

SHEET INDEX

NO.	DESCRIPTION
1	TITLE SHEET
2-5	SITE DEVELOPMENT PLAN
6-9	GRADING AND SEDIMENT CONTROL PLAN

SITE DEVELOPMENT PLAN WATERFORD PARK

(FORMERLY GOLDEN BELL)

LOTS 1 THROUGH 47

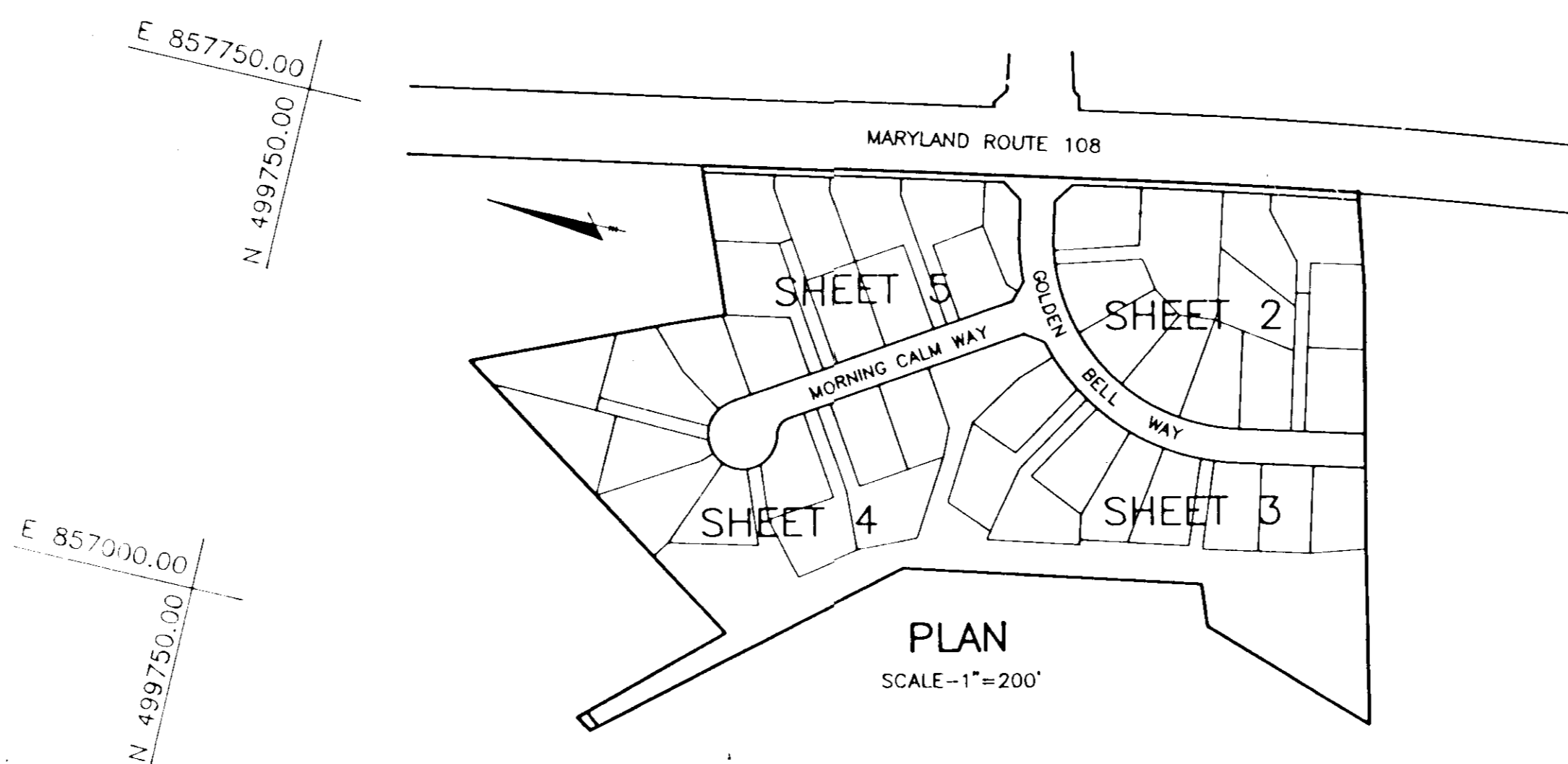
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

GENERAL NOTES

- ALL WATER LINES SHALL BE CONSTRUCTED A MINIMUM OF 42" COVER BELOW FINISHED GRADE.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, I.C., STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION.
- APPROXIMATE ELEVATION OF EXISTING UTILITIES ARE SHOWN FROM BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS TO VERIFY THEIR LOCATION AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF LOCATION OF UTILITIES IS OTHER THAN SHOWN.
- CONTRACTOR TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS:
 - MISS. UTILITY 1-800-257-7777
 - MD. TELEPHONE COMPANY 725-9976
 - HOWARD COUNTY BUREAU OF UTILITIES 992-2366
 - AT&T CABLE LOCATION DIVISION 393-3553
 - BALTIMORE GAS & ELECTRIC COMPANY 583-0223
 - STATE HIGHWAY ADMINISTRATION 531-5533
 - HOWARD COUNTY CONSTRUCTION/INSPECTION SURVEY 792-7272
 - DIVISION (24 HOURS NOTICE PRIOR TO COMMENCEMENT OF WORK)
- ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- THE CONTRACTOR SHALL PROVIDE A JOINT IN ALL SEWER MAINS WITHIN 2'-0" OF EXTERIOR MANHOLE WALLS.
- PROFIT STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
- NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT TO SURFACE.
- TOPO TAKEN FROM FIELD RUN SURVEY DATED February 1989 by Riemer Muegge & Associates.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL STORM DRAIN PIPE BEDDING SHALL BE AS SHOWN IN DETAIL C2.01 (TRENCH IN ROCK OR TRENCH IN EARTH AS DETERMINED BY FIELD CONDITIONS) IN VOL. IV OF HOWARD COUNTY DESIGN MANUAL UNLESS OTHERWISE DIRECTED BY THE ENGINEER OR AS SHOWN ON THE DRAWINGS.
- THE DEVELOPER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR THE SEDIMENT AND EROSION CONTROL, PRACTICES, STORM WATER MANAGEMENT PRACTICES AND THE DRAINAGE OF STORM WATER INTO AN ADJACENT OR NEARBY WATERWAY OR TO A PUBLIC WATERWAY. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR WORK ON ADJACENT PROPERTIES INCLUDED IN THIS PLAN.
- THE OWNER SHALL PROVIDE A SEPARATE AND INDEPENDENT SEWER CONNECTION FOR EACH TENANT OR OCCUPANT OF ANY BUILDING SHOWN ON THIS SITE DEVELOPMENT PLAN, WHO WILL DISCHARGE NON-DOMESTIC WASTE TO THE PUBLIC SEWERAGE SYSTEM IF THIS WASTE IS REGULATED UNDER SECTION 18.122A OF THE HOWARD COUNTY CODE. EACH SEPARATE AND INDEPENDENT SEWER CONNECTION SHALL INCLUDE A STANDARD MANHOLE AND OTHER WASTE PRETREATMENT DEVICES AS REQUIRED AND APPROVED BY HOWARD COUNTY. WASTE LINES ON THE INTERIOR OF THE BUILDING SHALL BE DESIGNED, CONSTRUCTED OR MODIFIED SUCH THAT NON-DOMESTIC WASTE WILL BE DISCHARGED TO THE SEPARATE AND INDEPENDENT SEWER CONNECTION. NO TENANT OR OCCUPANT OF ANY BUILDING SHOWN ON THIS SITE DEVELOPMENT PLAN SHALL DISCHARGE REGULATED NON-DOMESTIC WASTE TO THE PUBLIC SEWERAGE SYSTEM PRIOR TO INSTALLATION OF THE SEPARATE AND INDEPENDENT SEWER CONNECTION AND RELATED INTERIOR WASTE LINES. THE ABOVE REQUIREMENTS SHALL APPLY TO ALL INITIAL AND FUTURE OCCUPANTS OF TENANTS.
- Stormwater Management (2 extended detention type facilities) for this development provided under P-90-124.
- THERE IS NO PROPOSED DISTURBANCE TO ON-SITE WETLANDS OR WETLAND BUFFER AREAS.
- THERE ARE NO ON-SITE EXISTING SLOPES 25% OR GREATER.
- EXISTING TOPOGRAPHY IS AS PER GRADING COMPLETION OF FINAL PLAN, #F-90-124.
- CREATED ON-SITE STEEP SLOPES ARE LESS THAN 10% IN VERTICAL HEIGHT AND 50 HAVE NOT BEEN DISCLOSED IN LOT AREA CALCULATIONS.
- 42 & 35.
- 5 & 6.
- THE PROPOSED HOME ON 12.41 ACRES IS PROPOSED ON A 12.41 ACRE PARCEL. THE PROPOSED HOME IS TO BE CONSTRUCTED ON A 12.41 ACRE PARCEL. THE PROPOSED HOME IS TO BE CONSTRUCTED ON A 12.41 ACRE PARCEL.
26. THE CONTRACTOR SHALL SUBMIT A REQUEST TO WAIVE SECTION 18.122A OF THE HOWARD COUNTY CODE TO PERMIT A SIX MONTH EXTENSION FOR PLAN APPROVAL #F-90-124 AND SECTION 18.117(2) TO PERMIT A ONE YEAR EXTENSION FOR SITE DEVELOPMENT PLAN APPROVAL #F-90-124, WHICH WAS APPROVED BY LETTER #100-11-20, WHICH WAS APPROVED BY LETTER #100-11-20.
27. PORCHES OR DECKS, OPEN OR ENCLOSED, MAY PROJECT NOT MORE THAN 10 FT. INTO ANY REQUIRED FRONT OR REAR YARD IN ACCORDANCE WITH SECTION 128 OF THE ZONING REGULATIONS.

MINIMUM LOT SIZE TABULATION

Lot Number	Gross Area	Less Pipe Stem	Minimum Lot Area
2	12,024	2,309	9,715
3	13,638	2,600	11,038
8	13,004	1,733	11,271
18	12,200	2,600	9,600
19	12,676	2,600	10,076
23	12,289	2,574	9,715
24	12,422	2,655	9,767
41	21,794	2,512	19,282



SITE ANALYSIS

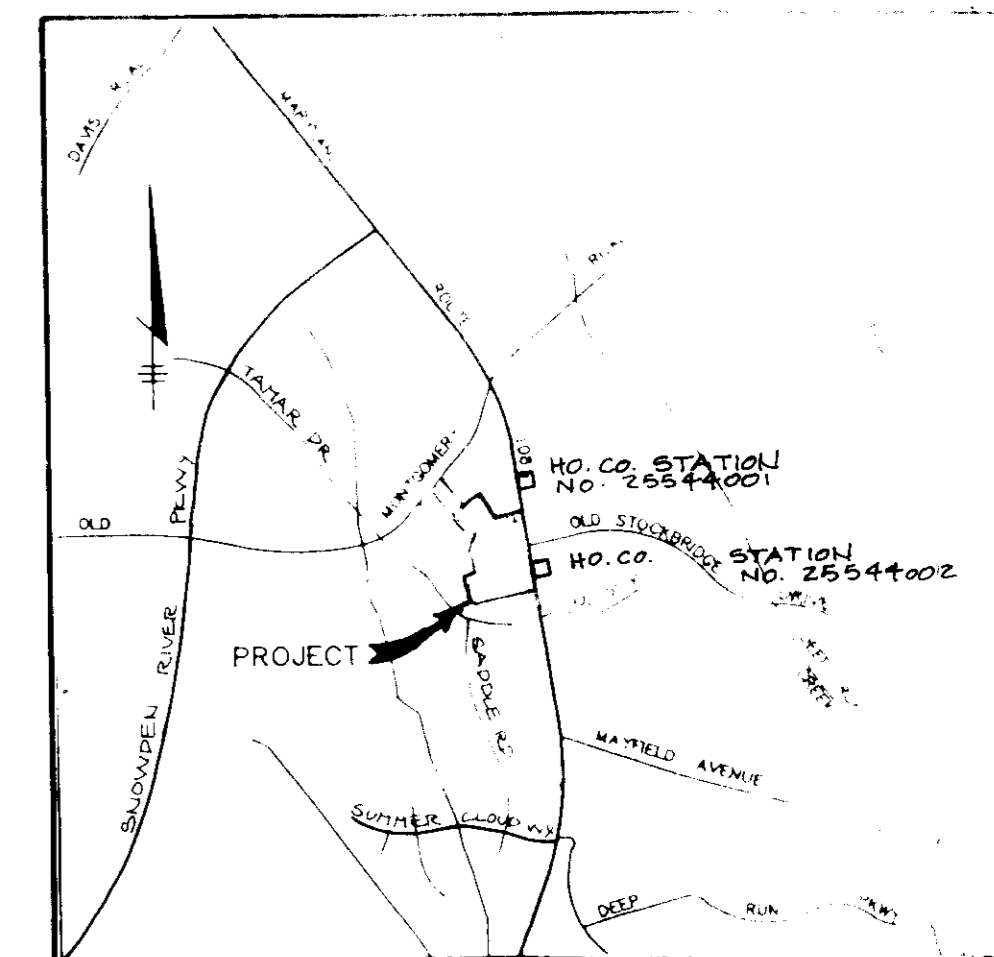
TOTAL AREA OF PARCEL	15.74 Ac.
EXISTING ZONING	R-12
PROPOSED USE	SINGLE FAMILY DETACHED HOMES
NO. OF DWELLING UNITS ALLOWED	57 D.U.
NO. OF DWELLING UNITS PROPOSED	42 D.U.
DENSITY PER ACRE	2.7
LOT COVERAGE PERMITTED	30%
MAXIMUM LOT COVERAGE PROPOSED	189% - BASED ON AREA OF LOT 9
AREA OF TRACT WITHIN 100-YEAR FLOODPLAIN AND STEEP SLOPES	0 Acre
AREA OF TRACT WITHIN WETLANDS AND STORM WATER MANAGEMENT	.63 Ac.
NET AREA	15.74 Ac.
OPEN SPACE REQUIRED	20% (3.15 Ac.)
OPEN SPACE PROVIDED	20% (3.18 Ac.) ¹
DRY GROUND RECREATION REQUIRED	50% OF OPEN SPACE (1.57 Ac.)
DRY GROUND RECREATION PROVIDED	81% OF OPEN SPACE (2.56 Ac.)
TOTAL OPEN SPACE PROVIDED	3.436 AC. (INCLUDES COMMON DRIVEWAY OPEN SPACE LOTS)

WATER & SEWER HOUSE CONNECTION CHART

Lot No.	WITHIN CURB ELEVATION	Elevation at property line	WIC	SHC
1	370.52	374.52	0.75'	4.0'
2	382.15	376.01	-	-
3	383.15	376.43	-	-
4	380.99	376.99	-	-
5	381.01	376.87	-	-
6	388.06	383.86	-	-
7	389.41	385.01	-	-
8	387.67	383.83	-	-
9	380.33	374.15	-	-
10	372.88	368.64	-	-
11	373.53	369.15	-	-
12	372.82	369.52	-	-
13	372.56	369.36	-	-
14	372.06	368.71	-	-
15	373.97	368.87	-	-
16	373.34	369.04	-	-
17	372.53	368.23	-	-
18	369.43	365.21	-	-
19	369.04	365.16	-	-
20	380.19	375.89	-	-
21	381.56	377.38	-	-
22	370.29	365.89	-	-
23	371.25	364.14	-	-
24	370.19	363.25	-	-
25	364.40	360.60	-	-
26	363.74	359.04	-	-
27	359.21	355.31	-	-
28	359.73	355.83	-	-
29	362.34	358.30	-	-
30	361.38	357.08	-	-
31	361.70	357.12	-	-
32	377.52	373.76	-	-
33	376.92	373.02	-	-
34	380.24	375.24	-	-
35	374.01	371.81	-	-
36	381.98	374.72	-	-
37	361.92	357.92	-	-
38	363.63	359.63	-	-
39	360.74	356.74	-	-
40	375.74	371.74	-	-
41	361.11	357.12	-	-
42	361.11	357.12	-	-

ADDRESS CHART

Lot Number	Street Address
1	6100 Morning Calm Way
2	6104
3	6108
4	6112
5	6116
6	6120
7	6124
8	6128
9	6132
10	6136
11	6140
12	6144
13	6148
14	6152
15	6156
16	6159
17	6161
18	6163
19	6165
20	6167
21	6169
22	6171
23	6173
24	6175
25	6177
26	6179
27	6181
28	6183
29	6185
30	6187
31	6189
32	6191
33	6193
34	6195
35	6197
36	6199
37	6201
38	6203
39	6205
40	6207
41	6209
42	6211
43	6213
44	6215
45	6217
46	6219
47	6221



VICINITY MAP

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

James M. Muegge 12/21/92
COUNTY HEALTH OFFICER

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

James M. Muegge 12/22/92
DIRECTOR DATE

Emma Blomquist 12/22/92
CHIEF, DIVISION OF COMMUNITY DATE PLANNING AND LAND DEVELOPMENT

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROAD

James M. Muegge 12/16/92
DIRECTOR DATE

James M. Muegge 12-16-92
CHIEF, BUREAU OF ENGINEERING DATE

DATE NO. REVISION

OWNER / DEVELOPER
Golden Bell, Inc. Partnership
c/o SDC, Inc.
1480 Baltimore National Pike
Suite 401
Baltimore, MD 21286

PROJECT
WATERFORD PARK
(FORMERLY GOLDEN BELL) LOTS 1-47

AREA TAX MAP NO. 37 6TH ELECTION DISTRICT
PARCELS 241,242,244,338, & 380
ZONED R-12 HOWARD COUNTY MARYLAND

TITLE
TITLE SHEET
SINGLE FAMILY DETACHED

RIEMER MUEGGE & ASSOCIATES, INC.
A Land Planning, Engineering and Consulting Firm
8818 Centre Park Drive, Suite 200 Columbia, Maryland 21046
(410) 997-8900 FAX (410) 997-9282

11-23-92 DATE
P-89-80, S-89-32, F-90-124, WP-92-69
DESIGNED BY
DRAWN BY
PROJECT NO.: 54607
DATE OCTOBER 23, 1992
SCALE: AS SHOWN
DRAWING NO. 1 - 9

ARTHUR E. MUEGGE #8707

MATCH LINE SEE SHEET 5

MORNING CALM WAY
HO. CO. PUBLIC ROAD

MATCH LINE
GOLDEN BELL WAY

DRIVEWAY ENTRANCE WITH MODIFIED CURB AND GUTTER COMBINATION
NOT TO SCALE

DRIVEWAY ENTRANCE WITH STANDARD 7" CURB AND GUTTER
NOT TO SCALE

SEE SHEET 2

OPEN SPACE LOT 46

SEE SHEET 4

OPEN SPACE LOT 46
(SEE SHEET 4 FOR TOTAL AC.)

PROPERTY OF CHARLES GASTINGER
1134/0268
ZONED R-12

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

James M. Boyd 12/21/92
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Augusta Smith 12/22/92
DIRECTOR DATE

Elmira Adams 10/22/92
CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

James M. Boyd 12/16/92
DIRECTOR DATE

William E. Muegge 12-16-92
CHIEF, BUREAU OF ENGINEERING DATE

DATE	NO.	REVISION

OWNER / DEVELOPER	BUILDER
Golden Bell Ltd. Partnership c/o SDC Group, Inc. 8480 Baltimore National Pike Suite 415 Ellicott City MD 21043	Cornerstone Homes, Inc. 1826 Bolton Street Baltimore, MD 21217

PROJECT **WATERFORD PARK**
(FORMERLY GOLDEN BELL) LOTS 1-47
AREA TAX MAP NO. 37 6TH ELECTION DISTRICT
PARCELS 241,242,244,338, & 380
ZONED R-12 HOWARD COUNTY MARYLAND

TITLE **SITE DEVELOPMENT PLAN**
SINGLE FAMILY DETACHED LOTS 22-30, 46

RIEMER MUEGGE & ASSOCIATES, INC.
A Land Planning, Engineering and Consulting Firm
8818 Centre Park Drive • Suite 200 • Columbia, Maryland 21045
301-997-8900 • FAX: 301-997-9282

11-23-92
DATE

P-89-80, S-89-32,
F-90-124, WP-92-69
DESIGNED BY:

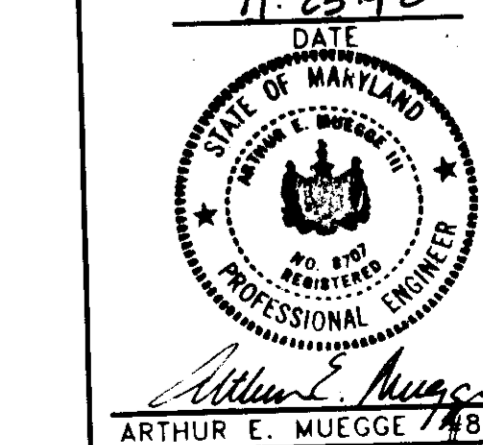
DRAWN BY:

PROJECT NO: 54607

DATE: OCTOBER 23, 1992

SCALE: 1"=30'

DRAWING NO. 3 OF 9



SDP-91-20



PLANT LIST

SY	NO.	NAME	SIZE	PLANT	DATE
		ALL ADDITIONAL			
		REI MAINT			
		WHITE LINE			

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT		
<i>James M. Boydland per JSM</i>	12/21/92	
APPROVED: HOWARD COUNTY DEPARTMENT OF COMMUNITY PLANNING AND LAND DEVELOPMENT		
<i>James R. Rutter</i>	12/22/92	
<i>Elmira Hornum</i>	12/23/92	
APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND UTILITY LINES, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS		
<i>James G. Linn</i>	12/16/92	
<i>William S. Riley</i>	12-16-92	
DATE	NO.	REVISION
OWNER / DEVELOPER		
Golden Bell Ltd. Partnership c/o SDC Group, Inc. 8480 Baltimore National Pike Suite 415 Ellicott City MD 21043		BUILDER Cornerstone Homes, Inc. 1826 Bolton Street Baltimore, MD 21217
PROJECT		
WATERFORD PARK (FORMERLY GOLDEN BELL) LOTS 1-47		
AREA		
TAX MAP NO. 37 6TH ELECTION DISTRICT PARCELS 241, 242, 244, 338, & 380 ZONED R-12 HOWARD COUNTY MARYLAND		
TITLE		
SITE DEVELOPMENT PLAN SINGLE FAMILY DETACHED LOTS 10-21, 45, 46		
PREPARED BY		
RIEMER MUEGGE & ASSOCIATES, INC. A Land Planning, Engineering and Consulting Firm 8818 Centre Park Drive • Suite 200 • Columbia, Maryland 21045 301-997-8900 • FAX: 301-997-9282		
DATE		PROJECT NO.
11-23-92		P-89-80, S-89-32 F-90-124, WP-92-69
DRAWN BY		SCALE
[Signature]		AS SHOWN 54607
DATE		DATE
OCTOBER 23, 1992		DATE
SCALE		DATE
1"=30'		DATE
DRAWING NO.		DATE
4-9		DATE

SDR 91-20

MARYLAND ROUTE 108

(STATE ROAD) MINOR ARTERIAL

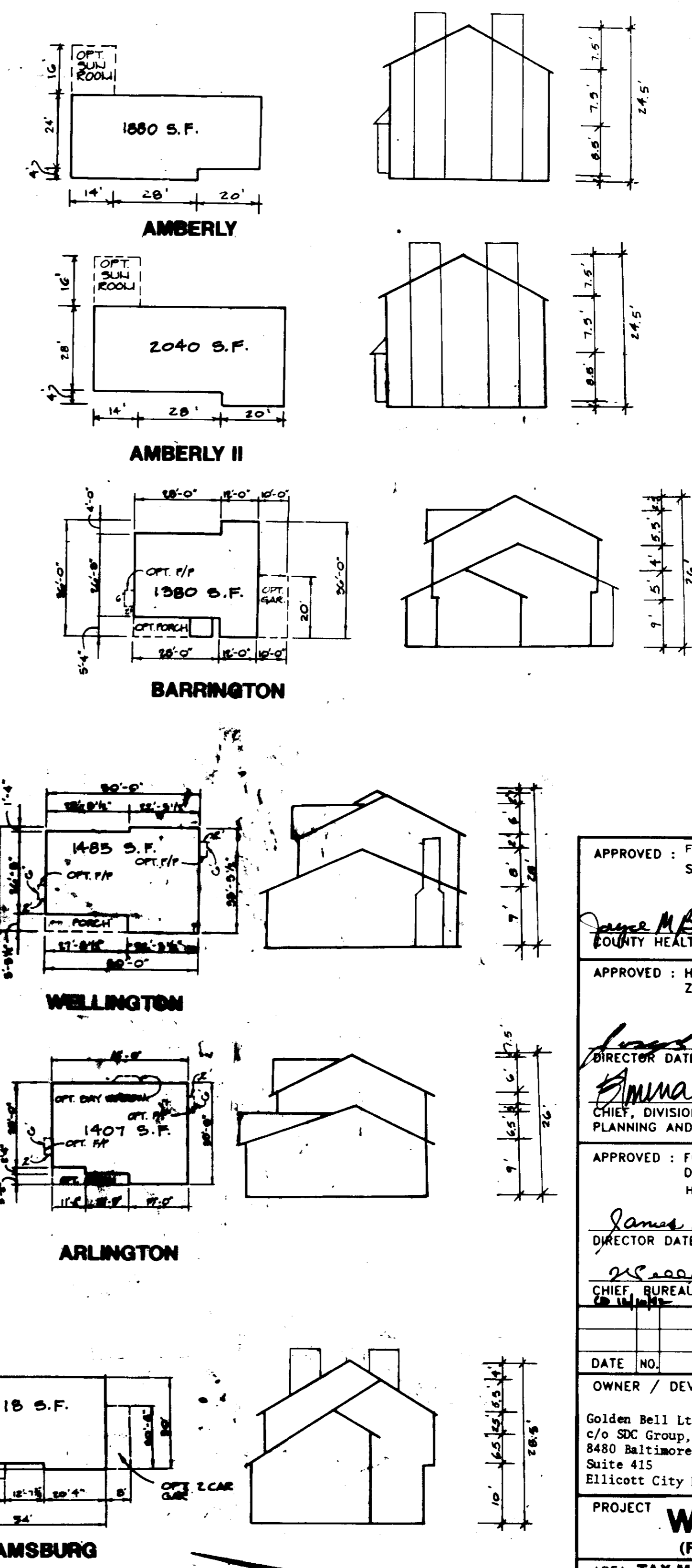
OLD STOCKBRIDGE DRIVE

MATCH LINE SEE SHEET 2

GOLDEN BELL BELLEVUE

MATCH LINE SEE SHEET 3

SEE SHEET 4

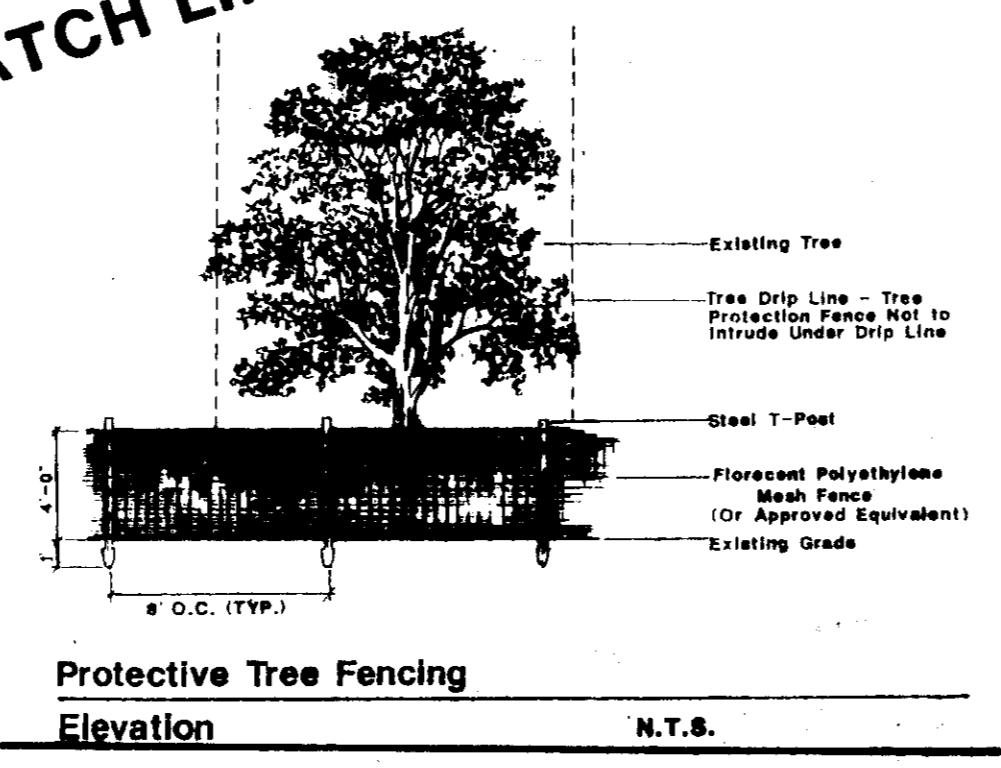


HOUSE TYPES PLAN & PROFILE

SCALE: PLAN 1"=30'
PROFILE NOT TO SCALE

TREE PRESERVATION PROCEDURES

- The edge of woods to be protected will be marked in the field per the approved Site Development Plan prior to the start of construction activity.
- Flagging shall be installed at the drip line of the edge of woods. All areas within the flagging are to be considered "OFF LIMITS" for any construction activities.
- The general contractor will affix signs near the flagging indicating that these areas are "TREE PRESERVATION AREAS". The general contractor shall take the utmost care to protect tree root systems during the construction cycle. Tree root systems shall be protected from smothering, flooding, excessive wetting from de-watering operations, off-site run off, spillage, and drainage of solutions containing materials hazardous to tree roots.
- Removal of top soil or root mat within the Tree Preservation Area shall be prohibited. The general contractor shall be prohibited from parking any construction equipment, or from storing building supplies or earth stockpiles within the Tree Preservation Areas.
- Foot traffic, as well as vehicular traffic, in the Tree Preservation Areas shall be kept to a minimum. The general contractor shall be responsible for any tree damaged or destroyed within the Tree Preservation Areas, whether caused by the contractor, his agents, employees, sub-contractors or licensees.
- Construction activities expressly restricted within the Tree Preservation Areas:
 - Placing backfill in protected areas;
 - Felling trees into protected areas;
 - Driving construction equipment into or through protected areas;
 - Burning in or in close proximity to protected areas;
 - Stacking or storing supplies in protected areas;
 - Conducting trenching operations in protected areas;
 - Being beyond the limits of disturbance.
- The general contractor shall provide a "WASH OUT" area for concrete trucks on site, which will not drain towards a protected area.
- All trees which are not to be preserved within fifty feet of any Tree Preservation Area are to be removed in a manner that will not damage those trees that are designated for preservation.



APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.	
<i>James M. Boyd</i>	12/31/92
COUNTY HEALTH OFFICER DATE	
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.	
<i>David Keith</i>	12/22/92
DIRECTOR DATE	
<i>Anna Helomath</i>	10/08/92
CHIEF, DIVISION OF COMMUNITY DATE PLANNING AND LAND DEVELOPMENT	
APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS	
<i>James M. Lavin</i>	12/16/92
DIRECTOR DATE	
<i>Arthur E. Muegge</i>	12-16-92
CHIEF, BUREAU OF ENGINEERING DATE	
DATE NO.	REVISION
OWNER / DEVELOPER: Golden Bell Ltd. Partnership c/o SDC Group, Inc. 8480 Baltimore National Pike Suite 415 Ellicott City MD 21043	
BUILDER: Cornerstone Homes, Inc. 1826 Bolton Street Baltimore, MD. 21217	
PROJECT: WATERFORD PARK (FORMERLY GOLDEN BELL) LOTS 1-7	
AREA TAX MAP NO. 37 6TH ELECTION DISTRICT PARCELS 241,242,244,338, & 380 ZONED R-12 HOWARD COUNTY MARYLAND	
TITLE: SITE DEVELOPMENT PLAN SINGLE FAMILY DETACHED LOTS 1-9, 43-44	
RIEMER MUEGGE & ASSOCIATES, INC. A Land Planning, Engineering and Consulting Firm 8818 Centre Park Drive • Suite 200 • Columbia, Maryland 21045 301-997-8900 • FAX: 301-997-9282	
<i>11/23/92</i>	P-88-80, S-80-32, F-90-124, WP-92-69
DESIGNED BY:	
DRAWN BY:	
PROJECT NO.: 54607	
DATE: OCTOBER 23, 1992	
SCALE: 1"=30'	
DRAWING NO. 5 OF 9	
ARTHUR E. MUEGGE/48707	

OLD STOCKBRIDGE DRIVE

MARYLAND ROUTE 108

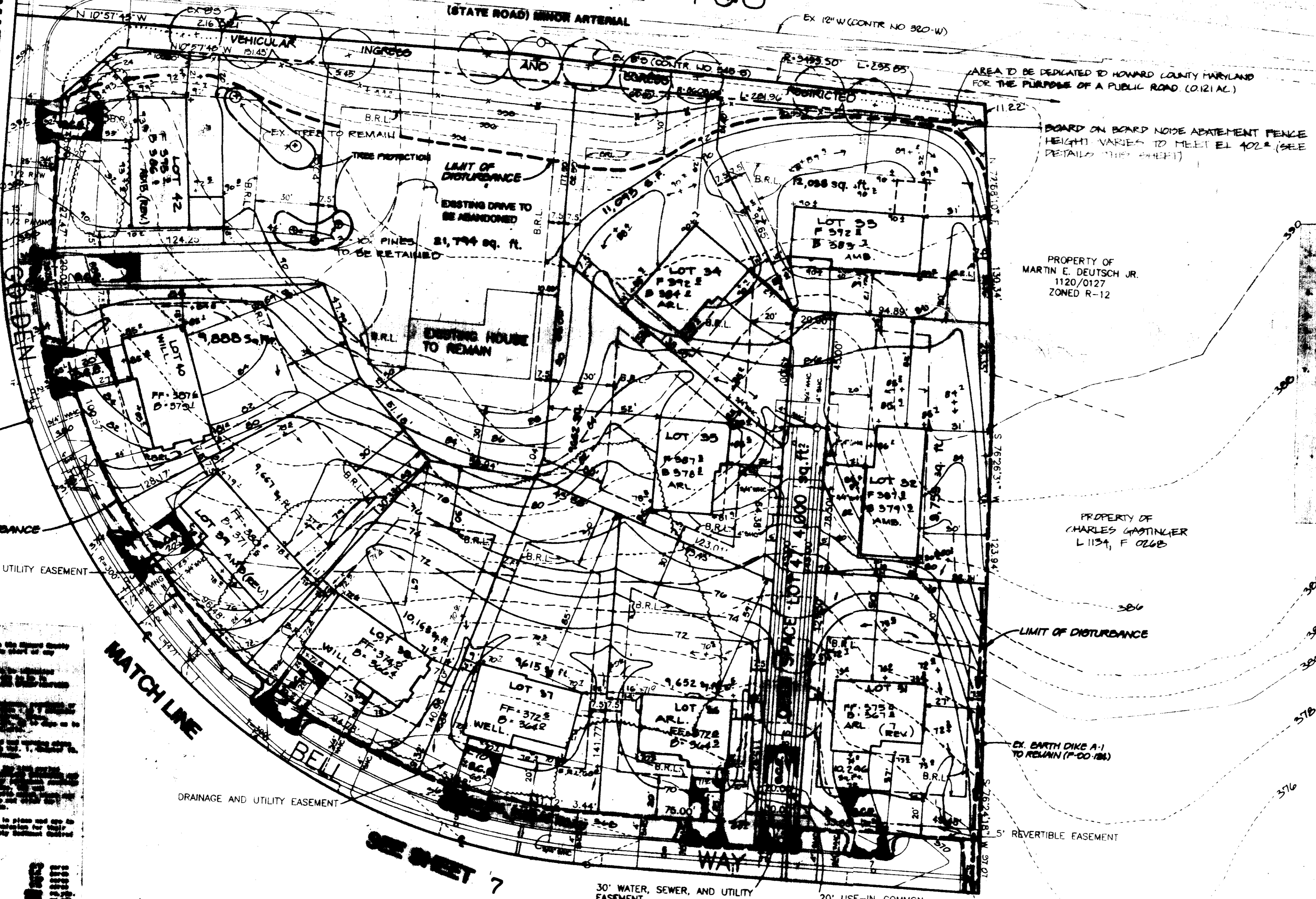
(STATE ROAD) MINOR ARTERIAL

MATCH LINE SEE SHEET 6

MATCH LINE SEE SHEET 7

MATCH LINE

SEE SHEET 7



AREA TO BE DEDICATED TO HOWARD COUNTY MARYLAND FOR THE PURPOSE OF A PUBLIC ROAD (0121AL)

BOARD ON BOARD NOISE ABATEMENT FENCE HEIGHT VARIES TO MEET EL 402' (SEE DETAILS SHEET 4-10)

PROPERTY OF MARTIN E. DEUTSCH JR. 1120/0127 ZONED R-12

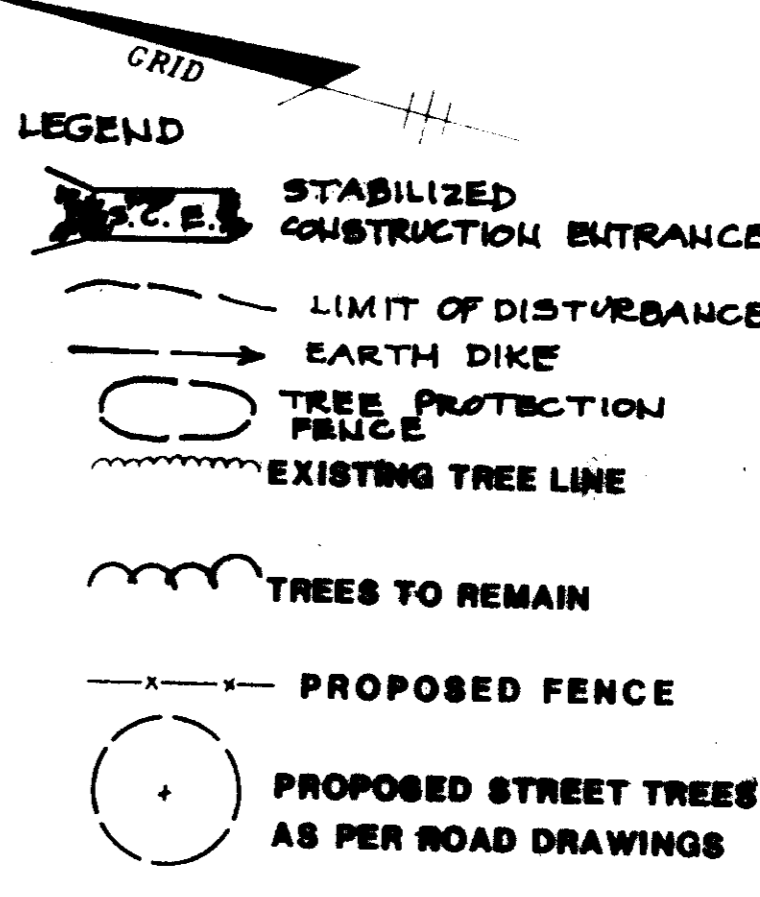
PROPERTY OF CHARLES GASTINGER L1134, F 0268

SEQUENCE OF CONSTRUCTION

1. Earth retaining walls
2. Excavation for construction entrances. Existing sediment control structures to be removed and replaced with new structures as detailed on sheet 5-1.
3. Temporary access roads and then stabilize disturbed areas in accordance with the erosion control plan.
4. Final grading and fine grading.
5. Final construction including utility installation.
6. Final site cleanup and stabilize disturbed areas in accordance with the erosion control plan.

Site Report of the Howard County Department of Public Works sediment control program shall be submitted to the Howard County Department of Public Works for review and approval. Facilities as follows:

1. Final site cleanup.....(1/2 day)
2. Final site cleanup.....(1/2 day)
3. Final site cleanup.....(1/2 day)
4. Final site cleanup.....(1/2 day)
5. Final site cleanup.....(1/2 day)
6. Final site cleanup.....(1/2 day)



1. A copy of this plan shall be submitted to the Howard County Department of Public Works for review and approval.
2. All construction shall be in accordance with the erosion control plan and the Howard County Department of Public Works sediment control program.
3. All construction shall be in accordance with the Howard County Department of Public Works sediment control program.
4. All construction shall be in accordance with the Howard County Department of Public Works sediment control program.
5. All construction shall be in accordance with the Howard County Department of Public Works sediment control program.
6. All construction shall be in accordance with the Howard County Department of Public Works sediment control program.
7. Site Analysis:
 - Total Area of Site
 - Area to be disturbed or cleared
 - Area to be vegetatively stabilized
 - Total Soil
8. All construction shall be in accordance with the Howard County Department of Public Works sediment control program.
9. All construction shall be in accordance with the Howard County Department of Public Works sediment control program.
10. All construction shall be in accordance with the Howard County Department of Public Works sediment control program.
11. All construction shall be in accordance with the Howard County Department of Public Works sediment control program.
12. All construction shall be in accordance with the Howard County Department of Public Works sediment control program.

BY THE DEVELOPER:

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

B. D. Boy 11/23/92
DEVELOPER DATE

BY THE ENGINEER:

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Arthur E. Muegge 11/23/92
ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

James M. Helms 12/10/92
U.S. SOIL CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John P. Peterson 12/10/92
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED FOR PUBLIC WATER PUBLIC SEWERAGE SYSTEM

James M. Boyd 12/21/92
COUNTY HEALTH OFFICER DATE

APPROVED FOR PUBLIC WATER AND DRAINAGE SYSTEMS AND

James M. Boyd 12/22/92
DIRECTOR DATE

APPROVED FOR PUBLIC WATER AND DRAINAGE SYSTEMS AND

William B. Rain 12-16-92
CHIEF BUREAU OF ENGINEERING DATE

OWNER / DEVELOPER BUILDUP

Golden Bell Ltd. Partnership Cornerstone
c/o SDC Group, Inc. 1826 Bell
8480 Baltimore National Pike Suite 415 Baltimore, MD
Ellicott City MD 21043

PROJECT **WATERFORD PARK**
(FORMERLY GOLDEN BELL) LOTS 1-47

AREA TAX MAP NO. 37 6TH ELECTION DISTRICT
PARCELS 241,242,244,338, & 380
ZONED R-12 HOWARD COUNTY MARYLAND

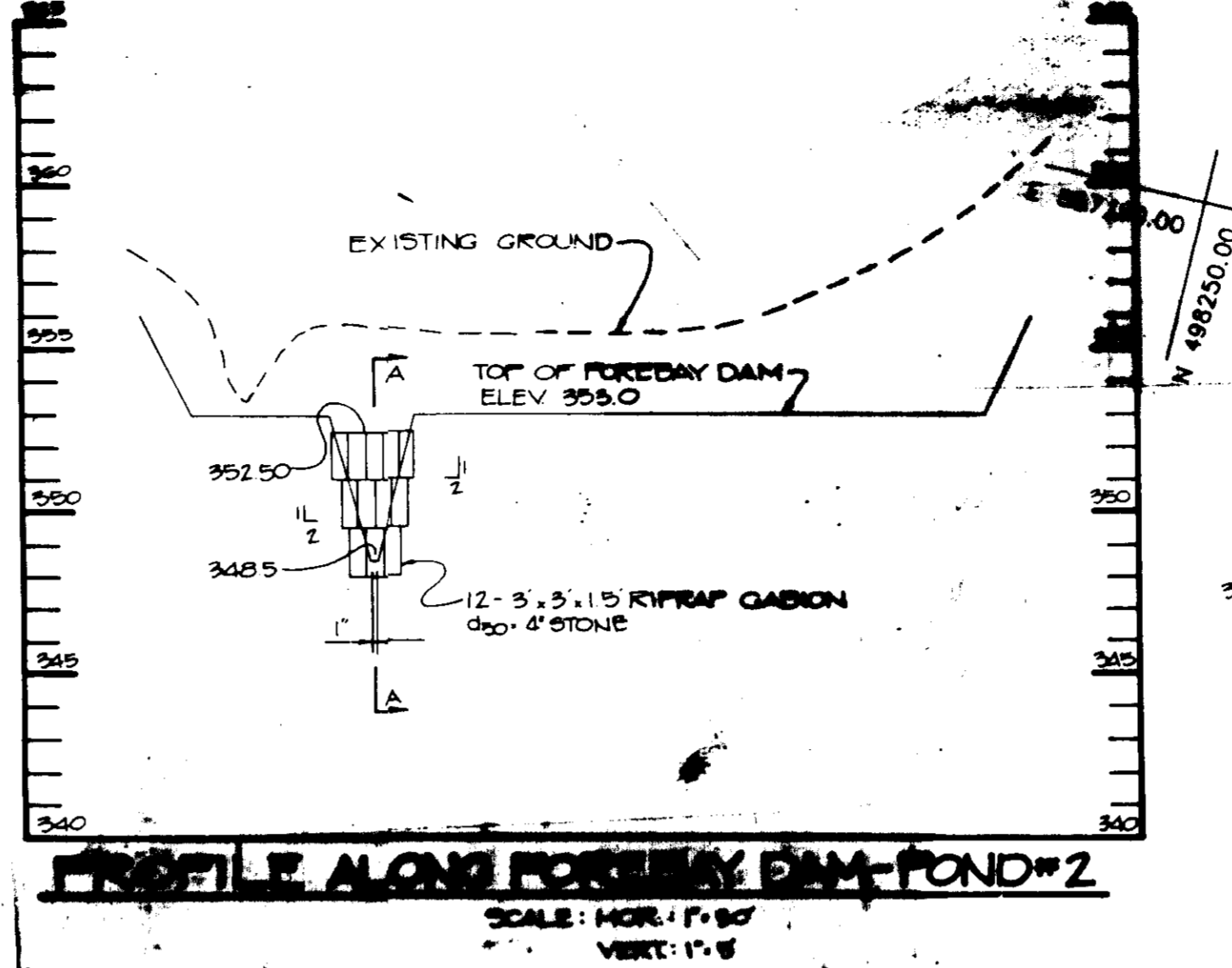
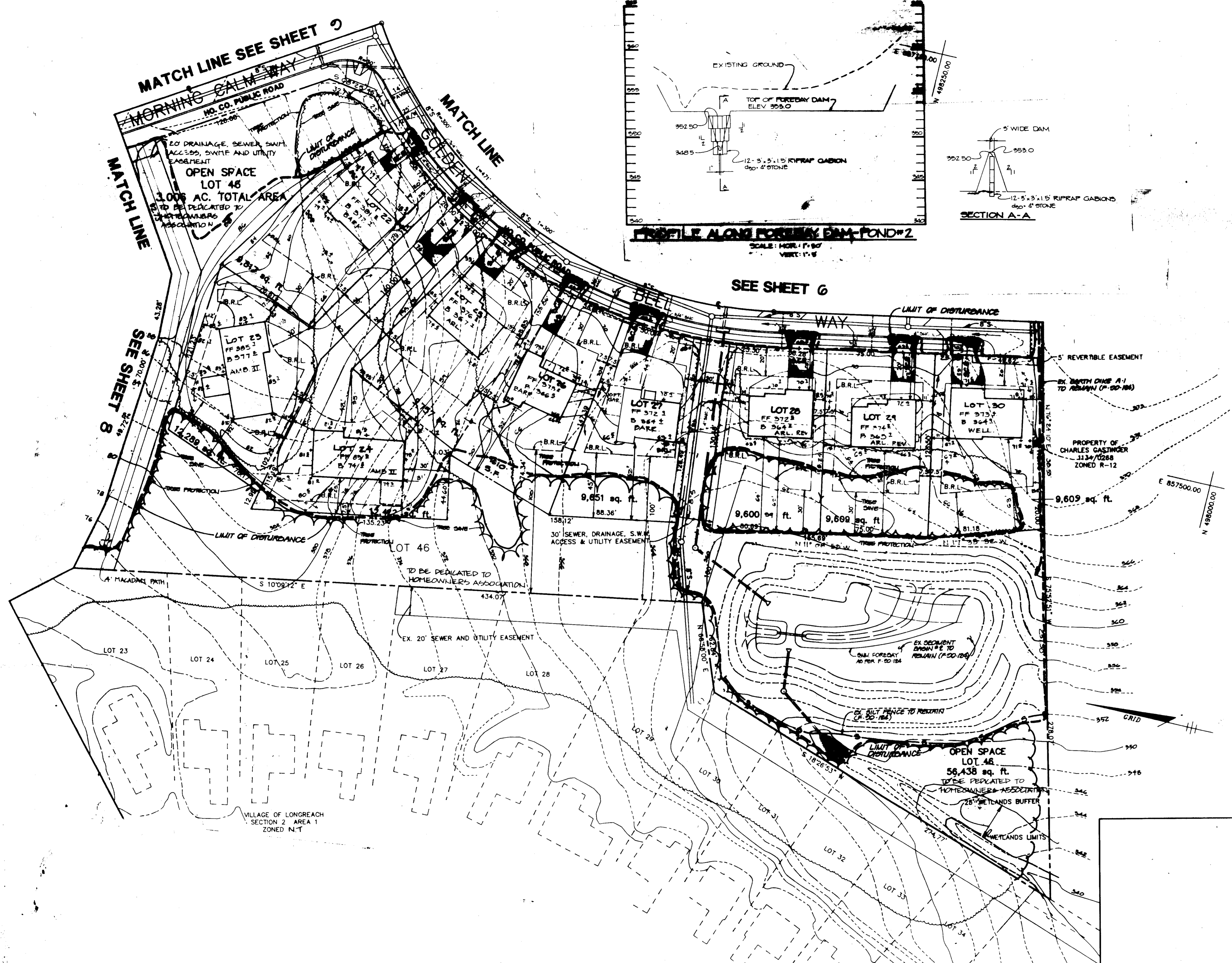
TITLE **GRADING & EROSION CONTROL PLAN**
SINGLE FAMILY DETACHED LOTS 31-42, 47

RIEMER MUEGGE & ASSOCIATES
A Land Planning, Engineering and Consulting Firm
8816 Centre Park Drive • Suite 200 • Columbia, Maryland
301-997-8900 • FAX: 301-997-4282

11-23-92 DATE
P-85-80, S-86
F-90-124, WP-92

PROFESSIONAL ENGINEER
ARTHUR E. MUEGGE

OCTOBER 23, 1992



BY THE DEVELOPER:
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL EMPLOYED BY THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE BY A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.
 B. D. Boy 11/23/92
 DEVELOPER DATE

BY THE ENGINEER:
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 Arthur E. Muegge 11/23/92
 ENGINEER DATE

THIS PLAN HAS BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.
 [Signature] 12/1/92
 DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature] 12/1/92
 DATE

APPROVED: FOR PUBLIC WATER PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.
 James M. Kowalski 12/21/92
 COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
 [Signature] 12/22/92
 DIRECTOR DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.
 Howard County Department of Public Works
 [Signature] 12/22/92
 DIRECTOR DATE

APPROVED: FOR PLANNING AND LAND DEVELOPMENT.
 [Signature] 12/22/92
 CHIEF, DIVISION OF COMMUNITY DATE

APPROVED: FOR PLANNING AND LAND DEVELOPMENT.
 [Signature] 12-16-92
 CHIEF, BUREAU OF ENGINEERING DATE

DATE	NO.	REVISION

OWNER / DEVELOPER: Golden Bell Ltd. Partnership
 8480 Baltimore National Pike Suite 415
 Ellicott City MD 21045

BUILDER: Cornerstone Homes
 1526 Balton Street
 Baltimore, MD 21207

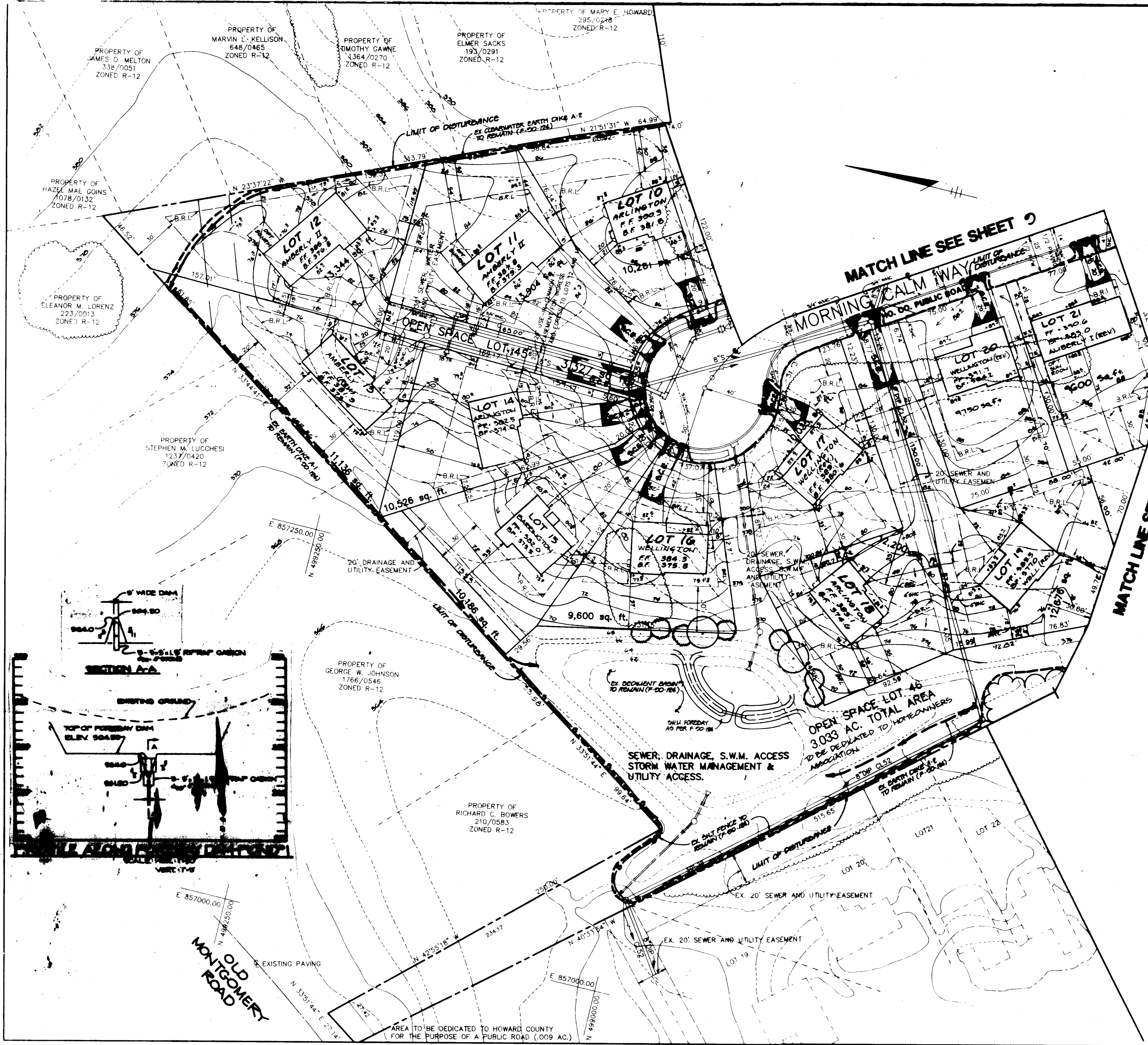
PROJECT: **WATERFORD PARK**
 (FORMERLY GOLDEN BELL) LOTS 1-47

AREA: TAX MAP NO. 37 6TH ELECTION DISTRICT
 PARCELS 241,242,244,338, & 380
 ZONED R-12 HOWARD COUNTY MARYLAND

TITLE: **GRADING & EROSION CONTROL PLAN**
 SINGLE FAMILY DETACHED LOTS 23-30, 46

RIEMER MUEGGE & ASSOCIATES, INC.
 A Land Planning, Engineering and Consulting Firm
 8818 Centre Park Drive Suite 200 Columbia, Maryland 21045
 301-997-8900 FAX: 301-997-9282

11-23-92 DATE
 DESIGNED BY:
 DRAWN BY:
 PROJECT NO: 54607
 DATE: OCTOBER 23, 1992
 SCALE: 1"=30'
 DRAWING NO. 7 OF 9



BY THE DEVELOPER:
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE IN ACCORDANCE WITH THE PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A COURSE OF THE ENVIRONMENTAL TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT BEFORE BEGINS THE PROJECT. I ALSO AUTHORIZE PERSONNEL TO BE INSPECTED BY THE HOWARD SOIL CONSERVATION DISTRICT.

R. D. Boy 11/23/92
 DEVELOPER DATE

BY THE ENGINEER:
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL, INCLUDING A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL SURVEY OF THE PROJECT, AND THAT I WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Arthur E. Muegge 11/23/92
 ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

Janet M. Helms 12/2/92
 S.O. SOIL CONSERVATION DISTRICT DATE

THE DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John P. Roberts 12/1/92
 HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: FOR PUBLIC WATER PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

James M. Boyd 12/2/92
 COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Janet Helms 12/2/92
 DIRECTOR DATE

Bluma Helms 12/2/92
 CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

James M. Boyd 12/1/92
 DIRECTOR DATE

John P. Roberts 12/2/92
 CHIEF, BUREAU OF ENGINEERING DATE

DATE	NO.	REVISION

OWNER / DEVELOPER: Golden Bell Ltd. Partnership
 BUILDER: Cornerstone Homes, Inc.

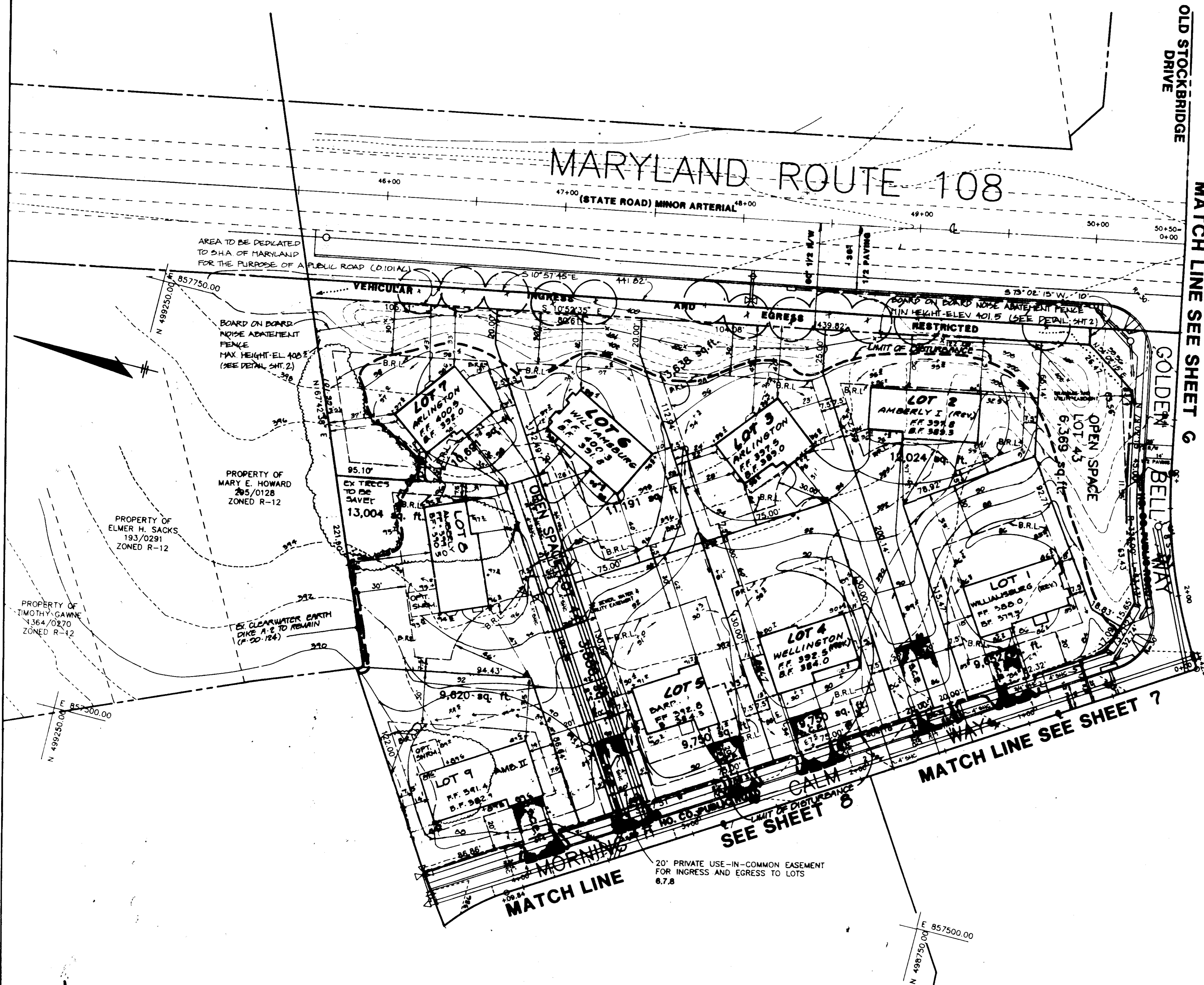
PROJECT: **WATERFORD PARK**
 (FORMERLY GOLDEN BELL) LOTS 1-47
 AREA: TAX MAP NO. 37 6TH ELECTION DISTRICT
 PARCELS 241, 242, 244, 238, & 288
 ZONED R-12 HOWARD COUNTY MARYLAND
 TITLE: **GRADING & SEDIMENT CONTROL PLAN**
 SINGLE FAMILY DETACHED LOTS 10-21, 48-49

RIEMER MUEGGE & ASSOCIATES, INC.
 A Land Planning, Engineering and Consulting Firm
 8618 Centre Park Drive • Suite 200 • Columbia, Maryland 21045
 301-997-8900 • FAX: 301-997-9282

DATE: 11-23-92
 DESIGNED BY: F-88-20, S-89-32, F-90-124, WP-92-69
 DRAWN BY:
 PROJECT NO: 54607
 DATE: OCTOBER 23, 1992
 SCALE: 1"=30'
 DRAWING NO: 8 9



SDP-91-20



BY THE DEVELOPER :
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

B. D. Boy 11/23/92
 DEVELOPER DATE

BY THE ENGINEER :
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Arthur E. Muegge 11/23/92
 ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

James M. Wilson 12/1/92
 HOWARD SOIL CONSERVATION DISTRICT

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John P. Robinson 12/1/92
 HOWARD SOIL CONSERVATION DISTRICT

APPROVED FOR PUBLIC WATER PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

James M. Boyd 12/21/92
 COUNTY HEALTH OFFICER DATE

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

James M. Boyd 12/22/92
 DIRECTOR DATE

Elminal Wilson 10/20/92
 CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT

APPROVED : FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

James M. Boyd 12/16/92
 DIRECTOR DATE

Arthur E. Muegge 12-16-92
 CHIEF, BUREAU OF ENGINEERING DATE

DATE	NO.	REVISION

OWNER / DEVELOPER BUILDER
 Golden Bell Ltd. Partnership Cornerstone Homes, Inc.
 c/o SDC Group, Inc. 1826 Bolton Street
 8480 Baltimore National Pike Baltimore, MD 21217
 Suite 415
 Ellicott City MD 21043

PROJECT **WATERFORD PARK**
 (FORMERLY GOLDEN BELL) LOTS 1-47

AREA TAX MAP NO. 37 6TH ELECTION DISTRICT
 PARCELS 241, 242, 244, 338, & 380
 ZONED R-12 HOWARD COUNTY MARYLAND

TITLE **GRADING & SEDIMENT CONTROL PLAN**
 SINGLE FAMILY DETACHED LOTS 1-9, 48-44

RIEMER MUEGGE & ASSOCIATES, INC.
 A Land Planning, Engineering and Consulting Firm
 8818 Centre Park Drive • Suite 200 • Columbia, Maryland 21045
 301-997-8900 • FAX: 301-997-9282

11-23-92 DATE
 P-89-80, S-89-32, F-90-124, WP-92-89

DESIGNED BY :

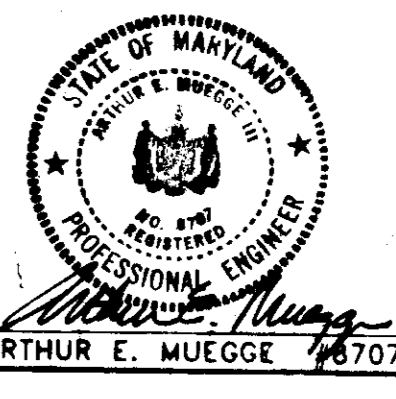
DRAWN BY :

PROJECT NO. : 54607

DATE : OCTOBER 23, 1992

SCALE : 1"=30'

DRAWING NO. 9 OF 9



SDP-91-20