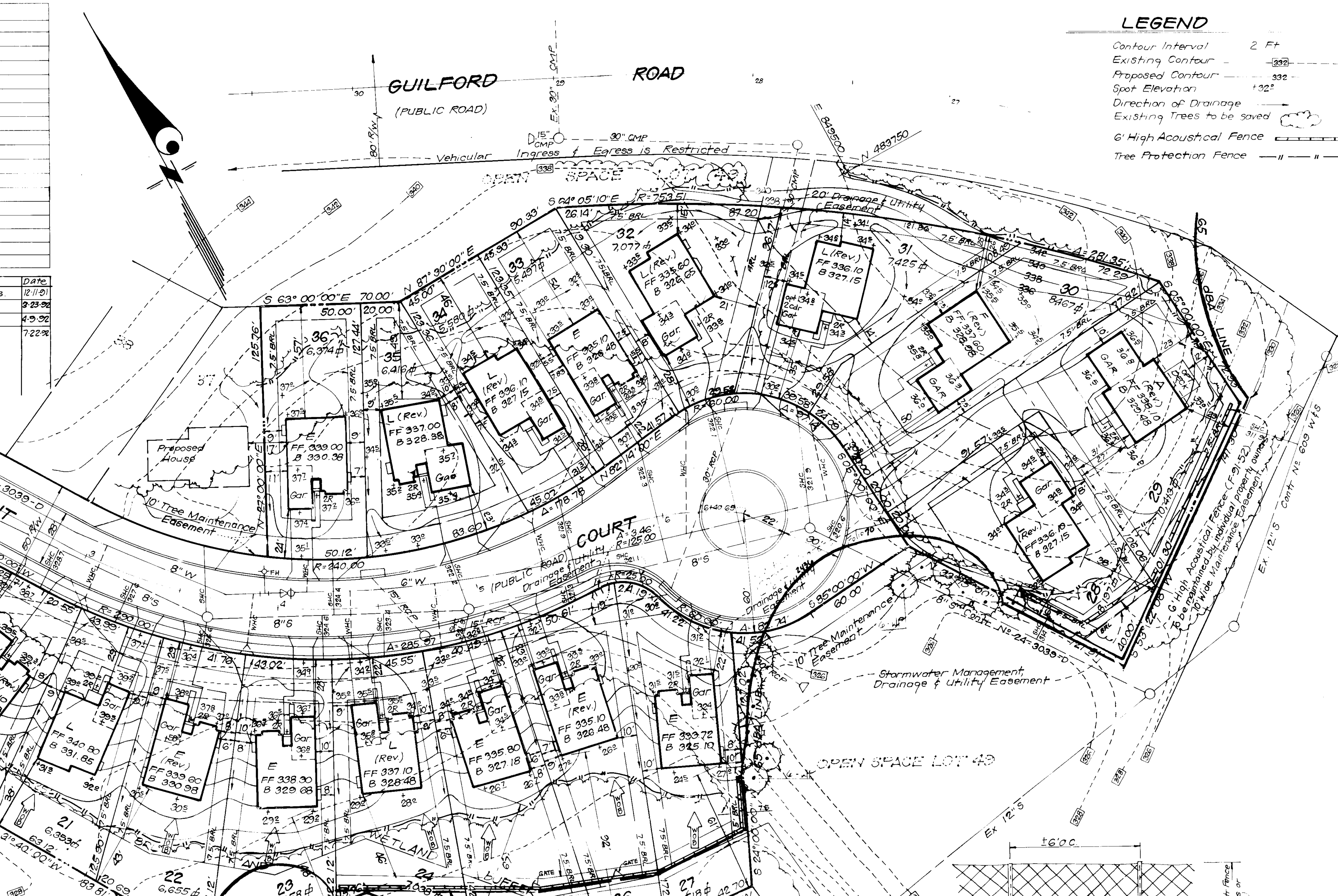
ADDRESS CHART

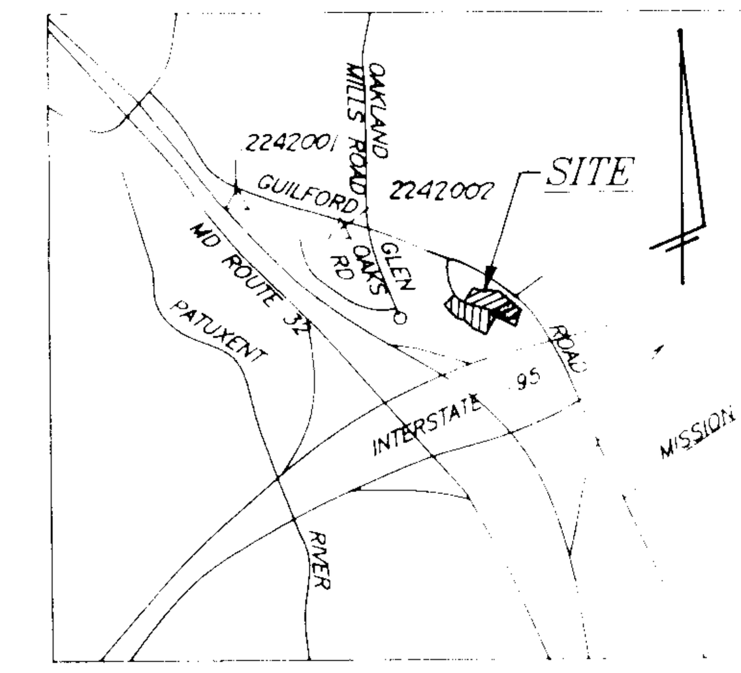
LOT NUMBER	STREET ADDRESS	
20	9520	TWILIGHT COURT
21	9524	" "
22	9528	" "
23	9532	" "
24	9536	" "
25	9540	" "
26	9544	" "
27	9548	" "
28	9553	" "
29	9549	" "
30	9545	" "
31	9541	" "
32	9537	" "
33	9533	" "
34	9529	" "
35	9525	" "
36	9521	" "

No.	REVISION	Date
1.	Rev. hse. locations Lots 29 & 30 per HRD comments.	12·11·91
2.	Rev. hse. & grd. lots 20, 32, 34 & 28	3·23·92
3	Rev. hse. & grd. lots 21 & 31	4·9·92
4	Rev. hse. & grd. lot 35	7·22·92



LEGEND

Contour Interval	2 Ft
Existing Contour	332
Proposed Contour	332
Spot Elevation	+32.0
Direction of Drainage	
Existing Trees to be saved	
6' High Acoustical Fence	
Tree Protection Fence	



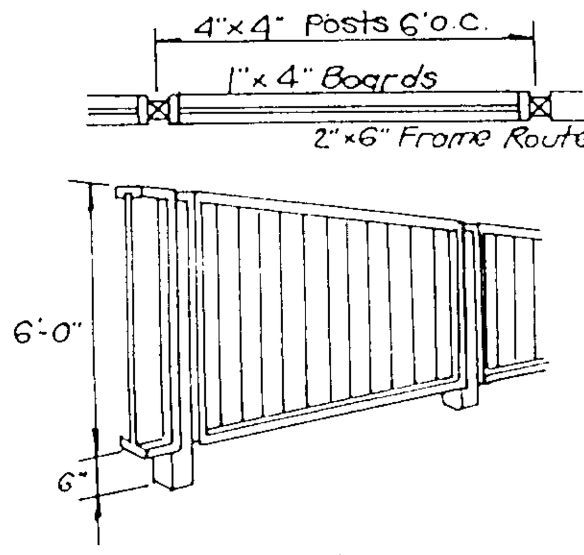
VICINITY MAP
SCALE: 1"=2000'

GENERAL NOTES:

1. Subject property is zoned: New Town per 8-2-85 Comprehensive Zoning Plan.
2. The coordinates shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monument Nos.: 2242001 & 2242002.
3. Twilight Court is public and existing.
4. The total area included in this submission is: 121,874 ¤ or 2.7978 Ac
5. The total number of lots included in this submission are: 17
6. Any damage to county owned rights-of-way shall be corrected at the developer's expense.
7. The maximum lot coverage is: 30%
8. Office of Planning and Zoning file reference file numbers are: S-89-79, FDP-208, & P-90-24, & F-91-52.
9. The contractor or developer shall contact the Construction Inspection Survey Division, 24 hours in advance of commencement of work at 301-792-2630.
10. The existing topography shown was field run by Clark, Finefrock and Sackett, Inc. on 8-6-91
11. The minimum setback restricitons from the property lines and the rights-of-way of any public road is in accordance with the Final Development Plan Phase 208 was recorded as plat #s 3054A 1160 through 3054A 1162 on October 30, 1990
12. Improvement to property: Single Family Detached.
13. For driveway entrance details, refer to Howard County Design Manual Volume IV Standard Details R-6.03 & 6.05.
14. Stormwater Management Provided under F-91-52
15. Check SHC elev. at property line prior to construction of lots 20-36.
16. Sheet Index: Site Development Plan - sheet 1, Sediment & Erosion Control Plan - sheet 2, Detail Sheet - sheet 3.

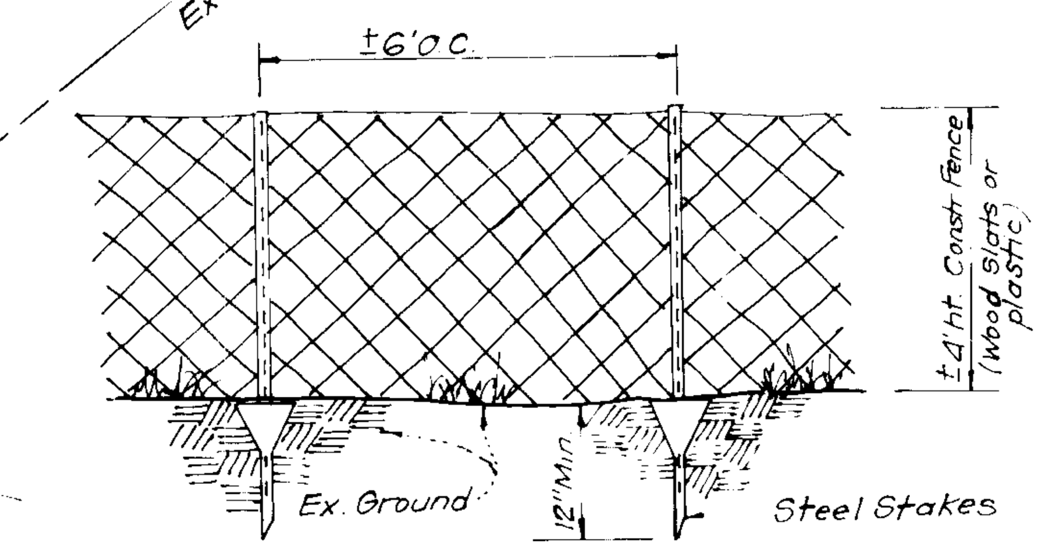
SPECIAL NOTES:

1. This plan is for grading of lots only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-91-52 and/or approved Water and Sewer Plans Contract #C-24-3039-D.
2. No clearing, grading or construction is permitted within wetland or stream buffers; except for the required acoustical fence provided on Lot 24.



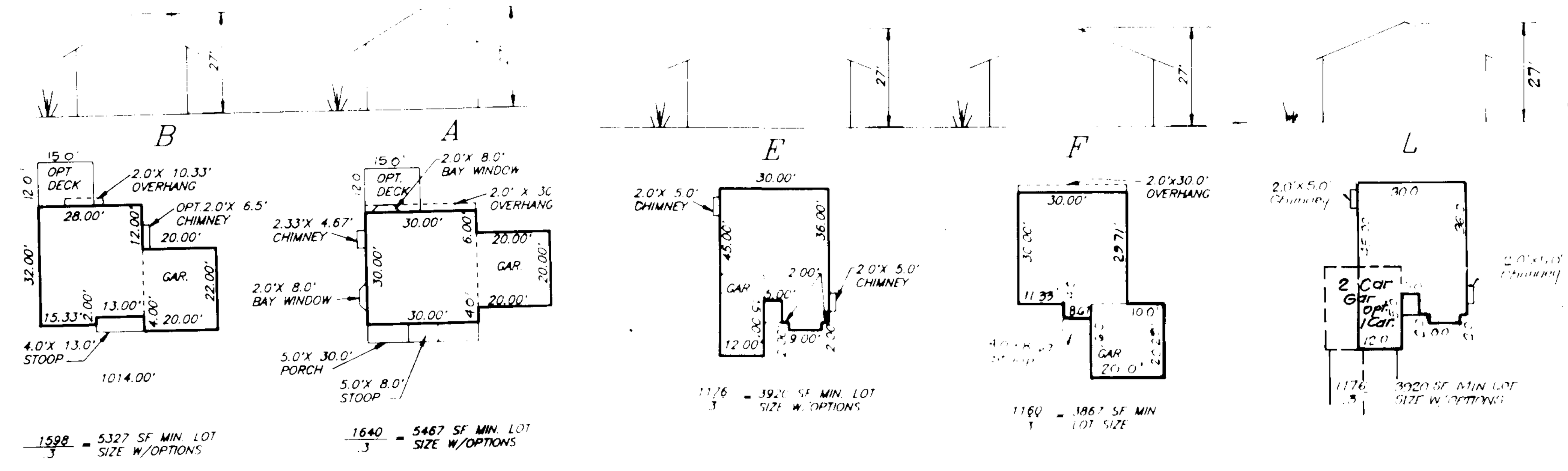
6' HIGH ACOUSTICAL FENCE

No Scale



TYPICAL TREE PROTECTION FENCE DETAIL

No Scale



1336 / 0.3 = 4453.33 ¤ Min. Lot Size W/2 Car Gar.

TYPICAL HOUSES

SCALE: 1"=30'
NOTE: ALL UNITS HAVE 1' ROOF EAVES FRONT AND REAR.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS. HOWARD COUNTY HEALTH DEPARTMENT

[signature] 12-23-91
COUNTY HEALTH OFFICER — DATE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

[signature] 12/23/91
DIRECTOR — DATE

[signature] 12/23/91
CHIEF DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT — DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

[signature] 12/20/91
DIRECTOR — DATE

[signature] M.K. 12-20-91
CHIEF BUREAU OF ENGINEERING — DATE

133838

OWNER/DEVELOPER
HOWARD RESEARCH AND LAND DEVELOPMENT CORP
10275 Little Patuxent Pkwy
Columbia, MD 21044

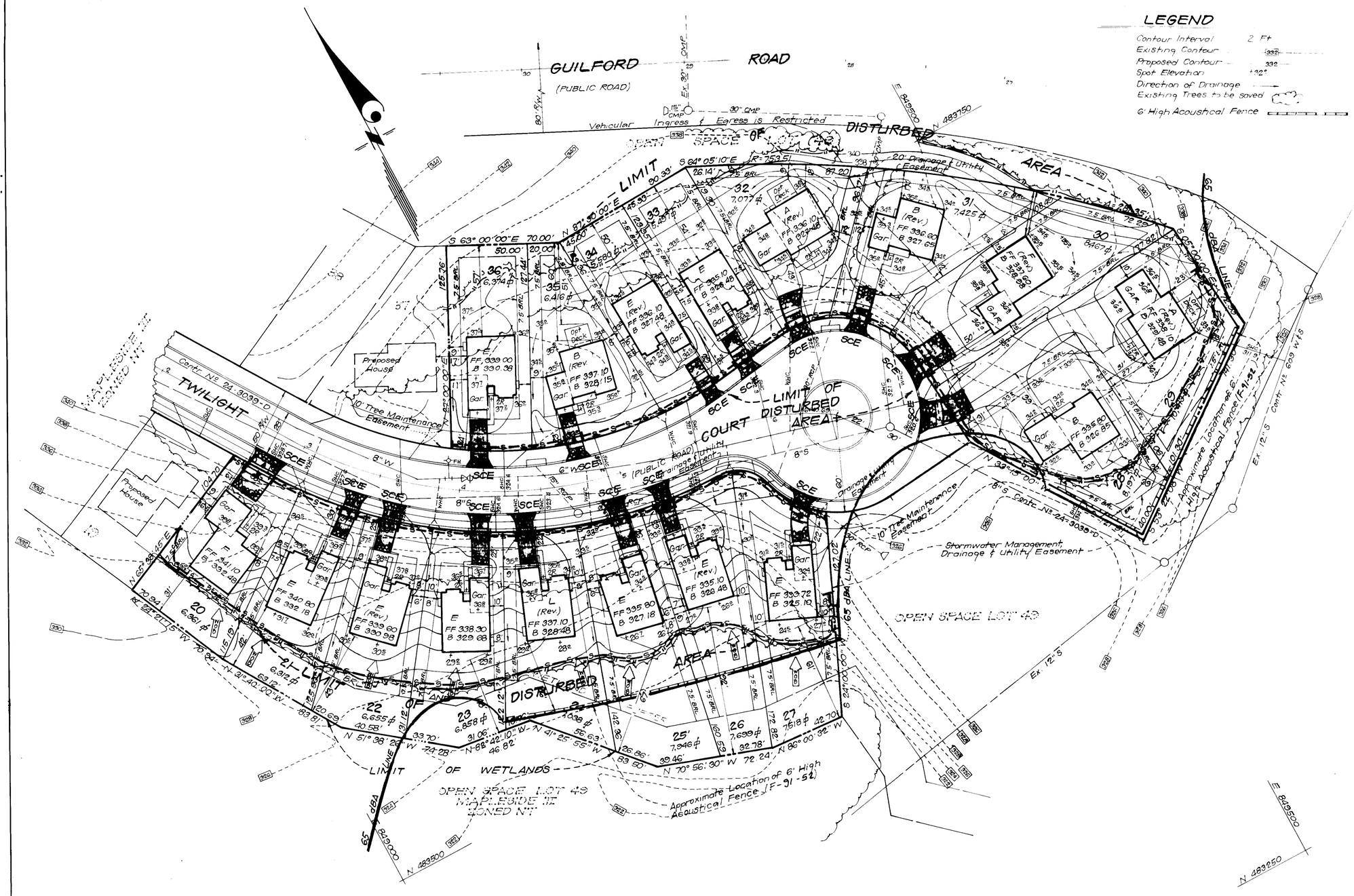
SUBDIVISION NAME			SECTION/AREA	LOTS/PARCELS	
MAPLESIDE II VILLAGE OF KINGS CONTRIVANCE			5/4	20-36	
PLAT NO.	BLOCK NO.	ZONE	TAX MAP NO.	ELECTION DIST.	CENSUS TRACK
10023	17	NT SFMD	42	6TH	6067.03
WATER CODE			SEWER CODE		
E-14			4400900		

CLARK • FINEFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS
7135 MINSTREL WAY • COLUMBIA, MD 21045

DESIGNED		SCALE
VLP	SITE DEVELOPMENT PLAN LOTS 20 thru 36	1" 30'
DRAWN	**MAPLESIDE II**	DRAWING
BAL	VILLAGE OF KINGS CONTRIVANCE SECTION 5 AREA 4	1 of 3
CHECKED	6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND	JOB NO.
JME		91 116
DATE	FOR: PATRIOT HOMES, INC. P.O. BOX 1018 COLUMBIA, MARYLAND 21044	FILE NO.
Nov 1991		91 116

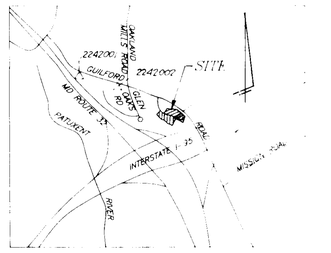
[signature] 12/13/91

SDP-92-56



LEGEND

Contour Interval 2 Ft
Existing Contour 332
Proposed Contour 332
Spot Elevation +32'
Direction of Drainage →
Existing Trees to be saved
6' High Acoustical Fence



VICINITY MAP
SCALE 1"=2000'

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
COUNTY HEALTH OFFICER — DATE 12-23-91

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
DIRECTOR — DATE 12/23/91
CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT — DATE 12/23/91

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DIRECTOR — DATE 12/20/91
CHIEF BUREAU OF ENGINEERING M.K. — DATE 12-20-91

Reviewed for HOWARD S.C.D.
Name
and meets Technical Requirements
Signature — Date 12/17/91
U.S. Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John P. Robinson — Approved — 12/17/91 Date

DEVELOPER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan of development and plan for erosion and sediment control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Dept. of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

Signature / Developer/Builder — 11/2/91 Date

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

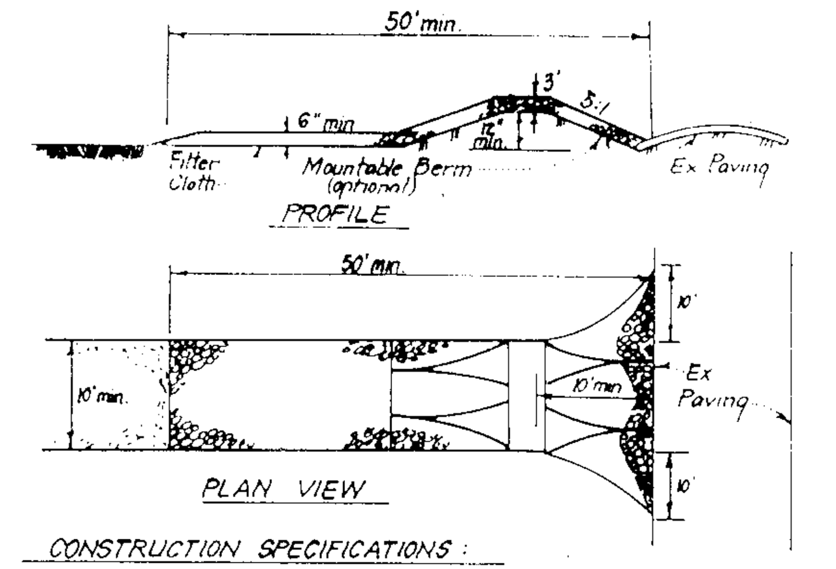
G. Nelson Clark — 11-12-91 Date

11-12-91

CLARK • FINEFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS
7135 MINSTREL WAY • COLUMBIA MD 21045 • (301) 981-2500 BALTO. • (410) 621-8861 WASH.

DESIGNED VME	SEDIMENT & EROSION CONTROL PLAN LOTS 20 thru 36
DRAWN BAL	MAPLESIDE II
CHECKED VLS	VILLAGE OF KINGS CONTRIVANCE SECTION 5 AREA 4 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
DATE Nov 1991	FOR: PATRIOT HOMES, INC. P.O. BOX 1018 COLUMBIA, MARYLAND 21044
SCALE 1" = 30'	
DRAWING 2 of 3	
JOB NO 91-116	
FILE NO 91-116SE	

SDP-92-56

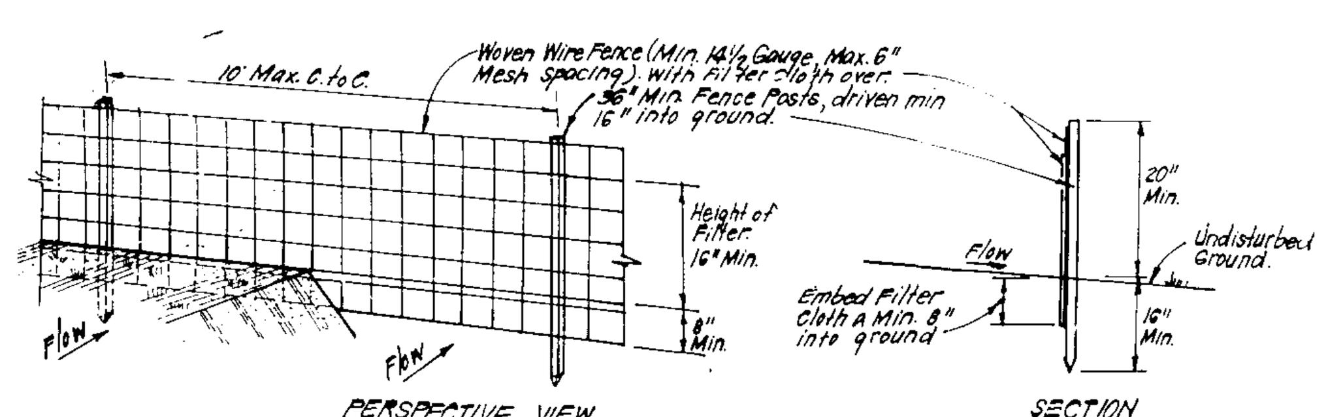


CONSTRUCTION SPECIFICATIONS :

1. Stone size -Use 2" stone, or reclaimed or recycled concrete equivalent.
2. Length -As required, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would apply.
3. Thickness - Not less than six (6) inches.
4. Width - Ten (10) foot minimum, but not less than the full width at points where ingress or egress occurs.
5. Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a single family residence lot.
6. Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted.
7. Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
8. Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device
9. Periodic inspection and needed maintenance shall be provided after each rain.

STABILIZED CONSTRUCTION ENTRANCE (SCE)

NO SCALE



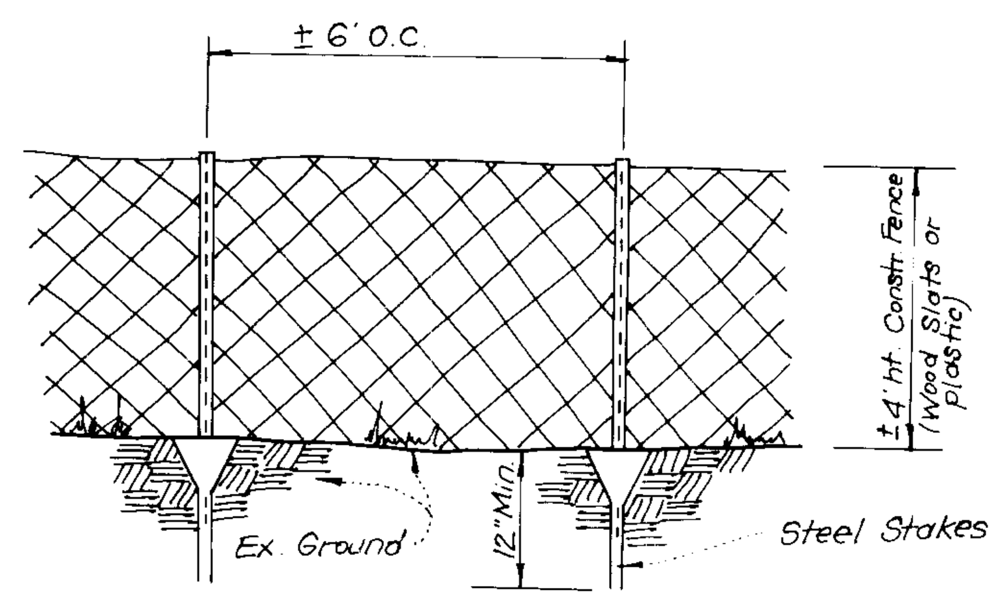
CONSTRUCTION SPECIFICATIONS:

1. Woven wire fence to be fastened securely to fence posts with wire ties or staples.
2. Filter Cloth to be fastened securely to woven wire fence with ties spaced every 24" at top and mid section.
3. When 2 sections of filter cloth adjoin each other they shall be overlapped by 6" and folded.
4. Maintenance shall be performed as needed and material removed when "bulges" develop in Silt Fence.

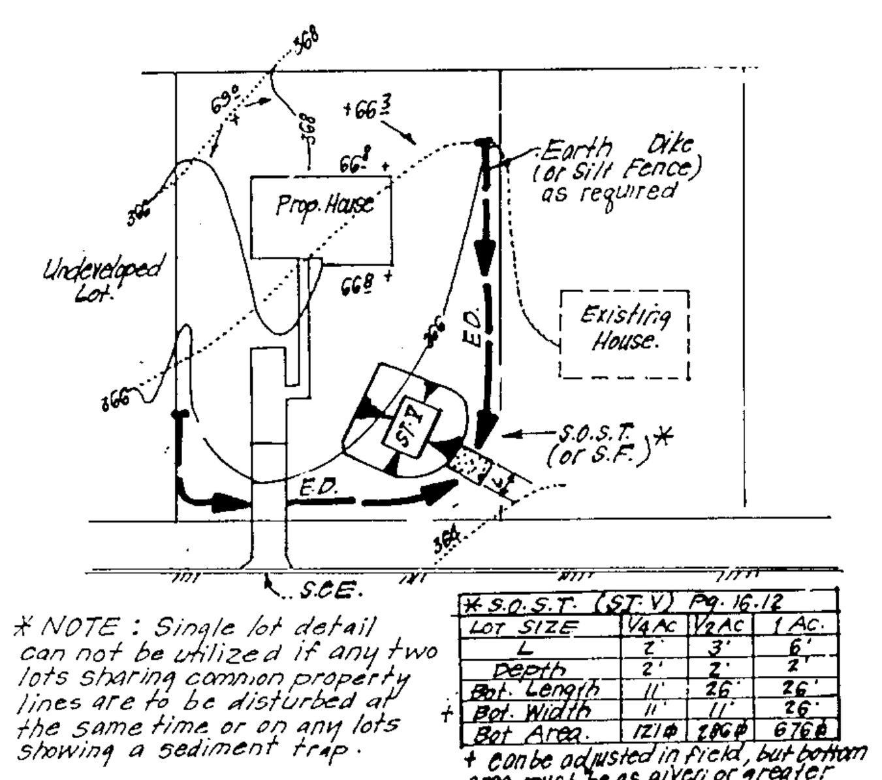
POSTS: Steel either T or U Type or 2" Hardwood.
FENCE: Woven Wire, 14½ Gage 6" Max. Mesh Opening.
FILTER CLOTH: Filter X, Mirafi 100X, Stablinka, T140N or Approv. equal.
PREFABRICATED UNIT: Geofab, Envirofence, or Approv. equal.

SILT FENCE DETAIL (9)

NO SCALE



TYPICAL TREE PROTECTION FENCE DETAIL



* NOTE : Single lot detail can not be utilized if any two lots sharing common property lines are to be disturbed at the same time or on any lots showing a sediment trap.

SINGLE LOT SEDIMENT CONTROL PLAN

NO SCALE

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

Soil Amendments: In lieu of soil test recommendations, use one of the following schedules

1) Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 square ft) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq ft).
2) Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.

Seeding - For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thre July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs/1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching - Apply 1½ to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

Maintenance - Inspect all seeded areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

Soil Amendments: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft)

Seeding: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2½ bushel per acre of annual rye (3.2 lbs/1000 sq ft). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (.07 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching: Apply 1½ to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes, 8 ft or higher, use 348 gal per acre (8 gal/1000 sq ft) for anchoring.

Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

SEDIMENT CONTROL NOTES

1) A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (992-2437)
2) All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
3) Following initial soil disturbance or redisturbance, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
4) All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chaper 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
5) All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 51) sod (Sec. 54), temporary seeding (Sec. 50) and mulching (Sec. 52.) Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
6) All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector
7) Site Analysis:
   - Total Area of Site 2.80 Acres
   - Area Disturbed 2.22 Acres
   - Area to be roofed or paved 1.08 Acres
   - Area to be vegetatively stabilized 1.14 Acres
   - Total Cut 6,493 Cu. yds
   - Total Fill 6,253 Cu. yds
   - Offsite waste/borrow area location ________
8) Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
9) Additional sediment control must be provided, if deemed necessary by the Howard County DPW sediment control inspector.
10) On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
11) If houses are to be constructed on an "As-Sold" basis, at random, Single Lot Sediment Control as shown below shall be implemented.
12) All pipes to be blocked at the end of each day (see detail below).
13) The total amount of straw bale dikes/silt fence equals 1305 L.F.

CONSTRUCTION SEQUENCE:

		No. of Days
A.	Obtain Grading Permit and Install Sediment and Erosion Control Devices Tree Protection Fence and Stabilize.	7
B.	Excavate for foundations and Rough Grade & Temporarily Stabilize.	30
C.	Construct Structures, Sidewalks and Driveways.	120
D.	Final Grade and stabilize in accordance with Stds. & Specs.	14
E.	Upon approval of the sediment control inspector, remove sediment and erosion controls and stabilize.	7

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS. HOWARD COUNTY HEALTH DEPARTMENT

[signature] 12-23-91
COUNTY HEALTH OFFICER — DATE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

[signature] 12/23/91
DIRECTOR — DATE

[signature] 12/23/91
CHIEF DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT — DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF RUBLIC WORKS

[signature] 12/20/91
DIRECTOR — DATE

[signature] M.K. 12-20-91
CHIEF BUREAU OF ENGINEERING — DATE

Reviewed for HOWARD S.C.D.
Name
and meets Technical Requirements
[signature] 12/17/91
Signature — Date
U.S. Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Robertson 12/17/91
Approved

DFVELOPER'S/BUILDER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan of development and plan for erosion and sediment control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

[signature] 11/12/91
Signature — Date

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I hereby certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

[signature] 11-12-91
G. Nelson Clark — Date

11-12-91

CLARK • FINEFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS
7135 MINSTREL WAY • COLUMBIA, MD. 21045 • (301) 381-7500 — BALTO. • (301) 621-8100 — WASH

DESIGNED	SEDIMENT & EROSION CONTROL PLAN LOTS 20 thru 36 MAPLESIDE II VILLAGE OF KING'S CONTRIVANCE SECTION 5 AREA 4 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE
KIWMc		As shown
DRAWN		DRAWING
BAL		3 OF 3
CHECKED		JOB NO.
KIWMc		91-116
DATE	FOR: PATRIOT HOMES, INC. P.O. Box 1018 Columbia, Maryland 21044	FILE NO.
Nov. 1991		91-116SE

SDP-92-56