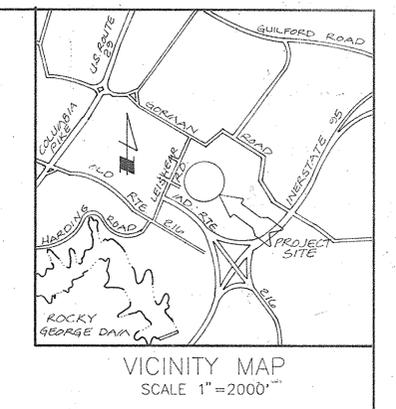


- BULK REGULATIONS**  
SECTION 118 M-D DISTRICT
- Setback for buildings from any external public street right-of-way is 50' plus 2' of setback for every additional 1' of height above 50'.  
Minimum: 125' Provided: 950'  
\* based on 88' high structure
  - Setback for buildings from any residential district other than public street right-of-way is 150' plus 2' of setback for every additional 1' of height above 50'.  
Minimum: 225' Provided: 900'  
\* based on 88' high structure
  - Setback for fences and parking uses from any external public street right-of-way.  
Minimum: 30' Provided: 880'
  - Open space (including landscaped area)  
Minimum: 20% Provided: 97%
  - Landscaped islands in parking lot.  
Minimum: 5% Provided: All parking lots are existing to remain and do not have the required landscaping. There is no additional parking required by this addition due to reduction in employees.
  - Landscape buffers:  
Required: 30' minimum landscaped edge along residential districts.  
10' minimum landscaped edge along external street right-of-way.  
3' high landscaped area between parking area and any residential district or public street right-of-way.  
Provided: 560' landscaped edge along residential district owned by Maryland and Virginia Milk Producers Association.  
880' landscaped edge along residential district owned by others.  
880' landscaped edge along external street right-of-way.



**LIMIT OF DISTURBANCE CHART**

REV.	DATE	DESC.	AREA
7	11/11/96	ADD EVAPORATOR BUILDING	4,500 SF

Full SWM will be required when L.O.D. exceeds 4,000 SF

**SITE ANALYSIS**

- Total area of site: 223.89 ac.  
Undisturbed Area: 223.88 ac
- Total area of project: 5000 sf or 0.11 ac
- Present zoning: M-1 (M-1 in projected area), R-20 and PEC
- Existing use: Processing of dairy products, particularly processing of whole milk into condensed and powdered milk.
- Proposed use: Same as existing
- Maximum number of employees:  
Existing: 78 Proposed: 72
- Peak hour employees  
Existing: 37 Proposed: 34
- Off-street parking:  
Required: 34 spaces based on 1 space/1 peak hour employee.  
Provided: 60 spaces.  
Based on a parking study submitted by Greenman-Pedersen, Inc. on January 23, 1992, the Department of Planning and Zoning has determined that 34 parking spaces are required for this site in accordance with Section 127.B.3 of the Zoning Regulations.
- Open space (green area):  
Existing: 216.37 ac (96.7%) Proposed: 216.28 ac (96.7%)
- Building coverage of site:  
Existing: 2.81 ac (1.3%) Proposed: 2.92 ac (1.3%)
- Impervious area:  
Existing: 4.51 ac (2.0%) Proposed: 4.53 ac (2.0%)

**ENGINEER:** Greenman-Pedersen, Inc.  
14504 Greenview Drive  
Suite 100  
Laurel, MD 20708  
(410) 880-3055  
Daniel J. Maletic, P.E.

**OWNER:** Maryland and Virginia Milk Producers Association  
P.O. Box 184  
Laurel, MD 20810  
(410) 792-7960  
George Walgrove

**CONTRACTOR:** The Whiting-Turner Contracting Company  
300 East Joppa Road  
Baltimore, MD 21204  
(410) 821-1100  
G. Kevin Atkinson

**SCOPE OF WORK:**  
The proposed project includes removal of a prior building addition and part of a loading area and replacement with a larger addition. Specifically, the existing bargehouse (68' x 34') is to be razed and replaced by 93' x 58' evaporator/drier building. The existing evaporator/driers to be removed and replaced by bargehouse equipment. The addition is required due to additional height of new evaporator/drier equipment. Total additional building square footage is 2,896 sq. feet. Reduction in impervious paving is 1,200 sq. feet. Therefore, green space is reduced by only 1,696 sq. feet.

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

*James M. Hill* 2/14/92  
SOIL CONSERVATION SERVICE DATE

THESE PLANS FOR THE SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*John R. Robertson* 2/14/92  
HOWARD SOIL CONSERVATION DISTRICT DATE

PLAT # OR L/F	BLOCK #	ZONE	TAX / ZONE MAP	ELEC. DIST.	CENSUS TR.
302/284	137	M-1, R-20 & PEC	46 & 47	6	6068.02

**APPROVED:** FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

*James M. Hill* 2-13-92  
COUNTY HEALTH OFFICER DATE

**APPROVED:** HOWARD COUNTY DEPT. OF PLANNING & ZONING

*James M. Hill* 3/10/92  
DIRECTOR DATE

**APPROVED:** FOR STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

*James M. Hill* 3/10/92  
DIRECTOR DATE

**Easement Note:**  
Maryland and Virginia Milk Producers Association, Inc. has reserved the right to cross and extend roads and public utility facilities across the BG&E fee simple rights-of-way (423/289, 446/525, 530/219) anywhere except within twenty-five (25) feet of any structure of BG&E and has reserved the right to farm or use the same in any manner as long as such farming or use, in the sole judgement of Bankers Trust Company and BG&E, or either of them, their successors or assigns, or the successors and assigns of either of them, will not interfere with the construction, operation and maintenance of BG&E facilities. Maryland and Virginia Milk Producers Association, Inc. is limited in that it shall not erect any buildings or structures within the easements.

**Wetlands Note:**  
The Proposed Addition will not impact Non-Tidal Wetlands or the required 25' Wetlands Buffer.

- SETBACK SUMMARY**
- Buildings**
- 950'± from public ROW (Route 216)  
1080'± from public ROW (Leishear Road)
  - 900'± from onsite R-20 District
  - 1030'± from onsite R-20 District
- Parking**
- 930'± from onsite R-20 District
  - 960'± from onsite R-20 District
  - 880'± from public ROW (Leishear Road)  
880'± from public ROW (Route 216)



FOR REVISION #7



**LEGEND**

- ZONE LINE
- LIMITS OF SITE
- PROPERTY LINES
- TREE STANDS
- 11/11/96 ADD UNLOADING BUILDING
- 9-15-97 REVISED TRACTOR SHED LOCATION & DIMENSION
- 4-11-97 ADD MOTOR CONT. ROOM, SHED & COVERED SCALE STRUCTURE

**PREVIOUS PLANS:**  
SDP-78-51 APPD. 2-78  
SDP-79-144 APPD. 8-79  
TOPO FROM COUNTY 200 SCALE TOPG & PREVIOUS APPROVED SDPS

DATE	REVISION
9/14/93	ADDED PROPOSED EQUALIZATION BASIN.
8/31/94	ADDED PROP. SLUDGE COND. BLDG. & RELATED TANKS + SWIM POND
11/22/94	ADDED PROP. PIPENWORK FOR SLUDGE COND. BLDG.
PROJ. MGR.	D.J.M.
DESIGN	M.B.G.
DRAWN	N.R.B.
CHECKED	D.J.M.

**MARYLAND & VIRGINIA MILK PRODUCERS ASSOCIATION**

**PROPOSED ADDITION SITE DEVELOPMENT PLAN**

TAX MAP 46 & 47  
6th ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

DRAWING NO.	SCALE	DATE	SHEET NO.
91165.00	1"=200'	JAN. 30, 1992	1 OF 3

**GREENMAN-PEDERSEN INC.**  
ENGINEERS/ARCHITECTS/PLANNERS  
14504 GREENVIEW DRIVE, SUITE 100, LAUREL, MD. 20708  
WASH. (301) 470-2772 BALT. (301) 980-3055

GENERAL NOTES - WATER LINE

NOTES:

EX. UNDERGROUND FIRE SUPPRESSION SYSTEM IN BUILDING IS SHOWN AS SCHEMATIC ONLY. FOR DETAILED LAYOUT, SEE SPRINKLER DRAWINGS.

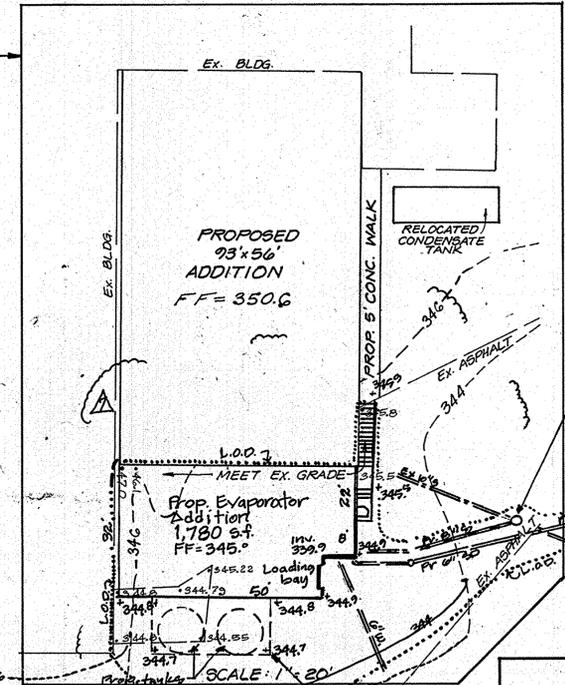
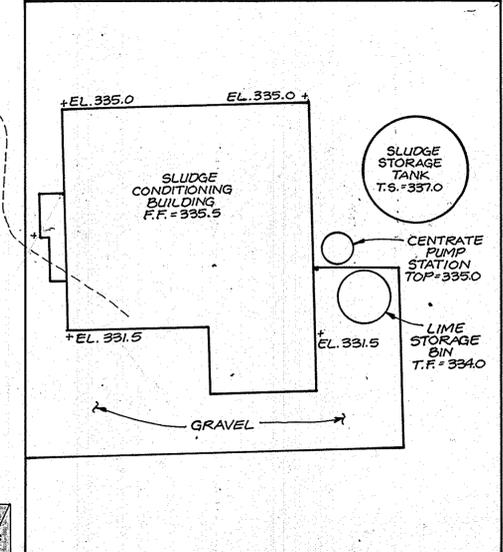
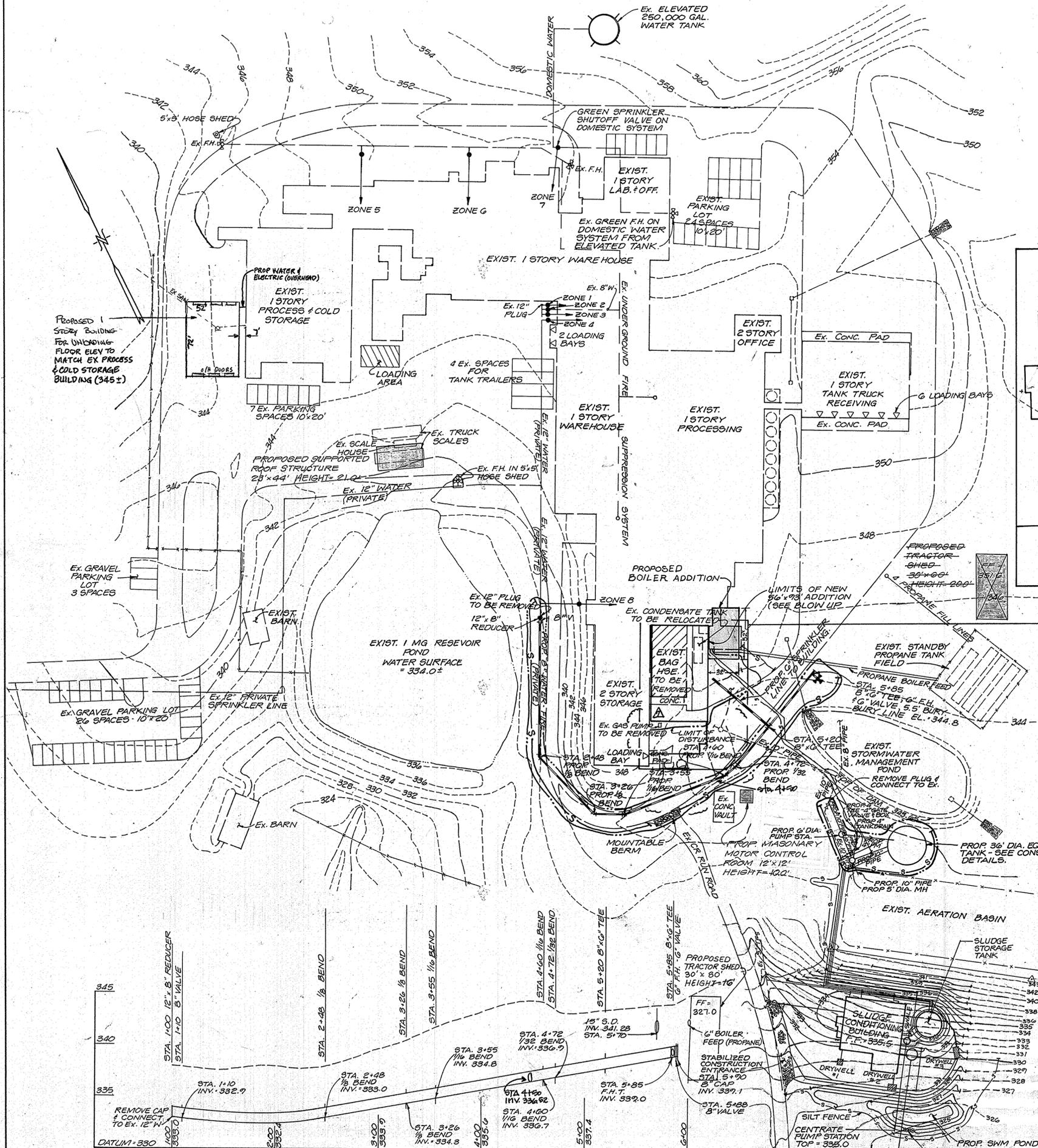
ALL EXISTING HYDRANTS, HOSE SHEDS AND SPRINKLER ZONE SHUTOFF VALVES WHICH ARE FED BY HOWARD COUNTY WATER SYSTEM ARE PAINTED RED. GREEN HYDRANT IN NORTHWEST CORNER IS FED BY DOMESTIC WATER SUPPLY FROM ELEVATED TANK. PROPOSED HYDRANT TO BE PAINTED RED.

THE PROPOSED ADDITION REQUIRES AN APPROVED AUTOMATIC SPRINKLER SYSTEM AS PER THE FIRE DEPARTMENT.

THE SITE HAS AN IMBALANCE IN THE CUT/FILL. THE EXCESS YARDAGE WILL BE HAULED OFF-SITE.

THIS PLAN REPRESENTS ONE BUILDING. EACH SECTION OF THE BUILDING IS DESIGNATED BY ITS USE.

- APPROXIMATE LOCATION OF EXISTING MAINS ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING MAINS AND SERVICES AND MAINTAIN UNINTERRUPTED SUPPLY. ANY DAMAGE INCURRED SHALL BE REPAIRED IMMEDIATELY TO THE SATISFACTION OF THE ENGINEER AT THE CONTRACTOR'S EXPENSE.
- ALL HORIZONTAL CONTROLS ARE BASED ON MARYLAND STATE COORDINATES.
- ALL VERTICAL CONTROLS ARE BASED ON U.S.G.S. DATUM.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- CLEAR ALL UTILITIES BY A MINIMUM OF 6". CLEAR ALL POLES BY 2'-0" MINIMUM OR TUNNEL AS REQUIRED. ANY COST INCURRED TO THE CONTRACTOR FOR TUNNELING OR BRACING AT POLES SHALL BE INCLUDED IN UNIT PRICES BID FOR CONSTRUCTION OF THE MAIN.
- FOR DETAILS NOT SHOWN ON THE DRAWINGS USE HOWARD COUNTY STANDARD DETAILS.
- CONTRACTOR SHALL LOCATE EXISTING UTILITIES A MINIMUM OF TWO (2) WEEKS IN ADVANCE OF CONSTRUCTION OPERATIONS IN THE VICINITY OF PROPOSED UTILITIES AT HIS OWN EXPENSE.
- CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE (5) WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE PLANS.
  - STATE HIGHWAY ADMINISTRATION 531-5533
  - BALTIMORE GAS AND ELECTRIC COMPANY - UNDERGROUND GAS & ELECTRIC DISTRIBUTION CUSTOMER SERVICE 685-0123
  - ENGINEERING - "DAMAGE CONTROL" 234-5611
  - "MISS UTILITY" 1-800-257-7777
  - CHESAPEAKE & POTOMAC (C & P) TELEPHONE COMPANY 725-9976
  - AMERICAN TELEPHONE AND TELEGRAPH - CABLE LOCATION DIVISION 393-3533
  - COLONIAL PIPELINE COMPANY 795-9976
  - BUREAU OF UTILITIES HOWARD COUNTY 313-4900
- TREES ARE TO BE PROTECTED FROM DAMAGE TO MAXIMUM EXTENT. TREES LOCATED WITHIN THE CONSTRUCTION STRIP ARE TO BE REMOVED OR DAMAGED BY THE CONTRACTOR.
- CONTRACTOR SHALL REMOVE TREES, STUMPS, AND ROOTS ALONG LINE OF EXCAVATION AS DIRECTED BY THE ENGINEER. PAYMENT FOR SUCH REMOVAL SHALL BE INCLUDED IN THE UNIT PRICE BID FOR CONSTRUCTION OF THE MAIN.
- PLACE REGULATION "MEN WORKING" AND WARNING SIGNS AS REQUIRED TO COMPLY WITH MARYLAND STATE HIGHWAY ADMINISTRATION MANUAL OF TRAFFIC CONTROL FOR HIGHWAY CONSTRUCTION AND MAINTENANCE.
- ALL WATER MAINS TO BE D.I.P. CLASS 52 ONLY.
- TOP OF ALL WATER MAINS TO HAVE A MINIMUM OF 3'-1/2" COVER UNLESS OTHERWISE NOTED.
- VALVES ADJACENT TO TEES SHALL BE STRAPPED TO TEES.
- BLOCK ALL FITTINGS WITH CONCRETE.
- BURY LINE ELEVATIONS ON FIRE HYDRANTS SHALL BE SET AS SHOWN ON THE DRAWINGS. ALL FIRE HYDRANTS SHALL BE STRAPPED AND BUTTRESSED WITH CONCRETE IN ACCORDANCE WITH STANDARD DETAILS. SOIL AROUND THE FIRE HYDRANT TO BE COMPACTED IN ACCORDANCE WITH SECTION 1000 AND 1005 OF THE STANDARD SPECIFICATIONS.
- ALL WATER HOUSE CONNECTIONS SHALL BE FOR AN INSIDE METER SETTING UNLESS OTHERWISE SHOWN.
- THE CONTRACTOR SHALL NOT OPERATE ANY WATER MAIN VALVES ON THE EXISTING SYSTEM.
- ALL WATER HOUSE CONNECTIONS SHALL COMPLY WITH HOWARD CO. STD. 3.21 AS SHOWN ON ARTICLE 40, SPECIAL PROVISIONS.
- MINIMUM CRIMP RADIUS WILL BE SPECIFIED BY PIPE MANUFACTURER



FOR REVIEW #7

2/2/92 Revised 5/11/92

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

*James M. Hester* 2/4/92  
U.S. SOIL CONSERVATION SERVICE DATE

THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*John P. Robinson* 2/4/92  
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS.  
HOWARD COUNTY HEALTH DEPARTMENT  
*William J. ...* 2-13-92  
COUNTY HEALTH OFFICER DATE

APPROVED: *...* 3/10/92  
PLANNING AND ZONING DATE

APPROVED: FOR STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*James J. ...* 3/6/92  
DIRECTOR DATE

*...* 2-21-92  
BUREAU OF ENGINEERING DATE

MARYLAND & VIRGINIA MILK PRODUCERS ASSOCIATION

PROPOSED ADDITION SITE DEVELOPMENT PLAN

TAX MAP 46 B 47  
6th ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

DRAWING NO.	SCALE	DATE	SHEET NO.
91165.00	1"=50'	JAN. 30, 1992	2 OF 3

GREENMAN-PEDERSEN INC.  
ENGINEERS/ARCHITECTS/PLANNERS  
14504 GREENVIEW DRIVE, SUITE 100, LAUREL, MD. 20708  
WASH. (301) 470-2772 BALT. (301) 880-3055

REVISIONS

DATE	REVISION
4-30-92	REDUCED TO 1/4" TO 3/4" (1/8") ADDED 6" SPRINKLER LINE & TROVED S.T.C.E.
9/14/93	ADDED PROP. EQUALIZATION TANK & RELATED PIPE WORK.
8/31/94	ADDED PROP. SLUDGE COND. BLDG. (RELATED TANKS & SWM POND).
4-11-97	ADDED MOTOR CONT. ROOM, SHED & COVERED SCALE STRUCTURE
9-15-97	REVISED TRACTOR SHED LOCATION & DIMENSION.
9/6/98	ADDED PROPOSED BOILER ADDITION

SDP-92-68 / 243

