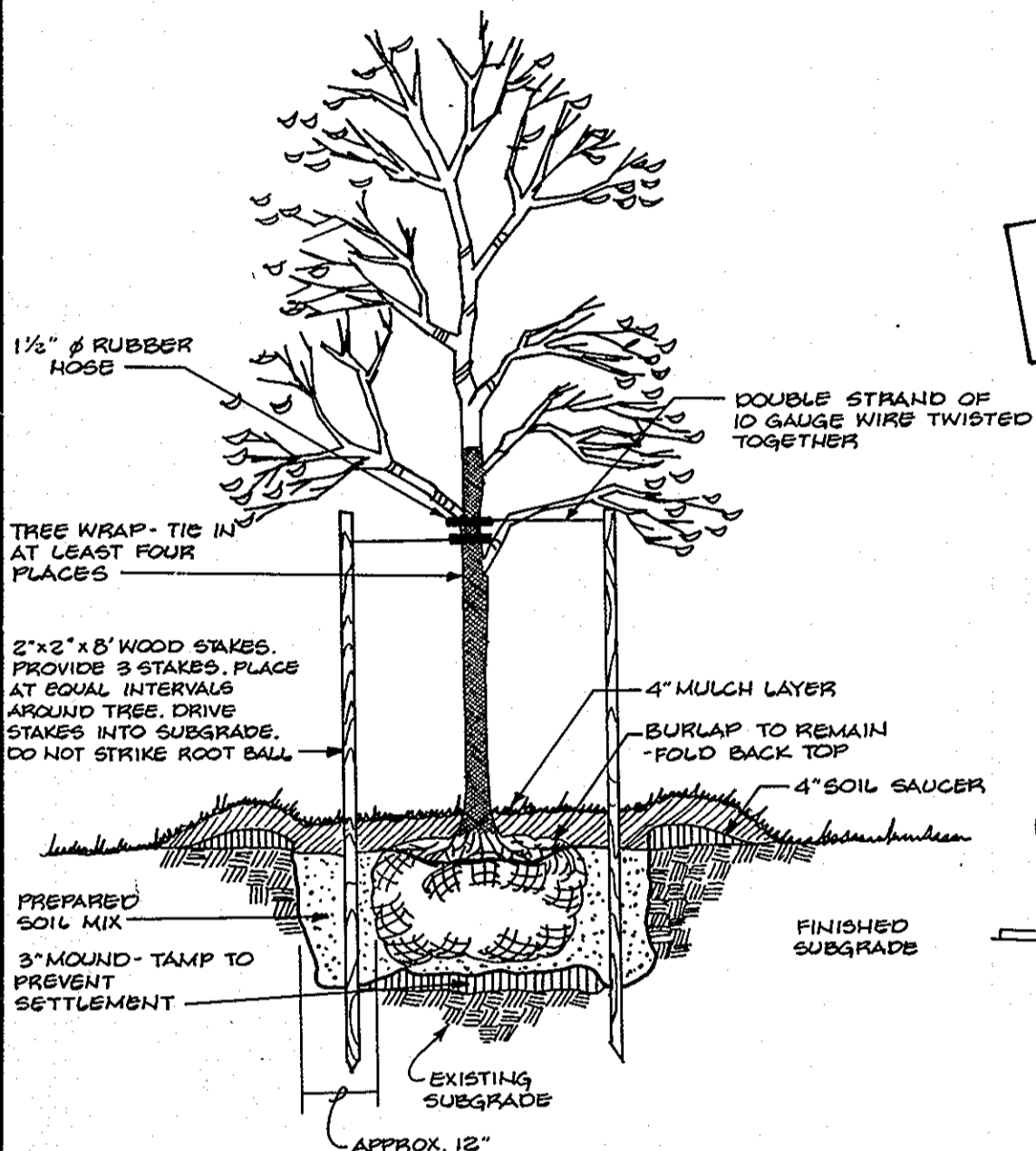


LEGEND:

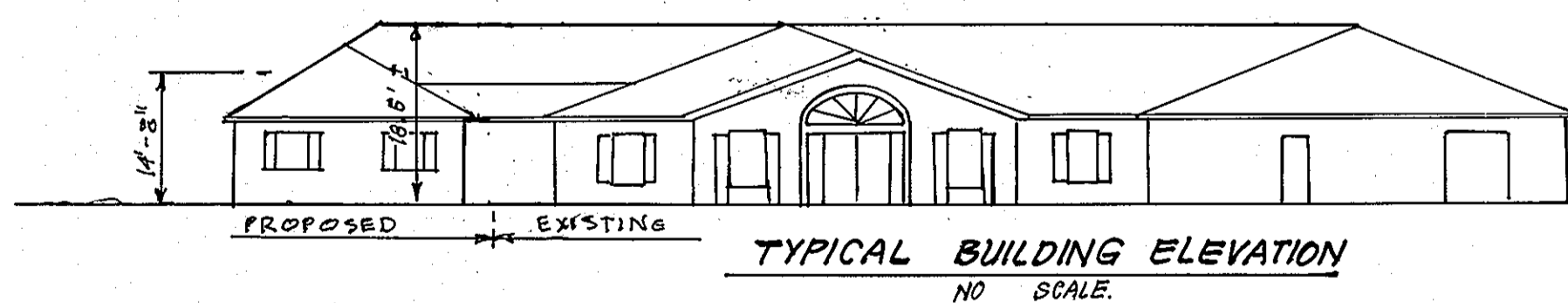
- Contour Interval **2 Ft.**
- Existing Contour **422**
- Proposed Contour **422**
- Spot Elevation **+22.5**
- Direction of Drainage
- Existing Trees to Remain
- Bituminous Curb
- Rev. 6" Curb & Gutter
- SHA Conc. Curb & Gutter Type A w/ 1" Pan.
- Std. 6" Curb & Gutter
- Existing Light Pole
- Chain Link Fence
- Privacy Fence
- Picket Fence
- Soil Boring
- Area to Be Regraded and Resodded
- Area to Be Resodded



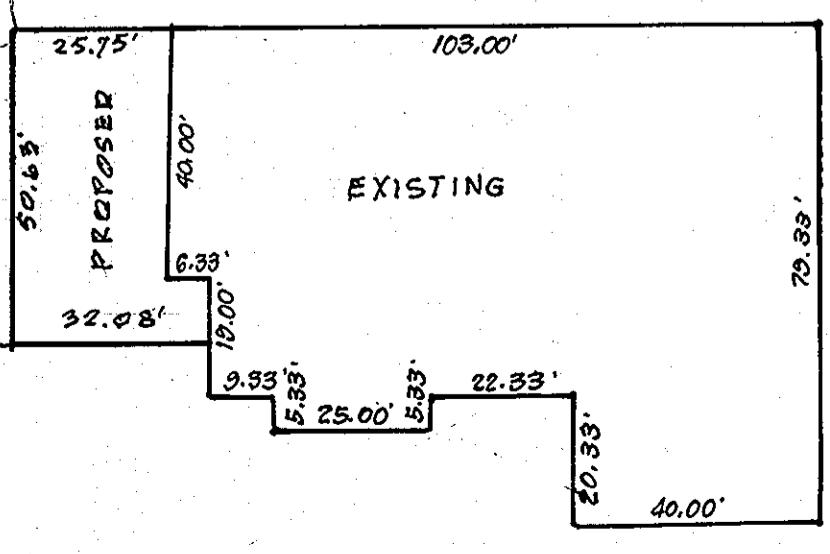
TREE PLANTING DETAIL
NO SCALE

| | | |
|-----|---------------------------------|---------|
| 2 | REV TO INCREASE WATER LINE SIZE | 6-20-12 |
| 1 | REV TO ADD BUILDING ADDITION | 1-24-12 |
| NO. | REVISION | DATE |

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER **9/10/90**
 DATE
 APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
 DIRECTOR **10/24/90**
 DATE
 CHIEF DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT
 APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR **9/25/90**
 DATE
 CHIEF BUREAU OF ENGINEERING **9/25/90**
 DATE



TYPICAL BUILDING ELEVATION
NO SCALE



TYPICAL PLAN

LANDSCAPE NOTES

- 1. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH PAUL/WAEL, LAND SPEC. OF L.C.A.M.W.
- 2. ALL PLANT MATERIAL TO MEET A.A.H. STD.
- 3. CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING

PLANT SCHEDULE

| KEY | PLANT NAME | SIZE | QUA. | REMARKS |
|------------------------------------|------------------------|------------|------|--|
| MAJOR TREE, MINOR TREE & EVERGREEN | | | | |
| ⊕ | ACER FURFUM | 10" DBH | 4 | 10' x 10' FULL HEAD |
| ⊕ | ACER GLORY | 12" DBH | 4 | 10' x 10' FULL HEAD |
| ⊕ | EXISTING LOCUST | 4" DBH | 3 | TO BE TRANSPLANTED FROM PRESENT LOCATION |
| ⊕ | AMBLANCHIER CANADENSIS | 7" DBH | 2 | B + B HEADY |
| ⊕ | PISEA NORWAY | 2 1/2" DBH | 17 | 10' x 10' FULL HEAD |

AS-BUILT FOR INFILTRATION TRENCH 12-3-91

OWNER: VCA REAL PROPERTY ACQUISITION CORP. 12401 W. OLYMPIC BLVD. LOS ANGELES, CALIF. 90044-1022

CLARK • FINEFROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 7135 MINSTREL WAY • COLUMBIA, MD. 21045 • (301) 381-7200 - BALTO. • (301) 621-8100 - WASH.

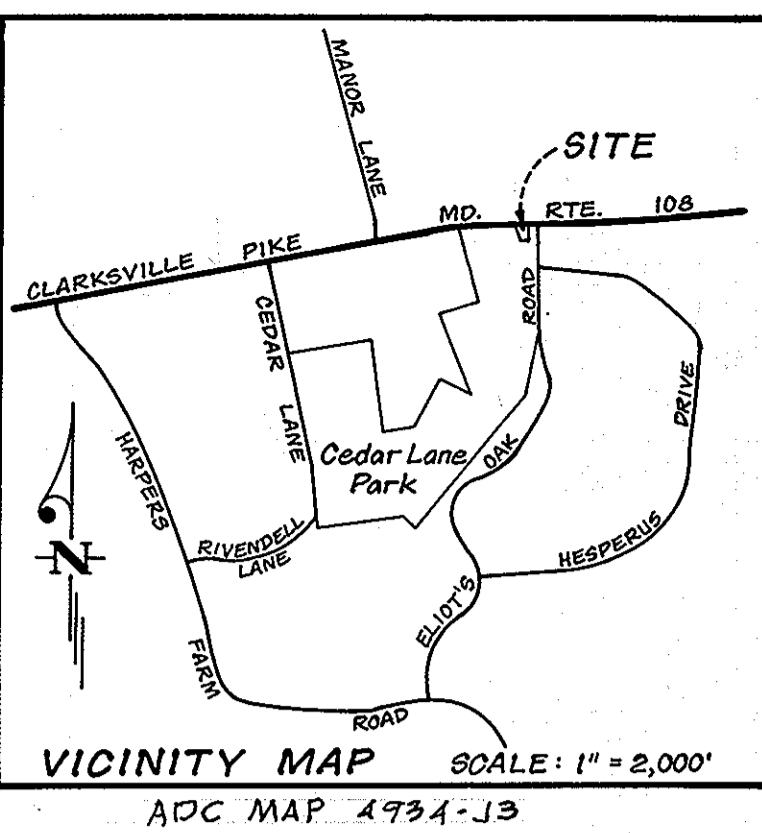
SITE DEVELOPMENT PLAN
LEWIS VETERINARY HOSPITAL

5TH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

DESIGNED: **JME**
 DRAWN: **LAI**
 CHECKED: **JLG**
 DATE: **3-10-90**

SCALE: **1" = 30'**
 DRAWING: **1 of 5**
 JOB NO.: **89-125**
 FILE NO.: **89-125 X**

AS-BUILT SDP90181



GENERAL NOTES

1. All materials and construction to be in accordance with Howard County Road Construction Codes and Specifications.
2. Coordinates are based on the Maryland State Grid System as shown per previously approved Record Plat, recorded as Plat Book 13 at Folio 28.
3. All driveways are privately owned and maintained.
4. Any damage to county owned rights-of-way to be corrected at the developer's expense.
5. Installation of traffic control devices shall be in accordance with the latest edition of the "Manual of Uniform Traffic Control".
6. Topography was compiled from actual field survey.
7. The area shown is located on Tax Map No. 20, Parcel 83.
8. Information concerning underground utilities was obtained from available records, must the contractor must determine the exact location by digging test pits, by hand, at all crossings well in advance of construction.
9. The contractor or developer shall contact the Construction Inspection Division 24 hours in advance of work at 992-2417 or 792-7272.
10. The developer agrees to work with the Dept. of Licenses and Inspections to resolve any problem with roof water discharge.
11. Handicap parking details shall be in accordance with the "Maryland Building Code for the Handicapped", Section 5.01-7.05 and
12. Deed reference: 1239/123
13. Notify all utility companies 24 hrs. in advance of construction.
14. Public Water & Sewer Service to be utilized.
15. See B.A. Case # 88-55E For Special Exception Petition. See Also BA 527-C, BA 772 C, AND BA 670C, AND BA 11-005 N
16. No residential apartment use of the proposed building to be allowed.

SITE ANALYSIS:

1. PRESENT ZONING: **R-20**
2. TYPE OF UNIT PROPOSED: **EXPANDING EX. VETERINARY HOSPITAL**
3. NUMBER OF EMPLOYEES: **6 VETERINARIANS, 22 LAV STAFF**
4. BUILDING COVERAGE: **8,244 sq. ft. or 0.181 Ac. = 10.2% Gross**
5. PARKING SPACES REQUIRED: **41**
6. PARKING SPACES PROVIDED: **39 + 2NC = 41**
7. HANDICAP SPACES: **2**
8. AREA TABULATION: **1.861 Acres**
9. GREENSPACE PROVIDED: **1.231 Ac or 66.1% Gross**
10. AREA OF PARKING: **1920 sq. ft. or 0.44 Ac = 23.7% Gross**
11. Existing Vegetation Consists of Established Grassed Areas and Landscape Trees in Young & Good Condition.

NOTE: There are no tidal wetlands on this site; based on a wetlands evaluation prepared by Exploration Research (10-9-89).

SPECIAL NOTES

1. A water meter shall be located on incoming line to building in a location accessible for inspection.
2. Separate building permit and Health Department inspection required for underground storage tank removal.



| | |
|---------------------------|---------------------|
| Lot No. | STREET ADDRESS |
| Parcel 83 | 10685 Route #108 |
| SUBDIVISION NAME: | SECTION/AREA |
| LEWIS VETERINARY HOSPITAL | Parcel 83 |
| DEED NO. 239/123 | BLOCK NO. 12 |
| ZONE R-20 | TAXY ZONE MAP 29 |
| WATER CODE 4610.46 | SEWER CODE -20-1039 |

3.3.6.1. Timing

An infiltration trench shall not be constructed or placed in service until all of the contributing drainage area has been stabilized and approved by the responsible inspector.

3.3.6.2. Trench Preparation

Excavate the trench to the design dimensions. Excavator materials shall be placed away from the trench to enhance trench wall stability. Large stones must be removed from the trench sides in order to prevent fabric puncturing or tearing during subsequent installation procedures. The side walls of the trench shall be roughened where sheared and sealed by heavy equipment.

3.3.6.3. Fabric Laydown

The filter fabric roll must be cut to the proper width prior to installation. The cut width must include sufficient material to conform to rough perimeter irregularities and for a 6-inch minimum top overlap. Place the fabric roll over the trench and unroll a sufficient length to allow placement of the fabric down into the trench. Stones or other anchoring devices should be placed on the fabric at the edge of the trench to keep the trench open during windy periods. When overlaps are required be worn down the upstream roll should lap a minimum of 2 feet over the down-stream roll in order to provide a shingled effect. The overlay ensures fabric continuity and to ensure that the fabric conforms to the excavation surface during aggregate placement and compaction.

3.3.6.4. Stone Aggregate Placement and Compaction

The stone aggregate should be placed in lifts and compacted using plate compactors. As a rule of thumb, a maximum lift thickness of 12 inches is recommended. The compaction process ensures fabric conformity to the excavation sides, thereby reducing the potential for soil piping, fabric clogging, and settlement problems.

3.3.6.5. Overlapping and Covering

Following the stone aggregate placement, the filter fabric shall be folded over the stone aggregate to form a 6" minimum longitudinal lap. The folded filter fabric or stone aggregate shall be placed over the lap at sufficient intervals to maintain the lap during subsequent backfilling.

3.3.6.6. Contamination

Care shall be exercised to prevent natural or fill soils from intermixing with the stone aggregate. All contaminated stone aggregate shall be removed and replaced with uncontaminated stone aggregate.

3.3.6.7. Voids Behind Fabric

Voids can be created between the fabric and excavation sides and shall be avoided. Removing boulders or other obstacles from the trench walls is one source of such voids. Natural soils should be placed in these voids at the most convenient time during construction to ensure fabric conformity to the excavation sides. Soil piping, fabric clogging, and possible surface subsidence will be avoided by this remedial process.

3.3.6.8. Unstable Excavation Sides

Vertically excavated walls may be difficult to maintain in areas where the soil moisture is high or where soft cohesive or cohesionless soils predominate. These conditions may require laying back of the side slopes to maintain stability; trapezoidal rather than rectangular cross sections may result.

3.3.6.9. Vegetative Buffer

A vegetative buffer of at least 20 feet (wider, if possible) shall be used to intercept surface runoff from all impervious areas.

3.3.6.10. Traffic Control

Heavy equipment and traffic shall be restricted from travelling over the infiltration areas to minimize compaction of the soil.

3.3.6.11. Observation Well

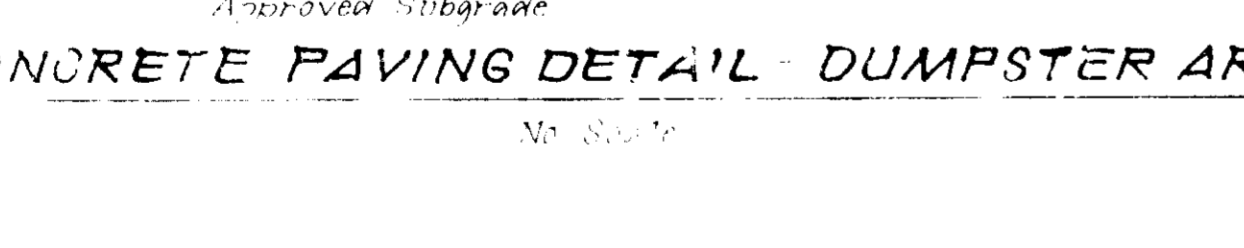
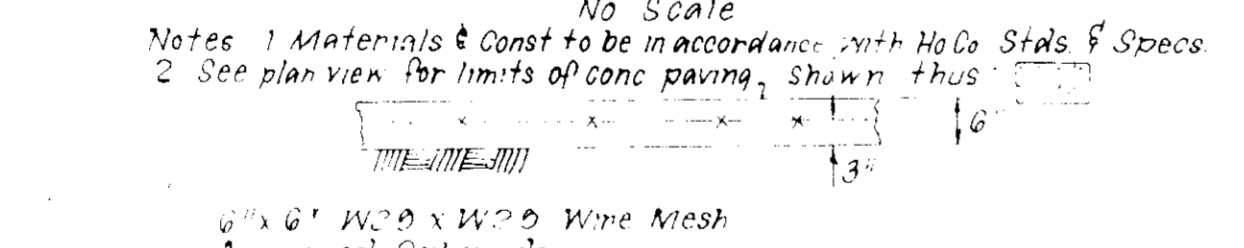
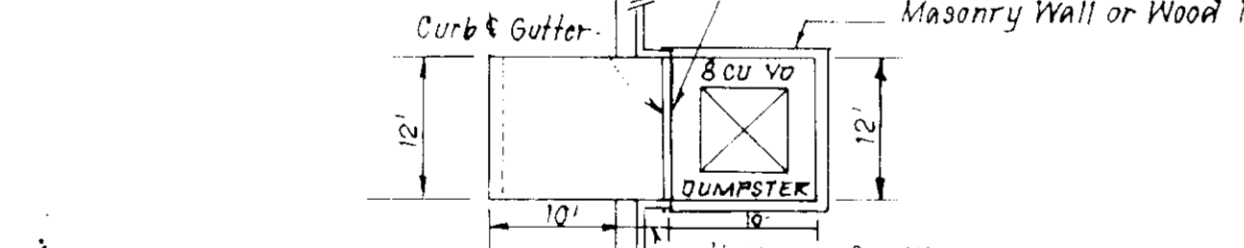
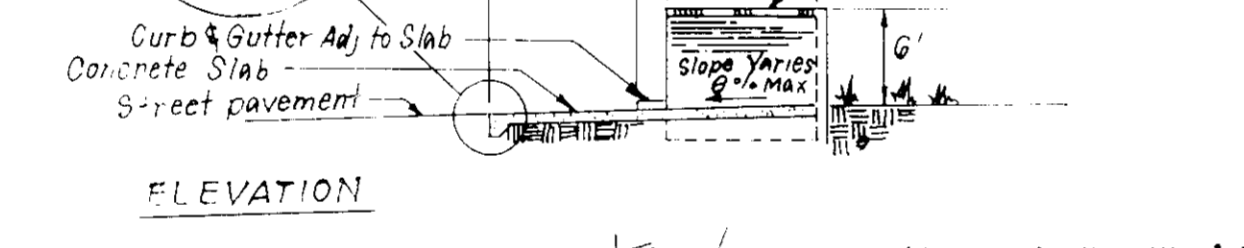
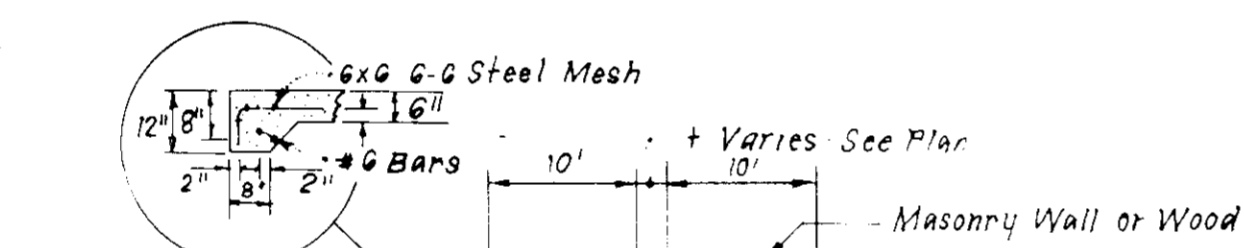
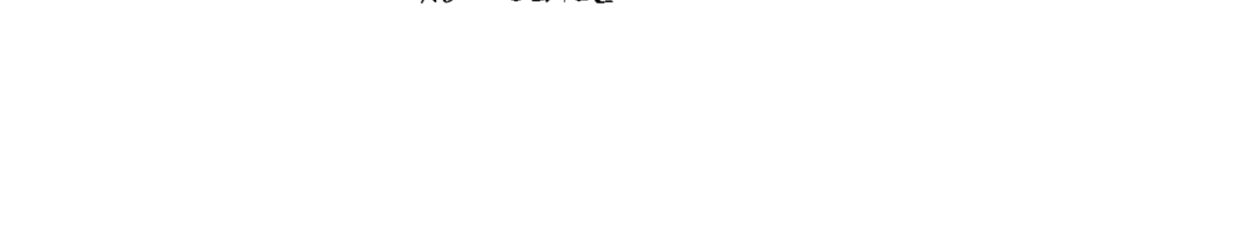
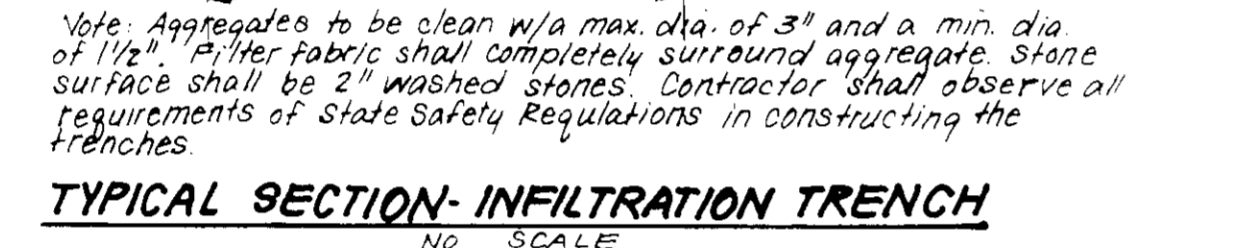
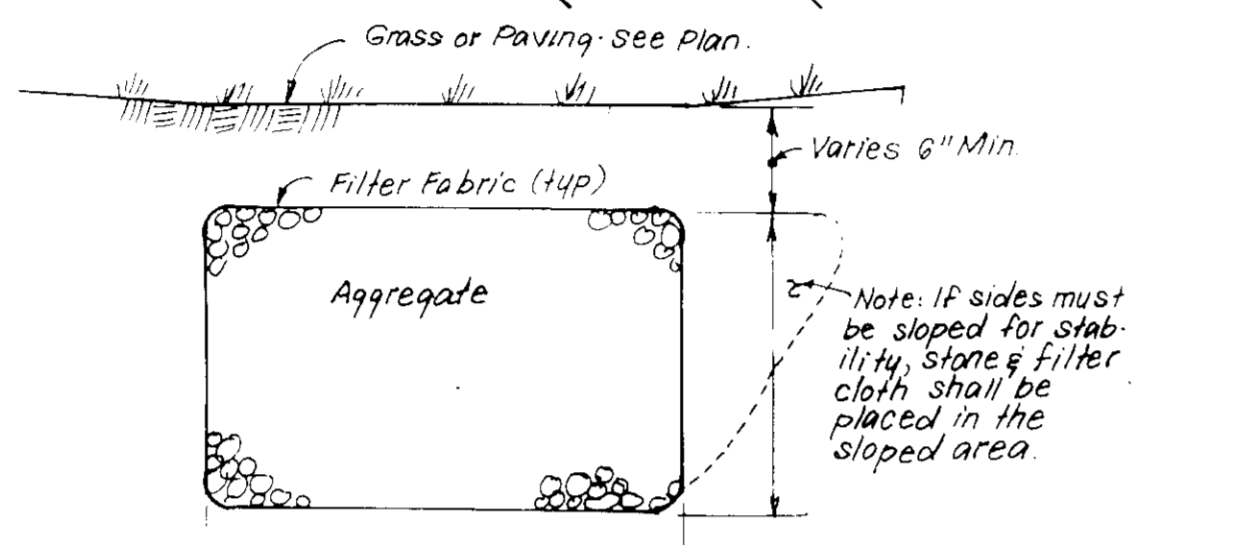
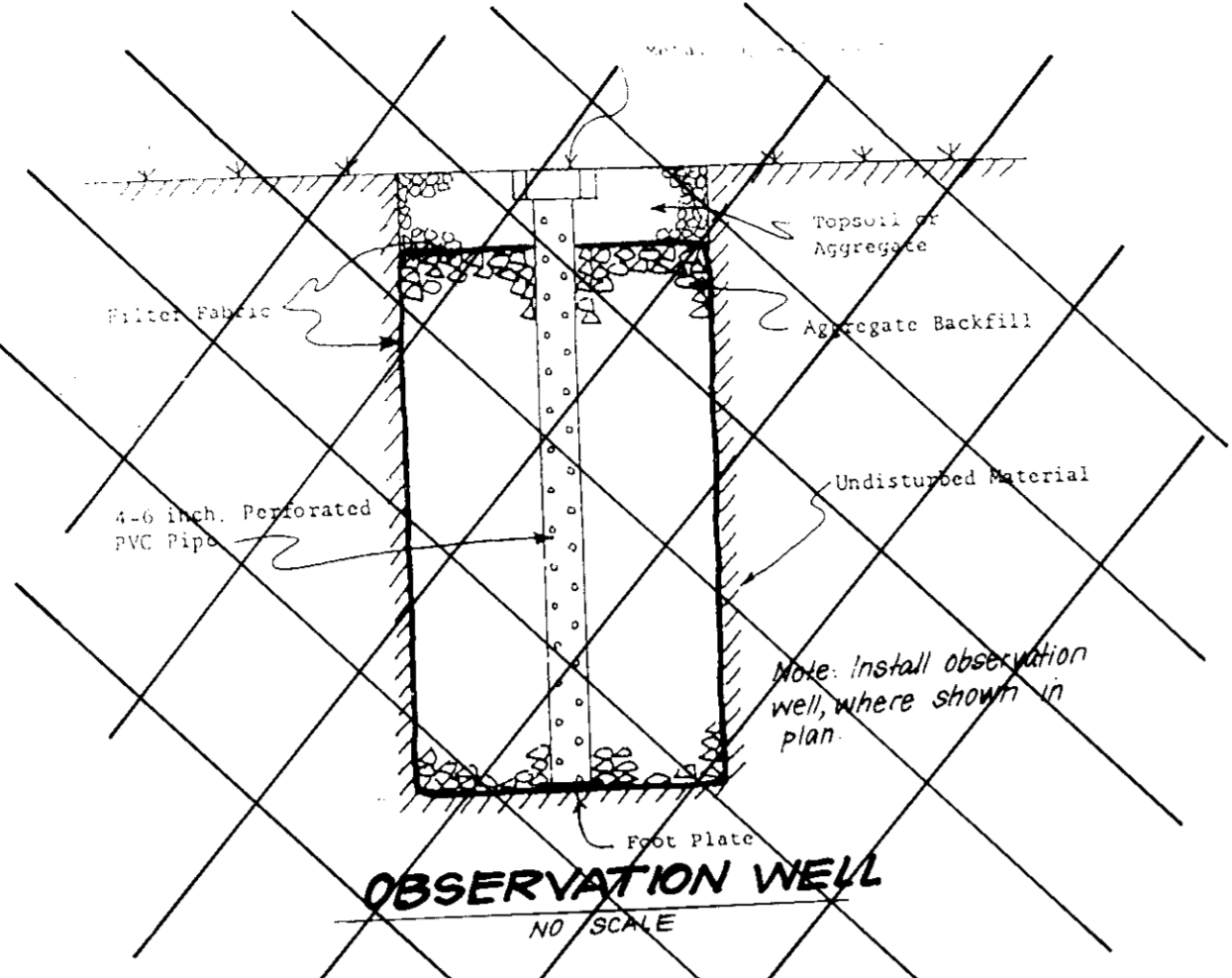
An observation well, as described in subsection 3.3.4.8 and Figure 3-5 shall be provided. The depth of the well at the time of installation will be clearly marked on the well cap.

3.3.7. Maintenance

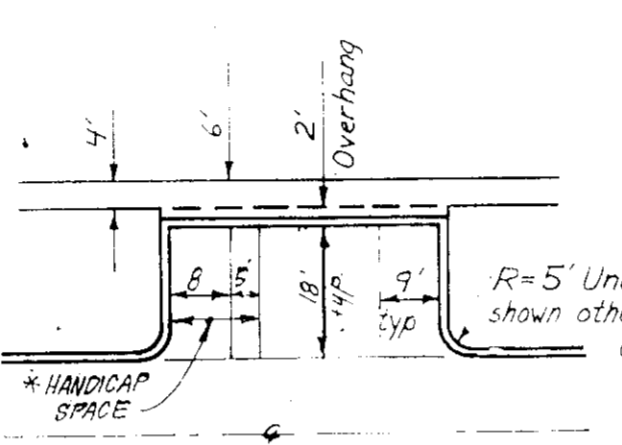
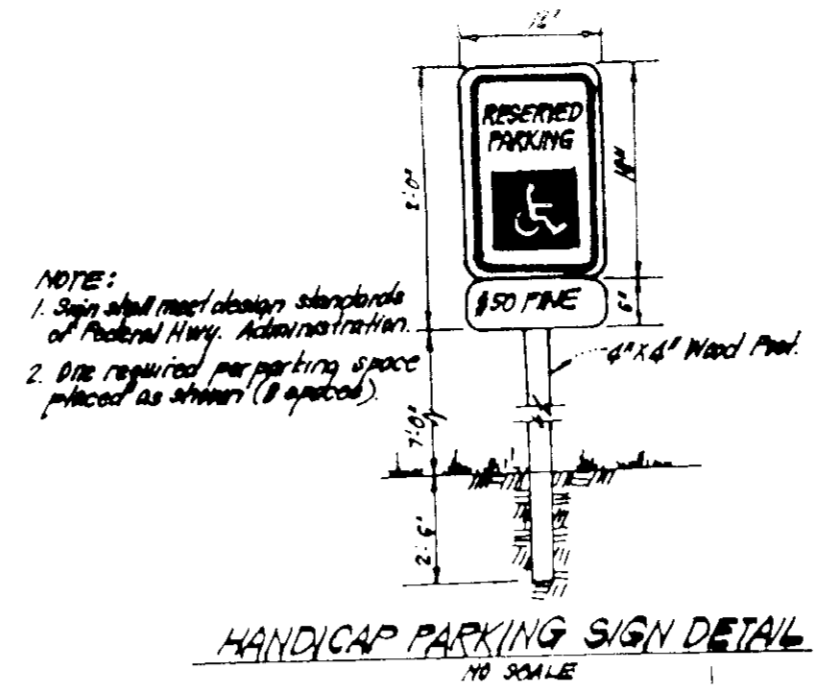
Infiltration trenches shall be designed to minimize maintenance. However, it is recognized that all infiltration facilities are subject to clogging by sediment, oil, grease, grit and other debris. In addition, the performance and longevity of these structures is not well documented. Consequently, a monitoring observation well is required for all infiltration structures.

The observation well shall be monitored periodically. For the first year after completion of construction, the well should be monitored on a quarterly basis and after every destruction. It is recommended that a log book be maintained indicating the rate at which the facility degrades after large storms and the depth of the well for each observation. Once the performance characteristics of the structure have been verified, the monitoring schedule can be reduced to an annual basis, unless the performance data indicate that a more frequent schedule is required.

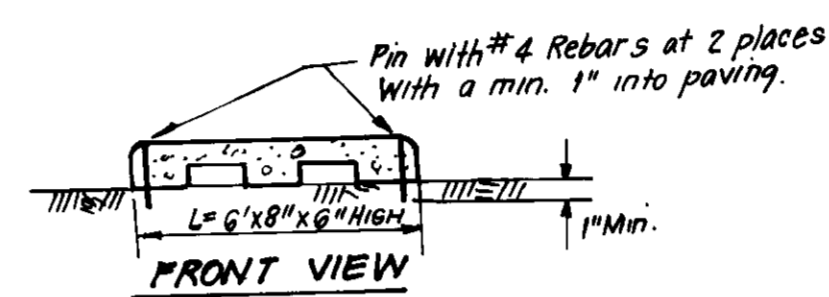
Sediment build-up in the top foot of stone aggregate or the surface inlet should be monitored on the same schedule as the observation well. A trench has a stone surface. Sediment deposited shall not be allowed to build up to the point where it will reduce the rate of infiltration into the trench.



COULDS
Language and Position: Green
White Symbol on Blue Background
Background: White



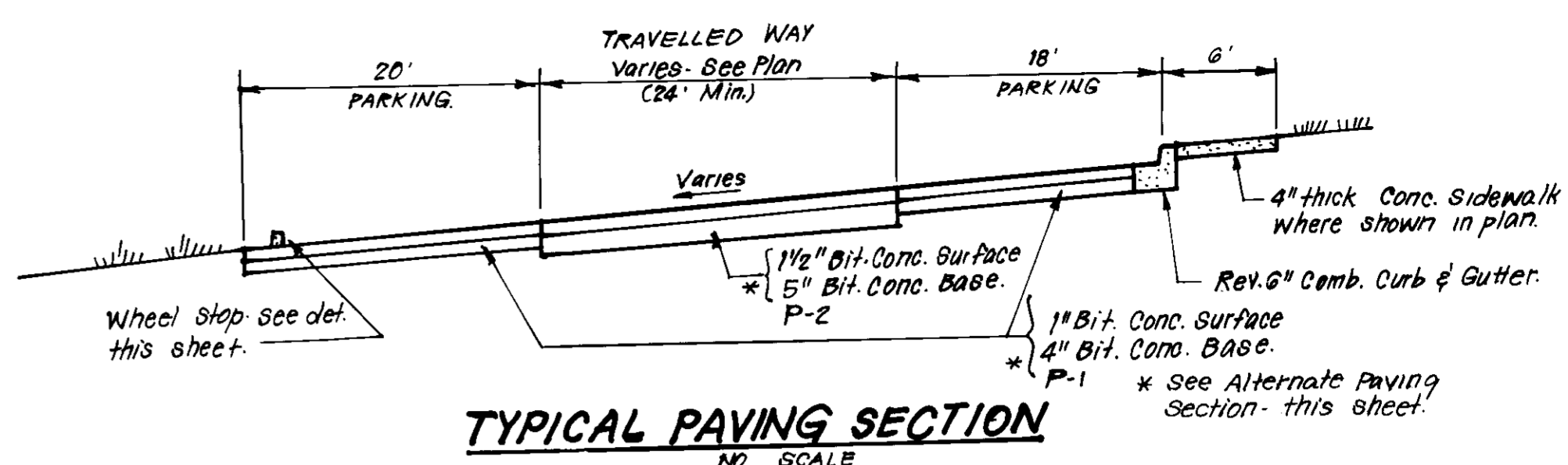
TYPICAL PARKING
NO SCALE



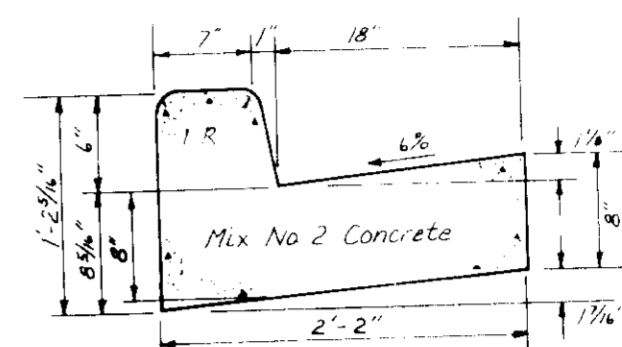
FRONT VIEW
L x 8\"/>



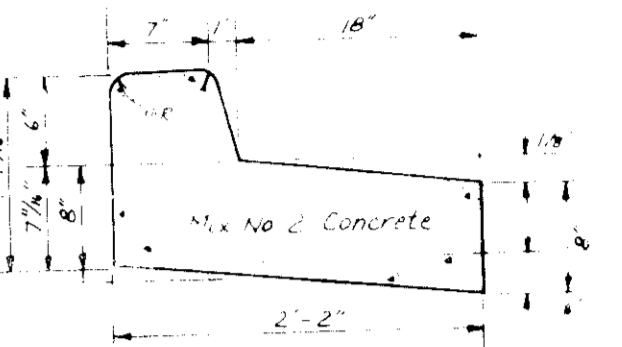
PLAN VIEW
TYPICAL PARKING WITH INSTALLATION OF CURB STOP
NO SCALE



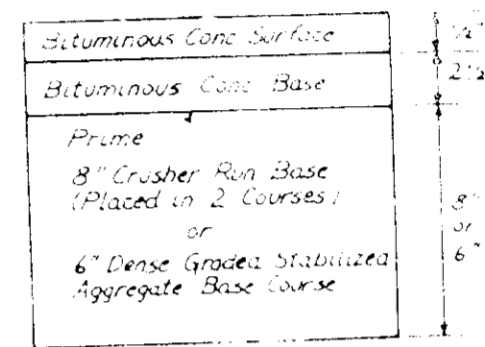
TYPICAL PAVING SECTION
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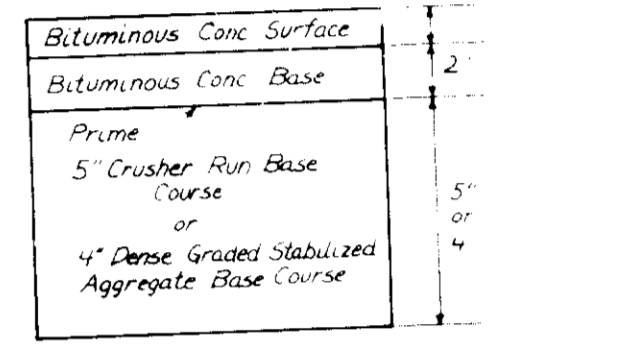
STANDARD 6\"/>



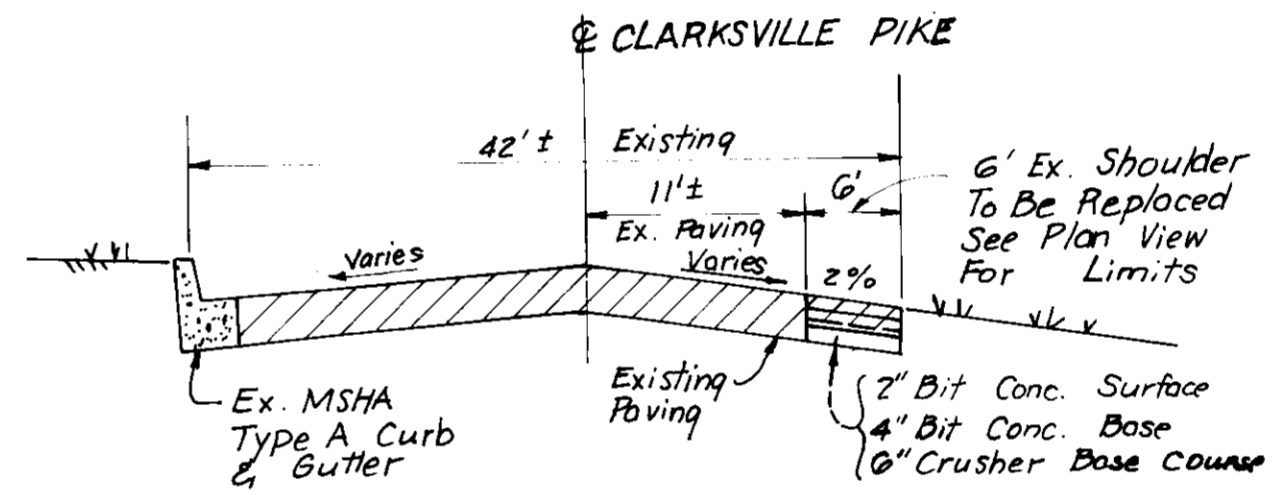
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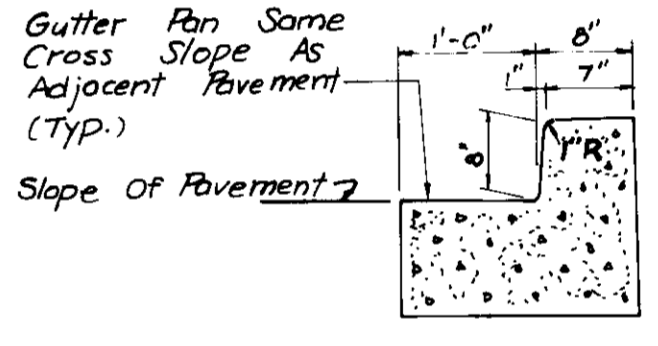
ALTERNATE PAVING SECTION FOR TRAVELLED WAY
(SECTION P-2)



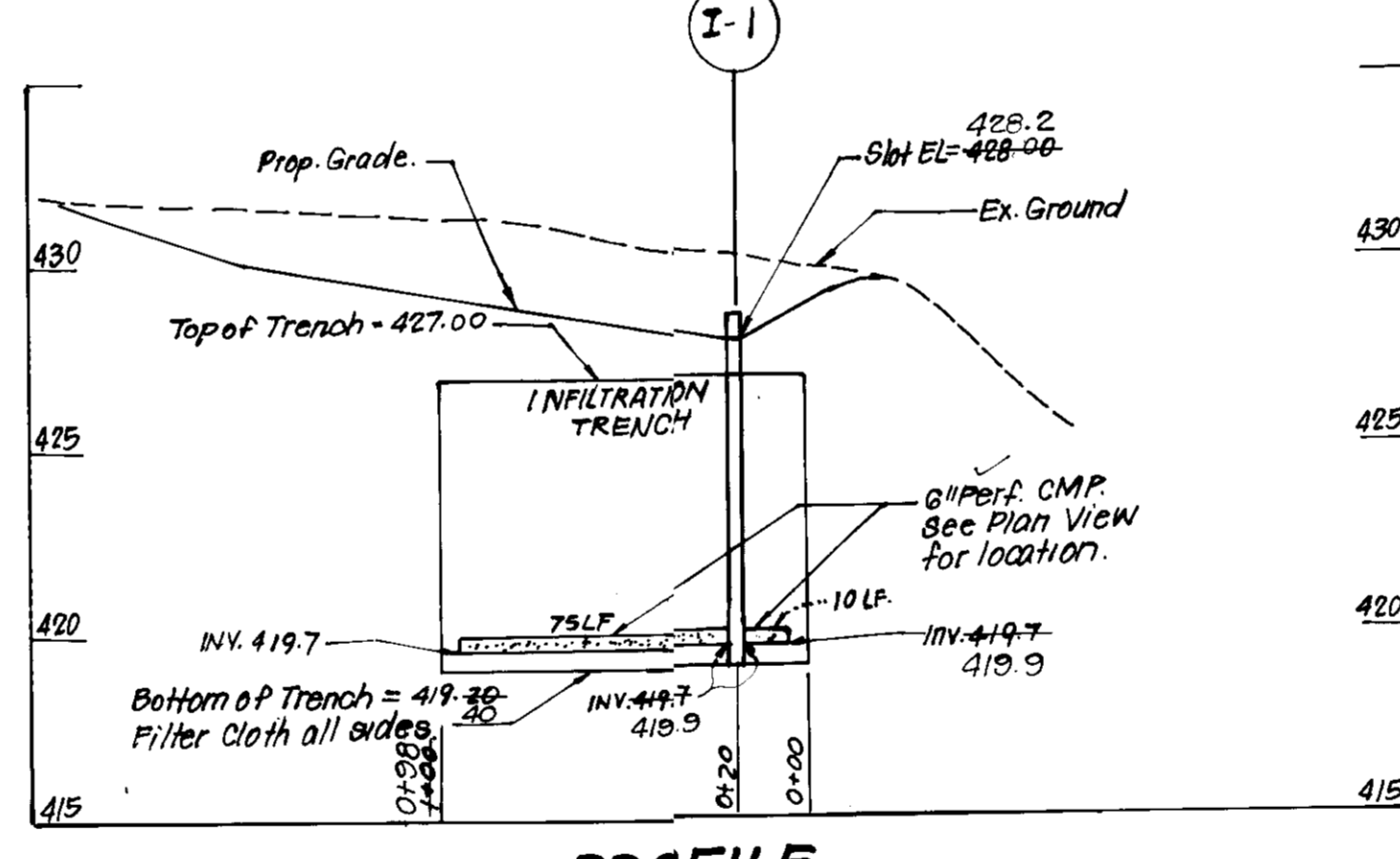
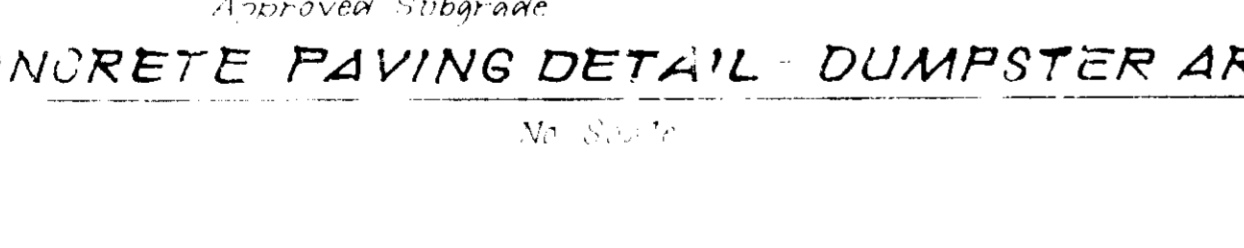
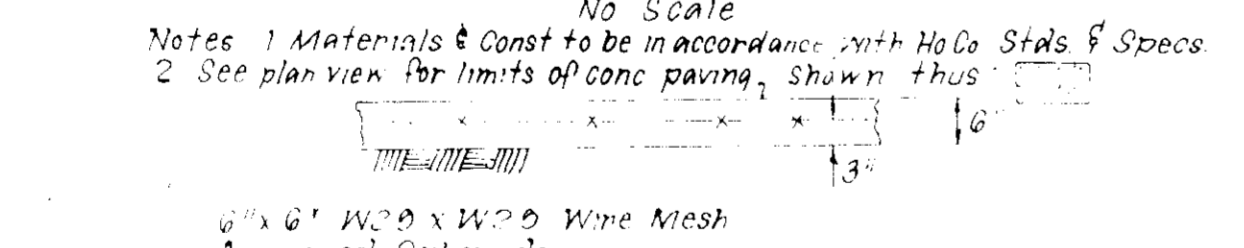
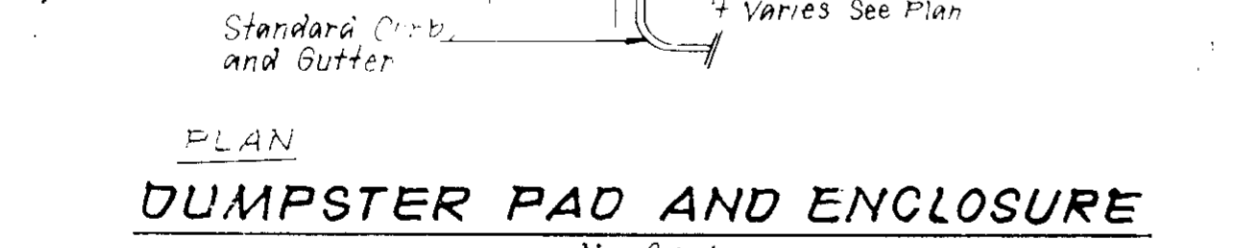
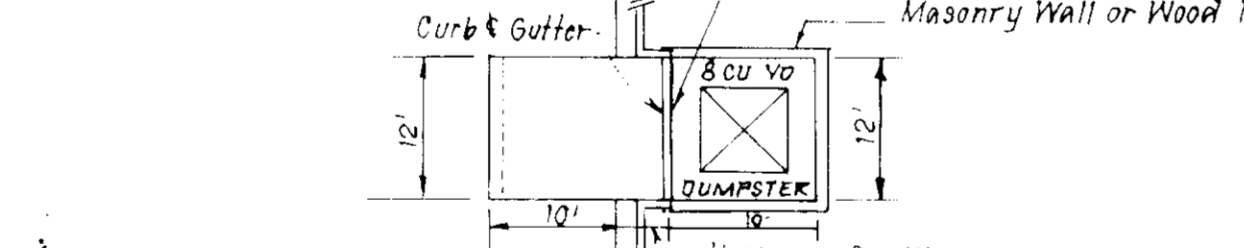
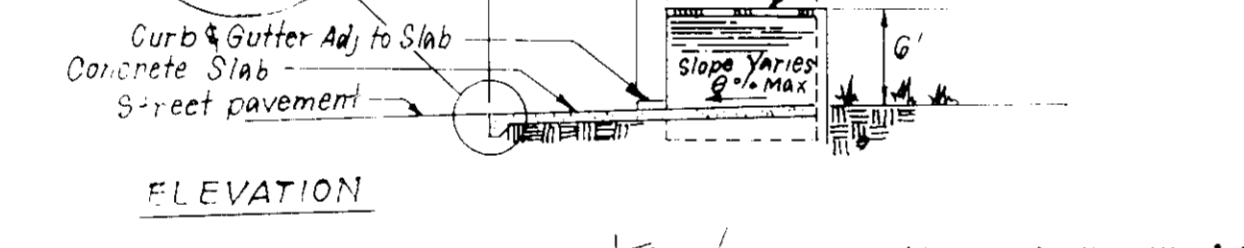
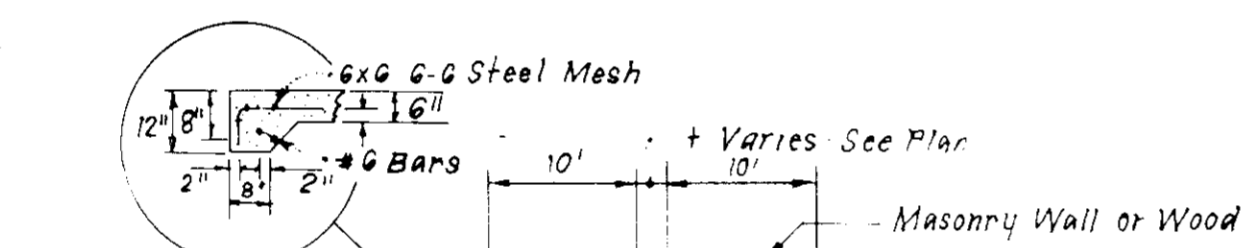
ALTERNATE PAVING SECTION FOR PARKING AREAS
(SECTION P-1)



PAVING IMPROVEMENTS
CLARKVILLE PIKE
NO SCALE



MSHA TYPE 'A'
COMBINATION CURB & GUTTER
NO SCALE



PROFILE
SCALE: HORIZ. 1\"/>

| STRUCTURE SCHEDULE | | | | | | | |
|--------------------|----------|---------|----------|---------------|--------|---------------------------|----------|
| NO. | TYPE | INV. IN | INV. OUT | TOP ELEVATION | | REMARKS | LOCATION |
| | | | | UPPER | LOWER | | |
| 1 | D. Inlet | | 419.79 | 420.05 | 420.05 | H. Co. Std. SD4-11 2'x15' | See Plan |

* Provide Slots all sides @ 420.32
 Δ All Inverts to be fully developed

| PIPE SCHEDULE | | |
|---------------|----------------|--------|
| SIZE | TYPE | LENGTH |
| 6" | PERFORATED CMA | 85 LF |

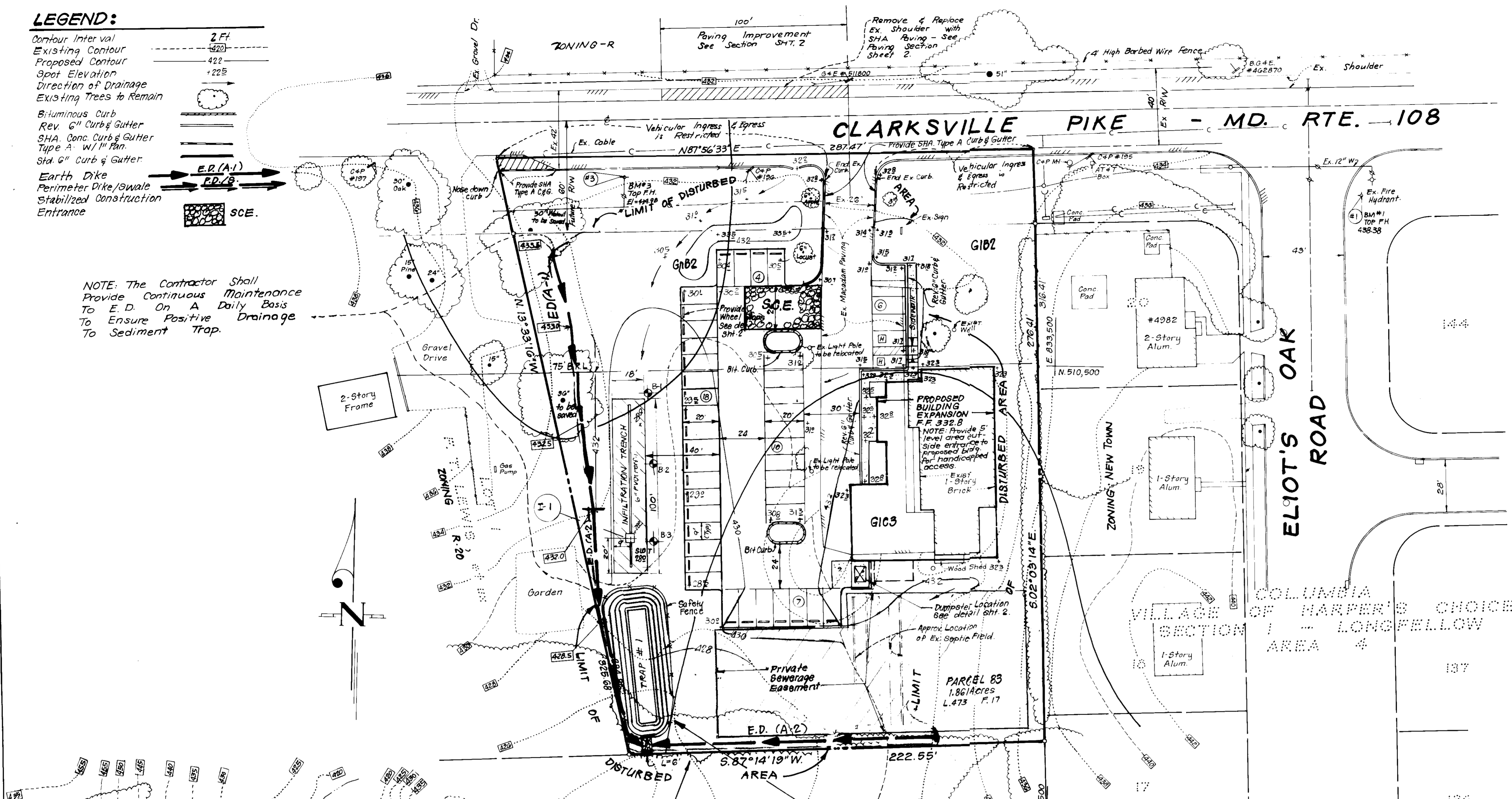
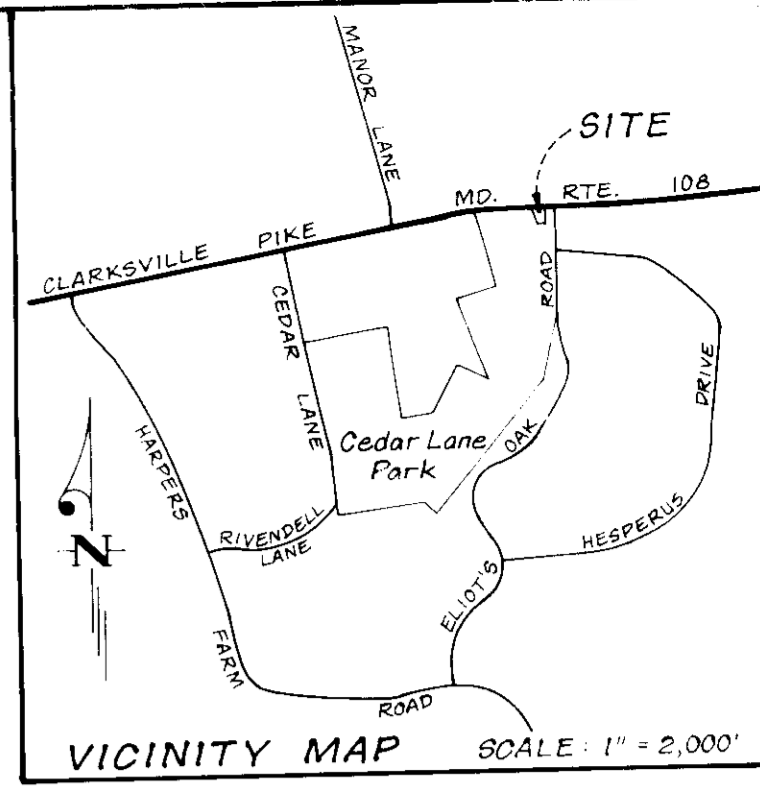
APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER: [Signature] DATE: 9-10-90
 APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
 DIRECTOR: [Signature] DATE: 10-29-90
 CHIEF DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT: [Signature] DATE: 10/15/90
 APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR: [Signature] DATE: 9/25/90
 CHIEF BUREAU OF ENGINEERING: [Signature] DATE: 9/25/90

CLARK • FINEPROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 DESIGNED: [Signature] DATE: 12/19/91
 DRAWN: KIWM
 CHECKED: LAI
 REVISIONS: KIWM
 DATE: 3-16-90
 SITE DEVELOPMENT PLAN
 DETAILS
 LEWIS VETERINARY HOSPITAL
 2 4
 AS-BUILT SDP 90181

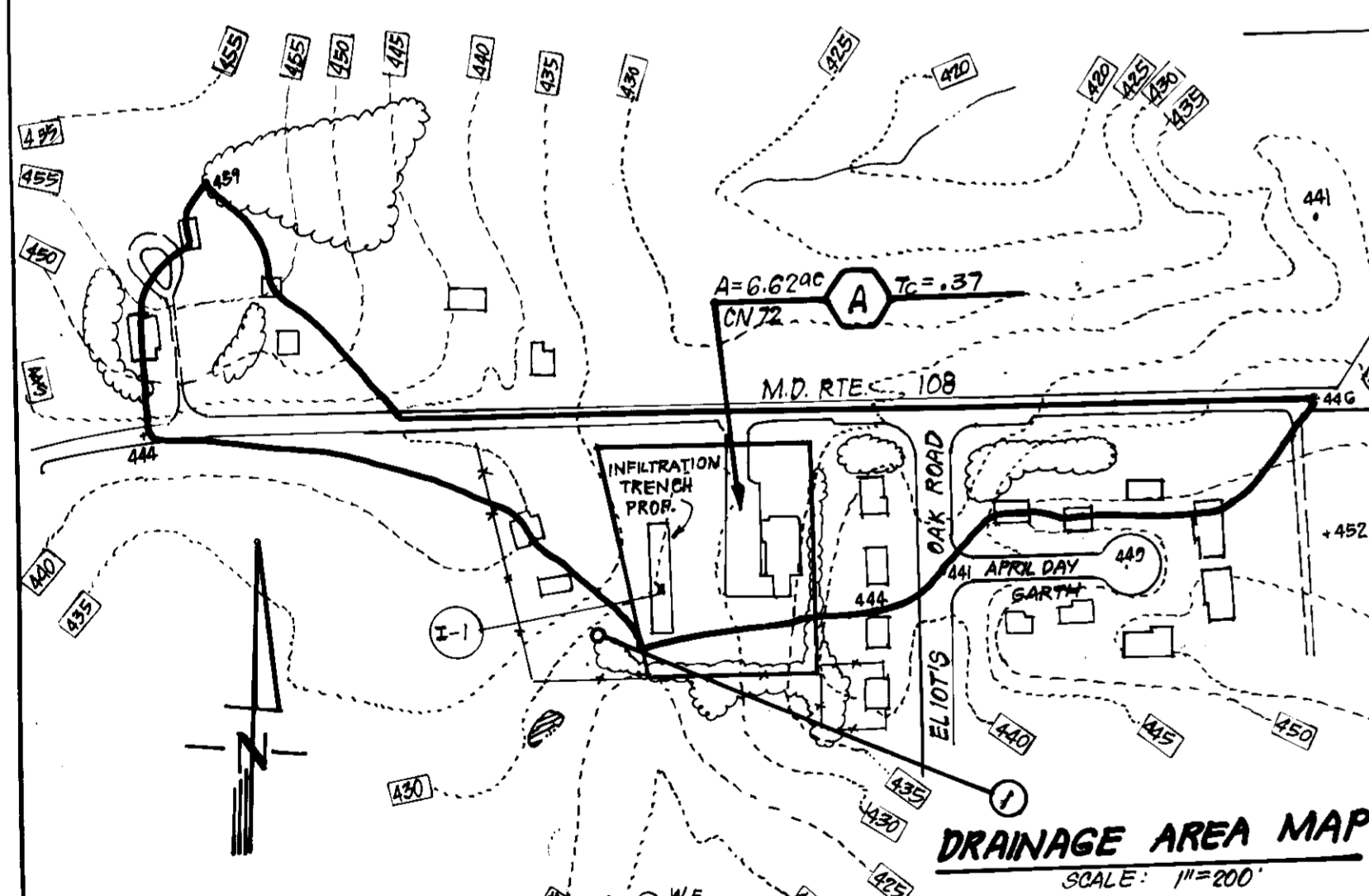
LEGEND:

- Contour Interval 2 Ft
- Existing Contour
- Proposed Contour
- Spot Elevation
- Direction of Drainage
- Existing Trees to Remain
- Bituminous Curb
- Rev. 6" Curb & Gutter
- SHA Conc. Curb & Gutter Type A - W/1" Pan
- Std. 6" Curb & Gutter
- Earth Dike
- Perimeter Dike/Swale
- Stabilized Construction Entrance

NOTE: The Contractor Shall Provide Continuous Maintenance To E.D. On A Daily Basis To Ensure Positive Drainage To Sediment Trap.



| SOILS LEGEND | | |
|--------------|---------------------|-------|
| SYM | DESCRIPTION | SLOPE |
| GnD2 | Glenville Silt Loam | 3-8% |
| G1B2 | Glenelg Loam | 3-8% |
| G1C5 | Glenelg Loam | 8-15% |



HO. CO. MARYLAND 832 / 505 ZONING: R-20

NOTE: INSPECTION OF TRAP #1 MUST BE DONE ON A DAILY BASIS. CLEANOUT WILL BE DONE AFTER EACH RAINFALL.

TEMP. TRAP #1 S.O.B.T. (ST-V)
 D.A. = 1.8 Acres
 Storage Req'd = 1.9 (1800) = 3420 CF
 Storage Provided = 8606 CF
 Depth = 4'
 Top of Stone Weir = 424.5
 Bottom Elev. = 419.5
 Clean Out Elev. = 421.5
 1:1 Side Slopes in Cut
 Bottom Dimensions = 10' x 62'
 L = 6'

NOTE: There are no tidal wetlands on this site; based on a wetlands evaluation prepared by Exploration Research (10-9-89).

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS.
 HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER: *[Signature]* 9-20-90
 APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
 DIRECTOR: *[Signature]* 10-24-90
 CHIEF DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT: *[Signature]* 11/13/90
 APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR: *[Signature]* 9/26/90
 CHIEF BUREAU OF ENGINEERING: *[Signature]*

Reviewed for: *[Signature]* S.C.D.
 and meets Technical Requirements
 James M. Khan (S.S.) 6/20/90 JMK
 Signature: *[Signature]* 7/5/90
 THIS DEVELOPMENT PLAN IS APPROVED FOR THE CONTROL OF EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT.
 Approved: *[Signature]* 6/24/90

DEVELOPER'S/HOLDER'S CERTIFICATE
 "I/We certify that all development and construction will be done according to this plan of development and plan for erosion and sediment control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Dept. of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."
 Signature of Developer/Holder: *[Signature]* 7/22/90

[Signature] Jeffrey J. Schwalb
 3/22/90
 bare

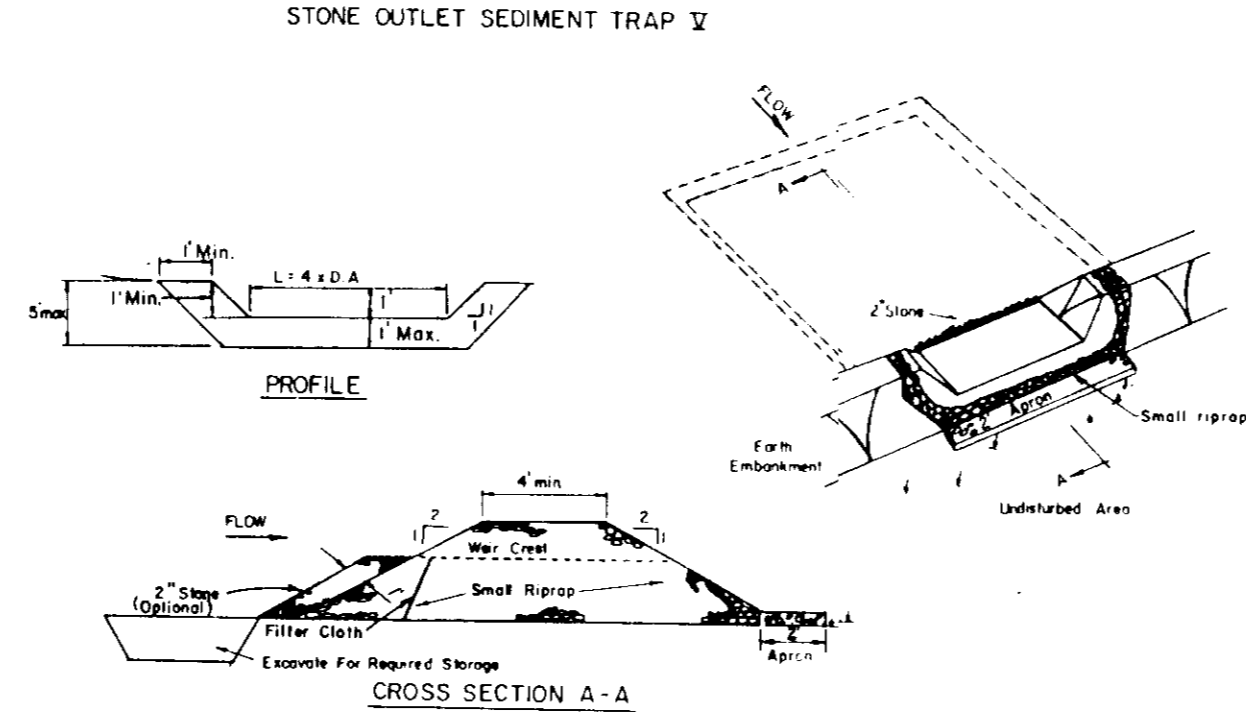
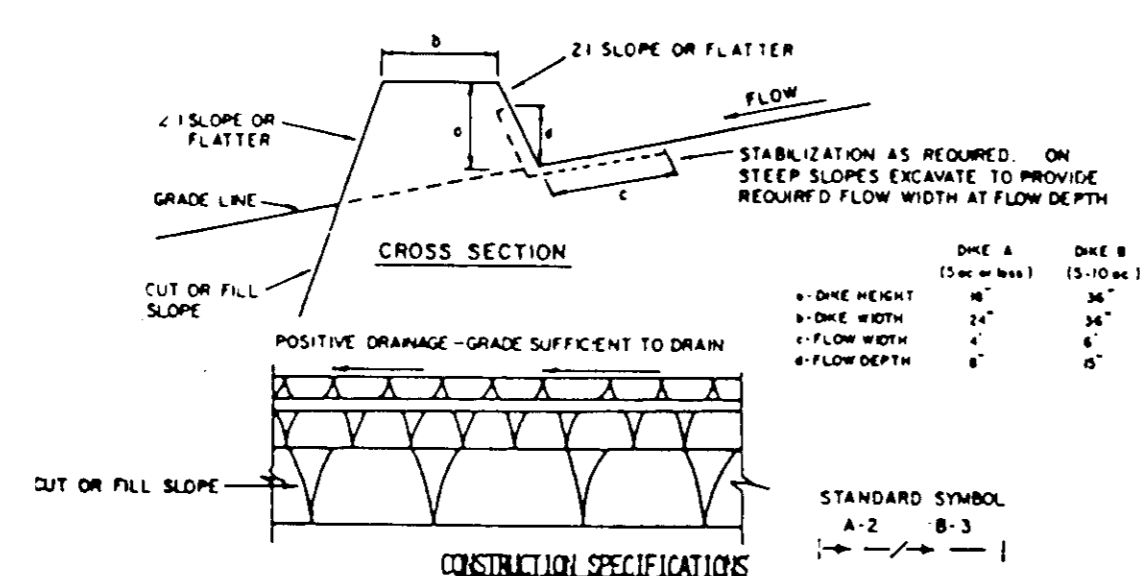
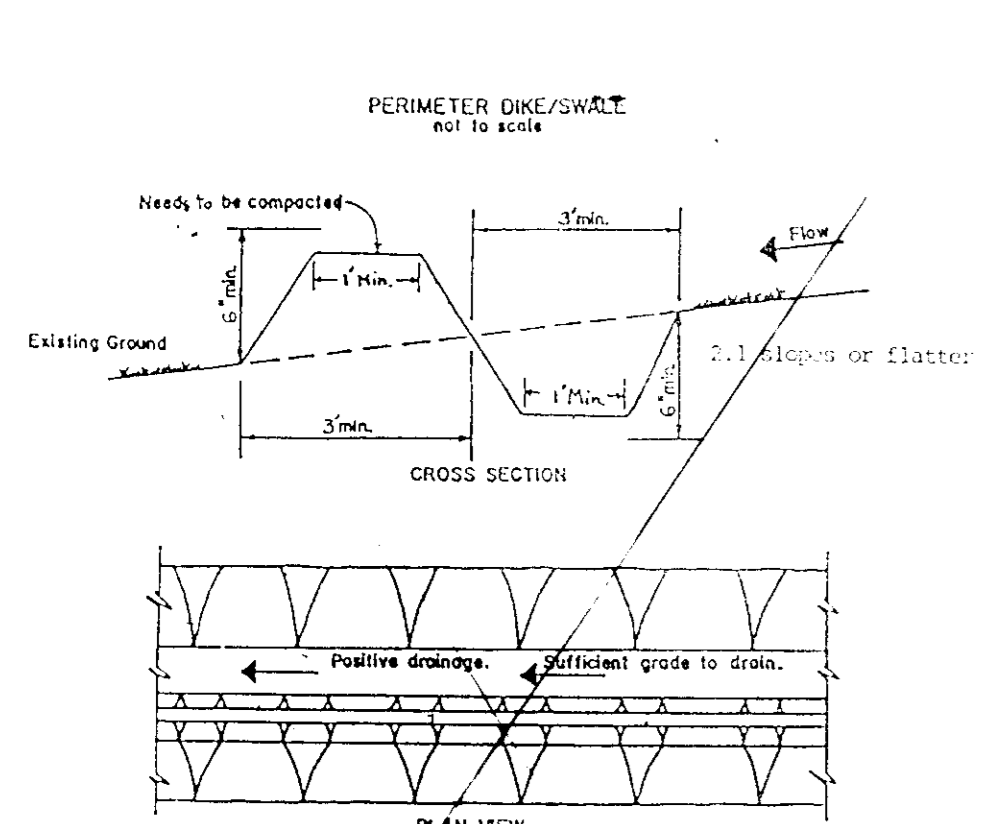
[Signature] Jeffrey J. Schwalb
 12/17/91
 For AS-BUILT of Infiltration Trench

OWNER: LEWIS VETERINARY HOSPITAL
 10865 SOUTH OAK
 ELICOTT CITY, MD 21043

CLARK • FINEFROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS

| | | |
|----------------|--|--------------------|
| DESIGNED: K/WM | SEDIMENT & EROSION CONTROL PLAN | SCALE: 1" = 30' |
| DRAWN: LA/1 | | DRAWING: 3 of 4 |
| DATE: 3-16-90 | 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND | JOB NO: 89-125 |
| | LEWIS VETERINARY HOSPITAL 10865 SOUTH OAK ELICOTT CITY, MD 21043 | FILE NO: 89-125-98 |

AS-BUILT SOP 90 181



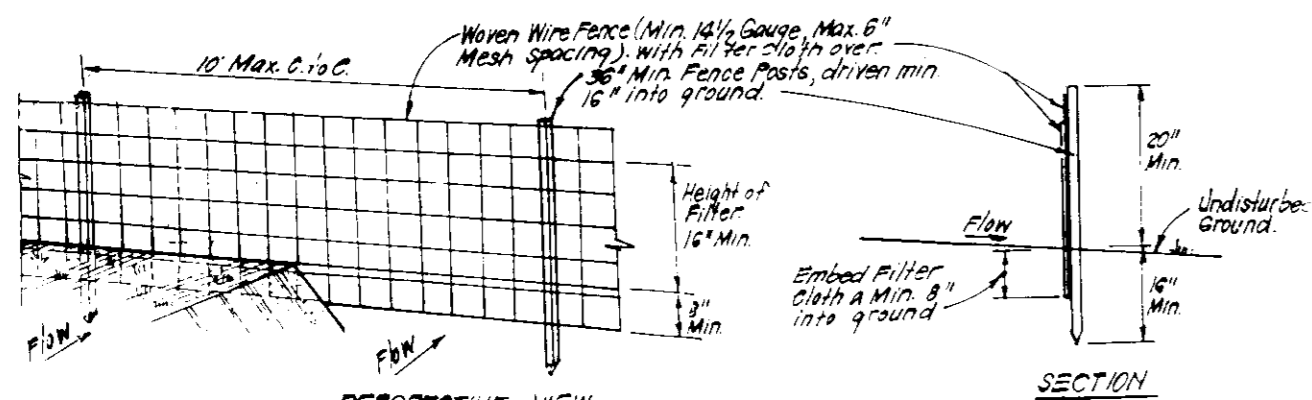
- CONSTRUCTION SPECIFICATIONS**
1. ALL PERIMETER DIKE/SILT FENCE SHALL HAVE UNINTERRUPTED POSITIVE GRADE TO AN OUTLET.
 2. DIVERTED RUNOFF FROM A DISTURBED AREA SHALL BE CONVERTED TO A SEDIMENT TRAPPING DEVICE.
 3. DIVERTED RUNOFF FROM AN UNDISTURBED AREA SHALL OUTLET INTO AN UNDISTURBED STABILIZED AREA AT NON-EROSION VELOCITY.
 4. THE SHALE SHALL BE EXCAVATED OR SHIPPED TO LINE, GRADE, AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED IN THE STANDARDS.
 5. STABILIZATION OF THE AREA DISTURBED BY THE DIKE AND SHALE SHALL BE DONE IN 7 DAYS IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SOIL AND STRAW MULCH.
 6. PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.

FLOW CHANNEL STABILIZATION

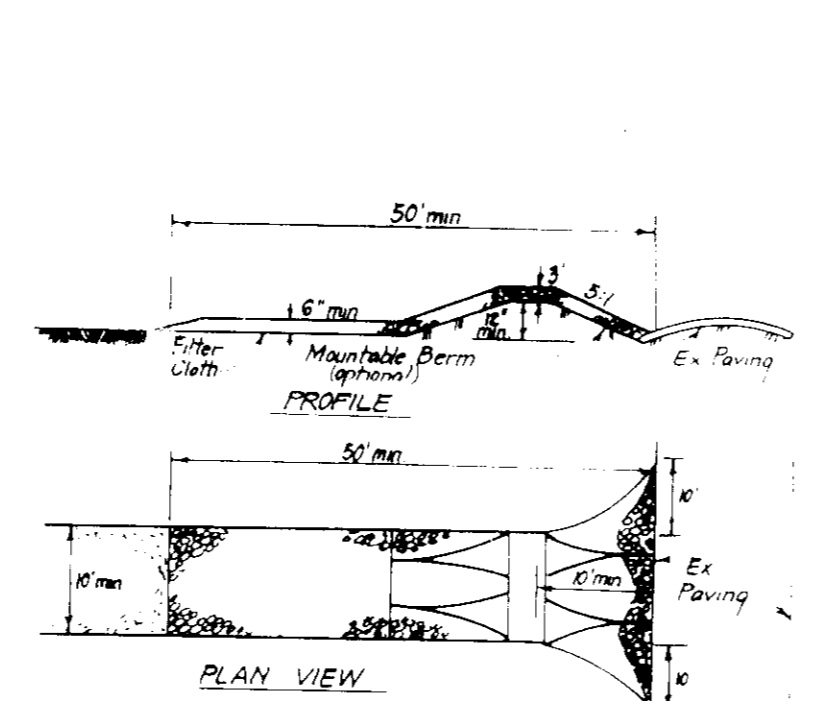
| TYPE OF TREATMENT | CHANNEL SIZE | DIKE A | DIKE B |
|-------------------|--------------|-----------------------------------|---|
| 1 | 5-3.0E | SEED AND STRAW MULCH | SEED AND STRAW MULCH |
| 2 | 3.1-5.0E | SEED AND STRAW MULCH | SEED USING LIME OR EXCELLENT; SOIL; 2" STONE LINED RIP-RAP 4-8" |
| 3 | 5.1-8.0E | SEED WITH JUTE, OR SOIL; 2" STONE | SEED WITH JUTE, OR SOIL; 2" STONE |
| 4 | 8.1-20E | LINED RIP-RAP 4-8" | ENGINEERING DESIGN |

STABILIZATION SHALL BE: (A) IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEED AND STRAW MULCH OR STRAW MULCH IF NOT IN SEEDING SEASON, (B) FLOW CHANNEL AS PER THE CHART BELOW.

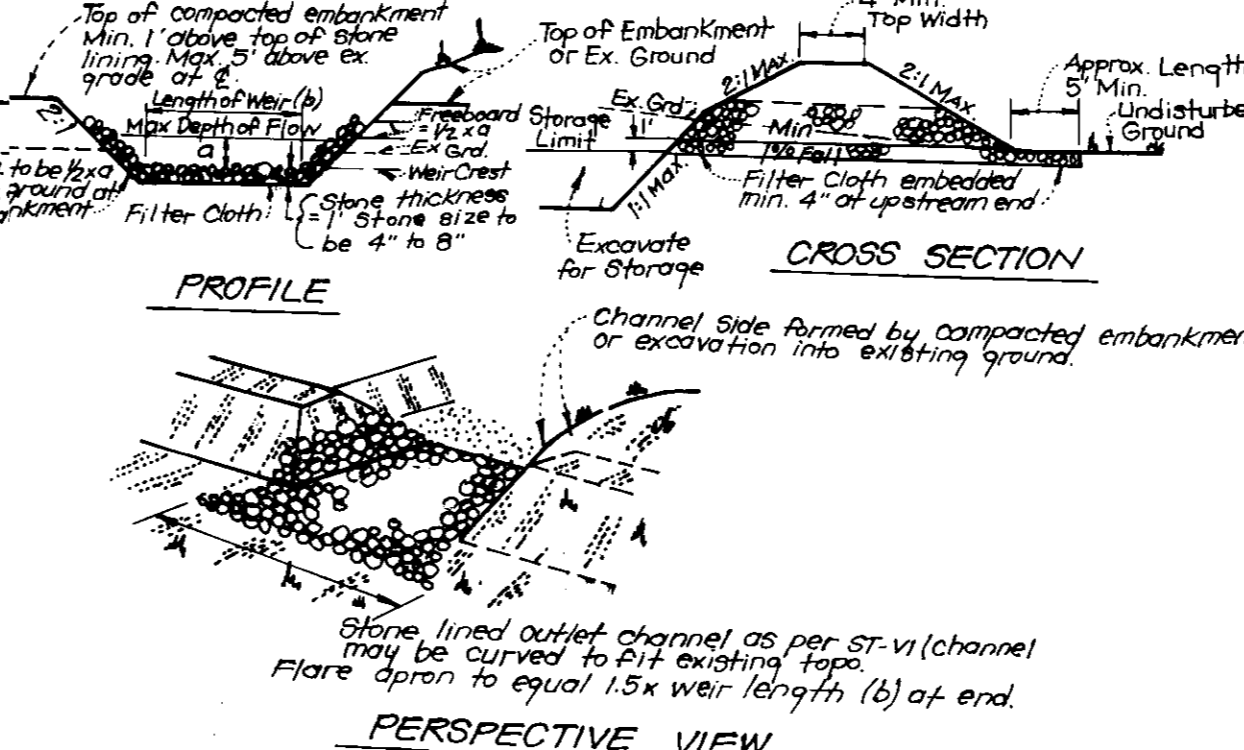
- CONSTRUCTION SPECIFICATIONS FOR ST-VI**
1. Area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat. The pool area shall be cleared.
 2. The fill material for the embankment shall be free of roots and other woody vegetation as well as oversized stones, rocks, organic material or other objectionable material. The embankment shall be compacted by traversing with equipment while it is being constructed.
 3. All cut and fill slopes shall be 2:1 or flatter.
 4. The stone used in the outlet shall be small riprap 4"-8" with a 1" thickness of 2" aggregate placed on the upgrade side on the small riprap embedded filter cloth in the riprap.
 5. Sediment shall be removed and trap restored to its original dimensions when the sediment has accumulated to 1/2 the design depth of the trap.
 6. The structure shall be inspected after each rain and repairs made as needed.
 7. Construction operations shall be carried out in such a manner that erosion and water pollution is minimized.
 8. The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.



- CONSTRUCTION SPECIFICATIONS:**
1. Woven wire fence to be fastened securely in fence posts with wire ties or staples.
 2. Filter cloth to be fastened securely to woven wire fence with ties spaced every 30" at top and mid section.
 3. When 2 sections of filter cloth are on each other they are to be overlapped by 6" and stapled.
 4. Maintenance shall be performed as needed and material removed when it causes drainage in silt fence.



- CONSTRUCTION SPECIFICATIONS:**
1. Stone size - Use 2" stone or equivalent in recycled concrete equivalent.
 2. Length - As required, but not less than 50 feet, except on a single residence lot where a 30 foot minimum length would apply.
 3. Thickness - Not less than six (6) inches.
 4. Width - Ten (10) feet minimum but not less than the full width at points where ingress or egress occurs.
 5. Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a single family residence lot.
 6. Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a minimum side berm with 3:1 slopes will be constructed.
 7. Maintenance - The entrance shall be maintained in a condition when will prevent tracking or flowing of sediment onto public right-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleaning off any material used to trap sediment. All sediment applied, dragged, washed or tracked onto public right-of-way must be removed immediately.
 8. Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public right-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
 9. Periodic inspection and needed maintenance shall be provided after each rain event.



- CONSTRUCTION SPECIFICATIONS**
1. The area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat.
 2. The pool area shall be cleared.
 3. The fill material for the embankment shall be free of roots or other woody vegetation as well as over-sized stones, rocks, organic material or other objectionable material. The embankment shall be compacted by traversing with equipment while it is being constructed. Max height of embankment shall be 5' measured at 6' of embankment.
 4. All fill slopes shall be 2:1 or flatter cut slopes 1:1 or flatter.
 5. Elevation of the top of any dike directing water into trap must equal or exceed height of embankment.
 6. Storage area provided shall be figured by computing the volume available behind the outlet channel up to an elevation of 1' below the lower weir crest.
 7. Filter cloth should be placed over the bottom and sides of the outlet channel prior to placement of stone. Sections of fabric must overlap at least 1' with section nearest entrance placed on top. Fabric shall be embedded at least 6" into existing ground at entrance of outlet channel.
 8. Stone used in the outlet channel shall be 4"-8" rip rap to provide a filtering effect. A layer filter cloth shall be embedded 1' back into the upstream face of the outlet.
 9. Aggregate shall be placed on the upstream face of the outlet.
 10. Sediment shall be removed and the trap restored to its original dimensions when the sediment has accumulated to 1/2 the design depth of the trap. Removed sediment shall be deposited in a suitable area and in such a manner that it will not erode.
 11. The structure shall be inspected after each rain and repaired as needed.
 12. Construction operations shall be carried out in such a manner that erosion and water pollution is minimized.
 13. The structure shall be removed and that area stabilized when the drainage area has been properly stabilized.
 14. Drainage area for this procedure is limited to 15 Acres or less.

RIP RAP OUTLET SEDIMENT TRAP - ST-VI
No Scale

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 Director: *James L. Boyle* 7-10-90
 APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
 Director: *John A. Boyle* 10-24-90
 APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Director: *James L. Boyle* 9/25/90
 Chief Bureau of Engineering: *John A. Boyle* 8-9-90

Reviewed for: *16/11/90* S.C.D.
 and meets Technical requirements
 Signature: *John A. Boyle* 7/5/90
 U.S. Soil Conservation Service
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 Signature: *John A. Boyle* 7/5/90

DEVELOPER CERTIFICATE
 "I/We certify that all development and construction will be done according to this plan of development and plan for erosion and sediment control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Dept. of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."
 Signature: *John A. Boyle* 3/23/90
 Date: 3/23/90

DESIGNED: *Jeffrey L. Schwartz*
 DRAWN: *Jeffrey L. Schwartz*
 CHECKED: *Jeffrey L. Schwartz* 3/22/90
 DATE: 3/22/90

CLARK • FINEROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 7135 MINISTEL WAY • SUITE 100 • CLARKSBURG, MD 21521
 301-281-1100
SEDIMENT & EROSION CONTROL DETAILS
 LEWIS VETERINARY HOSPITAL
 5TH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 SCALE: 1" = 10'-0"
 SHEET NO. 4 OF 4
 DATE: 3-16-90

- CONSTRUCTION SEQUENCE:**
- | NO. | DESCRIPTION | NO. OF DAYS |
|-----|---|-------------|
| 1 | Obtain Building Permit | 7 |
| 2 | Install sediment & erosion control measures | 14 |
| 3 | Clear and Rough Grade site | 30 |
| 4 | Fine grade & construct paving | 30 |
| 5 | Construct building addition & walks & trenches | 120 |
| 6 | Construct Infiltration Trench and Inlet | 14 |
| 7 | Stabilize all disturbed areas in accordance with stds. & specs. | 28 |
| 8 | Upon approval of the sediment control inspectors, remove sediment & erosion control measures and stabilize. | 7 |
- NOTE: TRAP #1 IS SIZED FOR THE DISTURBED AREA ONLY DUE TO RESTRICTIONS REQUESTED BY THE DEPT. OF HEALTH. THIS TRAP MUST BE INSPECTED ON A DAILY BASIS AND CLEANED OUT AFTER EACH RAINFALL.**
- * Permanently Stabilize All Disturbed Areas Before Construction Of Infiltration Trench.**

ORDER

Upon consideration of the Motion before the Hearing Examiner, it is this 12th Day of July 2011 by the Howard County Board of Appeals Hearing Examiner, **ORDERED**:

That the Decision and Order in Board of Appeals Case No. 11-005N is hereby **MODIFIED** as follows:

The petition of VCA Lewis Animal Hospital for confirmation and enlargement of a nonconforming use for an Animal Hospital in an R-20 (Residential-Single) Zoning District is **GRANTED**;

Provided, however, that:

- The Petitioner shall replace the existing fenced area on the south side of the structure with a lawful fence that minimizes noise from animals. The square footage of this fenced area shall not be increased in size.
- The Petitioner shall develop an education program on its website and through other marketing materials instructing animal owners or persons responsible for taking animals to appointments to have their animals eliminate before coming to the hospital and that no animals are to eliminate on the property.
- The Petitioner shall post signs on the property instructing persons not to walk animals on the property.
- All animals being lawfully boarded at the animal hospital shall use only the fenced area for elimination. Other than the fenced area, no animals lawfully boarded at the animal hospital shall be walked on the property.
- The Petitioner shall eliminate the doorway/entrance off the Minor Procedure Room and leading to the east side of the animal hospital. The Hearing Examiner has marked the doorway/entrance to be removed on Petitioner Exhibit 6B.
- There shall be no doorways or entrances on the east side of the proposed addition, nor shall the Petitioner install a new doorway/entrance on any part of the existing east façade.
- The Petitioner shall install a lawful privacy fence along the east property line, beginning at the northernmost section of the proposed addition and continuing to the southern end of the existing structure. The fencing, including any required gates, shall also extend to the structure itself to deter animal owners from walking their animals in this area. The Petitioner shall consult with Patricia Washington and adjoining property owners on the reasonable design of the fence. The fence and agreed above design shall be depicted and noted on the Site Development Plan and/or redline plan.
- The Petitioner shall hire no more than one additional veterinarian and one additional staff employee.
- The nonconforming enlargement shall apply only to the land area, uses, and structures as described in the petition and plan submitted, and as conditioned, and not to any other activities, uses, structures, or additions on the Property.
- The Petitioner shall maintain the landscaping along the common property line with the residential properties to the east (the residences fronting on Elliot's Oak Road).
- The Petitioner shall add Conditions 1-10 as general notes on the site development plan and/or any redline plan.

FOREST CONSERVATION WORKSHEET
VERSION 1.0
(Enter in Yellow Cells)

NET TRACT AREA:

| | | |
|---|------|-----------------------|
| A. Total tract area..... | 0.07 | *Based on LOD of this |
| B. Area within 100 year floodplain..... | 0.00 | Red-Line revision |
| C. Area to remain in agricultural production..... | 0.00 | |
| D. Net tract area..... | 0.07 | |

LAND USE CATEGORY: (from table 3.2.1, page 40, Manual)

Input the number "1" under the appropriate land use zoning, and limit to only one entry.

| | | | | | |
|-----|-----|-----|-----|-----|-----|
| ARA | MDR | IDA | HDR | MPD | CIA |
| 0 | 0 | 0 | 0 | 0 | 1 |

| | | |
|---------------------------------|-----------|------|
| E. Afforestation Threshold..... | 15% x D = | 0.01 |
| F. Conservation Threshold..... | 15% x D = | 0.01 |

EXISTING FOREST COVER:

| | |
|--|------|
| G. Existing forest cover (excluding floodplain)..... | 0.00 |
| H. Area of forest above afforestation threshold..... | 0.00 |
| I. Area of forest above conservation threshold..... | 0.00 |

BREAK EVEN POINT:

| | |
|---|------|
| J. Forest retention above threshold with no mitigation..... | 0.00 |
| K. Clearing permitted without mitigation..... | 0.00 |

PROPOSED FOREST CLEARING:

| | |
|---|------|
| L. Total area of forest to be cleared..... | 0.00 |
| M. Total area of forest to be retained..... | 0.00 |

PLANTING REQUIREMENTS:

| | | | |
|---|------|-----|-----|
| N. Reforestation for clearing above conservation threshold..... | 0.00 | 1.0 | 1.0 |
| P. Reforestation for clearing below conservation threshold..... | 0.00 | | |
| Q. Credit for retention above conservation threshold..... | 0.00 | | |
| R. Total reforestation required..... | 0.00 | 1.0 | 1.0 |
| S. Total afforestation required..... | 0.01 | | |
| T. Total reforestation and afforestation required..... | 0.01 | | |

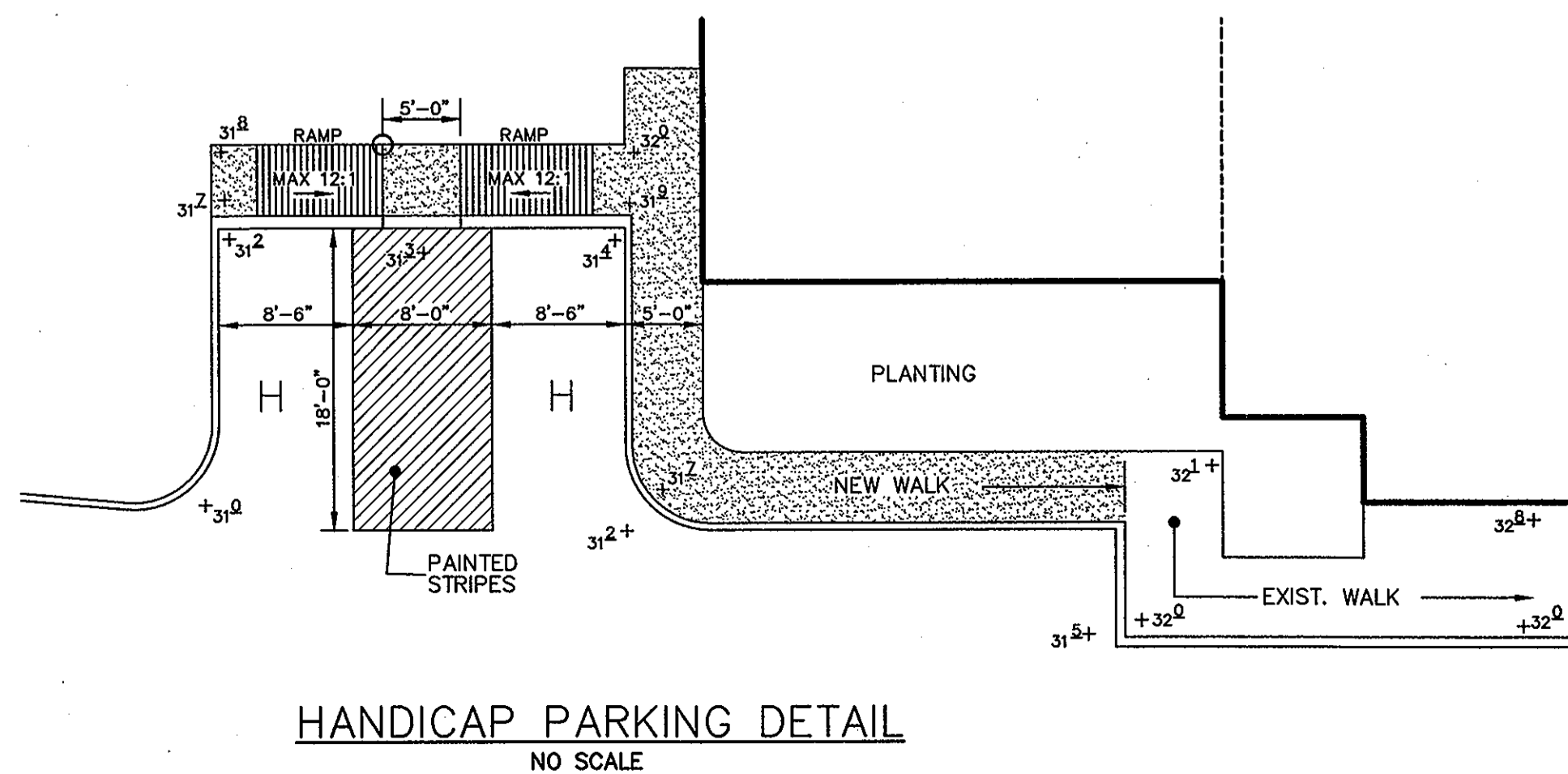
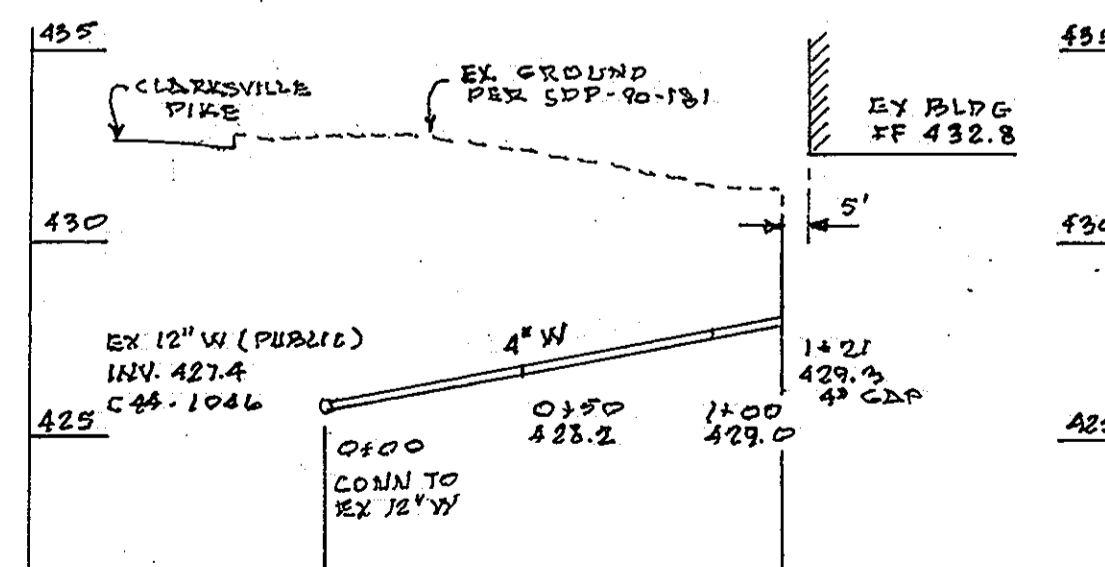
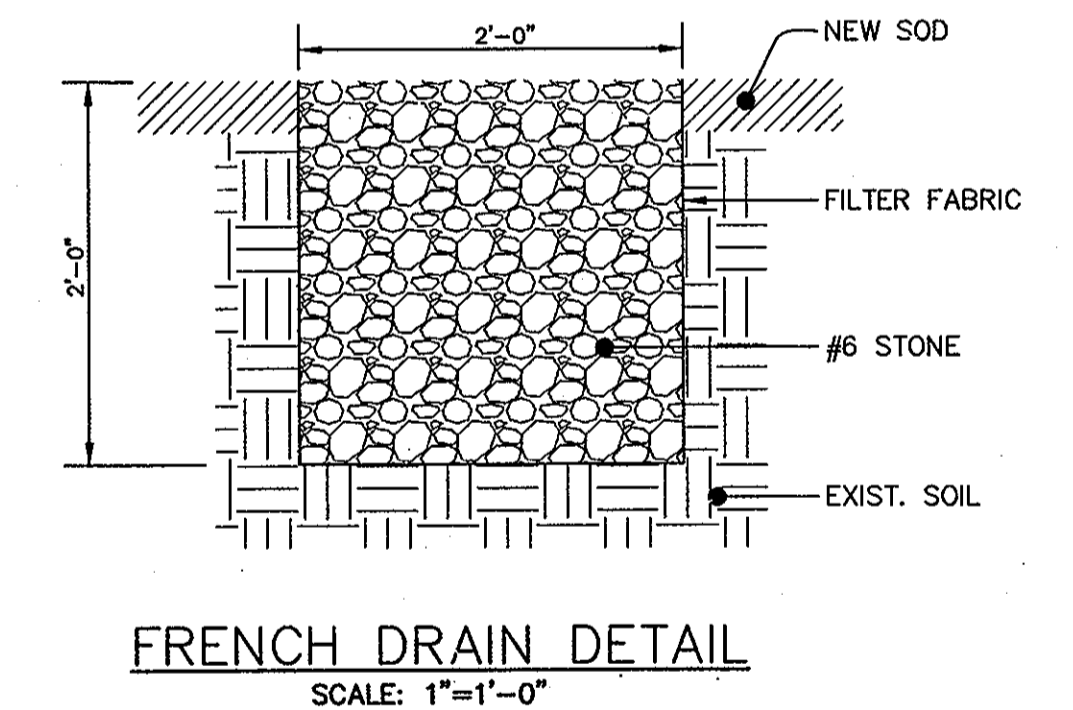
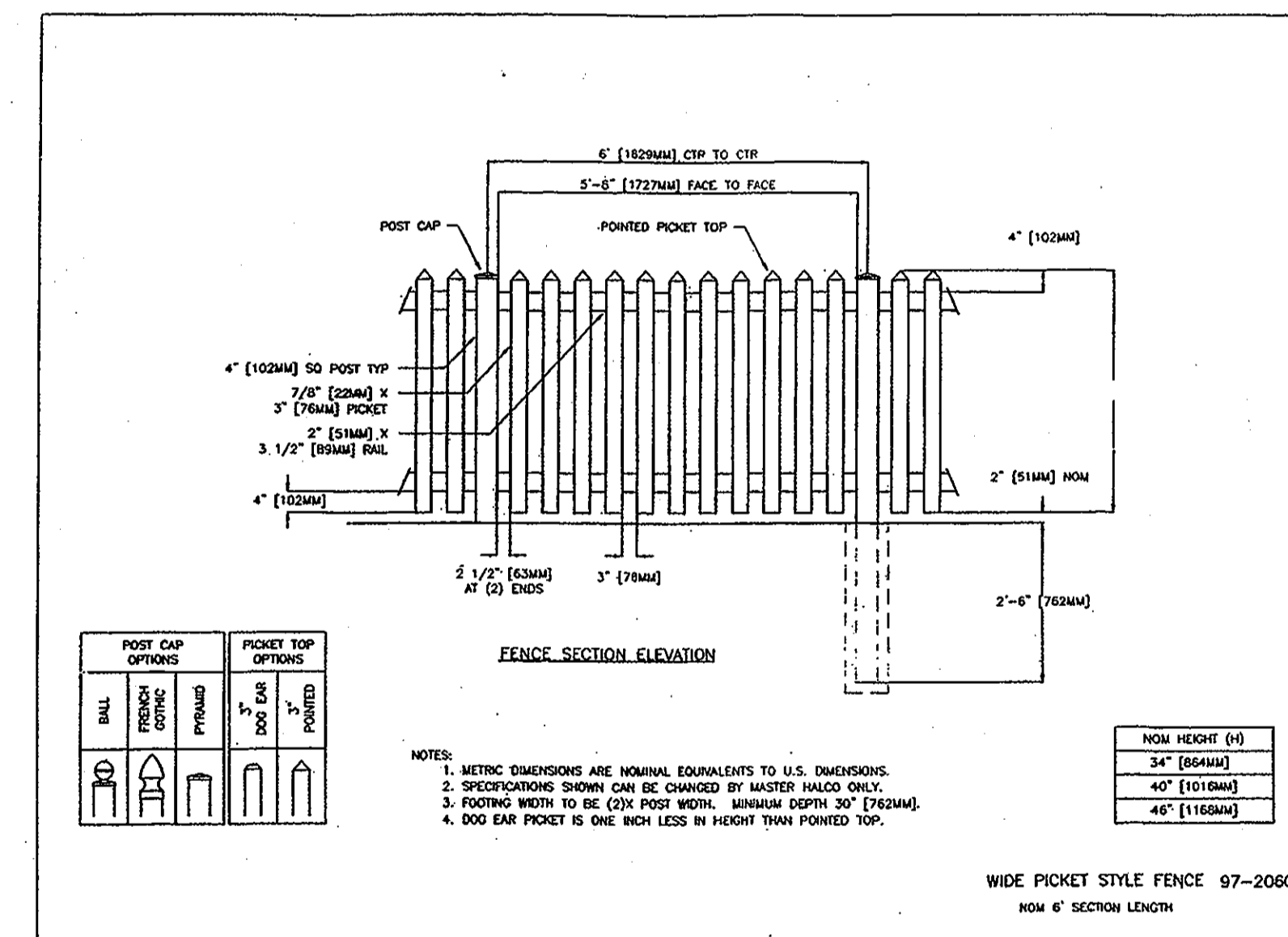
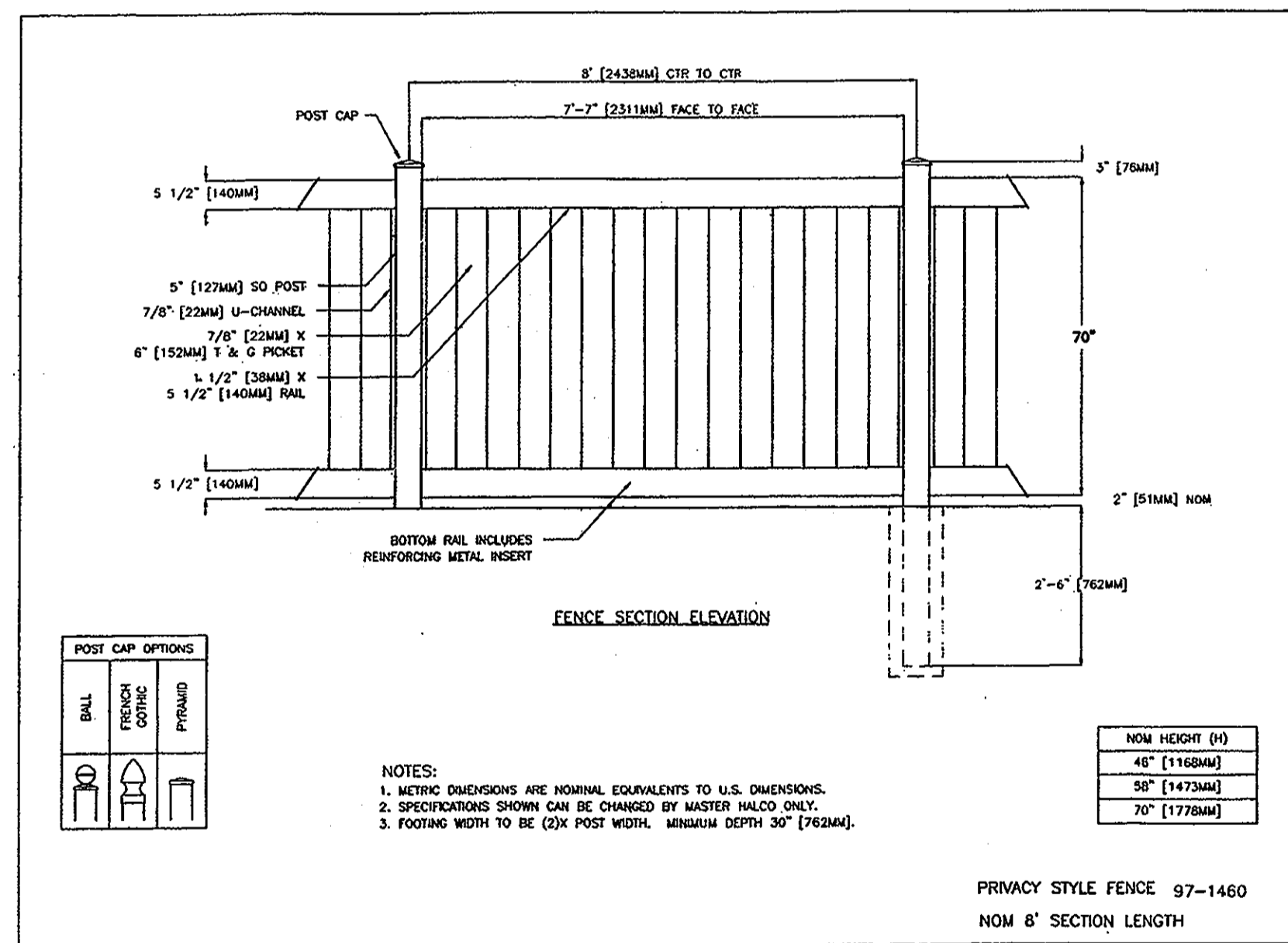
SCHEDULE A
PERIMETER LANDSCAPE EDGE

| Category | Adjacent to Roadways | Adjacent to Paved/Asphalt Properties |
|--|----------------------|--------------------------------------|
| Perimeter Designation Landscape Type | 1 | 2 |
| Linear Feet of Roadway Frontage/Perimeter | 50 | 276 |
| Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed) | YES 50 | YES 276 |
| Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed) | NO | - |
| Number of Plants Required | | |
| Shade Trees | 1 | 7 |
| Evergreen Trees | 2 | 14 |
| Shrubs | - | - |
| Number of Plants Provided | | |
| Shade Trees | 1 EXIST. | - |
| Evergreen Trees | - | 29 EXIST. |
| Other Trees (2:1 substitution) | 1 EXIST. | - |
| Shrubs (10:1 substitution) | 20 | - |

Comments: Perimeter 1- 1 Shade tree and 1 Ornamental Dogwood existing to remain, approximately 20 existing Evergreen Shrubs to remain, 10 of which to be relocated outside the addition envelope to substitute for 2 evergreens.
Perimeter 2- 14 Evergreen trees to substitute for 7 shade tree.

GENERAL NOTES

- THE LEWIS VETERINARY HOSPITAL WAS ORIGINALLY APPROVED AS A SPECIAL EXCEPTION IN THE R-20 ZONE, (BA 527-C, BA 772-C, BA 870-C & 88-55E). THE USE BECAME NON-CONFORMING ON JULY 12, 2001, THE EFFECTIVE DATE OF ZRA-30 AS PART OF CB 75-2003-2004 COMPREHENSIVE ZONING PLAN.
- A PUBLIC HEARING FOR CONFIRMATION AND ENLARGEMENT OF THE NON-CONFORMING USE (BA-11-005) WAS HEARD ON MAY 2, 2011 AND THE PETITION WAS GRANTED ON MAY 12, 2011 SUBJECT TO 5 CONDITIONS. A SUBSEQUENT RECONSIDERATION OF BA 11-005N WAS HELD ON JUNE 29, 2011 AND GRANTED ON JULY 12, 2011 SUBJECT TO 11 CONDITIONS. (SEE SHEET 5 OF 5)
- THE 75 FOOT B.R.L. INDICATED ON THE S.D.P. WAS TAKEN FROM A LOCATION PLAT PREPARED IN 1968 THAT, WHILE SIGNED BY HOWARD COUNTY, WAS NEVER RECORDED AND WAS THEREFORE NOT A VALID PLAT AND THE 75 FOOT B.R.L. IS NOT REQUIRED.
- THE PARKING AREA LIGHTING INDICATED ON THE S.D.P. IS EXISTING.
- THE PROPOSED BUILDING ADDITION WILL DISTURB LESS THAN 5,000 SQUARE FEET OF AREA AND IS EXEMPT FROM STORMWATER MANAGEMENT REQUIREMENTS. (CMBE STORMWATER DESIGN MANUAL, CHAPTER 1, SECTION 1.2)
- THE PROPOSED BUILDING ADDITION WILL DISTURB LESS THAN 5,000 SQUARE FEET OF AREA AND IS EXEMPT FROM SEDIMENT AND EROSION CONTROL REQUIREMENTS.
- AT THE TIME SDP-90181 WAS APPROVED THE SITE WAS SERVED BY WELL AND SEPTIC. SUBSEQUENTLY THE SITE HAS BEEN CONVERTED TO PUBLIC WATER AND SEWER.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISION OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- THIS PLAN COMPLIES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION. THE LIMIT OF DISTURBANCE IS 0.07 ACRES OR 3,000 SQUARE FEET. AFFORESTATION REQUIRED IS 0.01 ACRES, OR 436 SQUARE FEET. A FEE-IN-LIEU OF \$327.00 IS REQUIRED.
- REMOVE EXISTING SDD WHERE INDICATED. REGRADE TO PROVIDE POSITIVE DRAINAGE TO THE INFILTRATION TRENCH. EXERCISE CARE WHEN REGRADING AROUND EXISTING TREES. RESDD THE AREA AS NECESSARY. TOP OF SDD TO BE BELOW EDGE OF PAVEMENT



HOWARD COUNTY BOARD OF APPEALS
HEARING EXAMINER
Michelle L. LeFalve
Michele L. LeFalve

Date Mailed: 7/13/11

APPROVED: DEPARTMENT OF PLANNING & ZONING
[Signature] 2/22/12
CHIEF, DEVELOPMENT ENGINEERING DIVISION
[Signature] 2/27/12
CHIEF, DIVISION OF LAND DEVELOPMENT
[Signature] 2/23/12
DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
[Signature] 2/17/2012
COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

| 1 | REV. TO INCREASE WATER LINE SIZE | 6-20-12 |
|-----|-----------------------------------|---------|
| 2 | FRENCH DRAIN DETAIL | 1-20-12 |
| 3 | ADDED HANDICAP PARKING DETAIL | 11-9-11 |
| 1 | REV. TO PROVIDE BUILDING ADDITION | 8-26-11 |
| No. | REVISION | DATE |

CLARK · FINEFROCK & SACKETT, INC.
ENGINEERS · PLANNERS · SURVEYORS
7130 MINSTREL WAY COLUMBIA, MD 21045 · (410) 381-7500 BALT. · (301) 821-8100 WASH. · (410) 381-7533 FAX

| | | |
|--|---|--------------------|
| DESIGNED DAR | SITE DEVELOPMENT PLAN LEWIS VETERINARY HOSPITAL 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND | SCALE NO SCALE |
| DRAWN RM | | DRAWING 5 of 5 |
| CHECKED DAR | | JOB NO. 10-008 |
| DATE 11-9-11 | | FILE NO. 10-008 |
| FOR: LEWIS VETERINARY HOSPITAL 10865 ROUTE 108 ELLCOTT CITY, MD 21044 TELEPHONE: 410-290-7194 | | |

