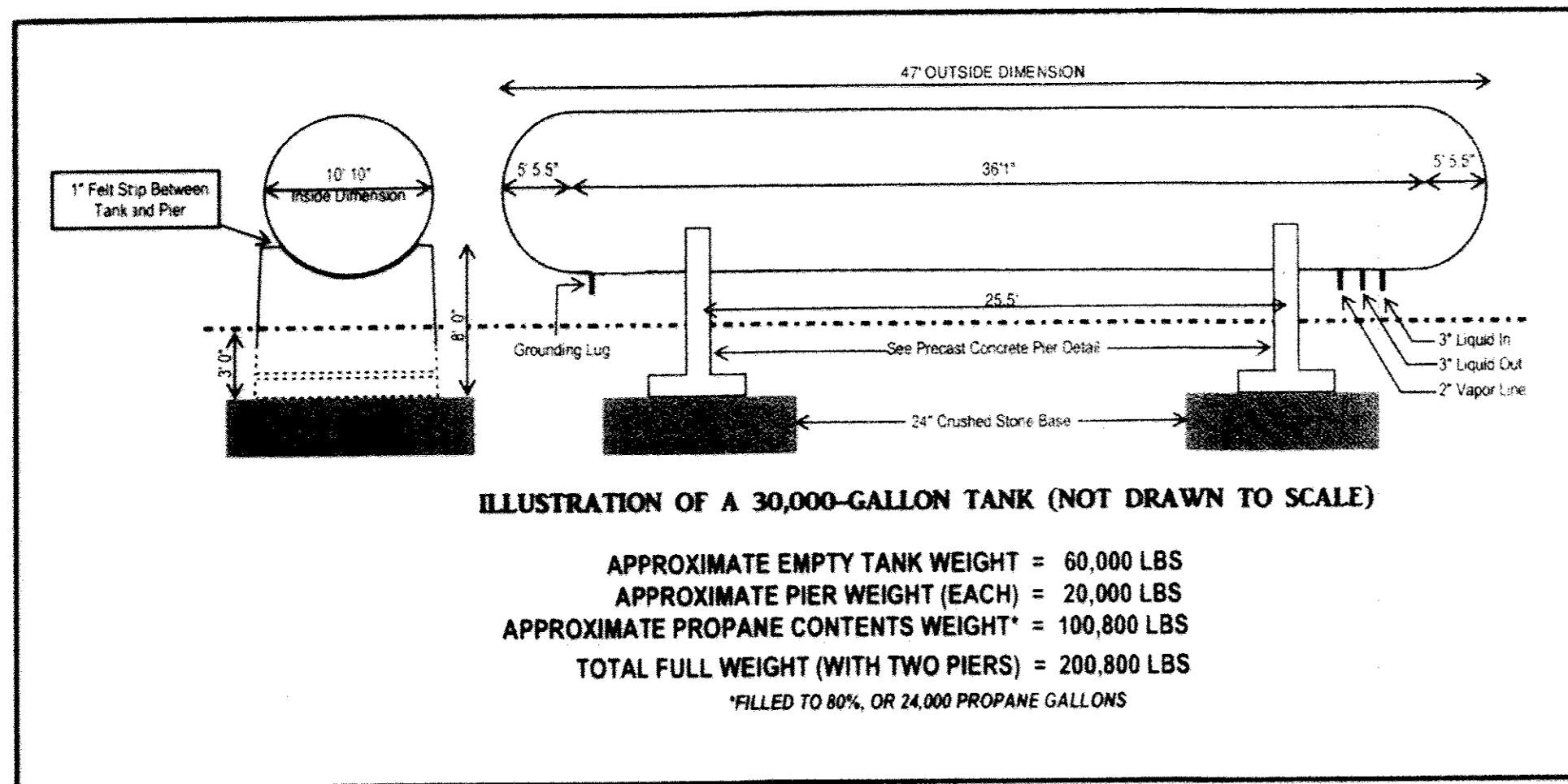
APPROVED DEPARTMENT OF PLANNING AND ZONING

Valerie J. Allen
 DIRECTOR DEPARTMENT OF PLANNING AND ZONING
 DATE: 5-21-18

Keith S. ...
 CHIEF - DIVISION OF LAND DEVELOPMENT
 DATE: 5-21-18

Chad ...
 CHIEF - DEVELOPMENT ENGINEERING DIVISION
 DATE: 5-16-18

DRAWN BY: RD
DATE: 5/1/2018
SCALE: VARIES
JOB NUMBER: MILK
SDP 92-68
 SHEET # 4 OF 5



TNT Carports, Inc.
 170 Holly Springs Rd.
 Mt. Airy, NC 27030
 1-800-587-3597

REGULAR / A-FRAME CARPORT STYLE BUILDINGS

DESIGN NOTES:
 1. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE 2009 INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL REQUIREMENTS.
 2. BASE CONNECTIONS SHALL BE PROVIDED AS SHOWN.
 3. FOUNDATION SHALL BE AS SHOWN.
 4. ALL MATERIALS IDENTIFIED BY MANUFACTURER NAME SHALL BE SUBSTITUTED WITH MATERIALS OF EQUAL OR BETTER QUALITY.
 5. ALL JOINTS SHALL BE WELDED.
 6. ALL WELDED JOINTS SHALL BE TESTED TO PROVE.
 7. ALL STRUCTURAL LIGHT GAUGE TUBING AND CHANNELS SHALL BE GRADE TO STEEL.
 8. STRUCTURAL STEEL SHALL BE GRADE TO STEEL.
 9. ALL STRUCTURAL STEEL SHALL BE GRADE TO STEEL.
 10. ALL STRUCTURAL STEEL SHALL BE GRADE TO STEEL.

DESIGN CRITERIA:
 1. DEAD LOAD (DL)
 2. LIVE LOAD (LL)
 3. WIND LOAD (WL)
 4. SNOW LOAD (SL)
 5. SEISMIC LOAD (SE)
 6. TEMPERATURE LOAD (TL)
 7. ICE LOAD (IL)
 8. COLLISION LOAD (CL)
 9. OVERHEAD WIRE LOAD (OWL)
 10. OVERHEAD WIRE CLEARANCE (OWC)

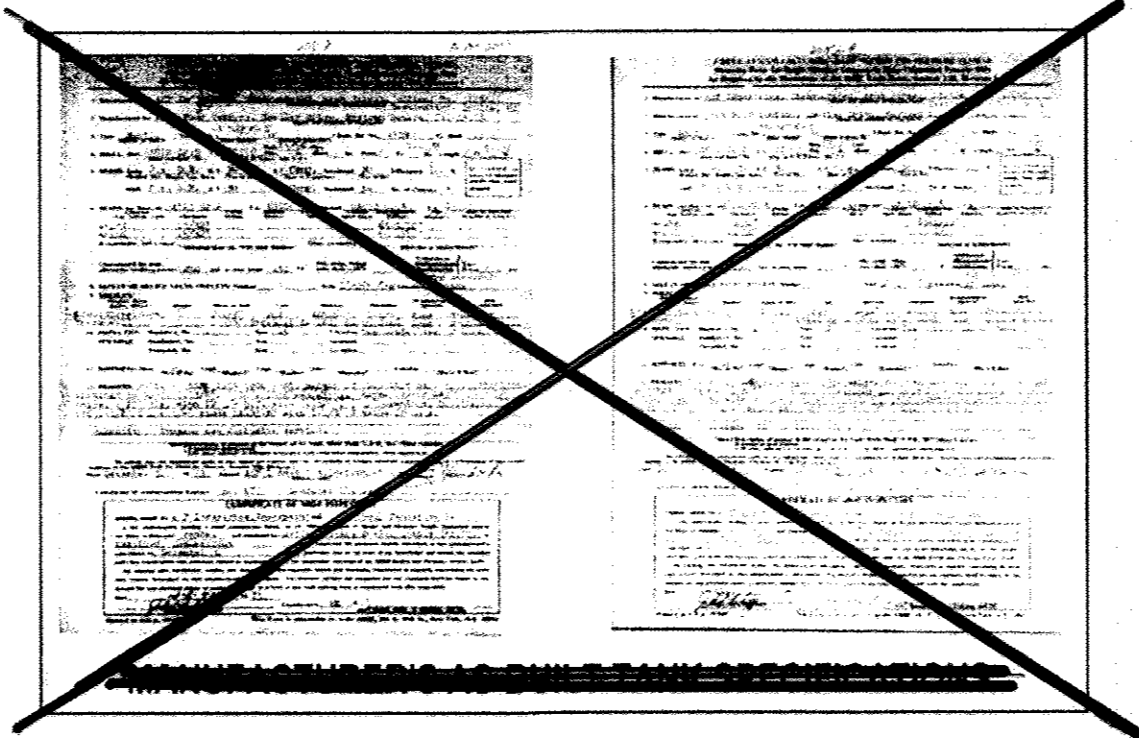
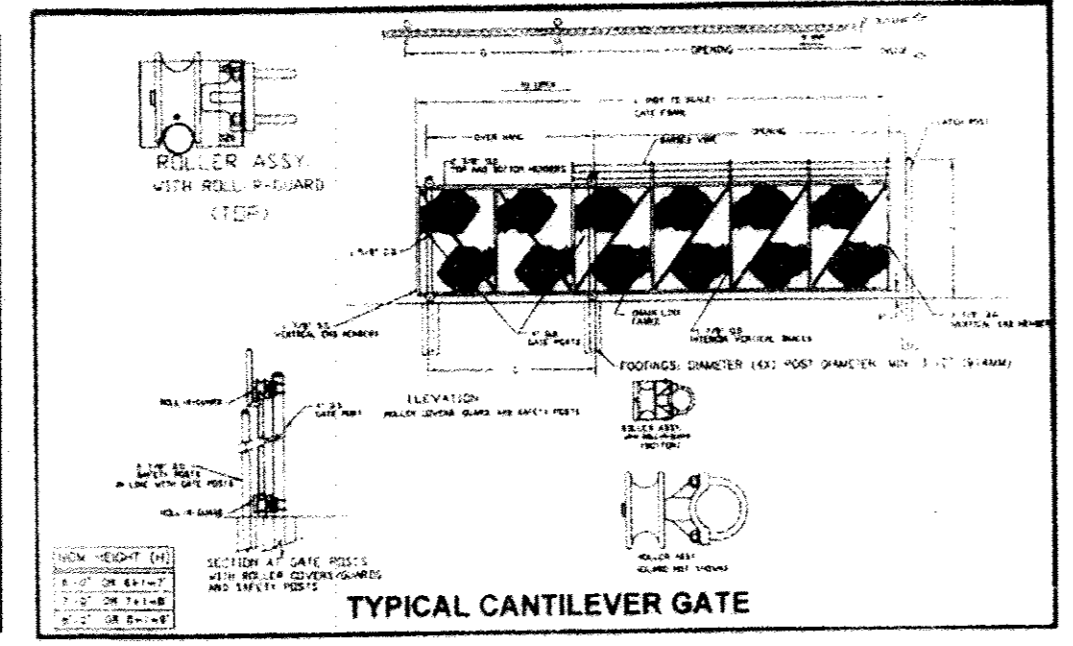
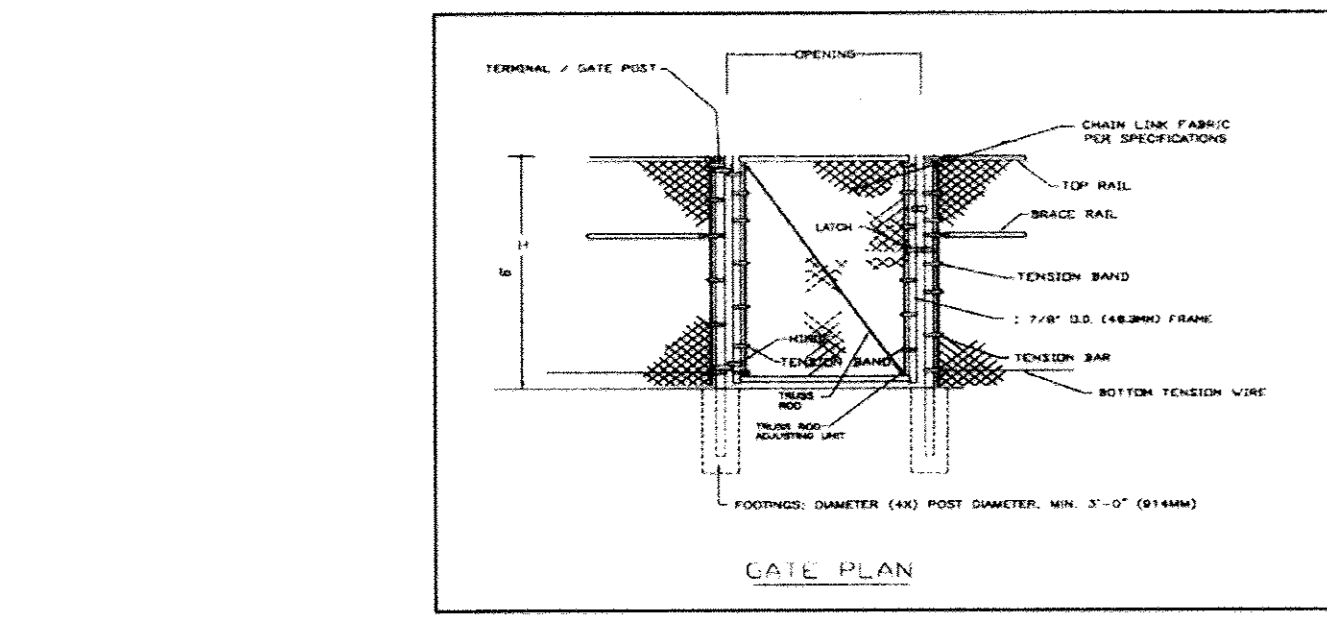
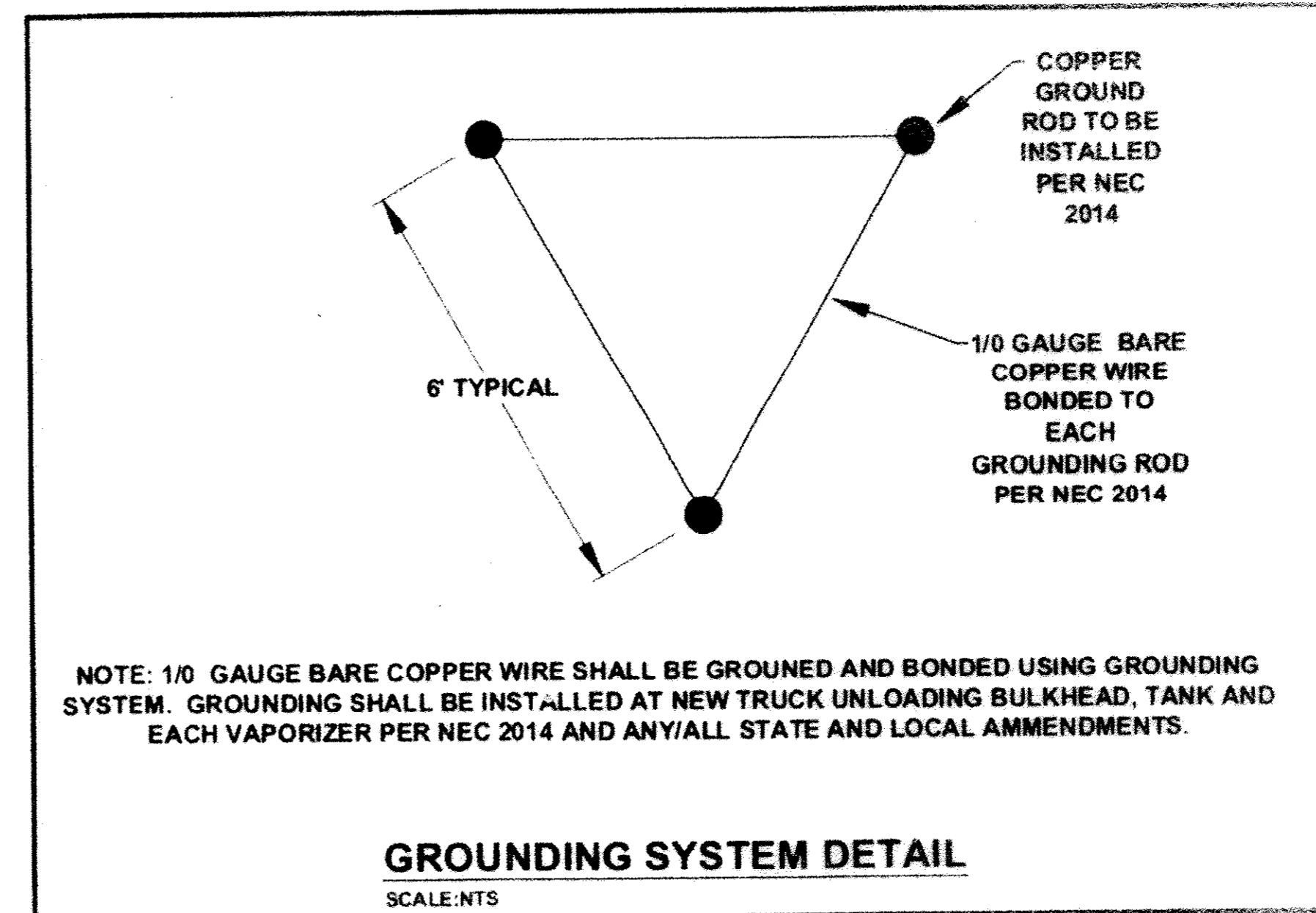
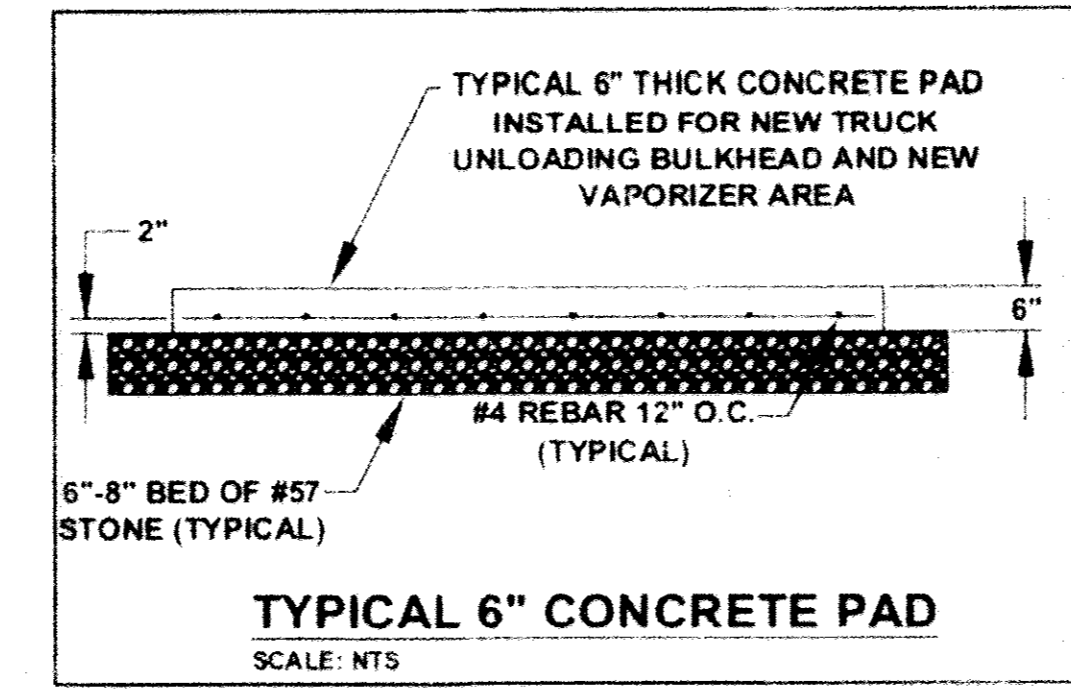
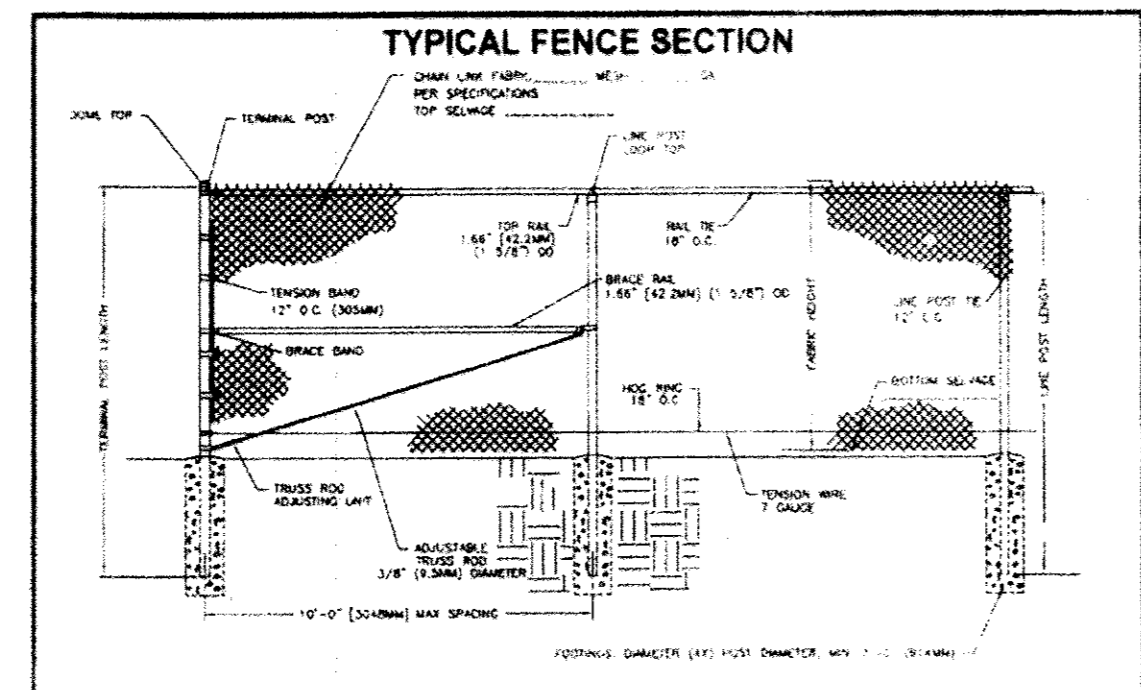
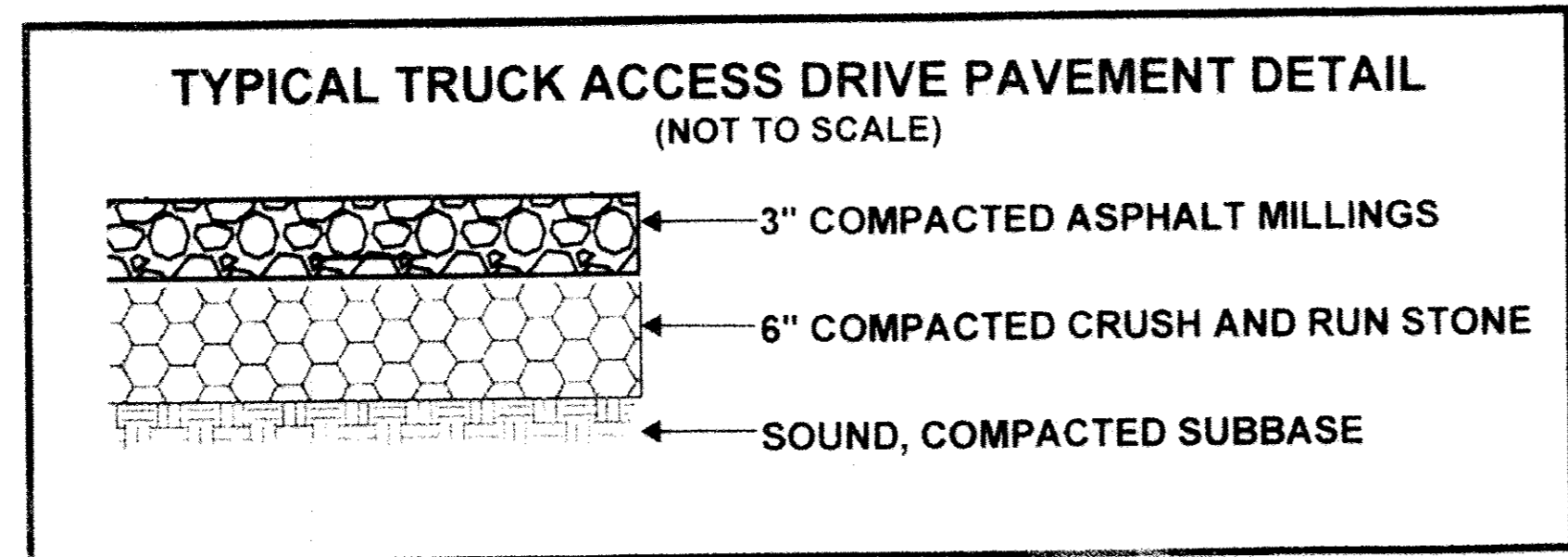
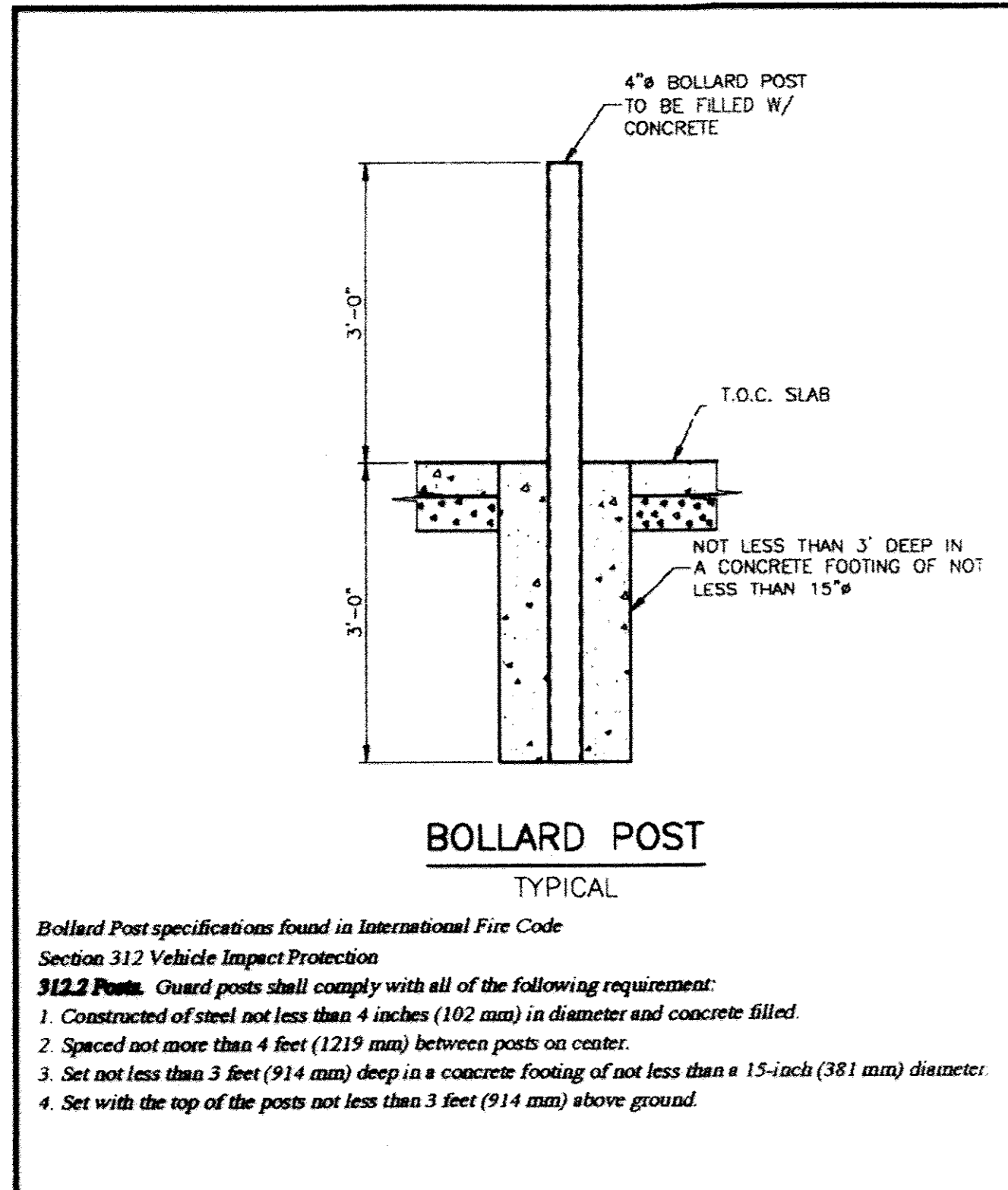
DRAWING INDEX:
 1. GENERAL NOTES
 2. FOUNDATION
 3. STRUCTURAL STEEL
 4. ROOFING
 5. FINISHES
 6. ELECTRICAL
 7. MECHANICAL
 8. PLUMBING
 9. PAINTING
 10. OTHER

AMERICAN PRECAST, INC.
 301 Nanticoke Avenue
 Seaford, DE 19973
 (302) 629-6688

MINIMUM ALLOWABLE SOIL BEARING PRESSURE

Pier Weight	Concrete Volume	TANK SIZE (gals)	WITH WATER (psf)	WITH PROPANE (psf)
16950 lbs	4.74 CY	Use the pier with tank size	80000	8400
		Radius	80000	6200
		Diameter	30000	3200
		Circumference		2000

Notes:
 Concrete Min. 3500 PSI
 All Reinforcement as shown
 Not to Scale
 Not an engineered drawing



PURPOSE STATEMENT

THE PURPOSE OF THIS SITE PLAN REVISION IS TO ADD TWO (2) 30,000-GALLON ABOVEGROUND PROPANE STORAGE TANKS, CONCRETE PADS, A SECURITY FENCE, AND A CARPORT-LIKE STRUCTURE ALONG WITH OTHER EQUIPMENT NECESSARY TO CONSTRUCT AND INSTALL A PROPANE GAS BACK-UP SYSTEM TO BE UTILIZED BY THE PROPERTY OWNER AT TIMES WHEN NATURAL GAS SERVICE IS CURTAILED OR REDUCED.

NOTE: IMPROVEMENTS ARE EXEMPT FROM STORMWATER MANAGEMENT AS THE LAND DISTURBANCE AREA IS 4,790 SQUARE FEET. ANY ADDITIONAL IMPROVEMENTS WHERE THE CUMULATIVE DISTURBANCE AREA EXCEEDS 5,000 SQUARE FEET SHALL REQUIRE THAT THE CURRENT STORMWATER MANAGEMENT CRITERIA BE ADDRESSED

REVISIONS

DATE	DESCRIPTION
10/1/2017	SHEETS 4 AND 5 ADDED TO MODIFY THE SDP BY ADDING A PROPANE FACILITY TO BACK-UP THE NATURAL GAS SUPPLY DURING PERIODS OF CURTALMENT

APPROVED DEPARTMENT OF PLANNING AND ZONING

Valerie J. Davis
 DIRECTOR - DEPARTMENT OF PLANNING AND ZONING
 DATE: 12-6-17

Kevin A. Lewis
 CHIEF - DIVISION OF LAND DEVELOPMENT
 DATE: 12-6-17

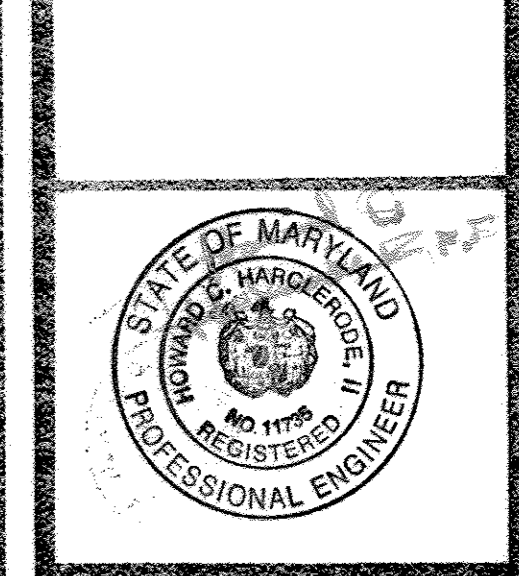
John K. ...
 CHIEF - DEVELOPMENT ENGINEERING DIVISION
 DATE: 12-4-17

KBD ENGINEERING COMPANY
 Process-Mechanical-Structural-Electrical & Environmental Consultants
 ONE COUNTRY CLUB LANE PHOENIX, MARYLAND 21131
 PHONE: 410-582-9003
 FAX: 410-502-8858
 MOBILE: 410-241-6630
 H.C. HARCLEMODE II, P.E.
 EMAIL: skip@kdbengineering.com

PROPOSED PROPANE BACKUP SYSTEM TO SUPPLEMENT NATURAL GAS SUPPLY

OWNER: THE MD & VA MILK PRODUCERS COOPERATIVE ASSOCIATION, INC.
 8321 LEISHEAR ROAD, LAUREL, MD 20723 - 301-353-2854 - WWW.MDVAMILK.COM

DEVELOPER: THE H.J. POIST GAS COMPANY, INC.
 360 MAIN STREET, LAUREL, MD 20707 - 301-725-3232 - WWW.POISTGAS.COM



PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THE REQUIREMENTS WERE PREPARED OR APPROVED BY ME & THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 11735 EXPIRATION DATE 12/4/2019

DRAWN BY: RD
DATE: 10/1/2017
SCALE: VARIES
JOB NUMBER: MILK
SDP 92-68
 SHEET 5 OF 5