

SITE DEVELOPMENT PLAN

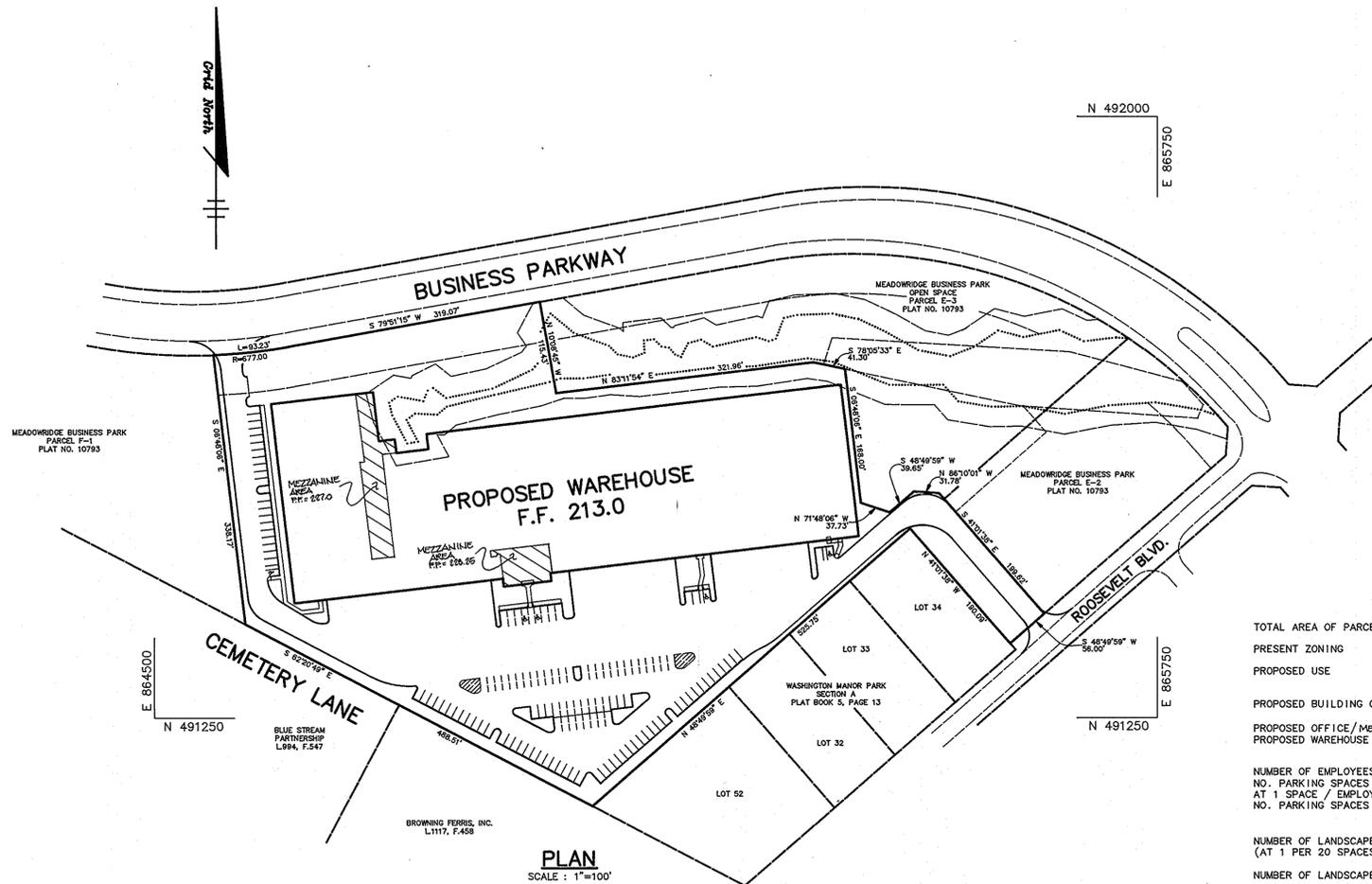
MEADOWRIDGE BUSINESS PARK PARCEL E-1

1st ELECTION DISTRICT HOWARD COUNTY, MARYLAND

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2	SITE DEVELOPMENT PLAN
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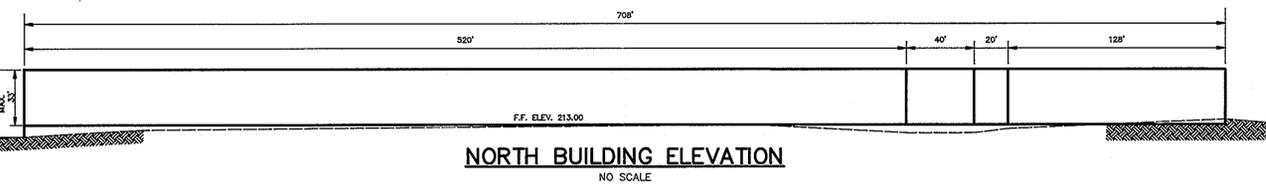
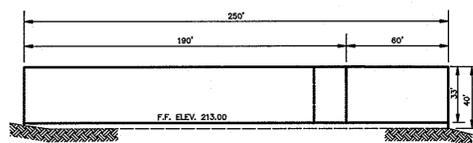
GENERAL NOTES

1. ALL WATER LINES SHALL BE CONSTRUCTED A MINIMUM OF 42" COVER BELOW FINISHED GRADE.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, I.S., STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, 1990 AMENDMENTS.
3. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FROM BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS TO VERIFY THEIR LOCATION AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF LOCATION OF UTILITIES IS OTHER THAN SHOWN.
5. CONTRACTOR TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS:
 MISS UTILITY 1-800-257-7777
 CAP TELEPHONE COMPANY 725-8976
 HOWARD COUNTY BUREAU OF UTILITIES 313-4900
 AT&T CABLE LOCATION DIVISION 383-3553
 BALTIMORE GAS & ELECTRIC COMPANY 685-0123
 STATE HIGHWAY ADMINISTRATION 531-8533
 HOWARD COUNTY CONSTRUCTION/INSPECTION SURVEY 313-1880
 DIVISION (24 HOURS NOTICE PRIOR TO COMMENCEMENT OF WORK)
6. ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
7. ALL PIPE ELEVATIONS SHOWN ARE \ominus INVERT.
8. THE CONTRACTOR SHALL PROVIDE A JOINT IN ALL SEWER MAINS WITHIN 2'-0" OF EXTERIOR MANHOLE WALLS.
9. PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
10. NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT TO SURFACE.
11. TOPO TAKEN FROM FIELD RUN SURVEY DATED AUGUST, 1990 BY RIEMER MUEGGE & ASSOCIATES, INC. AND FROM MEADOWRIDGE BUSINESS PARK PLANS, F-89-163.
12. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
13. ALL STORM DRAIN PIPE BEDDING SHALL BE AS SHOWN IN DETAIL 02.01 (TRENCH IN ROCK OR TRENCH IN EARTH AS DETERMINED BY FIELD CONDITIONS) IN VOL. IV OF HOWARD COUNTY DESIGN MANUAL UNLESS OTHERWISE DIRECTED BY THE ENGINEER OR AS SHOWN ON THE DRAWINGS.
14. THE DEVELOPER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR THE SEWAGE AND EROSION CONTROL PRACTICES, STORM WATER MANAGEMENT PRACTICES AND THE DISCHARGE OF STORM WATER ONTO OR ADJACENT TO DOWNSTREAM PROPERTIES INCLUDED IN THIS PLAN. HE IS ALSO RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR WORK ON ADJACENT PROPERTIES INCLUDED IN THIS PLAN.
15. THE OWNER SHALL PROVIDE A SEPARATE AND INDEPENDENT SEWER CONNECTION FOR EACH TENANT OR OCCUPANT OF ANY BUILDING, SHOWN ON THIS SITE DEVELOPMENT PLAN, WHO WILL DISCHARGE NON-DOMESTIC WASTE TO THE PUBLIC SEWERAGE SYSTEM IF THIS WASTE IS REGULATED UNDER SECTION 19.122A OF THE HOWARD COUNTY CODE. EACH SEPARATE AND INDEPENDENT SEWER CONNECTION SHALL INCLUDE A STANDARD MANHOLE AND OTHER WATER TREATMENT DEVICES AS REQUIRED AND APPROVED BY HOWARD COUNTY. WASTE LINES ON THE INTERIOR OF THE BUILDING SHALL BE DESIGNED, CONSTRUCTED AND MODIFIED SUCH THAT NON-DOMESTIC WASTE WILL BE DISCHARGED TO THE SEPARATE AND INDEPENDENT SEWER CONNECTION. NO PLAN SHALL DISCHARGE REGULATED NON-DOMESTIC WASTE TO THE PUBLIC SEWERAGE SYSTEM PRIOR TO INSTALLATION OF THE SEPARATE AND INDEPENDENT SEWER CONNECTION AND RELATED INTERIOR WASTE LINES. THE ABOVE REQUIREMENTS SHALL APPLY TO ALL INITIAL AND FUTURE OCCUPANTS OR TENANTS.
16. AS PER PLAT 9047:
 THE WETLANDS BUFFER INDICATED ON THIS PLAT DOES NOT AFFECT THE INITIAL CONSTRUCTION OF THE GRADING, BUILDING, PARKING, AND UTILITIES ON A LOT OR PARCEL. IT DOES PROHIBIT SUBSEQUENT CLEARING, GRADING, OR CONSTRUCTION IN BUFFER AREA. MAINTENANCE OF BUILDINGS, PARKING, LANDSCAPING, AND UTILITIES IS PERMITTED.
17. THE PAVEMENT DETAILS SHOWN ON SHEET 8 OF 8 OF THIS PLAN REFLECT THE HOWARD COUNTY MINIMUM STANDARD PAVEMENT SECTIONS AND ARE NOT BASED ON SITE SPECIFIC CONDITIONS. PRIOR TO PAVING, THE FINAL PAVEMENT SECTIONS SHALL BE DETERMINED BY A QUALIFIED GEOTECHNICAL ENGINEER BASED ON IN-SITU TESTING OF THE FINISHED SUBGRADE.
18. WP-91-100, A REQUEST TO WAIVE SECTION 16.116(C)(6) WHICH PROHIBITS GRADING OR REMOVAL OF VEGETATION WITHIN 25 FEET OF A WETLAND, AND ALLOW BUFFER DISTURBANCE ON ALL PARCELS FOR WHICH THERE IS NO APPROVED SITE DEVELOPMENT PLAN. WP-91-100 WAS GRANTED APPROVAL ON MARCH 1, 1991. AS PER APPROVAL CONDITION #4, WE HAVE PROVIDED A SNOW FENCE ALONG THE LIMIT OF DISTURBANCE IN THE 25' BUFFER AREA (SEE SHEET 3 OF 8). AS PER APPROVAL CONDITION #5 WE HAVE PROVIDED ADDITIONAL LANDSCAPING IN THE BUFFER AREAS ON SHEET 8 OF 8.
19. ALL TENANCIES SHALL BE ACCESSIBLE TO AND USABLE BY HANDICAPPED INDIVIDUALS IN ACCORDANCE WITH THE MARYLAND BUILDING CODE FOR THE HANDICAPPED.
20. SITE LIGHTING TO BE PROVIDED BY BALTIMORE GAS AND ELECTRIC. CONTRACTOR TO PROVIDE COORDINATION FOR THE INSTALLATION.
21. WP-92-85, A REQUEST TO WAIVE SECTIONS 16.103(C), 16.121(A)(6) AND 16.147(C) WAS APPROVED ON DECEMBER 9, 1991 TO ALLOW 6-MONTH TIME EXTENSIONS FOR PLAT, SDP, WP-91-100 AND WP-91-82.
22. WP-9-205, A REQUEST TO WAIVE SECTION 16.147(C) TO PERMIT 6-MONTH EXTENSION OF SDP WAS APPROVED ON JULY 15, 1992.
23. WP-93-38, A REQUEST TO WAIVE SECTION 16.116(P) TO PERMIT 6-MONTH EXTENSION OF FINAL PLAT WAS APPROVED ON NOVEMBER 12, 1992.
24. WP-93-74, A REQUEST TO WAIVE SECTION 16.147(C) TO PERMIT 6-MONTH EXTENSION OF SDP SUBMISSION WAS APPROVED ON FEBRUARY 26, 1993.



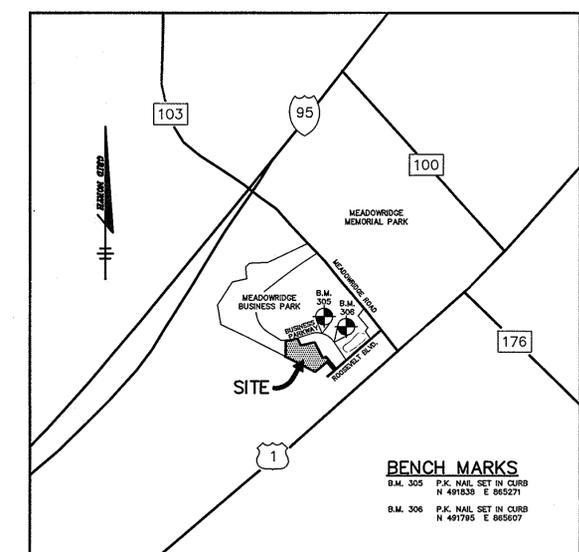
SITE TABULATION

TOTAL AREA OF PARCEL	8.18 Ac.
PRESENT ZONING	M-1
PROPOSED USE	WAREHOUSE/DISTRIBUTION BUILDING - ONE STORY
PROPOSED BUILDING COVERAGE	142,040 S.F. (3.26 Ac.) (39.1% OF TOTAL ACREAGE)
PROPOSED OFFICE/MEZZANINE AREA	7,500 S.F.
PROPOSED WAREHOUSE	134,540 S.F.
NUMBER OF EMPLOYEES	90
NO. PARKING SPACES REQUIRED	90
AT 1 SPACE / EMPLOYEE	124. (INCLUDES 5 HANDICAPPED) WITH ADDITIONAL 8 COMPACT SPACES
NO. PARKING SPACES PROVIDED	8 ISLANDS
NUMBER OF LANDSCAPED ISLANDS REQUIRED (AT 1 PER 20 SPACES)	8 ISLANDS
NUMBER OF LANDSCAPED ISLANDS PROVIDED	8 SHADE TREES
NUMBER OF SHADE TREES REQUIRED (AT 1 PER 20 SPACES)	8 SHADE TREES
NUMBER OF SHADE TREES PROVIDED	2.02 Ac. (24.7% OF TOTAL AC.)
GREEN SPACE PROVIDED	

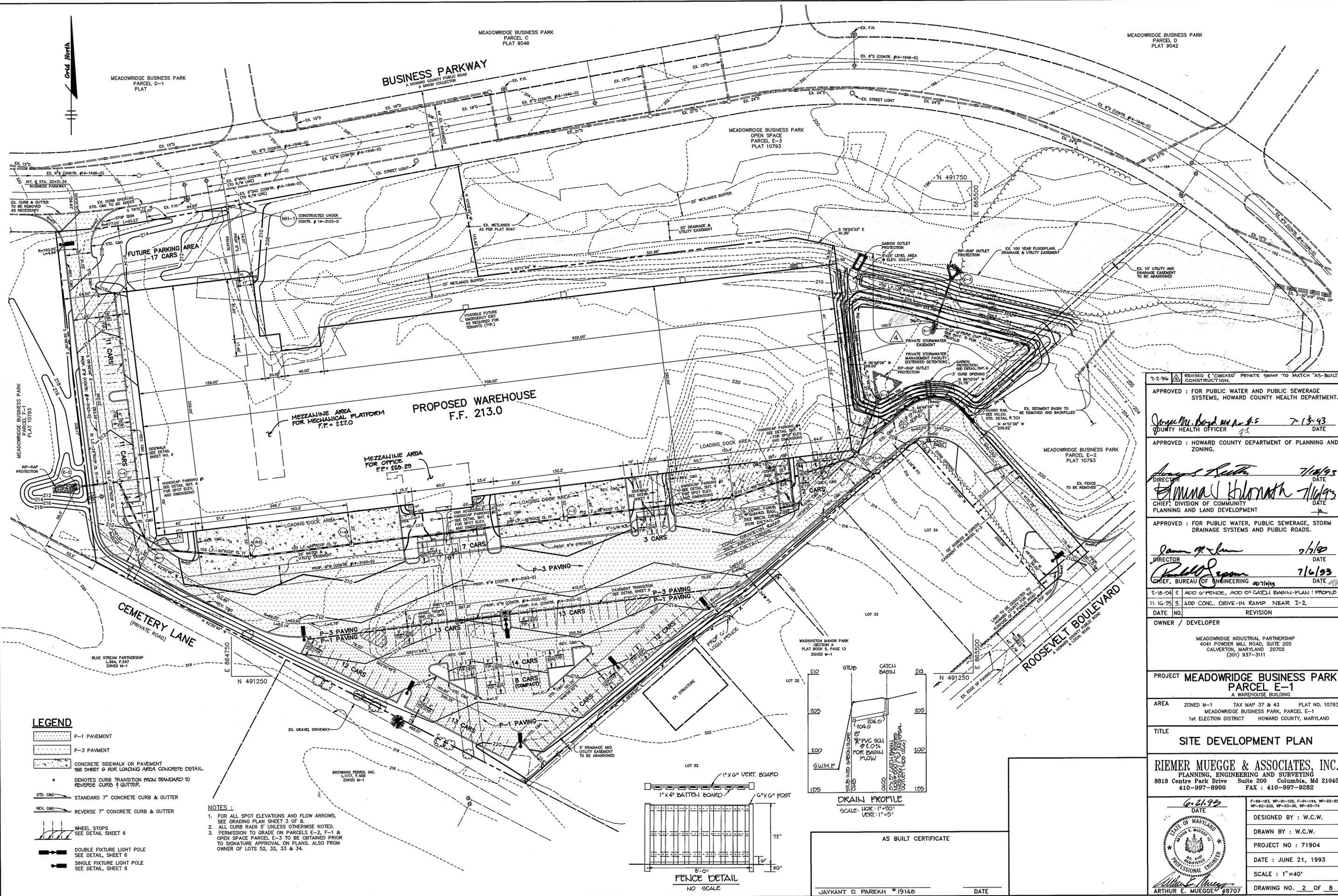


ADDRESS CHART

PARCEL	STREET ADDRESS	
E-1	6740 BUSINESS PARKWAY	
SUBDIVISION NAME - MEADOWRIDGE BUSINESS PARK		
SECTION/AREA - PARCEL E-1		
PLAT # - 10793	BLOCK # - 22 & 5	ZONING - M-1
TAX MAP NO. - 37 & 43	ELECT. DIST. - 1st	CENSUS TRACT - 6012
WATER CODE - B01	SEWER CODE - 2153000	



AS BUILT CERTIFICATE	
ARTHUR E. MUEGGE #8707	DATE
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.	
<i>Arthur E. Muegge</i>	7-13-93
COUNTY HEALTH OFFICER	DATE
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.	
<i>James B. Smith</i>	7/16/93
DIRECTOR	DATE
<i>Thomas J. Hannon</i>	7/16/93
CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT	DATE
APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.	
<i>James J. Lee</i>	7/16/93
DIRECTOR	DATE
<i>Paul J. Spon</i>	7/16/93
CHIEF, BUREAU OF ENGINEERING	DATE
11-9-05	1
DATE	NO. REVISION
OWNER / DEVELOPER	
MEADOWRIDGE INDUSTRIAL PARTNERSHIP 4041 POWELL MILL ROAD, SUITE 205 CALVERTON, MARYLAND 20705 (301) 937-3111	
PROJECT MEADOWRIDGE BUSINESS PARK PARCEL E-1 A WAREHOUSE BUILDING	
AREA	ZONED M-1 TAX MAP 37 & 43 PLAT NO. 10793 MEADOWRIDGE BUSINESS PARK, PARCEL E-1 1st ELECTION DISTRICT HOWARD COUNTY, MARYLAND
TITLE	
TITLE SHEET	
RIEMER MUEGGE & ASSOCIATES, INC. PLANNING, ENGINEERING AND SURVEYING 8818 Centre Park Drive Suite 200 Columbia, Md 21045 410-997-8900 FAX: 410-997-9282	
<i>Arthur E. Muegge</i>	6-21-93
ARTHUR E. MUEGGE #8707	DATE
DESIGNED BY: W.C.W.	
DRAWN BY: W.C.W.	
PROJECT NO: 71904	
DATE: JUNE 21, 1993	
SCALE: AS SHOWN	
DRAWING NO. 1 OF 8	



7-2-96 REVISÉ & CHECKED PRIVATE SWMP TO MATCH "AS-BUILT" CONSTRUCTION.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

Joseph M. Bond III 7-13-93
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

James R. Smith 7/16/93
DIRECTOR DATE

Annal Blomath 7/16/93
CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

James A. Lee 7/16/93
DIRECTOR DATE

Charles E. Jones 7/16/93
CHIEF, BUREAU OF ENGINEERING DATE

8-18-94 ADD 6" FENCE, ADD 6" CATCH BASIN-PLAN: PROFILE

11-16-95 ADD CONC. DRIVE-IN RAMP NEAR I-2

OWNER / DEVELOPER
MEADOWRIDGE INDUSTRIAL PARTNERSHIP
4041 POWDER MILL ROAD, SUITE 205
CALVERTON, MARYLAND 20705
(301) 937-3111

PROJECT **MEADOWRIDGE BUSINESS PARK**
PARCEL E-1
A WAREHOUSE BUILDING

AREA ZONED M-1 TAX MAP 37 & 43 PLAT NO. 10793
MEADOWRIDGE BUSINESS PARK, PARCEL E-1
1st ELECTION DISTRICT HOWARD COUNTY, MARYLAND

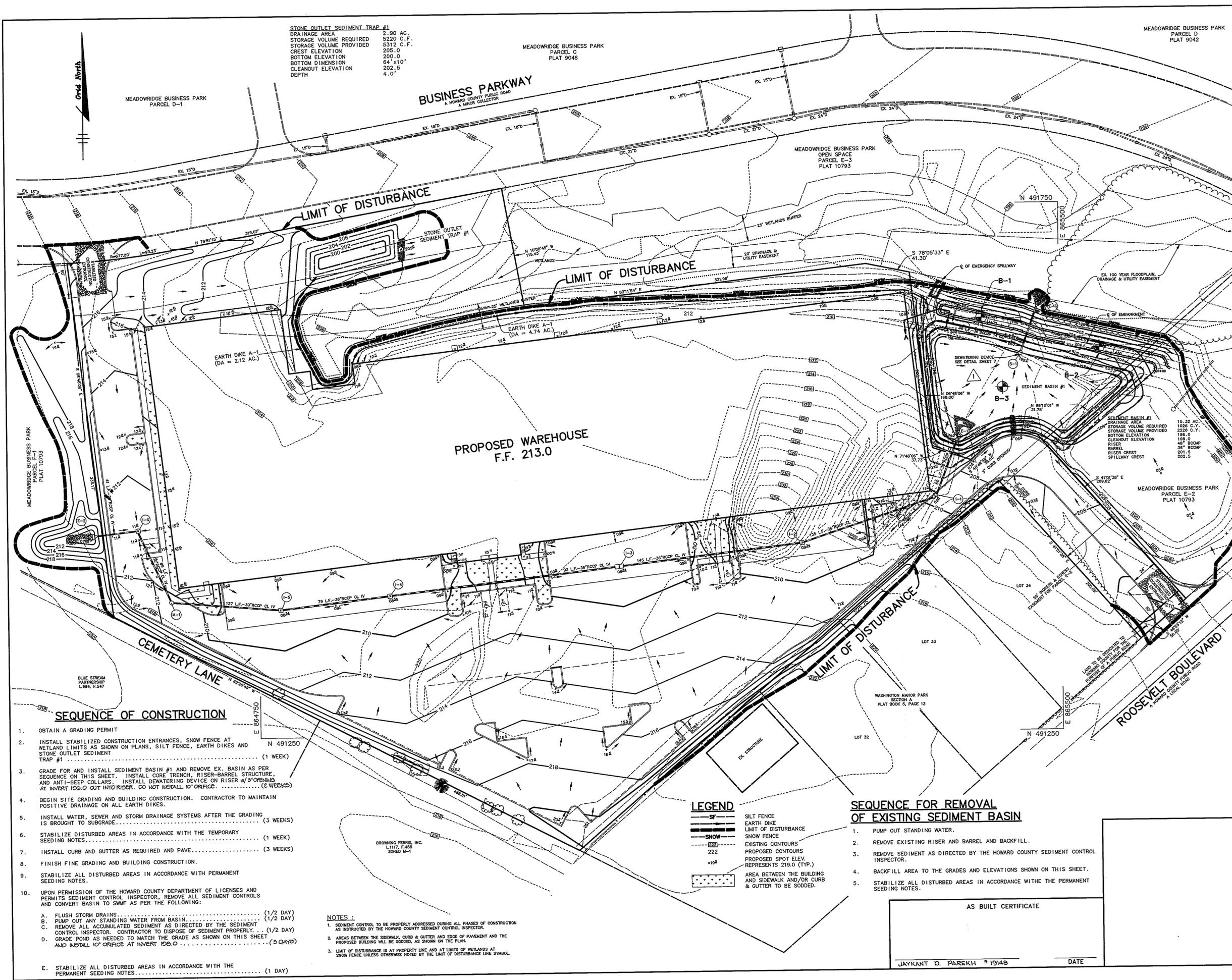
TITLE
SITE DEVELOPMENT PLAN

RIEMER MUEGGE & ASSOCIATES, INC.
PLANNING, ENGINEERING AND SURVEYING
8818 Centre Park Drive Suite 200 Columbia, Md 21045
410-897-8900 FAX: 410-897-9282

DATE: 6-21-93

DESIGNED BY: W.C.W.
DRAWN BY: W.C.W.
PROJECT NO: 71904
DATE: JUNE 21, 1993
SCALE: 1"=40'
DRAWING NO. 2 OF 8





STONE OUTLET SEDIMENT TRAP #1
 DRAINAGE AREA 2.90 AC.
 STORAGE VOLUME REQUIRED 5220 C.F.
 STORAGE VOLUME PROVIDED 5312 C.F.
 CREST ELEVATION 205.0
 BOTTOM ELEVATION 200.0
 BOTTOM DIMENSION 64' x 10'
 CLEANOUT ELEVATION 202.5
 DEPTH 4.0'

MEADOWRIDGE BUSINESS PARK
 PARCEL C
 PLAT 9046

MEADOWRIDGE BUSINESS PARK
 PARCEL D
 PLAT 9042

MEADOWRIDGE BUSINESS PARK
 PARCEL D-1

BUSINESS PARKWAY
 A HOWARD COUNTY PUBLIC ROAD
 A MINOR COLLECTOR

MEADOWRIDGE BUSINESS PARK
 OPEN SPACE
 PARCEL E-3
 PLAT 10793

PROPOSED WAREHOUSE
 F.F. 213.0

EARTH DIKE A-1
 (DA = 2.12 AC.)

SEQUENCE OF CONSTRUCTION

- OBTAIN A GRADING PERMIT
- INSTALL STABILIZED CONSTRUCTION ENTRANCES, SNOW FENCE AT WETLAND LIMITS AS SHOWN ON PLANS, SILT FENCE, EARTH DIKES AND STONE OUTLET SEDIMENT TRAP #1 (1 WEEK)
- GRADE FOR AND INSTALL SEDIMENT BASIN #1 AND REMOVE EX. BASIN AS PER SEQUENCE ON THIS SHEET. INSTALL CORE TRENCH, RISER-BARREL STRUCTURE, AND ANTI-SEEP COLLARS. INSTALL DEWATERING DEVICE ON RISER w/ 9" OPENING AT INVERT 106.0 CUT INTO RISER. DO NOT INSTALL 10" ORIFICE. (2 WEEKS)
- BEGIN SITE GRADING AND BUILDING CONSTRUCTION. CONTRACTOR TO MAINTAIN POSITIVE DRAINAGE ON ALL EARTH DIKES.
- INSTALL WATER, SEWER AND STORM DRAINAGE SYSTEMS AFTER THE GRADING IS BROUGHT TO SUBGRADE. (3 WEEKS)
- STABILIZE DISTURBED AREAS IN ACCORDANCE WITH THE TEMPORARY SEEDING NOTES. (1 WEEK)
- INSTALL CURB AND GUTTER AS REQUIRED AND PAVE. (3 WEEKS)
- FINISH FINE GRADING AND BUILDING CONSTRUCTION.
- STABILIZE ALL DISTURBED AREAS IN ACCORDANCE WITH PERMANENT SEEDING NOTES.
- UPON PERMISSION OF THE HOWARD COUNTY DEPARTMENT OF LICENSES AND PERMITS SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT CONTROLS AND CONVERT BASIN TO SWMF AS PER THE FOLLOWING:
 - A. FLUSH STORM DRAINS. (1/2 DAY)
 - B. PUMP OUT ANY STANDING WATER FROM BASIN. (1/2 DAY)
 - C. REMOVE ALL ACCUMULATED SEDIMENT AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. CONTRACTOR TO DISPOSE OF SEDIMENT PROPERLY. (1/2 DAY)
 - D. GRADE POND AS NEEDED TO MATCH THE GRADE AS SHOWN ON THIS SHEET AND INSTALL 10" ORIFICE AT INVERT 106.0. (5 DAYS)
- E. STABILIZE ALL DISTURBED AREAS IN ACCORDANCE WITH THE PERMANENT SEEDING NOTES. (1 DAY)

NOTES:
 1. SEDIMENT CONTROL TO BE PROPERLY ADDRESSED DURING ALL PHASES OF CONSTRUCTION AS INSTRUCTED BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
 2. AREAS BETWEEN THE SIDEWALK, CURB & GUTTER AND EDGE OF PAVEMENT AND THE PROPOSED BUILDING WILL BE SOODED, AS SHOWN ON THE PLAN.
 3. LIMIT OF DISTURBANCE IS AT PROPERTY LINE AND AT LIMITS OF WETLANDS AT SNOW FENCE UNLESS OTHERWISE NOTED BY THE LIMIT OF DISTURBANCE LINE SYMBOL.

LEGEND

- SF SILT FENCE
- ED EARTH DIKE
- LD LIMIT OF DISTURBANCE
- SNOW SNOW FENCE
- 222 EXISTING CONTOURS
- 222 PROPOSED CONTOURS
- 222 PROPOSED SPOT ELEV. REPRESENTS 219.0 (TYP.)
- x198 AREA BETWEEN THE BUILDING AND SIDEWALK AND/OR CURB & GUTTER TO BE SOODED.

SEQUENCE FOR REMOVAL OF EXISTING SEDIMENT BASIN

- PUMP OUT STANDING WATER.
- REMOVE EXISTING RISER AND BARREL AND BACKFILL.
- REMOVE SEDIMENT AS DIRECTED BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- BACKFILL AREA TO THE GRADES AND ELEVATIONS SHOWN ON THIS SHEET.
- STABILIZE ALL DISTURBED AREAS IN ACCORDANCE WITH THE PERMANENT SEEDING NOTES.

AS BUILT CERTIFICATE

JAYKANT D. PAREKH # 19148 DATE

BY THE DEVELOPER:
 I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

David E. Morris 6-18-93
 DEVELOPER DATE

BY THE ENGINEER:
 I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

Arthur E. Muegge 6-21-93
 ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

James M. Helms 6/24/93
 U.S. SOIL CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Robert W. Ziehm 6/24/93
 HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

James R. Bagley 7-13-93
 COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

August Smith 7/16/93
 DIRECTOR DATE

Anna M. Blomach 7/16/93
 CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

James J. Lee 7/7/93
 DIRECTOR DATE

Paul W. Spear 7/16/93
 CHIEF, BUREAU OF ENGINEERING DATE

7-2-96 MODIFIED PRIVATE SWMF TO CONFORM WITH "AS-BUILT" CONSTRUCTION.

OWNER / DEVELOPER
 MEADOWRIDGE INDUSTRIAL PARTNERSHIP
 4041 POWDER MILL ROAD, SUITE 205
 CALVERTON, MARYLAND 20705
 (301) 937-3111

PROJECT MEADOWRIDGE BUSINESS PARK
 PARCEL E-1
 A WAREHOUSE BUILDING
 AREA ZONED M-1 TAX MAP 37 & 43 PLAT NO. 10793
 MEADOWRIDGE BUSINESS PARK, PARCEL E-1
 1st ELECTION DISTRICT HOWARD COUNTY, MARYLAND

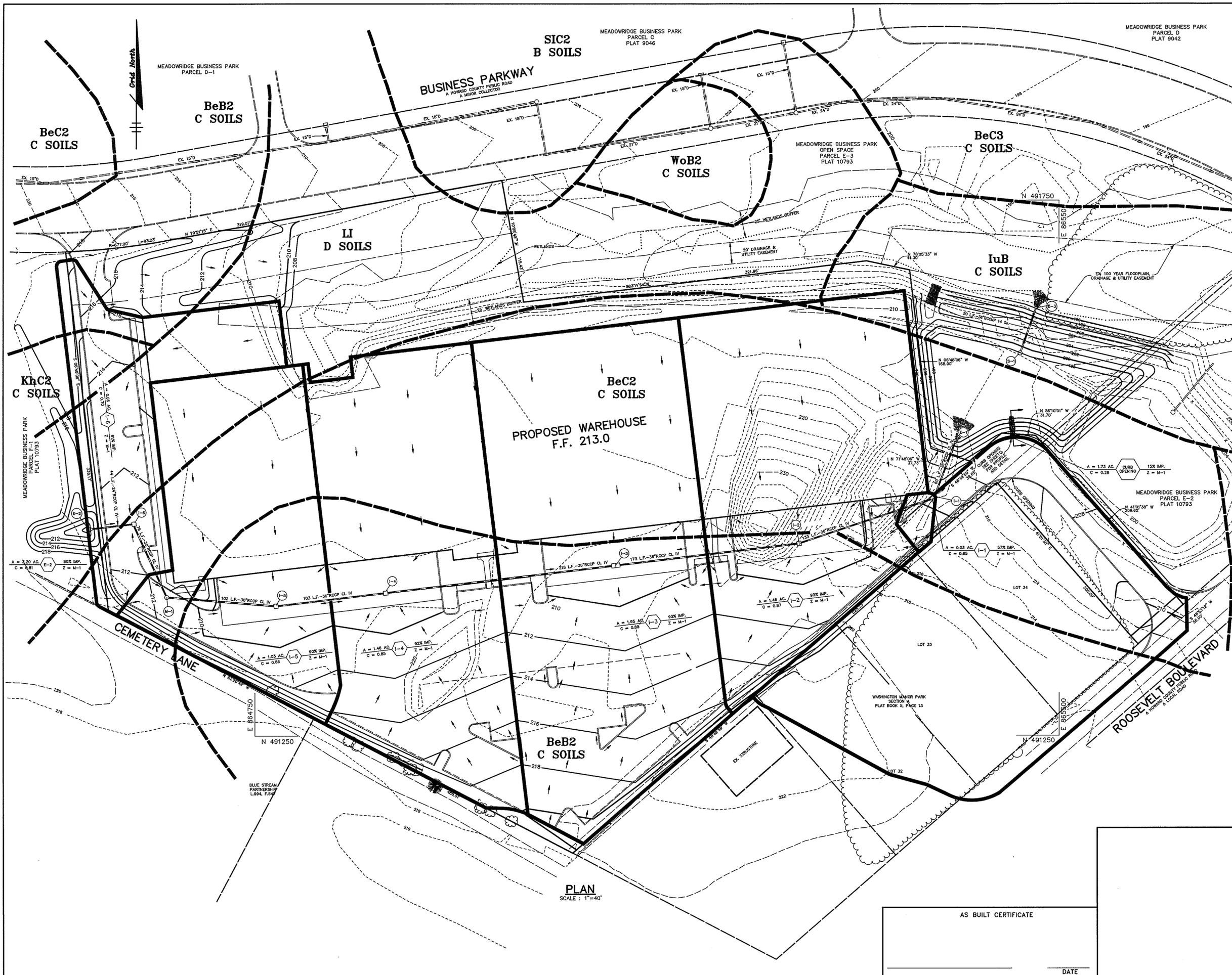
TITLE GRADING AND SEDIMENT CONTROL PLAN

RIEMER MUEGGE & ASSOCIATES, INC.
 PLANNING, ENGINEERING AND SURVEYING
 8818 Centre Park Drive Suite 200 Columbia, Md 21045
 410-997-8900 FAX: 410-997-9282

DATE 6-21-93
 DESIGNED BY: W.C.W.
 DRAWN BY: W.C.W.
 PROJECT NO: 71904
 DATE: JUNE 21, 1993
 SCALE: 1"=40'
 DRAWING NO. 3 OF 8



F-89-163, WP-91-100, F-91-144, WP-92-85, WP-92-205, WP-93-36, WP-93-74



LEGEND

BeB2	BELTSVILLE SILT LOAM, 1-5% SLOPES, MOD. ERODED
BeC2	BELTSVILLE SILT LOAM, 5-10% SLOPES, MOD. ERODED
BeC3	BELTSVILLE SILT LOAM, 5-10% SLOPES, SEV. ERODED
IuB	IUKA LOAM, LOCAL ALLUVIUM, 1-5% SLOPES
KhC2	KEYPORT SILT LOAM, 3-10% SLOPES, MOD. ERODED
LI	LEONARDTOWN SILT LOAM
SIC2	SASSAFRAS LOAM, 5-10% SLOPES, MOD. ERODED
WoB2	WOODSTOWN SANDY LOAM, 1-5% SLOPES, MOD. ERODED
SOILS TAKEN FROM HOWARD COUNTY SOILS MAP #30	
	DRAINAGE AREA
	SOILS TYPE DELINEATION

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

James B. ... 7-13-93
 COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

James B. ... 7/6/93
 DIRECTOR DATE

Arnold Blomath 7/6/93
 CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

James B. ... 7/6/93
 DIRECTOR DATE

Paul D. ... 7/6/93
 CHIEF, BUREAU OF ENGINEERING DATE

DATE	NO.	REVISION

OWNER / DEVELOPER
 MEADOWRIDGE INDUSTRIAL PARTNERSHIP
 4041 POWER MILL ROAD, SUITE 205
 CALVERTON, MARYLAND 20705
 (301) 937-3111

PROJECT **MEADOWRIDGE BUSINESS PARK PARCEL E-1**
 A WAREHOUSE BUILDING

AREA ZONED M-1 TAX MAP 37 & 43 PLAT NO. 10793
 MEADOWRIDGE BUSINESS PARK, PARCEL E-1
 1st ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE **DRAINAGE AREA & SOILS MAP**

RIEMER MUEGGE & ASSOCIATES, INC.
 PLANNING, ENGINEERING AND SURVEYING
 8818 Centre Park Drive Suite 200 Columbia, Md 21045
 410-997-8900 FAX: 410-997-9282

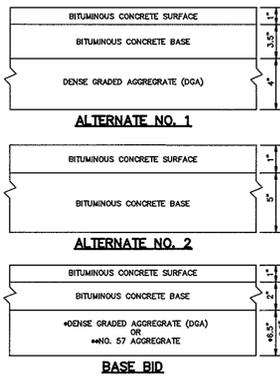
6-21-93

 DESIGNED BY: W.C.W.
 DRAWN BY: W.C.W.
 PROJECT NO: 71904
 DATE: JUNE 21, 1993
 SCALE: AS SHOWN
 DRAWING NO. 4 OF 8

PLAN
 SCALE: 1"=40'

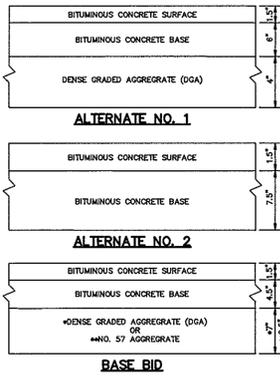
AS BUILT CERTIFICATE

DATE



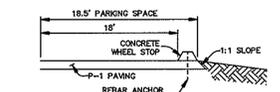
NOTES:
 1. THE PAVEMENT SPECIFICATIONS SHOWN ARE BASED ON CBR VALUE OF 4 AS PER HOWARD COUNTY DESIGN MANUAL, VOLUME IV.
 2. BITUMINOUS CONCRETE TO BE PLACED AND COMPACTED IN 5 INCH MAXIMUM LOOSE THICKNESS LAYERS.
 3. DENSE GRADED AGGREGATE (DGA) AND NO. 57 STONE TO BE PLACED AND COMPACTED IN 6 INCH MAXIMUM COMPACTED THICKNESS LAYERS.

P-1 PAVING
NO SCALE



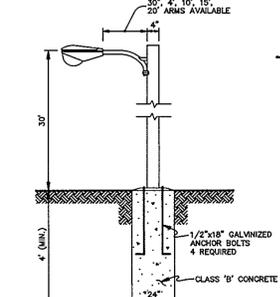
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 2. BITUMINOUS CONCRETE TO BE PLACED AND COMPACTED IN 5 INCH MAXIMUM LOOSE THICKNESS LAYERS.
 3. DENSE GRADED AGGREGATE (DGA) AND NO. 57 STONE TO BE PLACED AND COMPACTED IN 6 INCH MAXIMUM COMPACTED THICKNESS LAYERS.

P-3 PAVING
NO SCALE

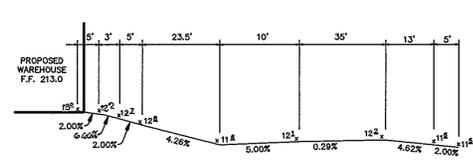
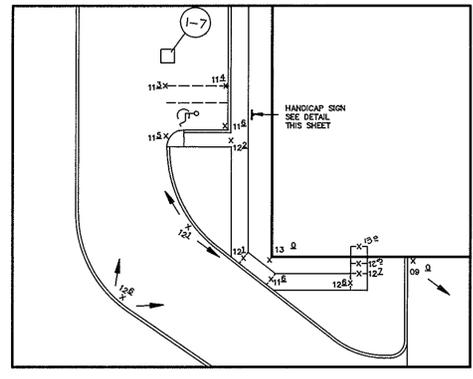


CONCRETE WHEEL STOP LOCATION PLAN
NO SCALE

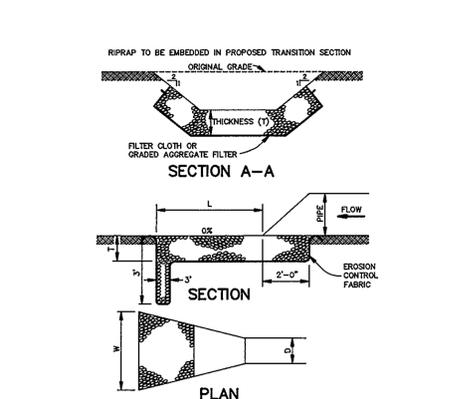
- ALL LIGHT FIXTURES TO BE SINGLE LUMINAIRE 400 WATT SODIUM VAPOR TYPE WITH METAL POLES AND DIRECTED DOWNWARD.
- LOCATIONS OF LIGHT FIXTURES ARE ON THE PLAN AND ARE SHOWN THIS: [Symbol]
- LIGHTS TO BE MOBILE II TYPE AS MANUFACTURED BY MOLDCAST OR APPROVED EQUAL.
- POLE AND FIXTURE TO BE PROVIDED BY BOME.
- POLE TO BE LOCATED 3' BACK FROM BACK OF CURB.



LIGHT POLE DETAIL
NO SCALE

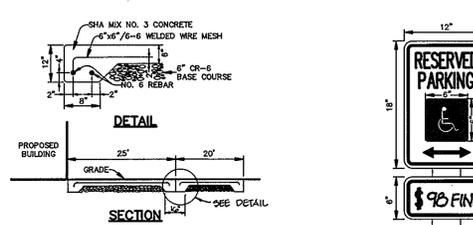


PLAN AND PROFILE HANDICAP RAMP # 1
NO SCALE

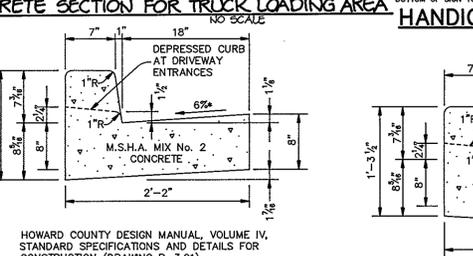


STRUCTURE	MEDIUM STONE DIA. (L)	LENGTH (L)	WIDTH (W)	THICKNESS (T)
E-1	24"	28'	34"	43"
E-2	6"	25'	6"	14"
E-3	12"	15'	15"	27"

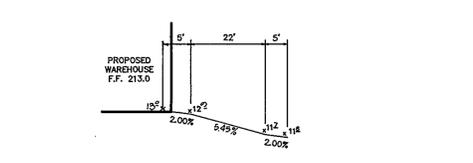
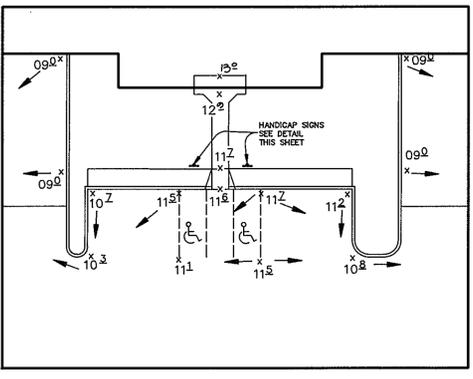
RIPRAP OUTLET PROTECTION DETAIL
NO SCALE



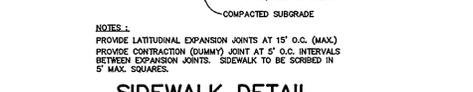
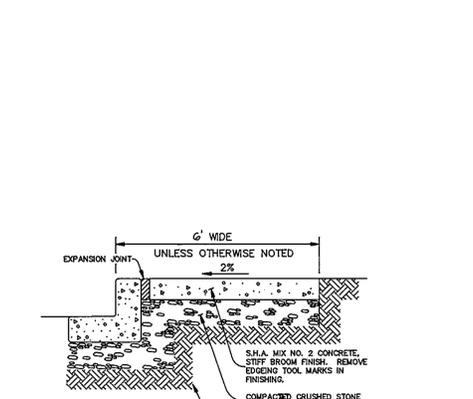
CONCRETE SECTION FOR TRUCK LOADING AREA
NO SCALE



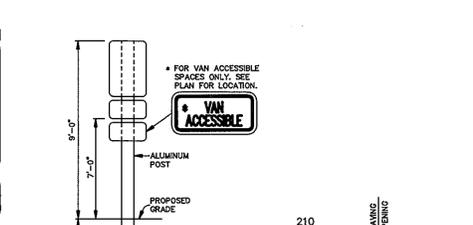
STANDARD 7" COMBINATION CURB AND GUTTER
NO SCALE



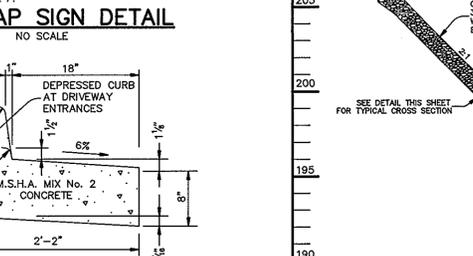
PLAN AND PROFILE HANDICAP RAMP # 2
NO SCALE



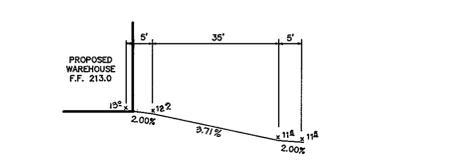
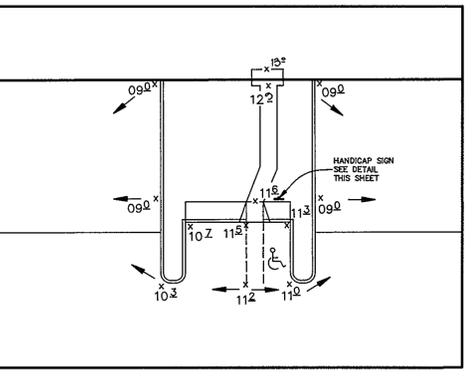
SIDEWALK DETAIL ADJACENT TO CURB
NO SCALE



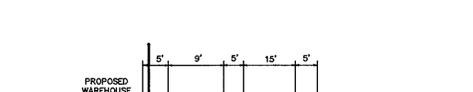
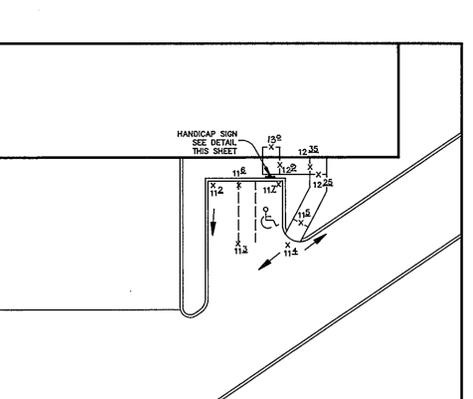
HANDICAP SIGN DETAIL
NO SCALE



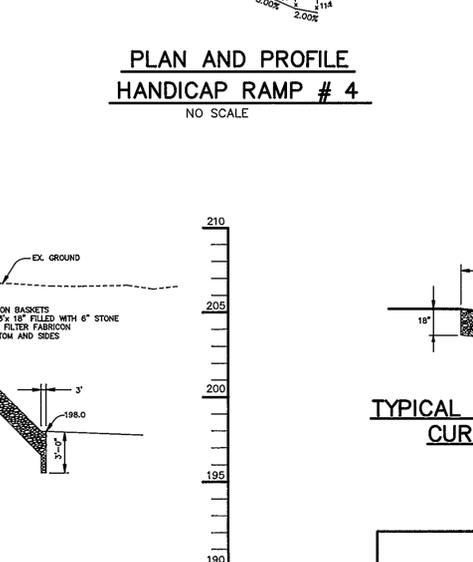
REVERSE 7" COMBINATION CURB AND GUTTER
NO SCALE



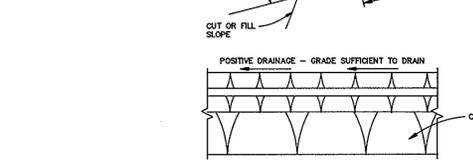
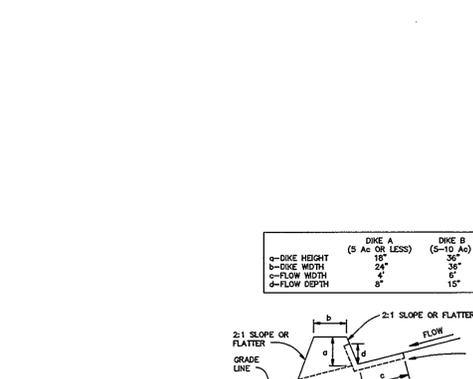
PLAN AND PROFILE HANDICAP RAMP # 3
NO SCALE



PLAN AND PROFILE HANDICAP RAMP # 4
NO SCALE



PROFILE THRU CENTERLINE CURB OPENING
SCALE: HOR.-1"=10' VERT.-1"=5'



EARTH DIKE
NO SCALE

CONSTRUCTION SPECIFICATIONS

- ALL DIKES SHALL BE COMPACTED BY EARTH-MOVING EQUIPMENT.
- ALL DIKES SHALL HAVE POSITIVE DRAINAGE TO AN OUTLET.
- TOP WIDTH MAY BE WIDER AND SIDE SLOPES MAY BE FLATTER IF DESIRED TO FACILITATE CROSSING BY CONSTRUCTION TRAFFIC.
- FIELD LOCATION SHOULD BE ADJUSTED AS NEEDED TO UTILIZE A STABILIZED SAFE OUTLET.
- EARTH DIKES SHALL HAVE AN OUTLET THAT FUNCTIONS WITH A MINIMUM OF EROSION. RUNOFF SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE SUCH AS A SEDIMENT TRAP OR SEDIMENT BASIN WHERE EITHER THE DIKE CHANNEL OR THE DRAINAGE AREA ABOVE THE DIKE ARE NOT ADEQUATELY STABILIZED.
- STABILIZATION SHALL BE: (A) IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEED AND STRAW MULCH OR STRAW MULCH IF NOT IN SEEDING SEASON, (B) FLOW CHANNEL AS PER THE CHART BELOW:

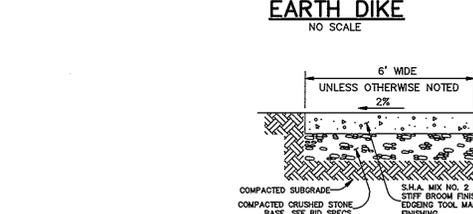
TYPE OF TREATMENT	CHANNEL GRADE	DIKE A	DIKE B
1	0.5-3.0%	SEED & STRAW MULCH	SEED & STRAW MULCH
2	3.1-5.0%	SEED & STRAW MULCH	SEED USING JUTE, OR EXCESSIVE 300L ² STONE
3	5.1-8.0%	SEED WITH JUTE, OR SOO; 2" STONE	LINED RIPRAP 4-6"
4	8.1-20%	LINED RIPRAP 4-6"	ENGINEERED DESIGN

A. STONE TO BE 2 INCH STONE, OR RECYCLED CONCRETE EQUIVALENT, IN A LAYER AT LEAST 3 INCHES IN THICKNESS AND BE PRESSED INTO THE SOIL WITH CONSTRUCTION EQUIPMENT.
 B. RIPRAP TO BE 4-8 INCHES IN A LAYER AT LEAST 8 INCHES THICKNESS AND PRESSED INTO THE SOIL.
 C. APPROVED EQUIVALENTS CAN BE SUBSTITUTED FOR ANY OF THE ABOVE MATERIALS.
 7. PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.

FLOW CHANNEL STABILIZATION

TYPE OF TREATMENT	CHANNEL GRADE	DIKE A	DIKE B
1	0.5-3.0%	SEED & STRAW MULCH	SEED & STRAW MULCH
2	3.1-5.0%	SEED & STRAW MULCH	SEED USING JUTE, OR EXCESSIVE 300L ² STONE
3	5.1-8.0%	SEED WITH JUTE, OR SOO; 2" STONE	LINED RIPRAP 4-6"
4	8.1-20%	LINED RIPRAP 4-6"	ENGINEERED DESIGN

A. STONE TO BE 2 INCH STONE, OR RECYCLED CONCRETE EQUIVALENT, IN A LAYER AT LEAST 3 INCHES IN THICKNESS AND BE PRESSED INTO THE SOIL WITH CONSTRUCTION EQUIPMENT.
 B. RIPRAP TO BE 4-8 INCHES IN A LAYER AT LEAST 8 INCHES THICKNESS AND PRESSED INTO THE SOIL.
 C. APPROVED EQUIVALENTS CAN BE SUBSTITUTED FOR ANY OF THE ABOVE MATERIALS.
 7. PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.



SIDEWALK DETAIL
NO SCALE



TYPICAL CROSS SECTION CURB OPENING
SCALE: HOR.-1"=10' VERT.-1"=5'

AS BUILT CERTIFICATE

ARTHUR E. MUEGGE #8707 DATE

BY THE DEVELOPER:
 I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

David E. Memon 6-18-93
 DEVELOPER DATE

BY THE ENGINEER:
 I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

Arthur E. Muegge 6-21-93
 ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

James M. Stala 6/24/93
 U.S. SOIL CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Robert Z. Zichew 6/24/93
 HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

James Byler 7-13-93
 COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

James Byler 7/6/93
 DIRECTOR DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

James Byler 7/6/93
 DIRECTOR DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

James Byler 7/6/93
 DIRECTOR DATE

OWNER / DEVELOPER

MEADOWRIDGE INDUSTRIAL PARTNERSHIP
 4041 POWDER MILL ROAD, SUITE 205
 CALVERTON, MARYLAND 20705
 (301) 937-3111

PROJECT MEADOWRIDGE BUSINESS PARK PARCEL E-1
 A WAREHOUSE BUILDING

AREA ZONED M-1 TAX MAP 37 & 43 PLAT NO. 10793
 MEADOWRIDGE BUSINESS PARK, PARCEL E-1
 1st ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE
PROFILES AND DETAIL SHEET

RIEMER MUEGGE & ASSOCIATES, INC.
 PLANNING, ENGINEERING AND SURVEYING
 8818 Centre Park Drive Suite 200 Columbia, Md 21045
 410-997-8900 FAX: 410-997-9282

6-21-93

DESIGNED BY: W.C.W.
 DRAWN BY: W.C.W.
 PROJECT NO: 71904
 DATE: JUNE 21, 1993
 SCALE: AS SHOWN
 DRAWING NO. 6 OF 8

**SOIL CONSERVATION SERVICE
MARYLAND
CONSTRUCTION SPECIFICATIONS
FOR PONDS**

**STANDARD AND SPECIFICATIONS
FOR
VEGETATIVE STABILIZATION
WITH SOD**

SPECIFICATIONS
These specifications are appropriate to all ponds within the scope of the Standard for Practice MDS-275. All references to ASTM and AASHTO specifications apply to the most recent version.

SITE PREPARATION
Areas designated for borrow areas, embankment, and structural works shall be cleared, grubbed and stripped of topsoil. All trees, vegetation, roots and other objectionable material shall be removed. Channel banks and sharp breaks shall be sloped to no steeper than 1:1.

Areas to be covered by the reservoir will be cleared of all trees, brush, logs, stumps, rubbish and other objectionable material unless otherwise designated on the plans. Trees, brush and stumps shall be cut approximately level with the ground surface. For dry stormwater management ponds, a minimum of a 50 foot radius around the inlet structure shall be cleared.

All cleared and grubbed material shall be disposed of outside and below the limits of the dam and reservoir as directed by the owner or his representative. When specified, a sufficient quantity of topsoil will be stockpiled in a suitable location for use on the embankment and other designated areas.

EARTH FILL
Material - The fill material shall be taken from approved designated borrow areas. It shall be free of roots, stumps, wood, rubbish, stones greater than 6", frozen or other objectionable material. Fill material for the center of the embankment and off branch shall conform to Unified Soil Classification CC, SC, GC, or CL. Consideration may be given to the use of other materials in the embankment if design and construction are supervised by a geotechnical engineer.

Placement - Areas on which fill is to be placed shall be scarified prior to placement of fill. Fill materials shall be placed in maximum 8-inch lifts (before compaction) layers which are to be continuous over the entire length of the fill. The most suitable method shall be placed in the downstream portions of the embankment. The principal spillway must be installed concurrently with fill placement and not leaving the embankment.

Compaction - The movement of the hauling and spreading equipment over the fill shall be controlled so that the surface of each lift shall be traversed by not less than one track tread of the equipment or compaction shall be achieved by a minimum of four passes of a mechanical roller, vibratory roller or vibratory roller. Fill material shall contain sufficient moisture such that the required degree of compaction can be achieved in a manner and to the extent that will maintain stability of the excavated slope and bottom of required excavations and will allow satisfactory performance of all construction operations. During the placing and compacting of material in required excavations, the water level of the locations being filled shall be maintained below the bottom of the excavation at such locations which may require dewatering the water to pumps from which the water shall be pumped.

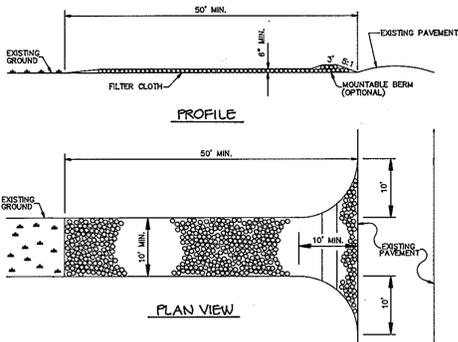
CARE OF WATER DURING CONSTRUCTION
All work on permanent structures shall be carried out in areas free from water. The Contractor shall construct and maintain all temporary dikes, levees, cofferdams, drainage channels, and stream diversions necessary to protect the areas to be occupied by the permanent works. The Contractor shall furnish, install, operate, and maintain all necessary pumping and other equipment required for various parts of the work and for the purpose of maintaining the excavations, foundation, and other parts of the work free from water or required or directed by the engineer for constructing each part of the work. After having served their purpose temporary protective works shall be removed or revised and graded to the extent required to prevent obstruction to any degree whatsoever of the flow of water to the roadway or outlet works and so not to interfere in any way with the operation or maintenance of the structure. Stream diversions shall be maintained until the full flow can be passed through the permanent works. The removal of water from the required excavations and the foundation shall be controlled to prevent obstruction to the extent that will maintain stability of the excavated slope and bottom of required excavations and will allow satisfactory performance of all construction operations. During the placing and compacting of material in required excavations, the water level of the locations being filled shall be maintained below the bottom of the excavation at such locations which may require dewatering the water to pumps from which the water shall be pumped.

Definition
Stabilizing sediment producing areas by establishing long-term stands of grass with sod.

Purpose
To stabilize the soil; reduce damage from sediment and runoff to downstream areas; enhance natural beauty.

Conditions Where Practice Applies
On exposed soils where a quick vegetative cover is desired, on sites which can be maintained with ground equipment (21 or flatter slopes).

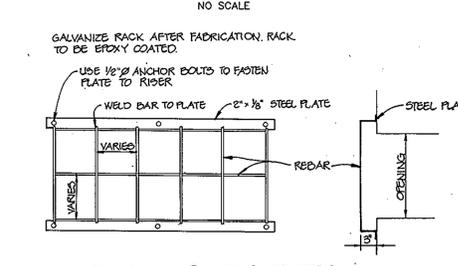
Specifications
1. Grass of turf grass sod shall be Maryland or Virginia State Certified, or Maryland or Virginia State approved sod.
2. Sod shall be machine cut of a uniform soil thickness of 3/4 inch, plus or minus 1/4 inch, at the line of cutting. Measurement for thickness shall exclude top growth and thatch.
3. Standard size sections of sod shall be enough to support their own weight and retain their size and shape when suspended vertically with a firm grasp on the upper 10 percent of the section.
4. Individual pieces of sod shall be cut to the supplier with and length. Maximum allowable deviation from standard width and length shall be 5 percent. Broken ends and corners shall be removed.
5. Sod shall not be harvested or transported when moisture content (excessively dry or wet) may adversely affect its survival.
6. Sod shall be harvested, delivered and installed within a period of 36 hours. Sod not transported within this period shall be inspected and approved by the engineer prior to installation.



CONSTRUCTION SPECIFICATIONS

1. Stone Size - Use 2" stone, or reclaimed or recycled concrete equivalent.
2. Length - As required, but not less than 50 feet (except on a single residence lot where a 30 foot minimum would apply).
3. Thickness - Not less than 6 (6) inches.
4. Width - Top (100 feet minimum, but not less than the full width at points where ingress and egress occur).
5. Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter cloth will not be required on a single family residence lot.
6. Surface Water - All surface water flowing or directed toward construction entrance shall be piped across the entrance. If piping is impractical, a masonry beam with 6" slopes will be permitted.
7. Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanup of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
8. Washing - Wheals shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
9. Periodic inspection and needed maintenance shall be provided after each rain.

STABILIZED CONSTRUCTION ENTRANCE



TRASH RACK DETAIL



Annual Maintenance Fertilization for Permanent Sod

Seeding Mixtures	Formulations	Lbs./Ac./Yr.	Lbs./1000 S.F.	Time	Mowing
'00-1' tall fescue Kentucky Bluegrass Red Fescue	20-10-10	220	5	Sept. 1 Oct. 1 Nov. 1	May no closer than 2 inches for 2 1/2 inches for 1 1/2 inches for 1 1/2 inches
Bermudagrass Zoysia	10-10-10	440	10	May 1 July 1 Aug. 1	May no closer than 1-2 inches
Seeding Mixtures	Formulations	Lbs./Ac./Yr.	Lbs./1000 S.F.	Time	Mowing
Kentucky Bluegrass Red Fescue	20-10-10	440	10	Sept. 1 Nov. 1	

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redistributed under a short-term vegetative cover is needed.

Speeded Preparation: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

Soil Amendments: Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs. per 1000 sq. ft.).

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate future redistribution where a permanent long-lived vegetative cover is needed.

Speeded Preparation: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

Soil Amendments: In lieu of soil test recommendations use one of the following schedules:

- 1) Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs. per 1000 sq. ft.) and 600 lbs. per acre 10-10-10 fertilizer (14 lbs. per 1000 sq. ft.) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (8 lbs. per 1000 sq. ft.) for anchoring.
 - 2) Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs. per 1000 sq. ft.) and 600 lbs. per acre 10-10-10 fertilizer (14 lbs. per 1000 sq. ft.) before seeding. Harrow or disc into upper three inches of soil.
- Seeding:** For the period March 1 thru April 30 and from August 15 thru November 15, seed with 2-1/2 bushels per acre of annual ryegrass (2 1/2 lbs. per 1000 sq. ft.) for the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (3 lbs. per 1000 sq. ft.) for the period November 16 thru February 28, protect site by applying 2 tons per acre of well weathered straw mulch and seed as soon as possible in the spring, or use seed.
- Mulching:** Apply 1-1/2 to 2 tons per acre (70 to 90 lbs. per 1000 sq. ft.) of unrotted small grain straw immediately after seeding. Annual mulch immediately after application using mulch spreading tool or 2 1/2 gal. per acre (5 gal. per 1000 sq. ft.) of mulch spread on flat areas. On slopes, 8 ft. or higher, use 347 gal. per acre (8 gal. per 1000 sq. ft.) of weeping lovegrass. During the period October 16 thru February 28, protect site by one of the following options:

- 1) 2 tons per acre of well-anchored mulch and seed as soon as possible in the spring.
- 2) Use sod.
- 3) Seed with 60 lbs. per acre Kentucky 31 Tall Fescue and mulch with 2 tons per acre of straw.

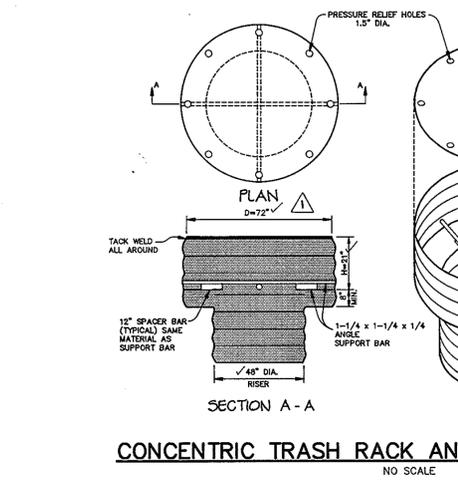
CONSTRUCTION SPECIFICATIONS

1. AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED.
2. THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS AND OTHER WOODY VEGETATION AS WELL AS OVER-SIZED STONES, ROCKS, ORGANIC MATERIAL OR OTHER OBSTRUCTIONAL MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TRAVELING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
3. ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER.
4. THE STONE USED IN THE OUTLET SHALL BE SMALL RIPRAP 4" - 8" ALONG WITH A 1" THICKNESS OF 2" AGGREGATE PLACED ON THE UP-SLOPE SIDE ON THE SMALL RIPRAP OR EMBEDDED FILTER CLOTH IN THE RIPRAP.
5. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP.
6. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NECESSARY.
7. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION IS MINIMIZED.
8. THE STRUCTURE SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

STONE OUTLET SEDIMENT TRAP

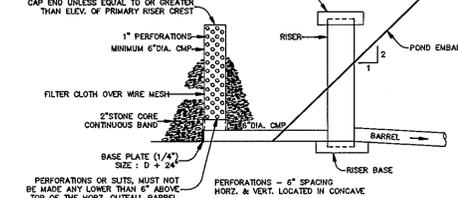


SILT FENCE DETAIL



CONCENTRIC TRASH RACK AND ANTI-VORTEX DEVICE

NO SCALE



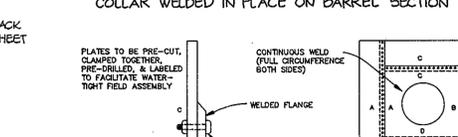
SEDIMENT BASIN DEWATERING DEVICE I WITH 6\"/>

NO SCALE



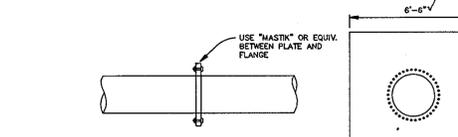
TRASH RACK DETAIL

NO SCALE



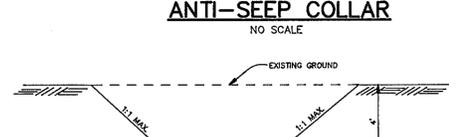
RISER BASE DETAIL

NO SCALE



COLLAR WELDED IN PLACE ON BARREL SECTION

NO SCALE



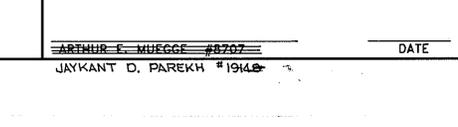
MULTI-PIECE COLLAR FOR LARGE PIPES

NO SCALE



COLLAR FOR FLANGE JOINT PIPE

NO SCALE



ANTI-SEEP COLLAR

NO SCALE

CORE TRENCH DETAIL

NO SCALE

PERSPECTIVE VIEW

NO SCALE

CROSS SECTION A-A

NO SCALE

RISER BASE DETAIL

NO SCALE

COLLAR WELDED IN PLACE ON BARREL SECTION

NO SCALE

MULTI-PIECE COLLAR FOR LARGE PIPES

NO SCALE

COLLAR FOR FLANGE JOINT PIPE

NO SCALE

ANTI-SEEP COLLAR

NO SCALE

CORE TRENCH DETAIL

NO SCALE

PERSPECTIVE VIEW

NO SCALE

CROSS SECTION A-A

NO SCALE

RISER BASE DETAIL

NO SCALE

COLLAR WELDED IN PLACE ON BARREL SECTION

NO SCALE

MULTI-PIECE COLLAR FOR LARGE PIPES

NO SCALE

COLLAR FOR FLANGE JOINT PIPE

NO SCALE

ANTI-SEEP COLLAR

NO SCALE

CORE TRENCH DETAIL

NO SCALE

PERSPECTIVE VIEW

NO SCALE

CROSS SECTION A-A

NO SCALE

RISER BASE DETAIL

NO SCALE

COLLAR WELDED IN PLACE ON BARREL SECTION

NO SCALE

MULTI-PIECE COLLAR FOR LARGE PIPES

NO SCALE

COLLAR FOR FLANGE JOINT PIPE

NO SCALE

ANTI-SEEP COLLAR

NO SCALE

CORE TRENCH DETAIL

NO SCALE

PERSPECTIVE VIEW

NO SCALE

CROSS SECTION A-A

NO SCALE

RISER BASE DETAIL

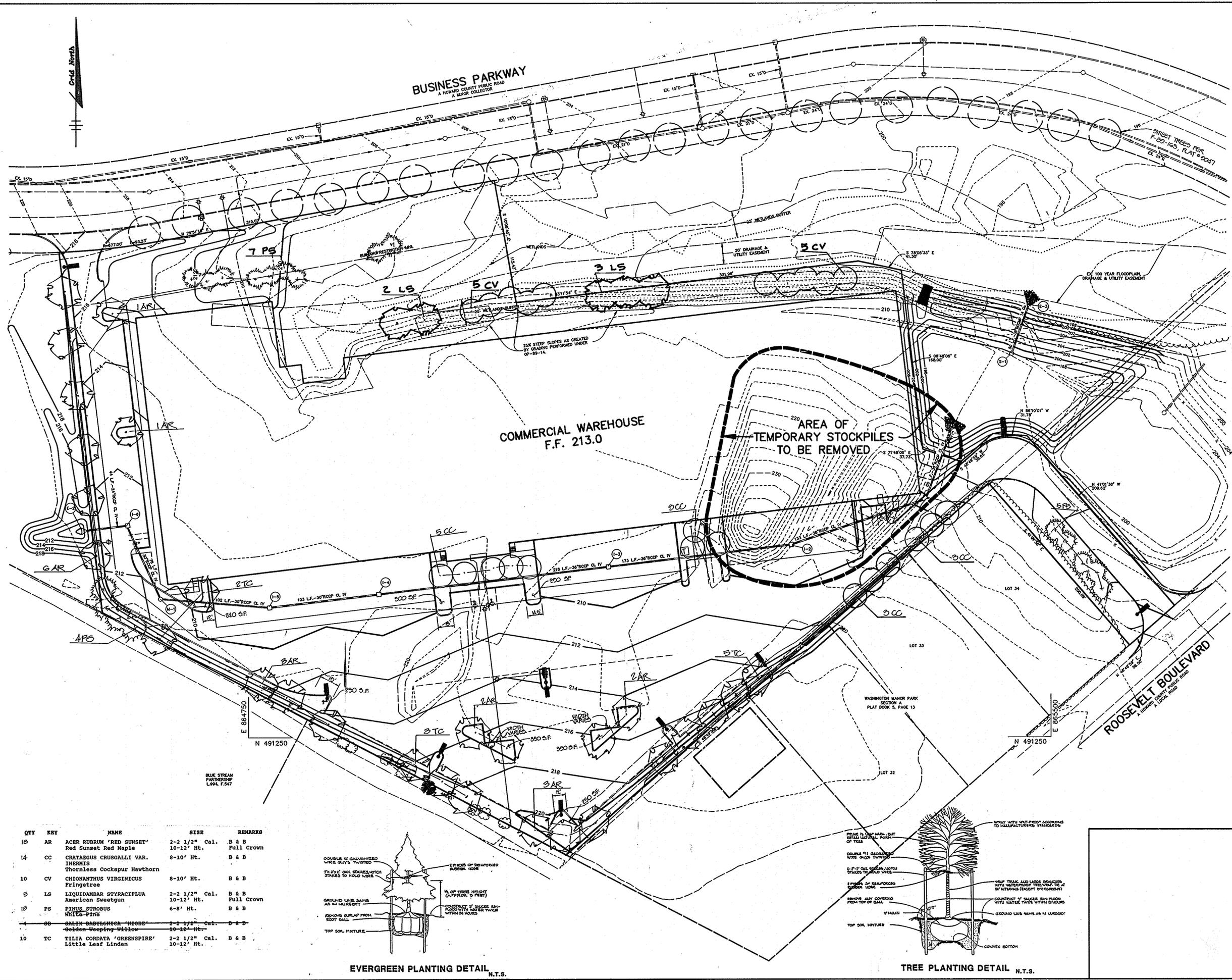
NO SCALE

COLLAR WELDED IN PLACE ON BARREL SECTION

NO SCALE

MULTI-PIECE COLLAR FOR LARGE PIPES

NO SCALE



**SCHEDULE A
PERIMETER LANDSCAPE EDGE**

Category	Adjacent to Roadways	Adjacent to Perimeter Properties
Landscape Type	B	C
Linear Feet of Roadway Frontage/Perimeter	150	360
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	no	no
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	no	no
Number of Plants Required		
Shade Trees	2	9
Evergreen Trees	2	18
Shrubs		
Number of Plants Provided		
Shade Trees	7	9
Evergreen Trees	24	18
Other Trees (2:1 substitution)		
Shrubs (10:1 substitution)		
(Describe plant substitution credits; below if needed)		

**SCHEDULE B
PARKING LOT INTERNAL LANDSCAPING**

Number of Parking Spaces	132
Number of Trees Required	7
Number of Trees Provided	8
Shade Trees	
Other Trees (2:1 substitution)	

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY DEPARTMENT.

James B. ... 7-13-93
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

... 7/6/93
DIRECTOR DATE

... 7/6/93
CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

... 7/6/93
DIRECTOR DATE

... 7/6/93
CHIEF, BUREAU OF ENGINEERING DATE

12-21-24 | 1 RELOCATED PLANTING MATERIAL
DATE NO. REVISION

OWNER / DEVELOPER
MEADOWRIDGE INDUSTRIAL PARTNERSHIP
4041 POWDER MILL ROAD, SUITE 205
CALVERTON, MARYLAND 20705
(301) 937-3111

PROJECT MEADOWRIDGE BUSINESS PARK
PARCEL E-1
A COMMERCIAL WAREHOUSE

AREA ZONED M-1 TAX MAP 37-43 PLAT NO. 10793
MEADOWRIDGE BUSINESS PARK, PARCEL E-1
1st ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE LANDSCAPE AND ENVIRONMENTAL ANALYSIS PLAN

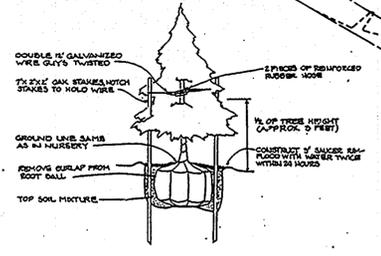
RIEMER MUEGGE & ASSOCIATES, INC.
PLANNING, ENGINEERING AND SURVEYING
8818 Centre Park Drive Suite 200 Columbia, Md 21046
410-997-8900 FAX: 410-997-9282

6-21-93
DATE

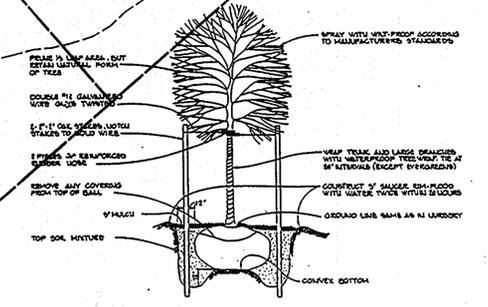
DESIGNED BY: Z.L.K.
DRAWN BY: Z.L.K.
PROJECT NO: 71904
DATE: JUNE 21, 1993
SCALE: 1"=40'
DRAWING NO. 8 OF 8

STATE OF MARYLAND
MICHAEL G. RIEGLER, REGISTERED LANDSCAPE ARCHITECT

QTY	KEY	NAME	SIZE	REMARKS
10	AR	ACER RUBRUM 'RED SUNSET' Red Sunset Red Maple	2-2 1/2" Cal. 10-12' Ht.	B & B Full Crown
14	CC	CRATAEGUS CRUGALLI VAR. INERMIS Thornless Cocksbur Hawthorn	8-10' Ht.	B & B
10	CV	CHONANTHUS VIRGINICUS Fringetree	8-10' Ht.	B & B
5	LS	LIQUIDAMBAR STYRACIFLUA American Sweetgum	2-2 1/2" Cal. 10-12' Ht.	B & B Full Crown
10	PS	PINUS STROBUS White Pine	6-8' Ht.	B & B
4	OB	OALEX DAVYDOWICHA 'NIOBE' Golden Weeping Willow	2-2 1/2" Cal. 10-12' Ht.	B & B
10	TC	TILIA CORDATA 'GREENSPIRE' Little Leaf Linden	2-2 1/2" Cal. 10-12' Ht.	B & B



EVERGREEN PLANTING DETAIL N.T.S.



TREE PLANTING DETAIL N.T.S.