

SYMBOL	QUANTITY	NAME	REMARKS
○	1	QUERCUS PALUSTRIS PIN OAK	2 - 2 1/2" CAL B & B FULL HEAD

PARKING REQUIREMENTS

FOR PARKING CALCULATIONS, REFER TO SHEET 3

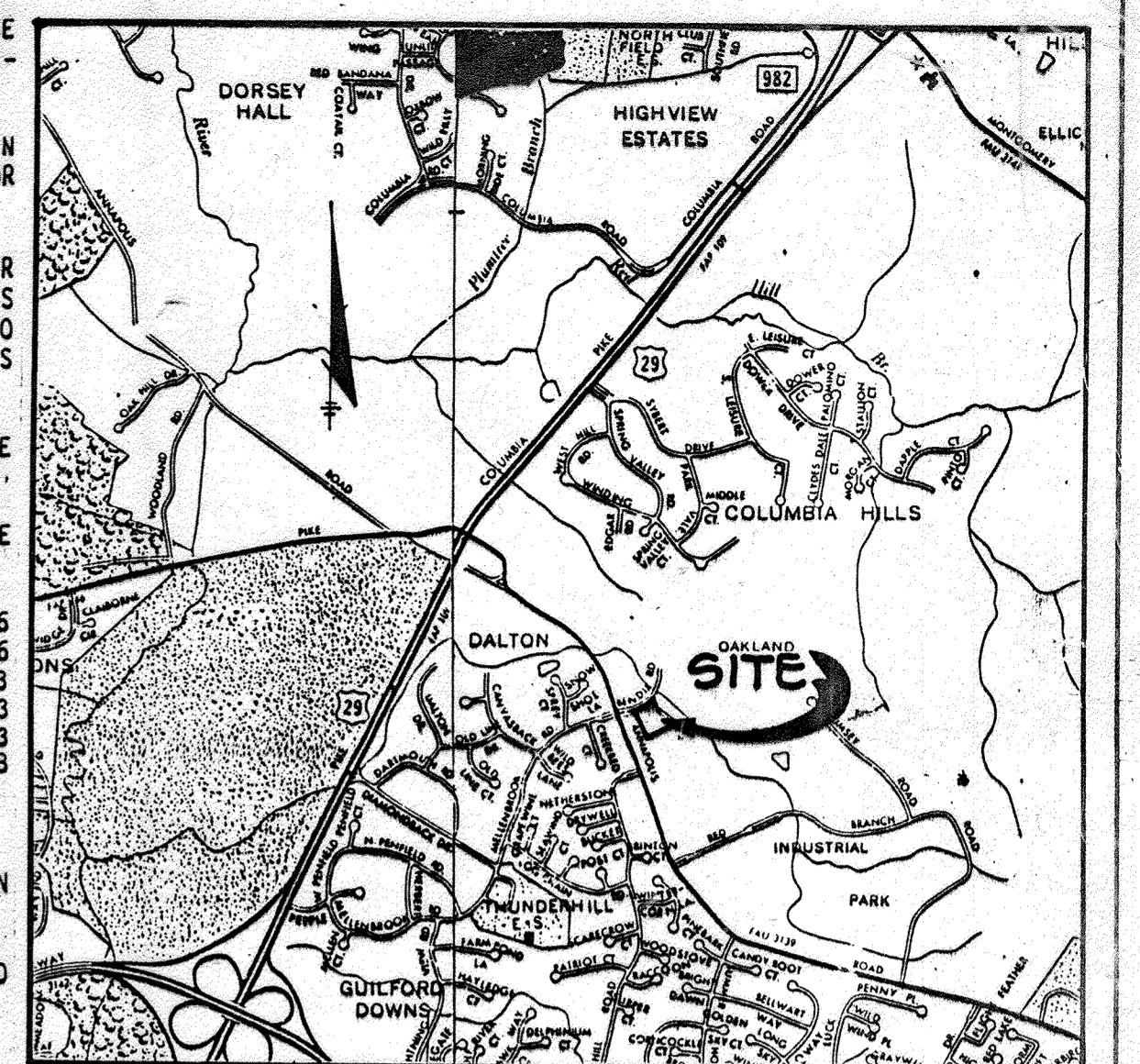
REQUIREMENT	REQUIREMENT	REQUIREMENT	REQUIREMENT
BUILDING B FIRST FLOOR	880	5	5
MAIL ROOM	892	2	5
DRY CLEANER	2616	2	14
VACANT RESTAURANT			
SECOND FLOOR			
DENTIST	2553	5	13
OFFICE	1547	2	4
BUILDING A			
RESTAURANT (NOT FAST FOOD)	7130	5	16
OUTDOOR SEATING	1880	5	5
TOTAL PARKING	19,187		82
TOTAL AREA			

PARKING PROVIDED: 180 100

REDLINE REVISION 1 NOTES:
 1. USING FDP-364-3 FOR PARKING REQUIREMENTS
 1.1. OFFICES 2 PER 1000 SF
 1.2. RESTAURANT 5 PER 1000 SF
 1.3. RESTAURANT 5 PER 1000 SF
 1.4. RESTAURANT OUTDOOR 5 PER 1000 SF (ASSUMING SAME FOR INDOOR)
 2. AREAS ARE NET LEASABLE AREA
 3. RESTAURANT 1 DISPOSABLE 12 OUTDOOR SEATS. IT IS NOT SUBJECT TO APFD ROAD TEST
 4. PURSUANT TO SECTION 16.1202(b)(1) (AND THIS REDLINE REVISION IS EXEMPT FROM SECTION 16.1400 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT BECAUSE IT IS AN ACTIVITY ON A PREVIOUSLY DEVELOPED AND COVERED BY AN IMPERVIOUS SURFACE.

GENERAL NOTES

- CORRUGATED STEEL PIPE SECTIONS WILL BE JOINED WITH A SINGLE OR TWO PIECE CORRUGATED BAND WITH A WATER TIGHT NEOPRENE GASKET. DIMPLETED BAND CONNECTORS WILL NOT BE PERMITTED.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, 1-8., STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES, WHERE DIRECTED BY THE ENGINEER, A MINIMUM OF TWO WEEKS IN ADVANCE OF CONSTRUCTION OPERATIONS.
- CONTRACTOR TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK SHOWN ON THIS/DRAWINGS:
 CAP TELEPHONE COMPANY 725-3976
 HOWARD COUNTY BUREAU OF UTILITIES 992-2366
 AT&T CABLE LOCATION DIVISION 393-3553
 BALTIMORE GAS & ELECTRIC COMPANY 685-0123
 STATE HIGHWAY ADMINISTRATION 531-5533
 HOWARD COUNTY CONSTRUCTION/INSPECTION SURVEY DIVISION 992-2417/2418
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
- NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT TO SUBGRADE.
- TOPO TAKEN FROM SDP-81-306 AND SUPPLEMENTED BY FIELD RUN SURVEY BY PATRICK O'KEEFE & ASSOC. DATED DECEMBER 1987.
- THIS PROPERTY IS SUBJECT TO FDP 36, PB 14, FOLIO 64.
- STORM WATER MANAGEMENT FOR THIS SITE WAS WAIVED BY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS ON MARCH 23, 1988 UNDER SDP 08-182 PIZZA HUT BUILDING. ADDITIONAL PLANS TO EXPAND THE BUILDING HAVE BEEN ABANDONED. NO ADDITIONAL IMPERVIOUS AREA IS BEING ADDED UNDER THIS PLAN (SDP 08-182 NEW IMPERVIOUS AREA = 11,975 SF, THIS PLAN NEW IMPERVIOUS AREA = 11,950 SF).
- PLANNING BOARD APPROVAL GRANTED 4-2-91.



VICINITY MAP
SCALE: 1" = 200'

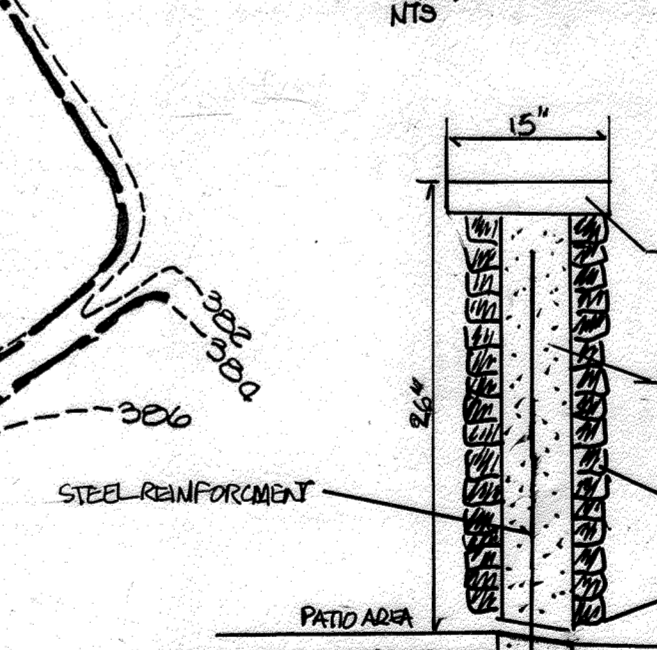
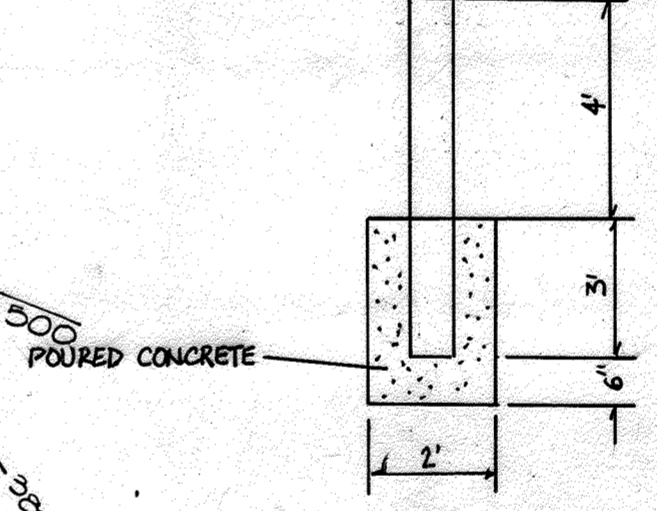
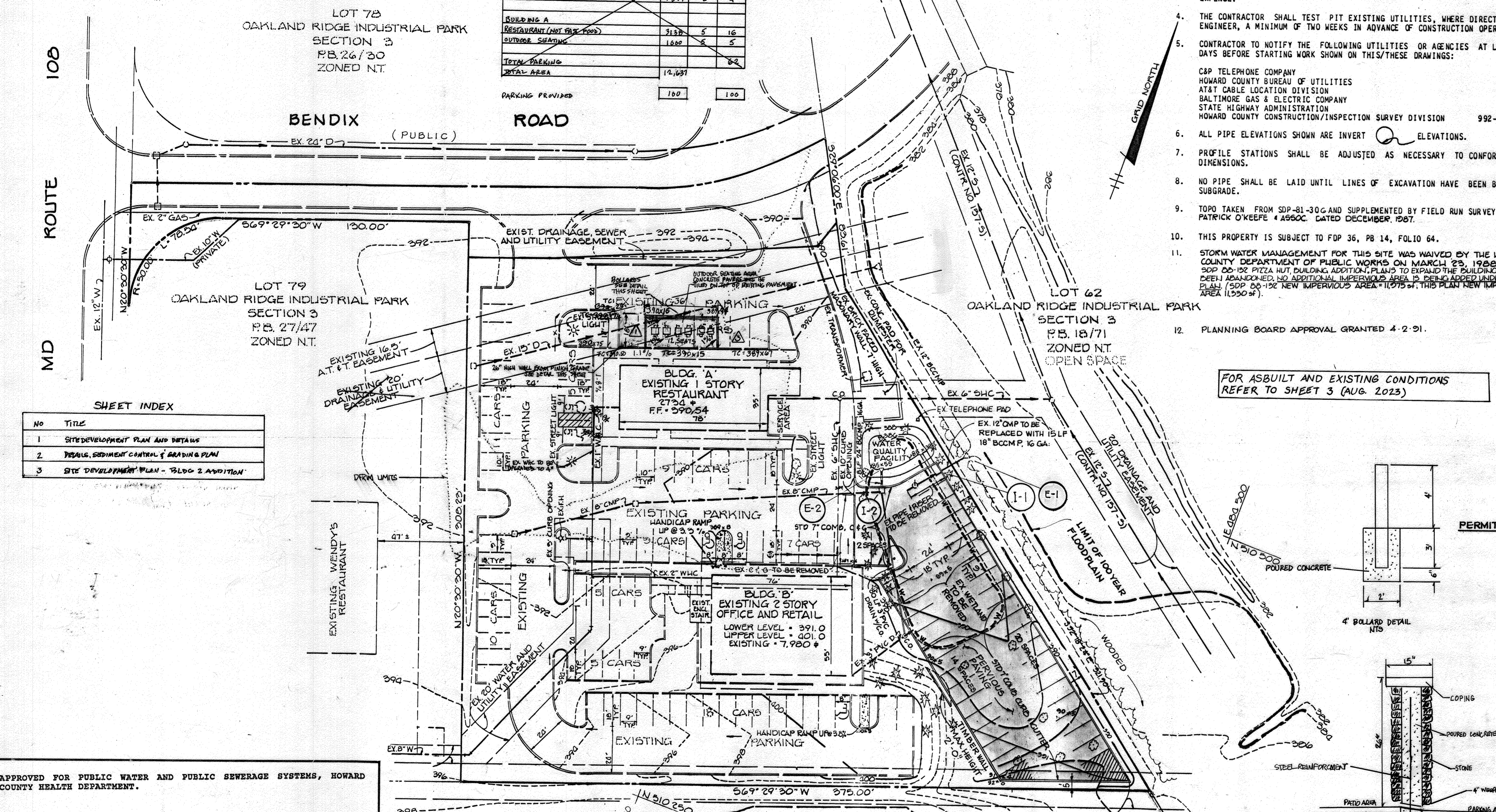
SITE TABULATION

GROSS AREA OF PROPERTY	2.195 AC.	NT (EMPLOYMENT CENTER INDUSTRIAL)
PRESENT ZONING		
BUILDING AREA		
EXISTING BLDG. 'A'	2,734 #	
EXISTING BLDG. 'B'	7,980 #	
BUILDING USE		
EXISTING BLDG. 'A'	RESTAURANT	
EXISTING BLDG. 'B'	OFFICE / RETAIL	
BUILDING COVERAGE OF SITE		
EXISTING RESTAURANT	0.07 AC.	3.19%
EXISTING BUILDING 'B'	0.10 AC.	4.56%
TOTAL	0.34 AC.	15.50%
PARKING REQUIRED		
EXISTING RESTAURANT	2734 SF / 200 = 14 SPACES	
EXISTING OFFICE	7980 SF / 200 = 40 SPACES	
EXISTING BLDG. 'B'	3990 SF / 500 = 8 SPACES	
TOTAL SPACES EXISTING	62 INCLUDING 5 HANDICAP	
TOTAL SPACES REQUIRED	88 INCLUDING 5 HANDICAP	
GRAND TOTAL SPACES	124 INCLUDING 5 HANDICAP	

FOR ASBUILT AND EXISTING CONDITIONS REFER TO SHEET 3 (AUG. 2023)

SHEET INDEX

NO.	TITLE
1	SITE DEVELOPMENT PLAN AND DETAILS
2	DETAILS, SEDIMENT CONTROL & GRADING PLAN
3	SITE DEVELOPMENT PLAN - BLDG 2 ADDITION



APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

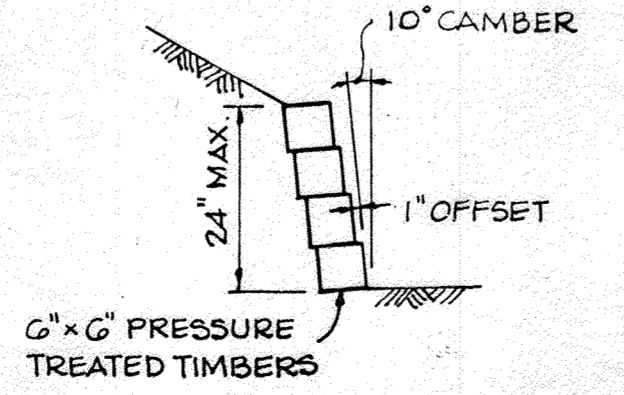
Joseph Proctor 12/3/91
COUNTY HEALTH OFFICER DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS, AND PUBLIC ROADS.

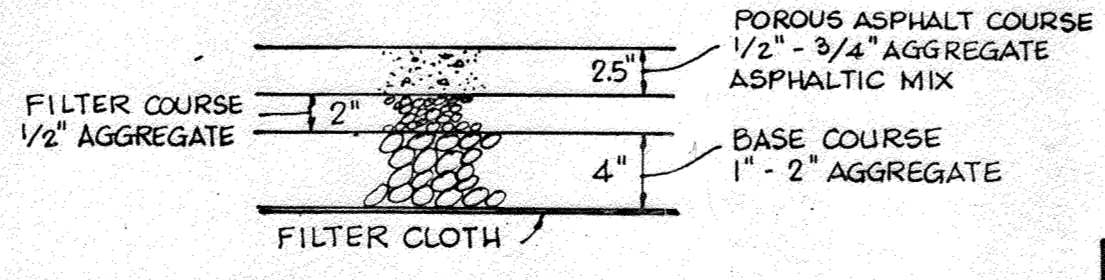
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
James J. Lewis 11/20/91
DIRECTOR DATE
William J. Kelly 11-26-91
CHIEF, BUREAU OF ENGINEERING DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

James J. Lewis 12/16/91
DIRECTOR DATE
Anna Blomath 12/16/91
CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE



DETAIL - TIMBER WALL
NO SCALE



SECTION - PERVIOUS PAVING
NO SCALE

ADDRESS CHART

BLDG. #	STREET ADDRESS
A	9160 ROUTE 108
B	9170 ROUTE 108

SUBDIVISION NAME: OAKLAND RIDGE INDUSTRIAL PARK SECTION 3 LOT 80
 PIZZA HUT
 PLAT # OR L/P: PD 27, F 47 BLOCK # 11 ZONE N.T. IND. TAX / ZONE MAP 2-40 ELECT. DIST. CENSUS TR. 6023.02
 WATER CODE GO 4 SEWER CODE 3653400

PERMITS: DEPT. OF ARMY # 91-00146-8 DEPT. OF ENVIRONMENT WQC # 90-WO-0695

NOTE: WP 91-91 APPROVED FEB. 12, 1991, TO ALLOW GRADING & REMOVAL OF VEGETATION FROM WETLANDS CONDITIONAL UPON PROVISION OF WATER QUALITY & QUANTITY MANAGEMENT FOR ANY NEW IMPERVIOUS SURFACE.

NO.	DATE	REVISION
2	9/26/93	REMOVE OUTDOOR DINING AREA
1	4/19/93	ADD OUTDOOR DINING AREA

TRACY ENGINEERING, Inc.
 Land Development Planning and Engineering
 P.O. Box 1866 • Ellicott City, Maryland 21043
 (301) 243-8320
James K. Tracy

OWNER/DEVELOPER
 S & W PIZZA HUT OF MARYLAND, INC.
 10220 OLD COLUMBIA ROAD
 RIVERS CENTER, SUITE 'L'
 COLUMBIA, MARYLAND 21046
 (301) 720-6936

PROJECT **PIZZA HUT - OAKLAND RIDGE**
 (PARKING EXPANSION)
 SDP-01-306; FDP 26; SDP 08-182; WP 91-91
 LOCATION: OAKLAND RIDGE INDUSTRIAL PARK SECTION 3 LOT 80
 TAX MAP 50 PARCEL 293 PB 27, F 47
 2ND ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

TITLE **SITE DEVELOPMENT PLAN AND DETAILS**
 DES: JKT DRAWN: JLT CHKD: JKT SCALE: 1" = 30'
 PROJECT: 02/SDP 01-26 DATE: AUGUST 12, 1990 / APRIL 5, 1991 DRAWING 1 OF 3

SDP-91-26

NO.	TYPE	LOCATION	INV. IN	INV. OUT	TOP ELEV.	DESCRIPTION
T-1	MODIFIED DBL. 'S'	SEE PLAN	385.2510	385.2510	389.38	H.C. SD 4.23
T-2	'S' STANDARD 'S'	SEE PLAN	387.78	385.70	388.94	H.C. SD 4.22
E-1	18" END SECTION	SEE PLAN	384.0861	---	---	H.C. SD 5.61
E-2	24" END SECTION	SEE PLAN	385.5539	---	---	H.C. SD 5.61

SEQUENCE OF CONSTRUCTION

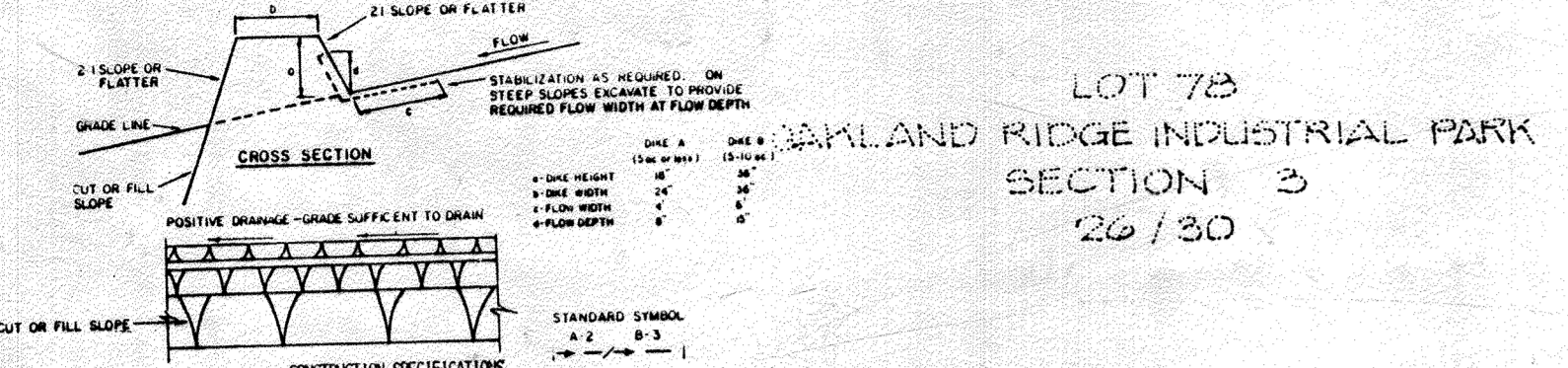
1. OBTAIN A GRADING POINT
2. INSTALL SILT FENCE AND SLOPE PROTECTION
3. REMOVE EX. ASPHALT & REPLACE ALL 12" DCCMP WITH 18" DCCMP. PROVIDE TEMPORARY FLEXIBLE CLEAN WATER CONNECTION BETWEEN EX. 8" CMP & 12" DCCMP
4. CONSTRUCT 1-1 & 1-2. MAINTAIN CLEAN WATER CONNECTION BETWEEN EX. 8" CMP & 1-1. PLACE VALET PROTECTION @ 1-1 & 1-2
5. CLEAR & GRUB WITHIN "L.O.D." EX. 12" DCCMP OUTSIDE OF PROPOSED CURBLINE. SHALL NOT BE DISTURBED
6. GRUB SITE TO 2" BELOW EXIST. 12" DCCMP. EXIST. DIKE ALONG TOP OF WATER QUALITY FACILITY AS SHOWN ON PLAN
7. INSTALL 3" PVC CURB & GUTTER AND PAVING
8. COMPLETE INSTALLATION OF WATER QUALITY FACILITY & STABILIZE IN ACCORDANCE WITH PERMITS. SEEDING NOTES DISCONNECT TEMPORARY CLEAN WATER CONNECTION UPON APPROVAL OF THE HOWARD COUNTY DEPT. OF SEDIMENT CONTROL INSPECTOR. REMOVE ALL DISTURBED AREAS IN ACCORDANCE WITH PERMITS. SEEDING NOTES

- PERMANENT SEEDBED PREPARATION**
1. EXISTING GROUND COVER WITHIN THE DISTURBED AREA CONSISTS OF LAWN WITH SCATTERED PINES AND PINE OAKS. ALL INSTALLED DURING THE ORIGINAL DEVELOPMENT UNDER SDP 81-306.
 2. SOILS WITHIN THE DISTURBED AREA IS CONTROLLED FILL, PLACED DURING THE ORIGINAL DEVELOPMENT UNDER SDP 81-306.

- SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.**
- SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:**
- 1) PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ.FT.) AND 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS. PER ACRE 30-0-0 FERTILIZER (9 LBS/1000 SQ.FT.).
 - 2) ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ.FT.) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (23 LBS/1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL.

- SEDIMENT CONTROL NOTES**
1. A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY OFFICE OF INSPECTIONS AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION (992-2437).
 2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
 3. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1, B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
 4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
 5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDINGS (SEC. 51) SOIL (SEC. 54), TEMPORARY SEEDING (SEC. 50) AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
 6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
 7. SITE ANALYSIS:

TOTAL AREA OF SITE	2195 ACRES
AREA DISTURBED	026 ACRES
AREA TO BE ROOFED OR PAVED	026 ACRES
AREA TO BE VEGETATIVELY STABILIZED	010 ACRES
TOTAL CUT	50 CU. YDS.
TOTAL FILL	70 CU. YDS.
OFFSITE WASTE/BORROW AREA LOCATION	NOT KNOWN AT THIS TIME.
 8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
 9. ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY DFW SEDIMENT CONTROL INSPECTOR.



ELM CHANNEL STABILIZATION

NO. OF CHANNEL	CHANNEL TYPE	DIKE A	DIKE B
1	5-3' 0"	SEED AND STRAW MULCH	SEED AND STRAW MULCH
2	3-1.5' 0"	SEED AND STRAW MULCH	SEED AND STRAW MULCH
3	5-1.8' 0"	SEED WITH JUTE, OR SOIL	LINED RIP-RAP 4'-8"
4	8-1.2' 0"	LINED RIP-RAP 4'-8"	ENGINEERING DESIGN

A. STORM TO BE 2 INCH STONE, OR RECYCLED CONCRETE EQUIVALENT, IN A LAYER AT LEAST 3 INCHES IN THICKNESS AND BE PLACED INTO THE SOIL WITH CONSTRUCTION EQUIPMENT TO BE AT LEAST 4 INCHES IN A LAYER AT LEAST 8 INCHES THICKNESS AND PLACED INTO THE SOIL.

B. APPROXIMATE EQUIVALENTS CAN BE SUBSTITUTED FOR ANY OF THE ABOVE MATERIALS.

C. PERIODIC INSPECTION AND MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.

DETAIL - EARTH DIKE

NO SCALE

BY THE DEVELOPER:
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."
DATE: 8.20.90
DEVELOPER: ROBERT D. SCHULZE, JR., V.P.

BY THE ENGINEER:
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
DATE: 8.20.90
ENGINEER: JAMES K. TRACY, P.E.

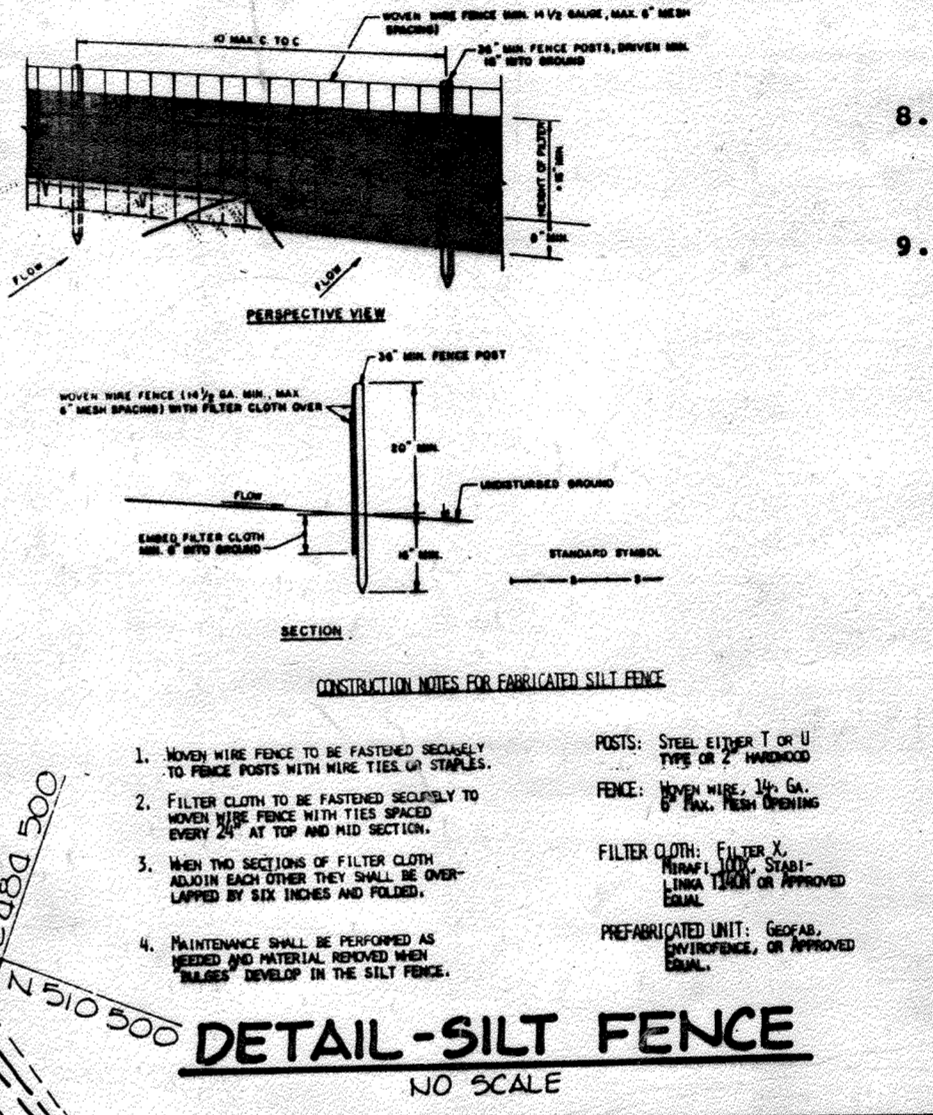
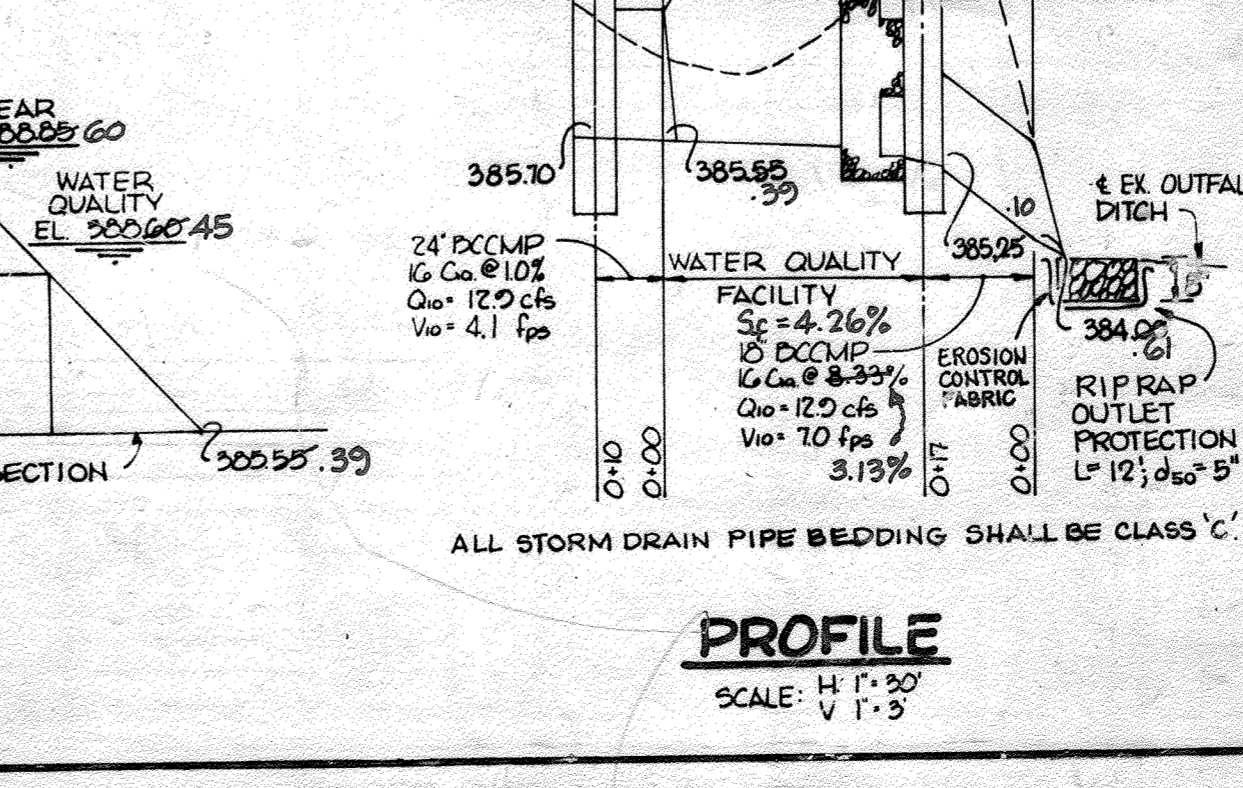
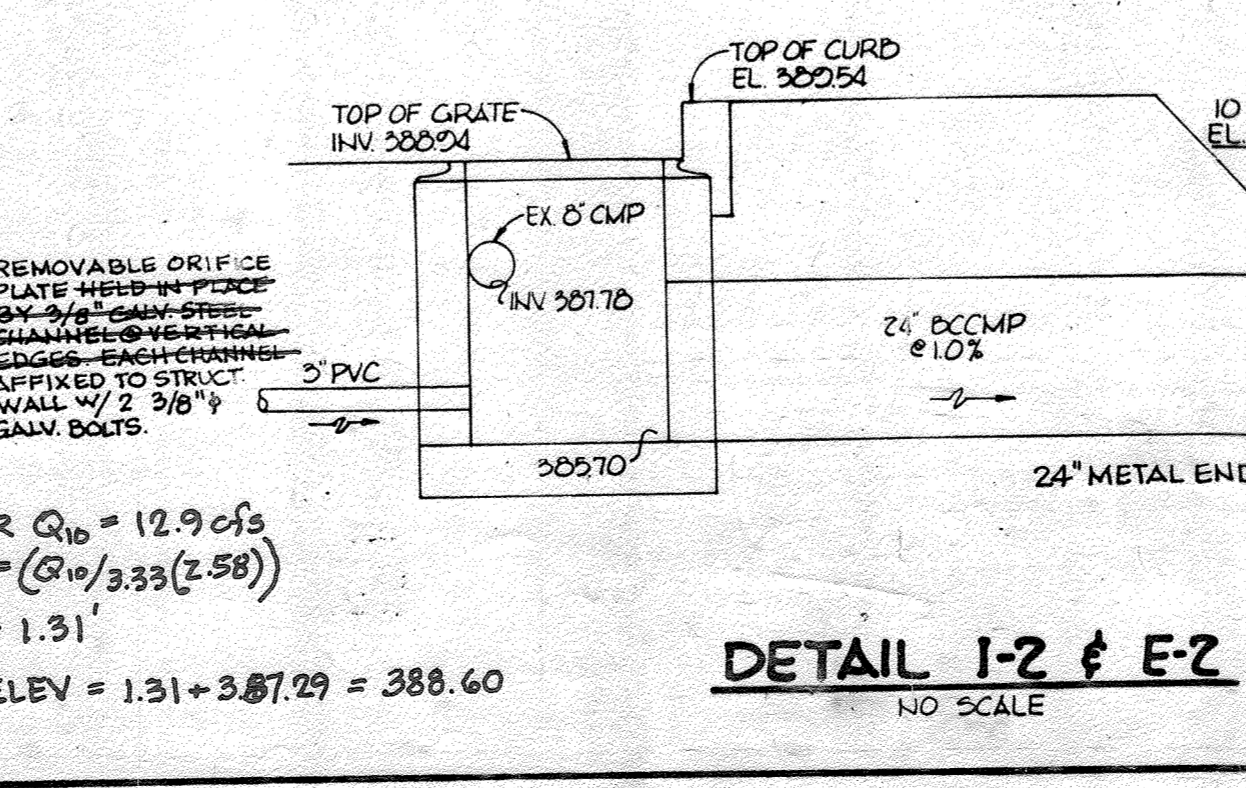
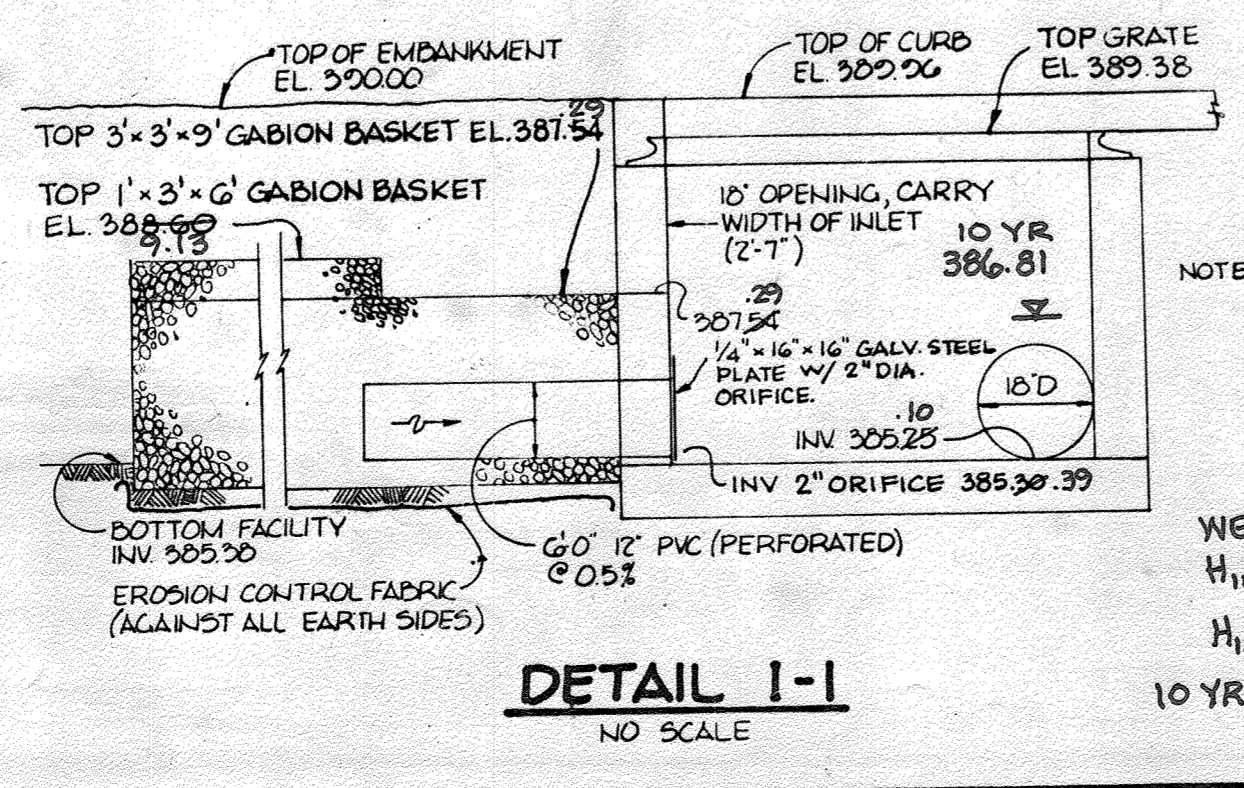
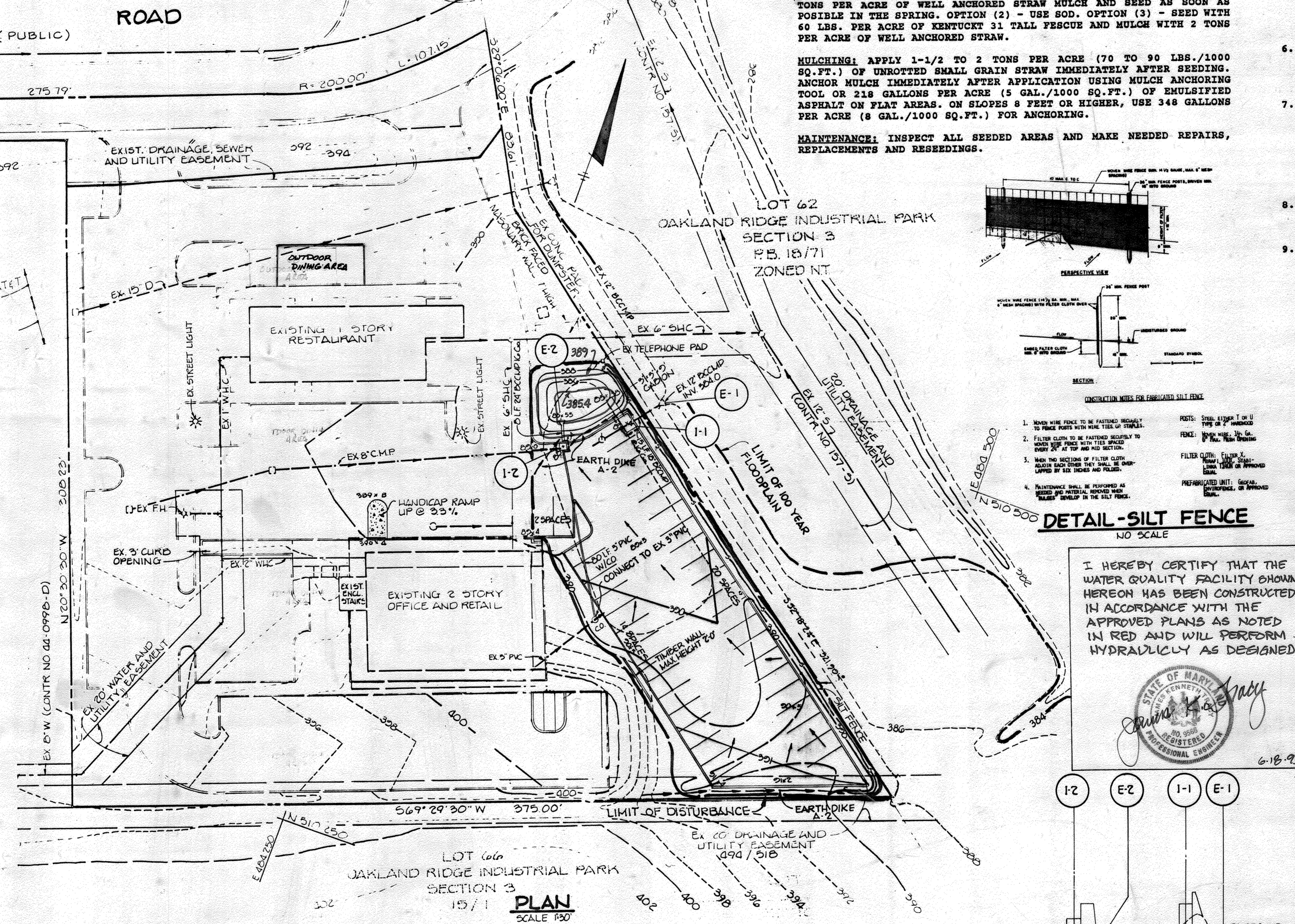
REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.
DATE: 4/26/91
U.S. SOIL CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
DATE: 4/26/91
HOWARD S.C.D.

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.
DATE: 12-3-9
COUNTY HEALTH OFFICER

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS, AND PUBLIC ROADS.
DATE: 11/20/91
DIRECTOR
DATE: 11/21/91
CHIEF, BUREAU OF ENGINEERING

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
DATE: 12/16/91
DIRECTOR
DATE: 12/16/91
CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT



I HEREBY CERTIFY THAT THE WATER QUALITY FACILITY SHOWN HEREON HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AS NOTED IN RED AND WILL PERFORM HYDRAULICALLY AS DESIGNED.
DATE: 6-18-93
PROFESSIONAL ENGINEER

NO.	DATE	REVISION
2	9/26/93	REVISE OUTDOOR DINING AREA
1	4/19/93	ADD OUTDOOR DINING AREA

TRACY ENGINEERING, inc.
Lead Development Planning and Engineering
P.O. Box 1866 • Bellicott City, Maryland 21043
(301) 243-8320

OWNER/DEVELOPER
S&W PIZZA HUT OF MARYLAND, INC.
10220 OLD COLUMBIA ROAD,
RIVERS CENTER, SUITE 'L'
COLUMBIA, MARYLAND 21046
(301) 720-6336

PROJECT
PIZZA HUT-OAKLAND RIDGE
(PARKING EXPANSION)

SDP-81-306; FDP 26; SDP 80-182; WP 91-21
LOCATION
OAKLAND RIDGE INDUSTRIAL PARK
SECTION 3 LOT 80
TAX MAP 20 PARCEL 293 PD. 27, F47
2ND ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE
DETAILS, SEDIMENT CONTROL PLAN & GRADING PLAN

DES: JKT DRWN: JLT CKDR: JKT SCALE: AS SHOWN
PROJECT: 012/SDP 01-26 DATE: AUGUST 12, 1990 DRAWING 2 OF 3
APRIL 5, 1991

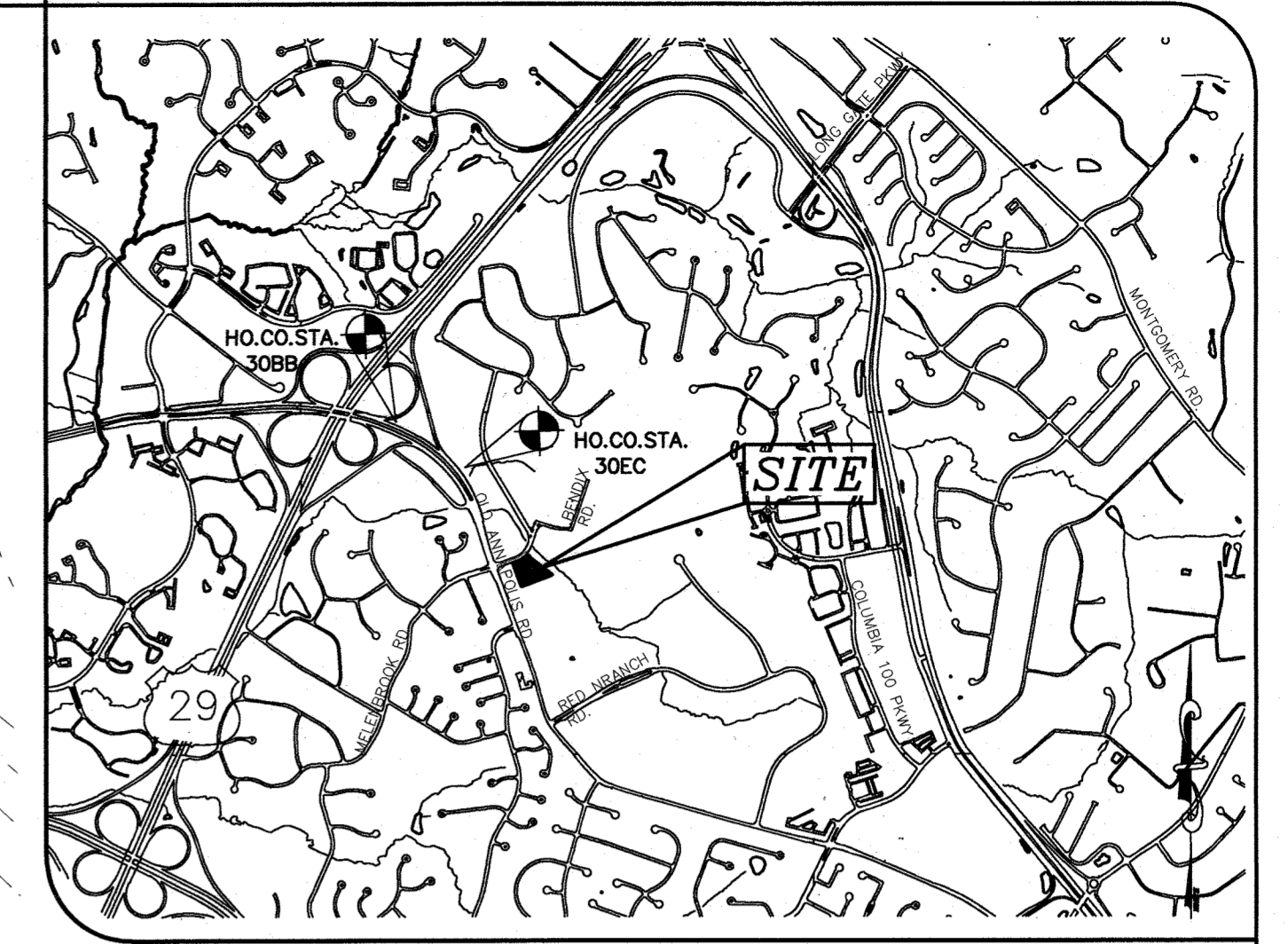
LANDSCAPE PLANTING SCHEDULE FOR EX. BUILDING "B" ADDITION **SCHEDULE A : PERIMETER LANDSCAPE EDGE FOR EX. BUILDING "B" ADDITION**

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
3		ACER RUBRUM 'RED SUNSET' OR EQUIVALENT AS OUTLINED IN THE HOWARD COUNTY LANDSCAPE MANUAL	RED SUNSET RED MAPLE OR EQUIVALENT AS OUTLINED IN THE HOWARD COUNTY LANDSCAPE MANUAL	2.5"-3" CAL.
TOTAL		3 LANDSCAPE TREES		

CATEGORY	ADJACENT TO			TOTAL
	INTERNAL	ADJACENT TO PERIMETER PROPERTIES		
LANDSCAPE TYPE	A (PERIMETER 1)	A (PERIMETER 2)	A (PERIMETER 3)	
LINEAR FEET OF PERIMETER	37.33 LF	59.45 LF	37.33 LF	
NUMBER OF PLANTS REQUIRED	1 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	1 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	1 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	3 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS
NUMBER OF PLANTS PROVIDED	1 SHADE TREES 0 EVERGREEN TREES 0 OTHER TREES (2:1 SUBSTITUTION) 0 SHRUBS (10:1 SUBSTITUTION)	1 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES 0 SHRUBS	1 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES 0 SHRUBS	3 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES 0 SHRUBS

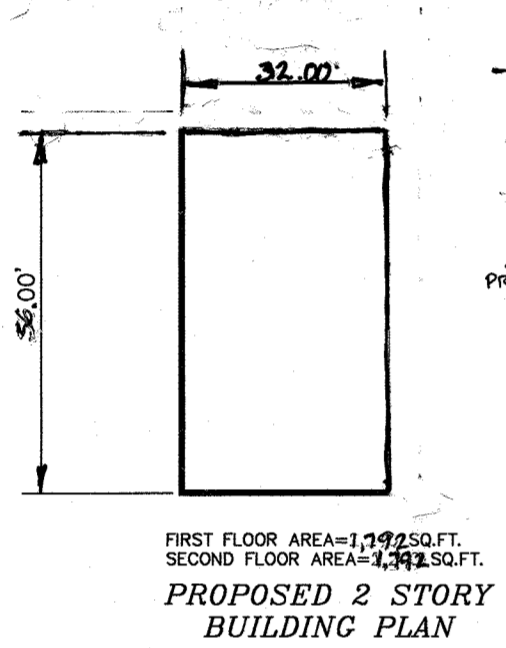
LEGEND

- LIMIT OF DISTURBANCE
- DIFRM LIMITS
- EX. FIRE HYDRANT
- EX. PUBLIC WATER EASEMENT
- EX. LIGHT POLE
- EX. GRATE INLET
- PROPOSED PAVEMENT MARKING
- EX. SEWER MANHOLE
- EX. CLEANOUT
- EX. WATER METER
- PROPOSED SIGNAGE
- DIFRM FLOOD ELEVATION PANEL 155, MAP NO.24027C01550, FIRM FLOOD INSURANCE MAP.



VICINITY MAP
SCALE: 1"=2000'

- GENERAL NOTES:**
- THIS SUBJECT PROPERTY IS ZONED NT PER THE OCTOBER 6, 2013 COMPREHENSIVE ZONING PLAN.
 - HORIZONTAL AND VERTICAL DATUMS ARE RELATED TO THE MARYLAND STATE PLANE COORDINATE SYSTEM AS PROJECTED FROM CARROLL COUNTY CONTROL STATIONS NO. 30BB & 30EC
STA.30BB: N 572,837.352; E 1,359,172.695; EL. 410.009 (NAVD88)
STA.30EC: N 571,962.914; E 1,360,059.950; EL. 399.235 (NAVD88)
 - PARCEL BACKGROUND:**
ADDRESS: 9170 OLD ANNAPOLIS ROAD, COLUMBIA, 21045
TAX MAP 30; GRID: 11 PARCEL 293
ELECTION DISTRICT : 2ND
DEED REFERENCE: 21843/00039
AREA : 2.195 ACRES ±
 - TOPOGRAPHY SHOWN HERE IS BASED ON HOWARD COUNTY GIS AND HAS BEEN FIELD VERIFIED BY MILDBERG, BOENDER & ASSOC, INC. IN APRIL, 2023 TO ACCURATELY REPRESENT THE RELATIVE CHANGES ON THE SUBJECT PROPERTY.
 - BOUNDARY INFORMATION IS BASED ON FIELD RUN BOUNDARY SURVEY BY MILDBERG, BOENDER & ASSOC., INC. DATED APRIL, 2022
 - NO CEMETERIES OR HISTORIC STRUCTURES EXIST ON SITE.
 - PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER ARE PUBLIC.
 - THE PURPOSE OF THIS SHEET IS TO SHOW **BUILDING C**.
 - AREA OF DISTURBANCE LESS THAN 5,000 SQ.FT. PROJECT EXEMPT FROM SWM IN ACCORDANCE WITH SEC. 18.902A(B)(2)
 - FOREST CONSERVATION OBLIGATION FOR THIS PROJECT HAS BEEN SATISFIED USING PROVISIONS IN SECTION 3.2.4(1) OF THE FOREST CONSERVATION MANUAL. LIMIT OF DISTURBANCE FOR THIS REDLINE IS 5,000 SQUARE FEET (0.11 AC). TOTAL FOREST CONSERVATION OBLIGATION FOR THIS REDLINE IS ZERO. IF THIS PROJECT CONTINUES TO BE DEVELOPED THROUGH A SERIES OF REDLINE REVISIONS, THE LOD MUST BE TRACKED CUMULATIVELY ON THE PLAN. AN SDP WITH AN INITIAL OR CUMULATIVE LOD EQUAL OR GREATER THAN 40,000 SQUARE FEET MUST CALCULATE THE NET TRACT AREA FOR THE ENTIRE DEVELOPMENT SITE.
 - THIS SHEET SHOWS THE ASBUILT CONDITIONS OF THE SITE AS OF JULY 2023.
 - PLANNING BOARD APPROVAL FOR THE PROPOSED ADDITION WAS GRANTED ON 11.02.2023
 - APFO & MULTIMODAL TEST EVALUATION WAS PREPARED ON MAY 2023 AND APPROVED ON 11.08.2023
 - LANDSCAPING FOR THIS PROJECT HAS BEEN PROVIDED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. SURETY FOR THE REQUIRE LANDSCAPING (3 SHADE TREES) IN THE AMOUNT OF \$ 900.00 WILL BE PROVIDED WITH THE GRADING PERMIT APPLICATION.
 - PRE-SUBMISSION COMMUNITY MEETING WAS HELD AT THE CENTRAL LIBRARY ON FEB 14, 2023 AT 6:00 PM.
 - THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST 48 HOURS PRIOR TO EXCAVATION WORK BEING DONE.
MISS UTILITY 1-800-257-7777
VERIZON TELEPHONE COMPANY (410) 725-9976
HOWARD COUNTY BUREAU OF UTILITIES (410) 313-4900
AT&T CABLE LOCATION DIVISION (410) 393-3533
BALTIMORE GAS AND ELECTRIC (410) 685-0123
STATE HIGHWAY ADMINISTRATION (410) 531-5533
 - THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410)313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
 - NO CLEARING, EXCAVATING, FILLING, ALTERING, DRAINAGE, OR IMPERVIOUS PAVING, MAY OCCUR ON AND LOCATED IN A FLOODPLAIN UNLESS REQUIRED OR AUTHORIZED BY THE DEPARTMENT OF PLANNING AND ZONING.
 - DMV 2-23-023 for horizontal clearance from a structure was approved on August 28, 2023, for the 35' of conflict subject to the curb being constructed 5' away from the watermain.
 - MAY 2024 REDLINE IS EXEMPT FROM APFO TRAFFIC STUDY. PROPOSED CHANGE IN USE FROM DISPENSARY TO RETAIL/OFFICE WILL REDUCE THE NUMBER OF GENERATED TRIPS.



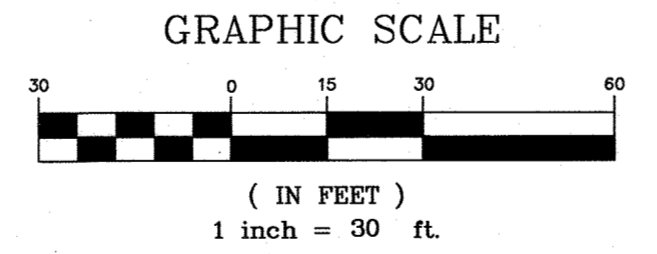
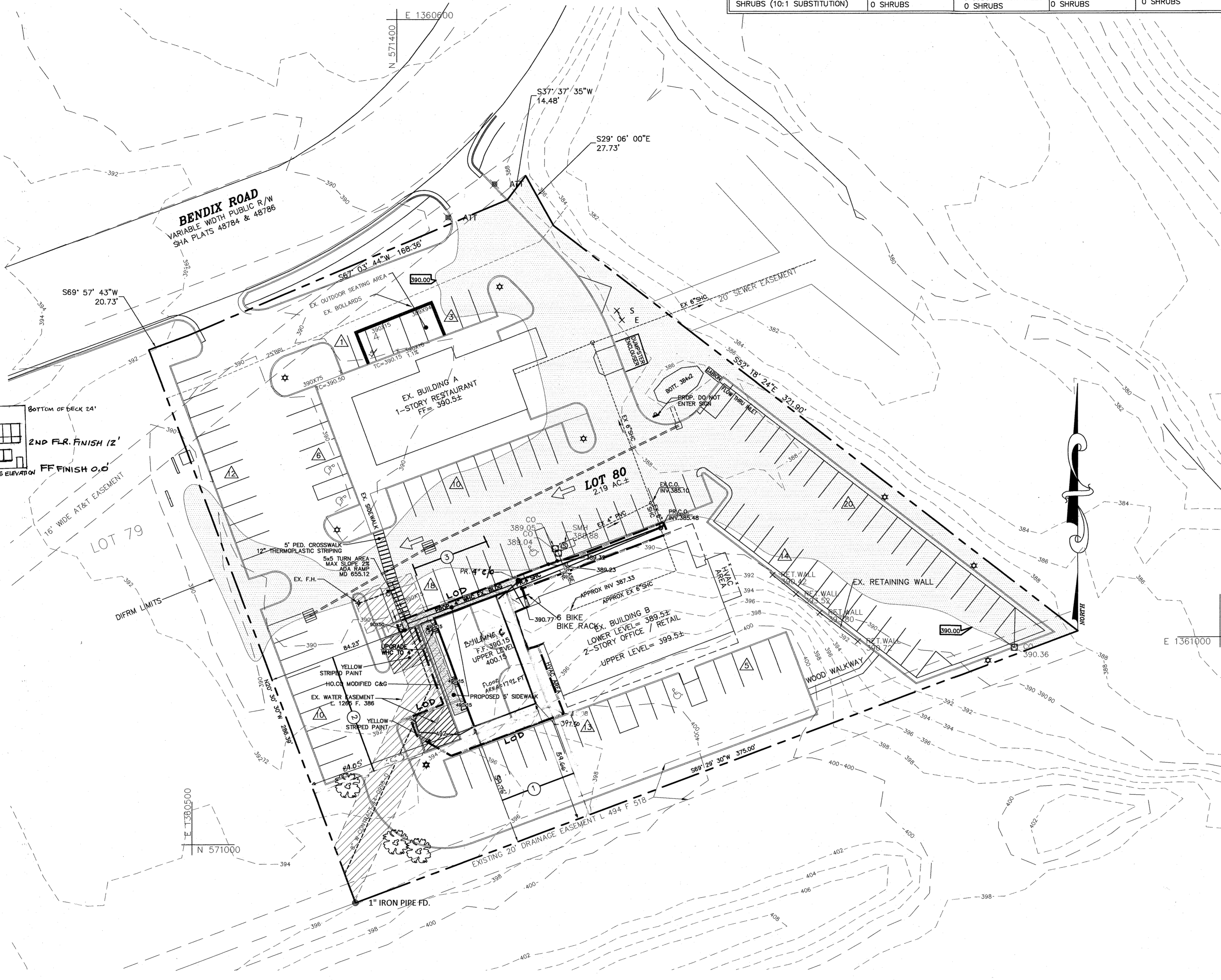
Building	area	parking req. PER 1000 SQ.FT.	Total per space
Building B			
First floor			
Nail saloon	880	5	5
Dry cleaner	893	5	5
Vacant retail	2,626	5	14
Second floor			
Dentist	2,553	5	13
office	1,547	2	4
proposed addition (ambulatory health care facility)	4,480	5	23
Building A			
Restaurant (not fast food)	3,138	5	16
outdoor seating	1,000	5	5
TOTAL			
Parking required			85
total area	17,117		
TOTAL parking provided			112

NO.	DATE	REVISIONS	REVISION
2	08.08.2023	SHOW EXISTING CONDITIONS (JULY 2023) SHOW ADDITION TO BUILDING B	
3	5/14/24	REDLINE THE BUILDING TO CORRECT OF BLDG. C	

APPROVED: PLANNING BOARD OF HOWARD COUNTY
DATE: November 2, 2023

APPROVED: DEPARTMENT OF PLANNING AND ZONING
12/13/23
12.5.23

12/13/23
12.5.23
DATE



REDLINE #2 NOTES:

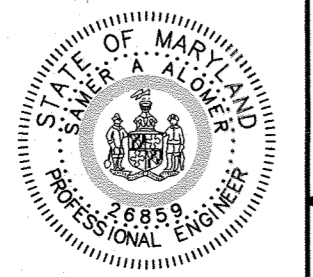
- THE PURPOSE OF THIS SHEET IS TO SHOW PROPOSED ADDITION TO BUILDING B AREA OF DISTURBANCE LESS THAN 5,000 SQ.FT. PROJECT EXEMPT FROM SWM IN ACCORDANCE WITH SEC. 18.902A(B)(2). TOTAL AREA OF LOD = 4,980 SQ.FT. THIS INCLUDES AREA FOR THE OUTDOOR SEATING AREA REDLINE DONE ON 04.19.2023.
- THIS SHEET SHOWS THE ASBUILT CONDITIONS OF THE SITE AS OF JULY 2023.

ESD NARRATIVE

- THE AREA OF THIS PROJECT IS APPROXIMATELY 2.195 ACRES. FLOODPLAIN EXISTS ON SITE. NO WETLANDS STREAMS OR THEIR BUFFERS EXIST ON SITE. THIS IS A PRE-DEVELOPED SITE WITH 2 EXISTING COMMERCIAL BUILDINGS AND A PARKING AREA.
- NO ADDITIONAL IMPERVIOUS AREAS ARE PROPOSED. PROPOSED BUILDING ADDITION WILL REPLACE EXISTING PARKING. NO IMPACT IS PROPOSED THAT WOULD ALTER ANY NATURAL FLOW PATTERNS. NO VEGETATION CLEARING IS PROPOSED.
- NO ESD PRACTICES ARE PROPOSED. SITE IS EXEMPT FROM STORMWATER MANAGEMENT. LOD LESS THAN 5,000 SQ.FT.
- NO SEDIMENT CONTROL MEASURES ARE PROPOSED. NO SEDIMENT RUNOFF IS EXPECTED.
- TABLE 5.2, SUMMARY OF SITE DEVELOPMENT STRATEGIES WAS UTILIZED TO THE EXTENT ALLOWABLE BY THE CURRENT HOWARD COUNTY ZONING AND LAND DEVELOPMENT REGULATIONS. IN DESIGNING THIS PROJECT, THE LIMIT OF DISTURBANCE WAS KEPT UNDER 5,000 SQ.FT.

SITE ANALYSIS DATA:

AREA OF SITE: 2.195 AC±
AREA OF WETLANDS AND ITS BUFFERS: 0
AREA OF FLOODPLAIN: 28,702 S.F. (0.65 AC±)
AREA OF FOREST: 0
AREA OF STREAM BUFFER: 0
AREA OF SLOPES 15%-24.9%: 0
AREA OF SLOPES 25% OR GREATER: 0
NET BUILDABLE AREA: 2.195 AC±
AREA OF ERODABLE SOILS: 0
LIMIT OF DISTURBANCE AREA (THIS REDLINE): 4,980 SQ.FT.
TOTAL LOT COVERAGE (INCLUDING THIS REDLINE)=9,759 S.F.T.< 50% OF SITE AREA
GREEN OPEN AREA (PERVIOUS):0
IMPERVIOUS AREA: 1.72 AC±



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 26859, EXP DATE 08/08/25

SAMER A. ALOMER P.E. 11.16.2023 DATE:

MILDBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
8318 FOREST ST. ELLICOTT CITY, MD 21043
(410) 997-0286 Tel. (410) 997-0288 Fax.

PIZZA HUT OAKLAND RIDGE
9170 OLD ANNAPOLIS ROAD
TAX MAP: 30 - GRID: 11 - PARCEL: 293
2ND ELECTION DISTRICT

SITE DEVELOPMENT PLAN - BUILDING C

project date 11.16.2023
22-025 engineering
illustration MAM
scale 1"=30'
description MAM
revisions SAA

3 OF 3

SDP-91.026