

NOT PART OF THIS SUBMISSION

**OWNER**  
 JOHN J. CRAWFORD / KENNETH MALM  
 9175 GUILFORD ROAD  
 SUITE 302  
 COLUMBIA, MARYLAND 21046  
 (301) 604-1552

**DEVELOPER**  
 N.V. HOMES  
 10230 NEW HAMPSHIRE AVE.  
 ONE BELTWAY NORTH - SUITE 203  
 SILVER SPRING, MD 20903  
 (301) 445-3200

**REVISION BLOCK**

REVISED HOUSE TYPE FOR LOT 210 E.R.B. 2-25-92.	REVISED HOUSE TYPE ONLY LOT 188 3-16-93
REVISED HOUSE TYPE FOR LOTS 211 & 212 BY G.S.G. ON 6-6-91	REVISED HOUSE TYPE ONLY LOT 189 BY E.R.B. 8-3-93
REVISE HOUSE TYPE FOR LOT 191 BY E.R.B. ON 11-26-91	

**Dewberry & Davis**  
 ARCHITECTS ENGINEERS PLANNERS SURVEYORS

300 MOUNTAIN & TRUMAN PARKWAY, SUITE 300  
 ANNAPOLIS, MARYLAND 21401  
 (301) 841-8811 (METRO) 361-4707

**ENGINEER'S CERTIFICATE**  
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*John G. Patmore*  
 JOHN G. PATMORE  
 3/20/90  
 DATE

**DEVELOPER'S CERTIFICATE**  
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

*John L. Roberton*  
 JOHN L. ROBERTON  
 10-24-89  
 DATE

**REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.**

*John L. Roberton*  
 JOHN L. ROBERTON  
 3/16/90  
 DATE

**HOWARD SOIL CONSERVATION DISTRICT**

**APPROVED: DEPARTMENT PLANNING AND ZONING**

*William W. Waldland*  
 WILLIAM W. WALDLAND  
 4-30-90  
 DATE

PLANNING DIRECTOR

**APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS.**

*Joyce Zalus*  
 JOYCE ZALUS  
 4-17-90  
 DATE

HEALTH OFFICER

**APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER AND SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.**

*William W. Waldland*  
 WILLIAM W. WALDLAND  
 4/12/90  
 DATE

DIRECTOR, PUBLIC WORKS

**CHIEF, BUREAU OF ENGINEERING**

SUBDIVISION NAME	SECTION/AREA	LOT NUMBERS
MONTGOMERY MEADOWS	1/4	
PLAT NO.	BLOCK NO.	ZONE
917	14	R-20
TAX/ZONE	ELEC. DIST.	CENSUS TR.
31	157	
WATER CODE	SEWER CODE	
G01	2900000	

**SITE DEVELOPMENT PLAN**  
**MONTGOMERY MEADOWS**  
 Lots 188 thru 212 AND Lots 218 thru 220  
 SECTION ONE AREA FOUR

TAX MAP NO 31 P/O PARCEL 423  
 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: 1"=30' DATE: 10-20-89

SHEET 2 OF 5

DRAWN: J.A.U. DESIGNED: M.S. CHECKED: M.S. APPROVED: T.L.W.

S.D.P.- 90-95

ANNA M KRAMER  
L460 F708  
ZONED R-20

LIONS CLUB  
L536 F577 ZONED R-20

CRYSTAL SPRINGS ESTATES

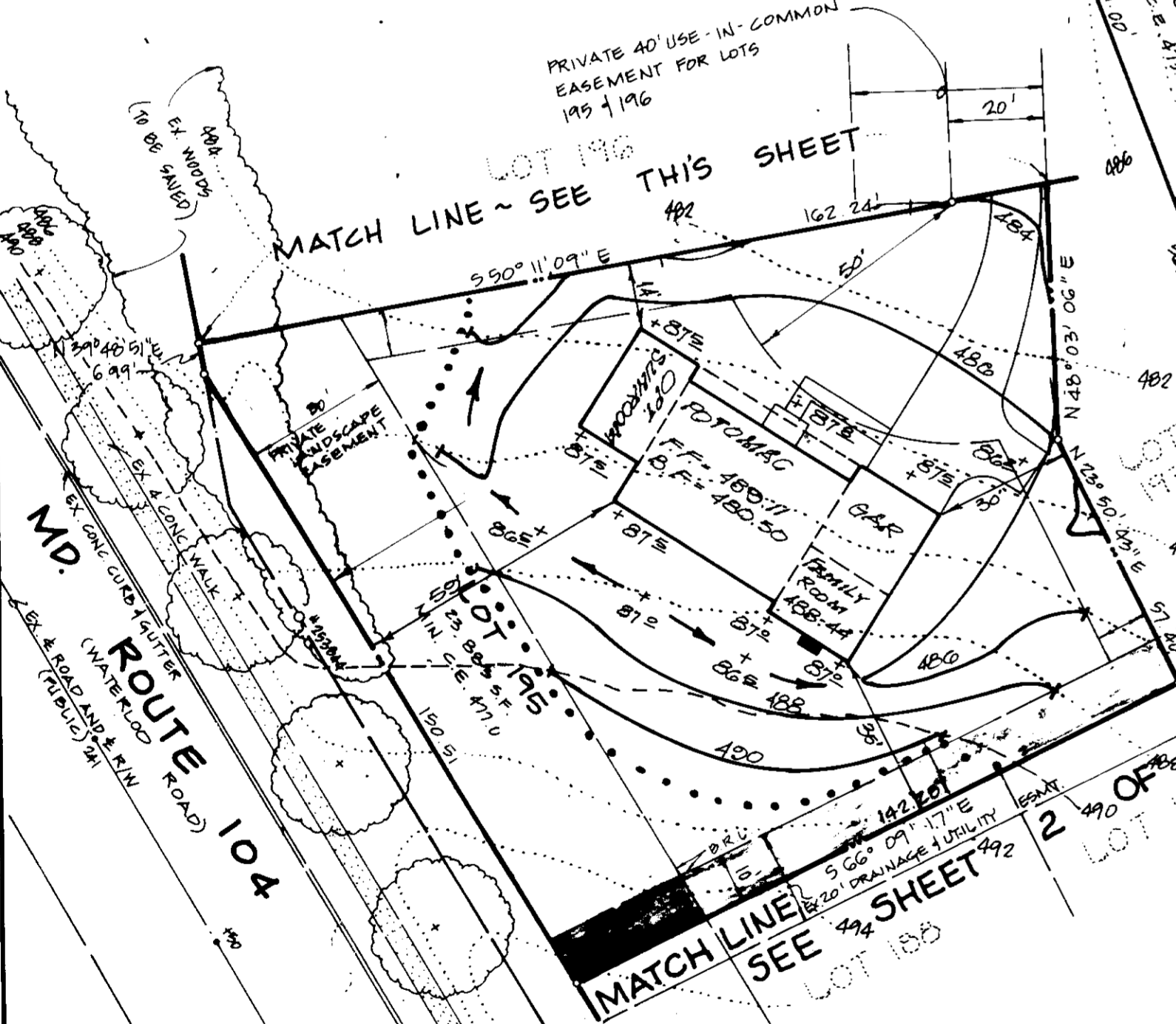
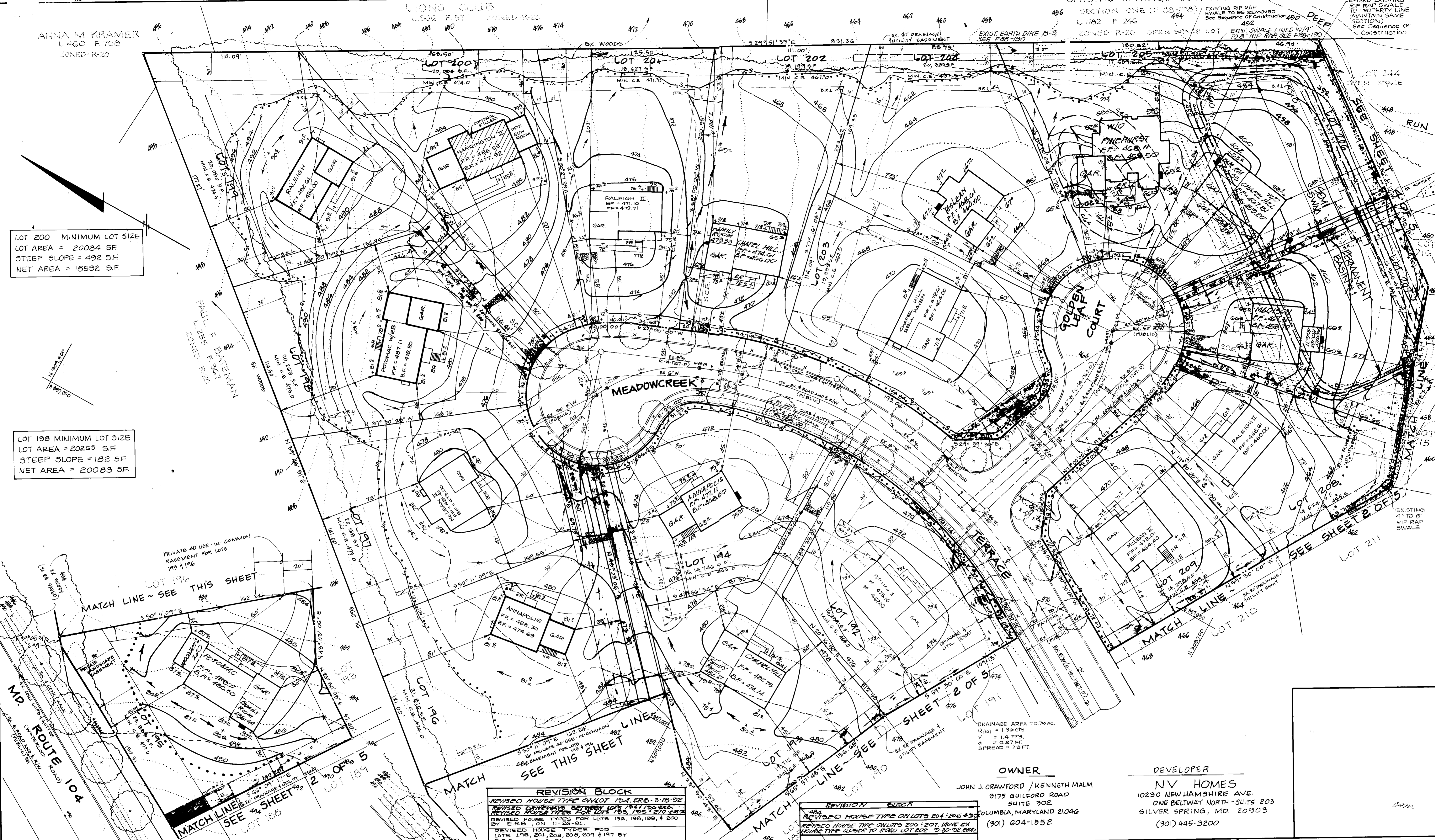
SECTION ONE (F 246)  
L702 F 246  
ZONED R-20 OPEN SPACE LOT

EXISTING RIP RAP SWALE TO BE REMOVED  
See Sequence of Construction 450

EXTEND EXISTING RIP RAP SWALE TO PROPERTY LINE (MAINTAIN SAME SECTION)  
See Sequence of Construction

LOT 200 MINIMUM LOT SIZE  
LOT AREA = 20084 SF  
STEEP SLOPE = 492 SF  
NET AREA = 18592 S.F.

LOT 198 MINIMUM LOT SIZE  
LOT AREA = 20265 S.F.  
STEEP SLOPE = 182 SF  
NET AREA = 20083 SF



**REVISION BLOCK**  
REVISED HOUSE TYPE ON LOT 194, 8-18-92  
REVISED HOUSE TYPE ON LOTS 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

**OWNER**  
JOHN J CRAWFORD / KENNETH MALM  
9175 GUILFORD ROAD  
SUITE 302  
COLUMBIA, MARYLAND 21046  
(301) 604-1552

**DEVELOPER**  
NV HOMES  
10230 NEW HAMPSHIRE AVE.  
ONE BELTWAY NORTH-SUITE 203  
SILVER SPRING, MD 20903  
(301) 445-3200

**Dewberry & Davis**  
ARCHITECTS ENGINEERS PLANNERS SURVEYORS  
300 HENRY S. TRUMAN PARKWAY, SUITE 300  
ANNAPOLIS, MARYLAND 21401  
(301) 841-8811 (FAX) 301-261-9707

**ENGINEER'S CERTIFICATE**  
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.  
*John E. Parnoles*  
DATE: 2/20/90

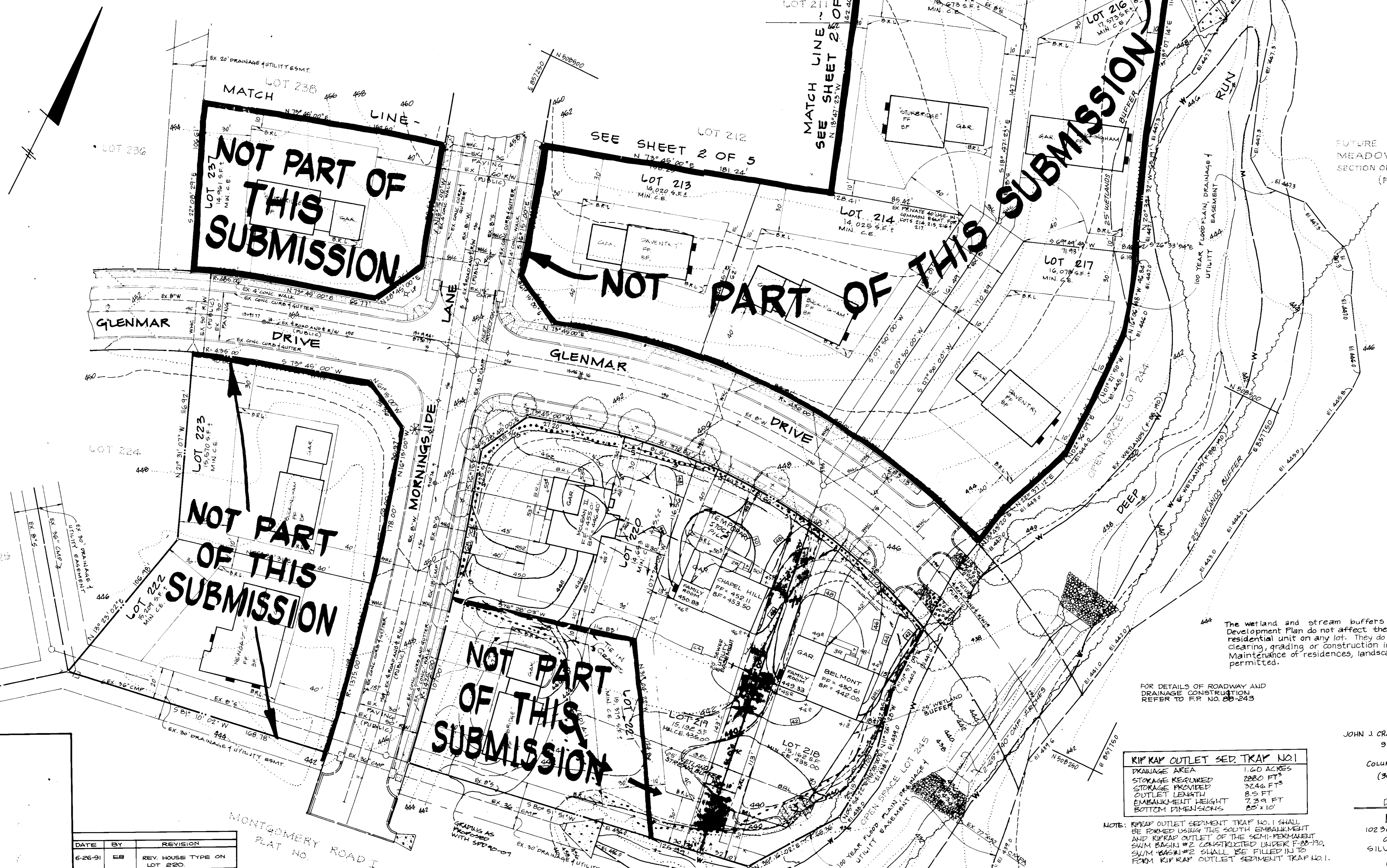
**DEVELOPER'S CERTIFICATE**  
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.  
*John J. Crawford*  
DATE: 10-24-89

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.  
*James M. Hahn* 3/16/90  
U.S. SOIL CONSERVATION SERVICE  
THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
*John R. Hahn* 3/16/90  
HOWARD SOIL CONSERVATION DISTRICT

APPROVED: DEPARTMENT PLANNING AND ZONING  
*William J. ...* 4-30-90  
PLANNING DIRECTOR  
CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT  
APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS.  
*John ...* 4-11-90  
HEALTH OFFICER

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER AND SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.  
*Drayville W. ...* 4/12/90  
DIRECTOR, PUBLIC WORKS  
*William F. ...* 4/12/90  
CHIEF, BUREAU OF ENGINEERING

**SITE DEVELOPMENT PLAN**  
**MONTGOMERY MEADOWS**  
Lots 188 thru 212 AND Lots 218 thru 220  
SECTION ONE AREA FOUR  
TAX MAP NO. 31 P/O PARCEL 423  
1st ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: 1" = 30'  
DATE:  
SHEET 3 OF 5  
DRAWN: J.A.U. DESIGNED: M.S. CHECKED: M.S. APPROVED: T.L.W.



FUTURE MONTGOMERY MEADOWS SECTION ONE AREA THREE (P-88-243)

The wetland and stream buffers indicated on this Site Development Plan do not affect the initial construction of a residential unit on any lot. They do prohibit subsequent clearing, grading or construction in the buffer area. Maintenance of residences, landscaping, and utilities is permitted.

FOR DETAILS OF ROADWAY AND DRAINAGE CONSTRUCTION REFER TO P.P. NO. 88-243

KIP KAP OUTLET SED. TRAP NO. 1	
DRAINAGE AREA	1.60 ACRES
STORAGE REQUIRED	2880 FT <sup>3</sup>
STORAGE PROVIDED	3246 FT <sup>3</sup>
OUTLET LENGTH	8.5 FT
EMBANKMENT HEIGHT	7.39 FT
BOTTOM DIMENSIONS	85' x 10'

NOTE: KIP KAP OUTLET SEDIMENT TRAP NO. 1 SHALL BE FORMED USING THE SOUTH EMBANKMENT AND KIP KAP OUTLET OF THE SEMI-PERMANENT SWM BASIN #2 CONSTRUCTED UNDER P-88-243. SWM BASIN #2 SHALL BE FILLED WITH FORM KIP KAP OUTLET SEDIMENT TRAP NO. 1.

**OWNER**

JOHN J. CRAWFORD / KENNETH MALM  
9175 GUILFORD ROAD  
SUITE 302  
COLUMBIA, MARYLAND 21046  
(301) 604-1552

**DEVELOPER**

N.V. HOMES  
10290 NEW HAMPSHIRE AVE.  
ONE BELTWAY NORTH - SUITE 203  
SILVER SPRING, MD. 20903  
(301) 445-3200

DATE	BY	REVISION
6-26-91	EB	REV. HOUSE TYPE ON LOT 220
3-24-93	ERB	REV. HOUSE TYPE ON LOTS 218 AND 219

**Dewberry & Davis**  
ARCHITECTS ENGINEERS PLANNERS SURVEYORS

300 HENRY S. TRUMAN PARKWAY, SUITE 200  
ANNAPOLIS, MARYLAND 21401  
(410) 841-4811 (METRO) 261-4707

ENGINEER'S CERTIFICATE  
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*John E.C. Parmore*  
John E.C. Parmore  
M.D. REG. NO. 8978  
2/2/90

**DEVELOPER'S CERTIFICATE**

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

*John E.C. Parmore*  
10-24-89

**REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.**

*John E.C. Parmore* 3/16/90  
HOWARD SOIL CONSERVATION SERVICE DATE

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John E.C. Parmore* 3/16/90  
HOWARD SOIL CONSERVATION DISTRICT DATE

**APPROVED: DEPARTMENT PLANNING AND ZONING**

*Ullrich* 4-30-90  
PLANNING DIRECTOR DATE

*Daniel J. Kelly* 4/12/90  
CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT, M/D

**APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS.**

*John E.C. Parmore* 4-17-90  
HEALTH OFFICER DATE

**APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER AND SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.**

*William W. Stephens* 4/12/90  
DIRECTOR, PUBLIC WORKS DATE

*William W. Stephens* 4/12/90  
CHIEF, BUREAU OF ENGINEERING

SUBDIVISION NAME	SECTION/AREA	LOT NUMBERS
MONTGOMERY MEADOWS	1/4	

PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELC. DIST.	CENSUS/MPR
915-218	14-4-20	R-20		1ST	

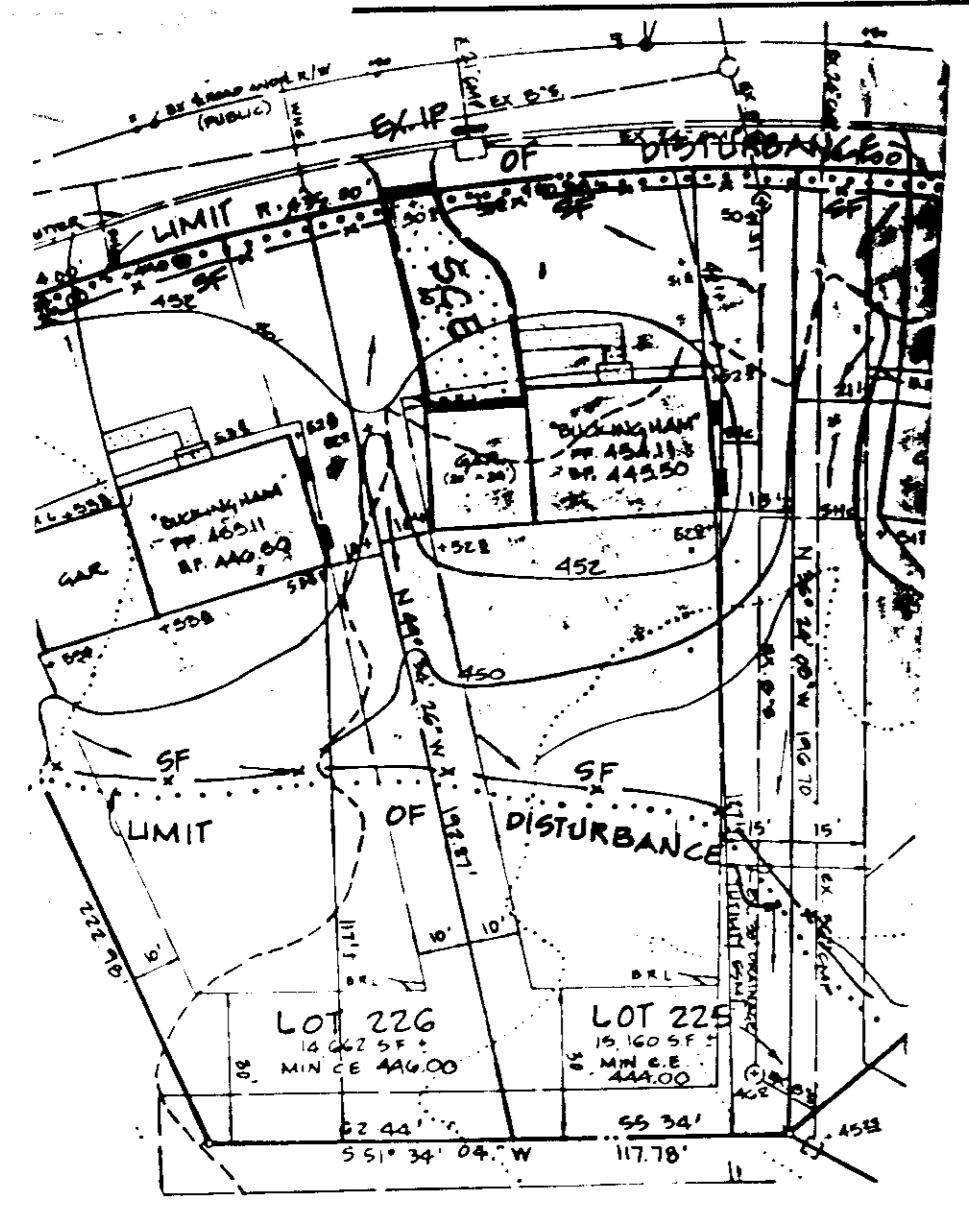
**SITE DEVELOPMENT PLAN MONTGOMERY MEADOWS**

Lots 188 thru 212 AND Lots 218 thru 220 SECTION ONE AREA FOUR

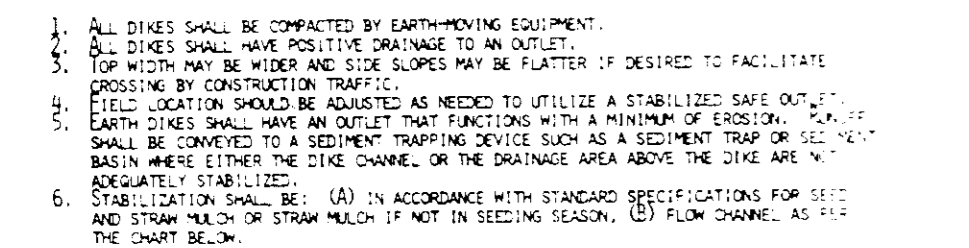
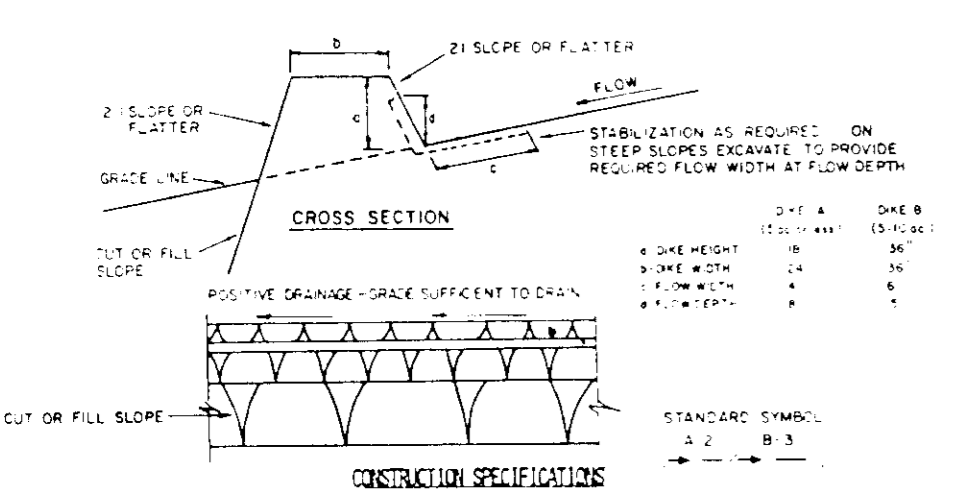
TAX MAP NO. 31 9/0 PARCEL 423  
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: 1" = 30' DATE: OCTOBER, 1989

SHEET 4 OF 5  
DRAWN: J.A.U. DESIGNED: M.S. CHECKED: M.S. APPROVED: T.L.W.

S.D.P. - 90-95



TYPICAL LOT SEDIMENT CONTROL  
NOT TO SCALE

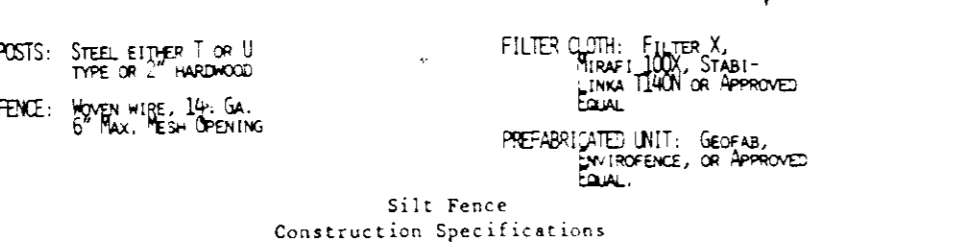
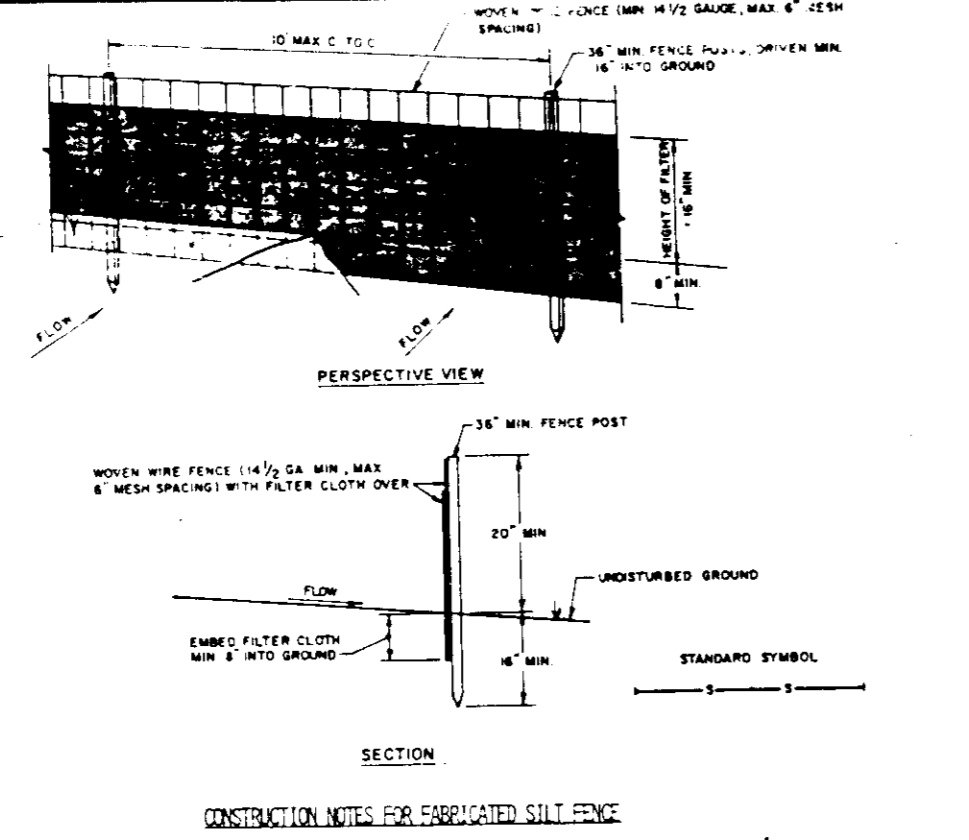


- CONSTRUCTION SPECIFICATIONS**
- All dikes shall be compacted by earthmoving equipment.
  - Top width shall be 30 inches wider than the bottom width.
  - Side slopes shall be 2:1.
  - Filter fabric shall be placed over the rip-rap and secured to the rip-rap with 1/2" x 1/2" staples.
  - Filter fabric shall be placed over the rip-rap and secured to the rip-rap with 1/2" x 1/2" staples.
  - Filter fabric shall be placed over the rip-rap and secured to the rip-rap with 1/2" x 1/2" staples.

**EARTH DIKE**  
NOT TO SCALE

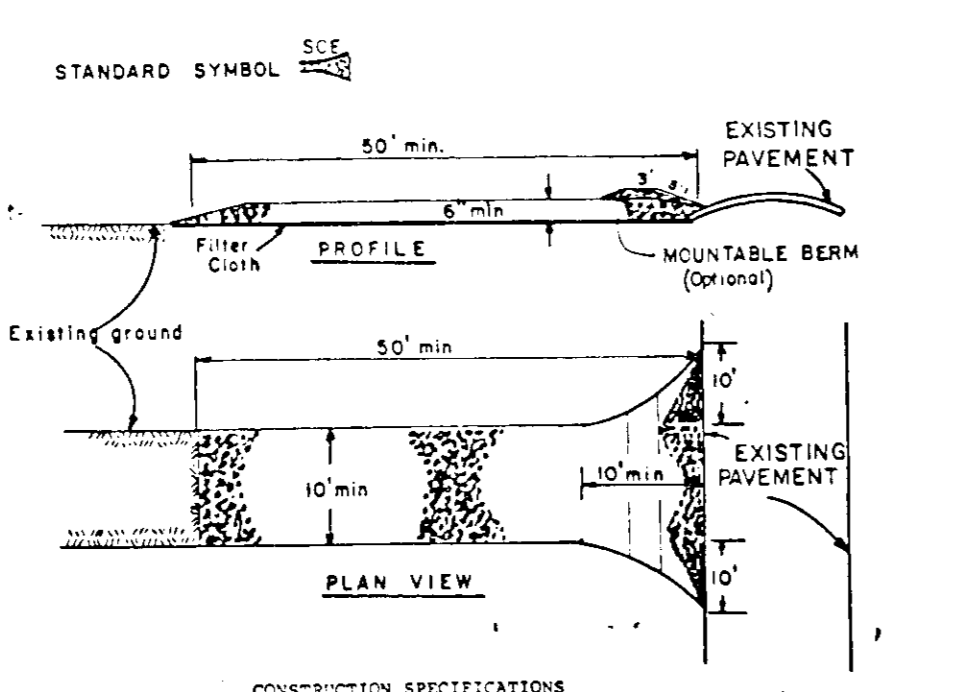
- CONSTRUCTION SPECIFICATIONS**
- Stone Size - Use 2" stone, or recycled concrete equivalent.
  - Length - As required, but not less than 50 feet (except on a single residential lot where a 30 foot minimum length would apply).
  - Thickness - Not less than 18 inches.
  - Width - Ten (10) foot minimum, but not less than the full width at points where ingress or egress occurs.
  - Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a single family residence lot.
  - Surface Water - All surface water flowing or diverted toward construction entrance shall be piped across the entrance. If piping is impractical, a mounded berm with 3:1 slopes will be permitted.
  - Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanup of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
  - Washing - Washing shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
  - Periodic inspection and needed maintenance shall be provided after each rain event.

**STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE



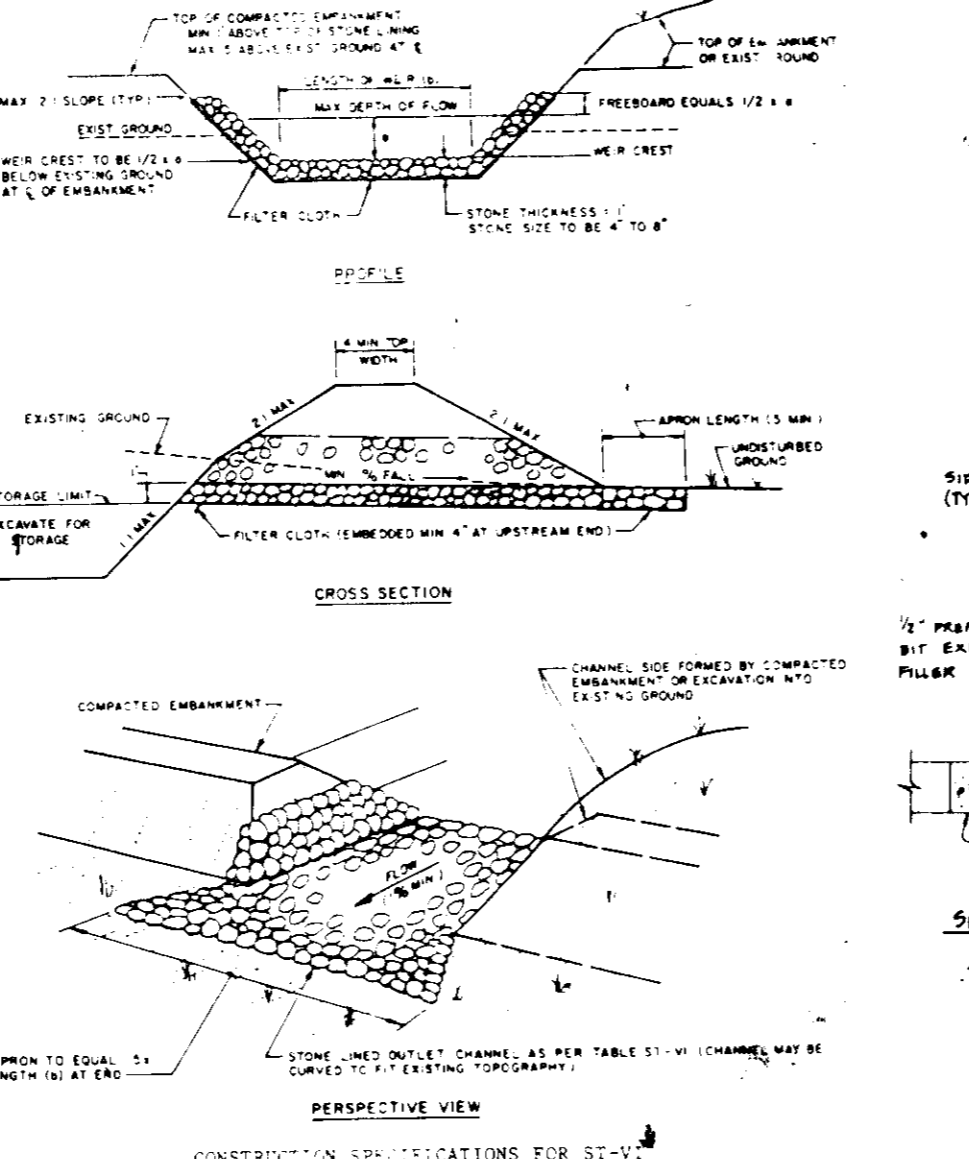
- CONSTRUCTION NOTES FOR RIP-RAP SILT FENCE**
- Silt fences must be embedded, or keyed in, at least 8 inches into the ground. Laying the lower edge of the filter fabric on the ground and covering it with soil is not an acceptable method of keying in. The key-in trench can be excavated by hand or by ditching equipment. After the silt fence is constructed, the trench must be backfilled and compacted.
  - Fence posts must be:
    - at least 36 inches long, and
    - have a cross sectional area of at least 3 square inches if wooden, or
    - weigh at least 1 pound per linear foot if steel T or U type, and
    - driven at least 16 inches into the ground.
  - The filter fabric must be fastened securely to the fence posts.
  - When two sections of filter fabric are joined together, the joint must occur at a fence post. The ends of the filter fabric should be overlapped by at least 6 inches, folded, and fastened to the fence post so that no gaps in the fence occur. Manufacturer's recommendations for joining fabric sections may be followed as long as the resulting joint does not create gaps in the silt fence.
  - Silt fences must be inspected periodically and after each rain event and maintenance performed as necessary.

**SILT FENCE**  
NOT TO SCALE



- CONSTRUCTION SPECIFICATIONS**
- Stone Size - Use 2" stone, or recycled concrete equivalent.
  - Length - As required, but not less than 50 feet (except on a single residential lot where a 30 foot minimum length would apply).
  - Thickness - Not less than 18 inches.
  - Width - Ten (10) foot minimum, but not less than the full width at points where ingress or egress occurs.
  - Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a single family residence lot.
  - Surface Water - All surface water flowing or diverted toward construction entrance shall be piped across the entrance. If piping is impractical, a mounded berm with 3:1 slopes will be permitted.
  - Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanup of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
  - Washing - Washing shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
  - Periodic inspection and needed maintenance shall be provided after each rain event.

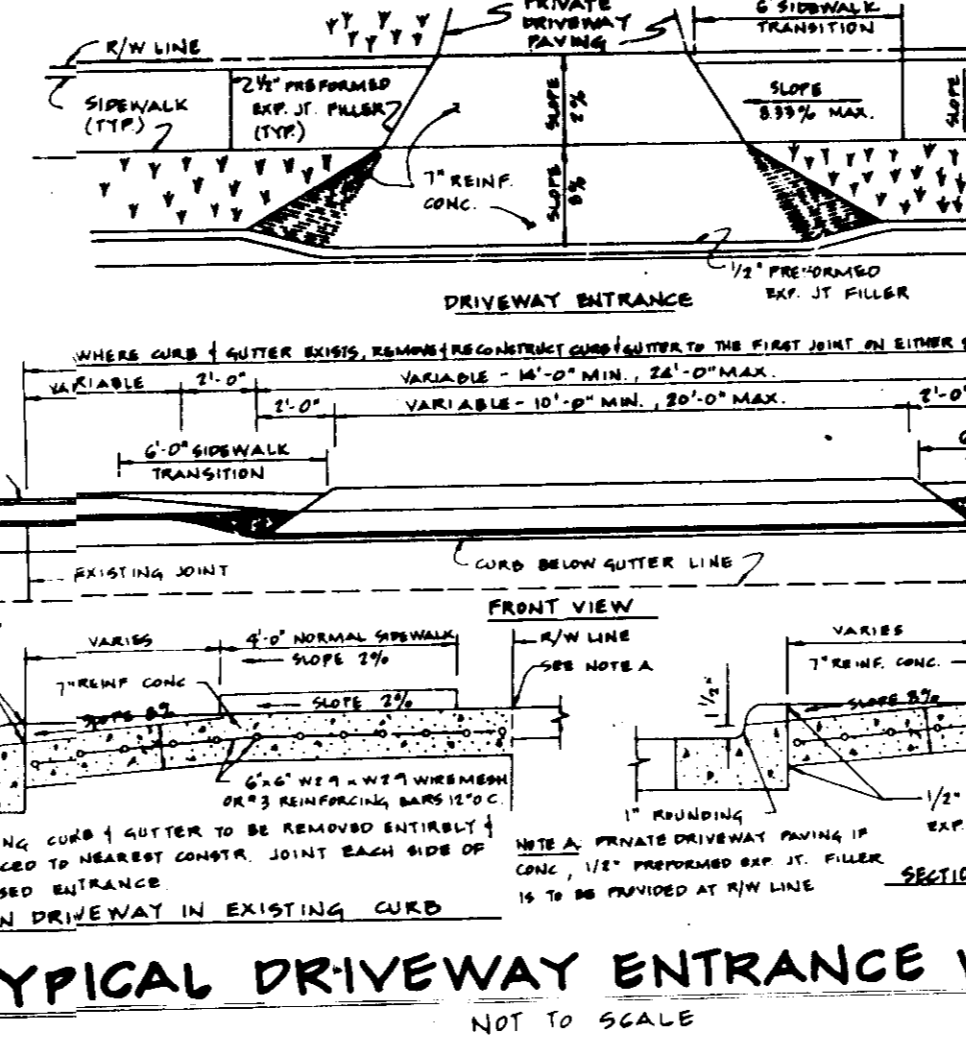
**STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE



- CONSTRUCTION SPECIFICATIONS FOR DRIVEWAY ENTRANCE**
- The area under embankment shall be cleared, grubbed and stripped of any vegetation and top soil. The top area shall be cleared.
  - The fill material for the embankment shall be free of roots or other woody vegetation as well as oversized stones, rocks, organic material or other objectionable material. The embankment shall be compacted by traversing with equipment while it is being constructed. Maximum height of embankment shall be five (5) feet, measured at centerline of embankment.
  - All fill slopes shall be 2:1 or flatter; outside slopes 1:1 or flatter.
  - Elevation of the top of any dike diverting water into trap must equal or exceed the height of embankment.
  - Storage area provided shall be figured by computing the volume available behind the dike channel up to an elevation of one (1) foot below the level of the dike.
  - Filter fabric shall be placed over the bottom and sides of the outlet channel prior to placement of stone. Sections of fabric must overlap at least one (1) foot with section nearest the entrance placed on top. Fabric shall be embedded at least six (6) inches into existing ground at entrance of outlet channel.
  - Stone used in the outlet channel shall be four (4) to eight (8) inches in size. It shall provide a filtering effect; a layer of filter cloth shall be embedded one (1) foot back into the upstream face of the outlet stone or a one (1) inch thick layer of two (2) inch or finer aggregate shall be placed on the upstream face of the outlet.
  - Sediment shall be removed and trap restored to its original dimensions when the sediment has accumulated to 1/2 the design depth of the trap. Removed sediment shall be deposited in a suitable area and in such a manner that it will not erode.
  - The structure shall be inspected after each rain and repaired as needed.
  - Construction operations shall be carried out in such a manner that erosion and water pollution are minimized.
  - The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.
  - Drainage area for this practice is limited to 3 acres or less.

**RIP-RAP SEDIMENT TRAP**  
NOT TO SCALE

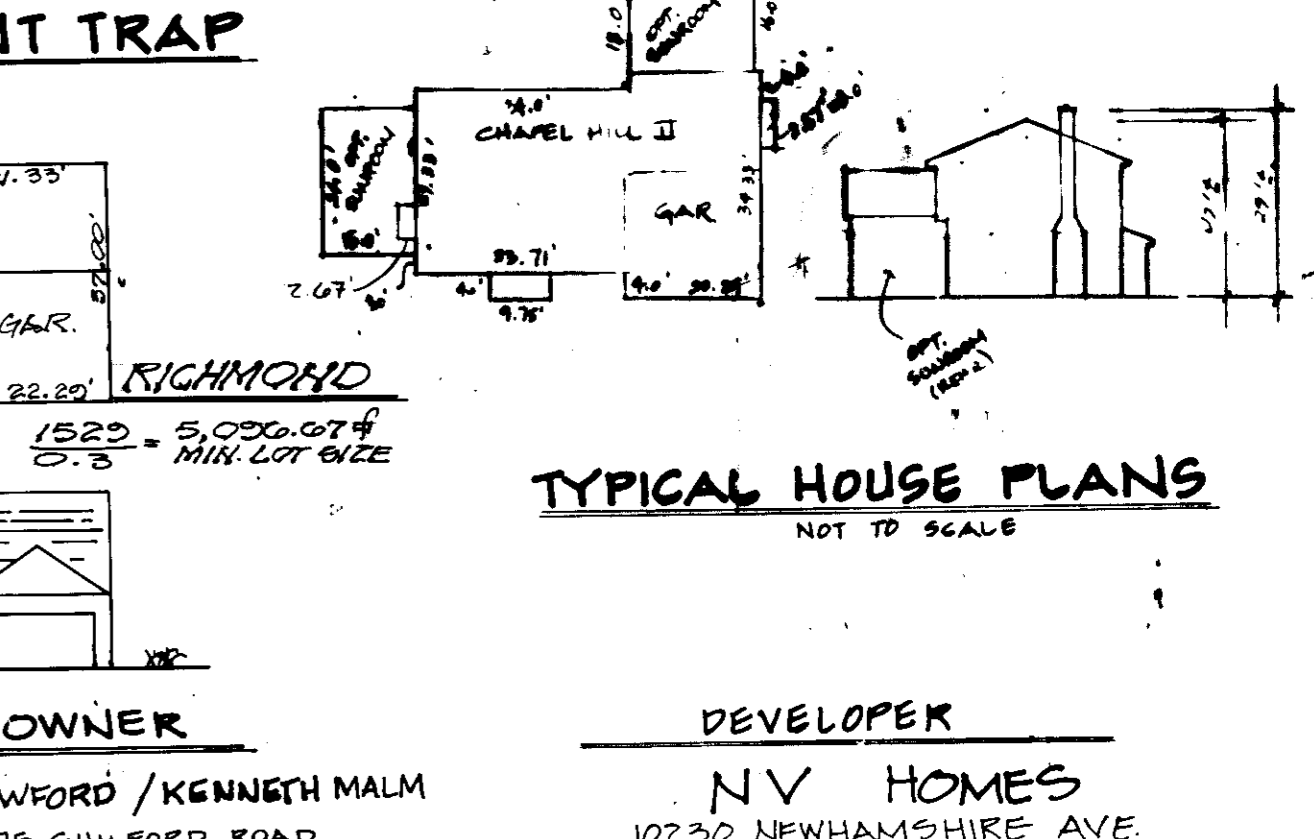
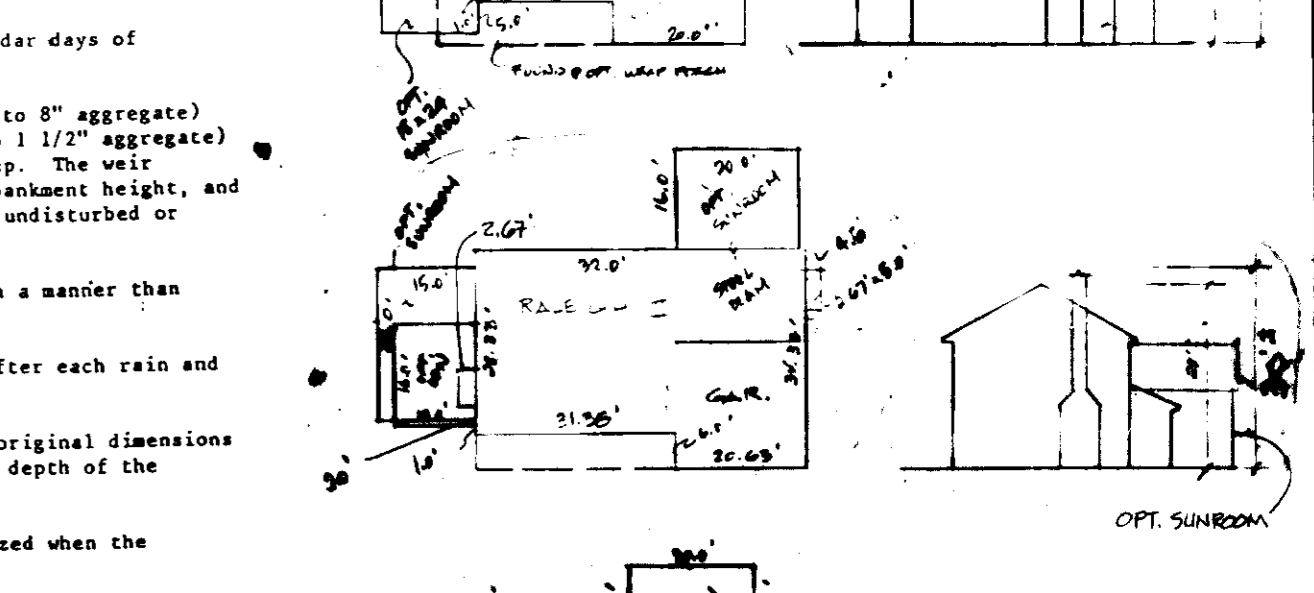
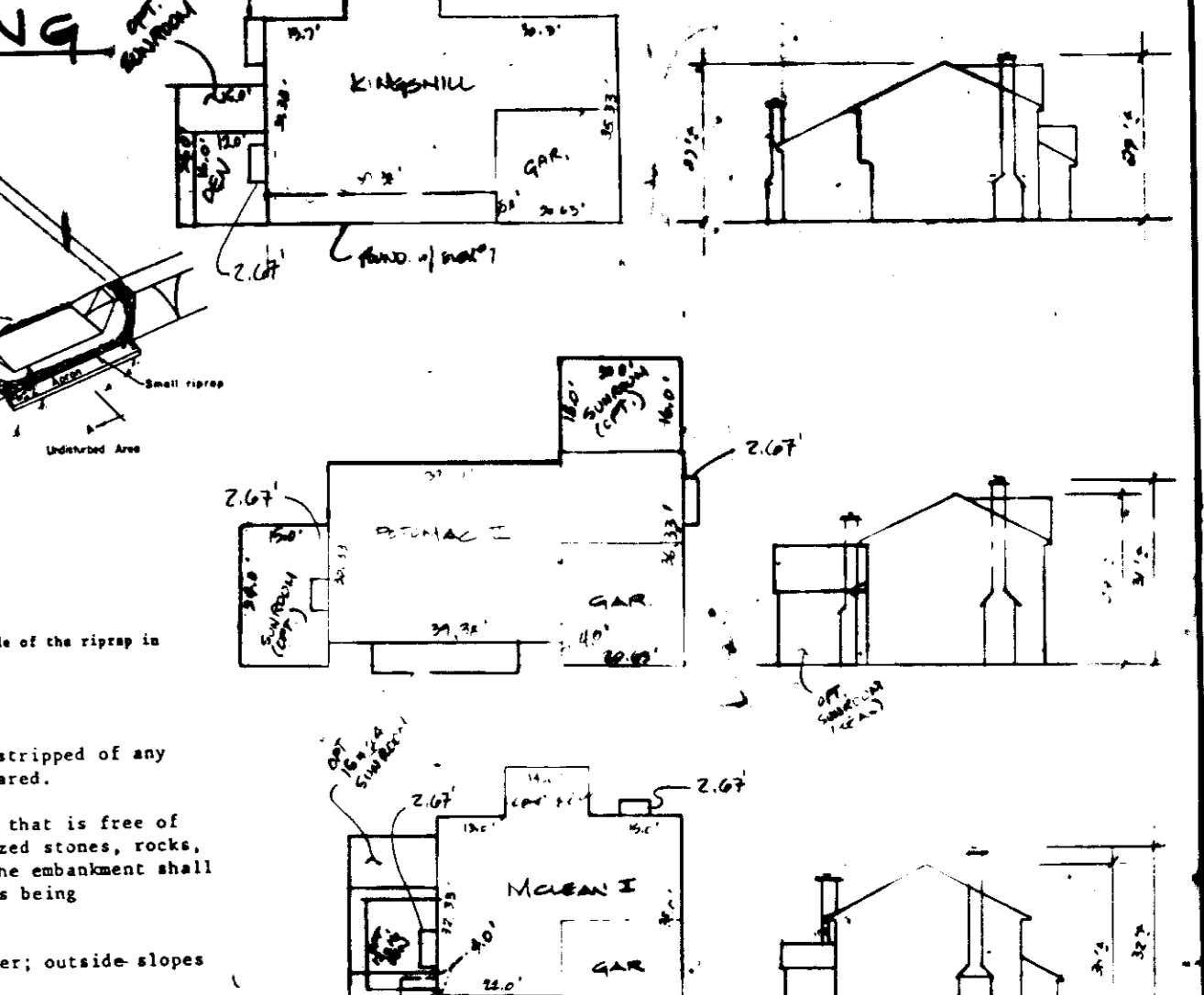
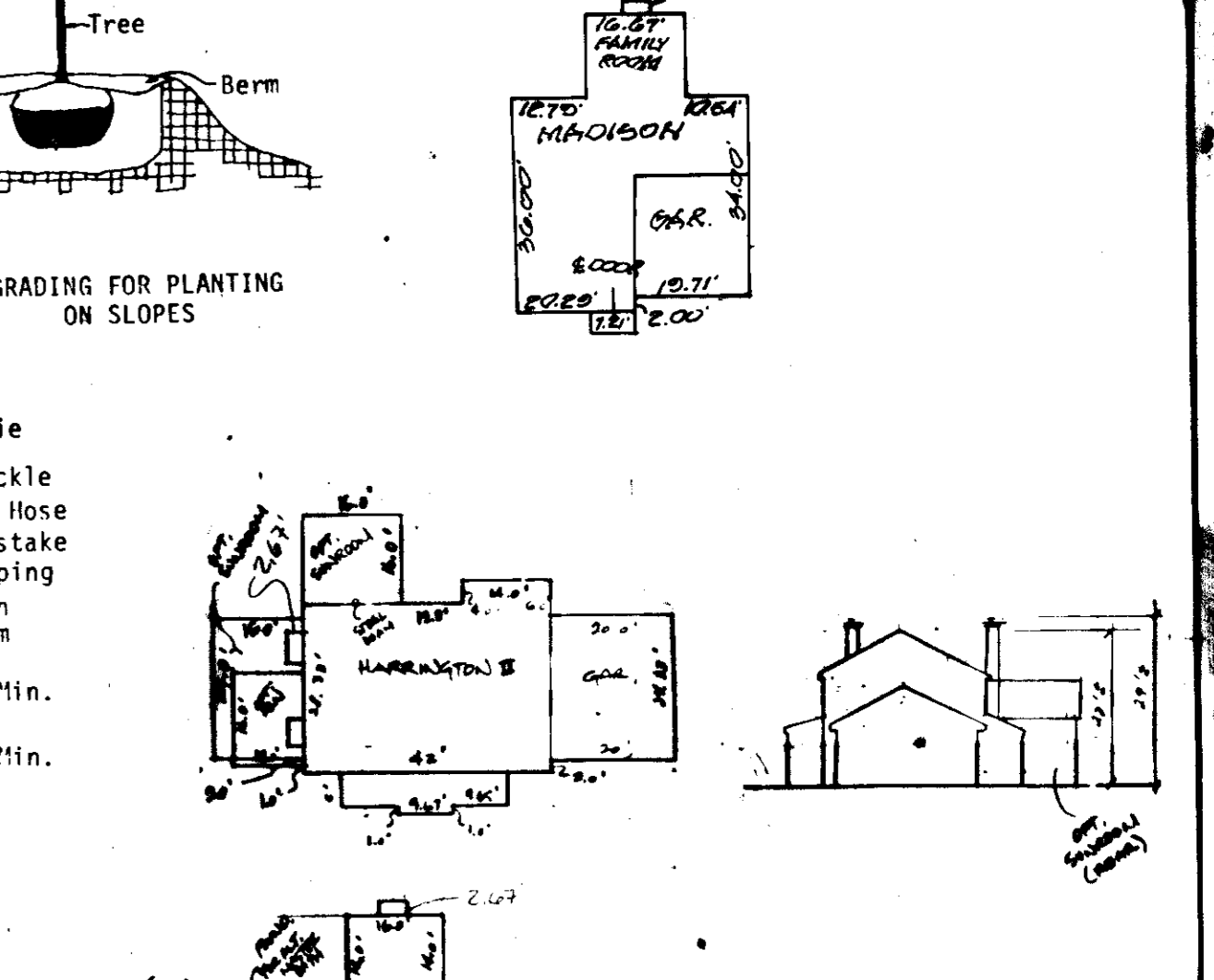
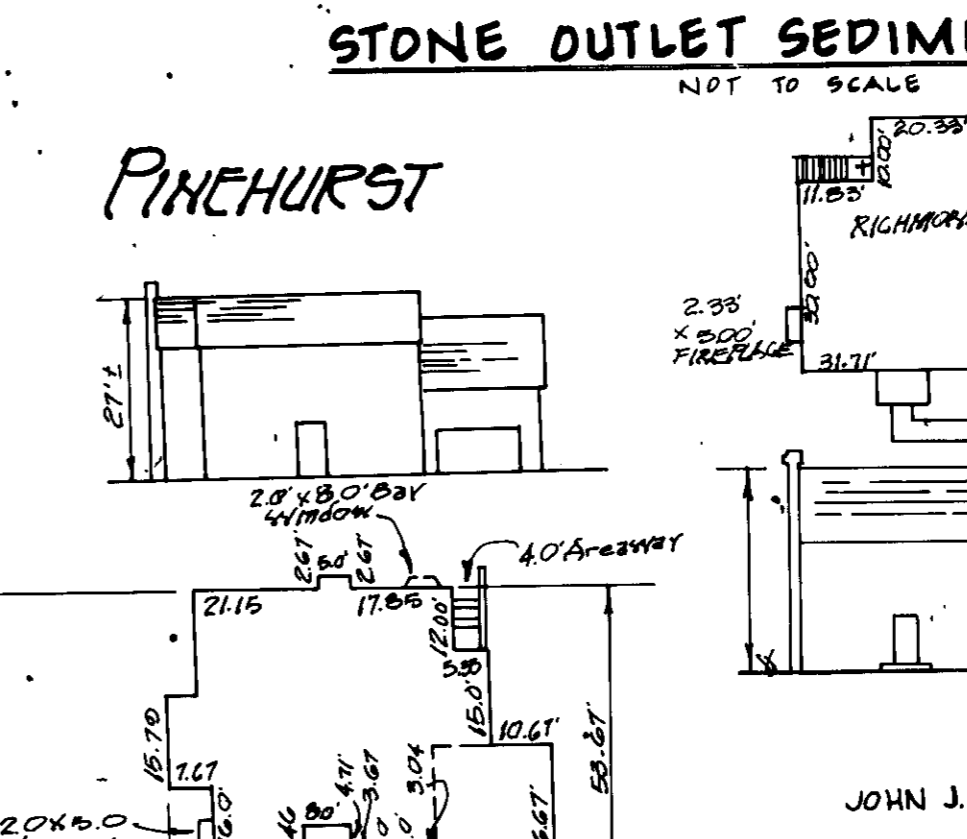
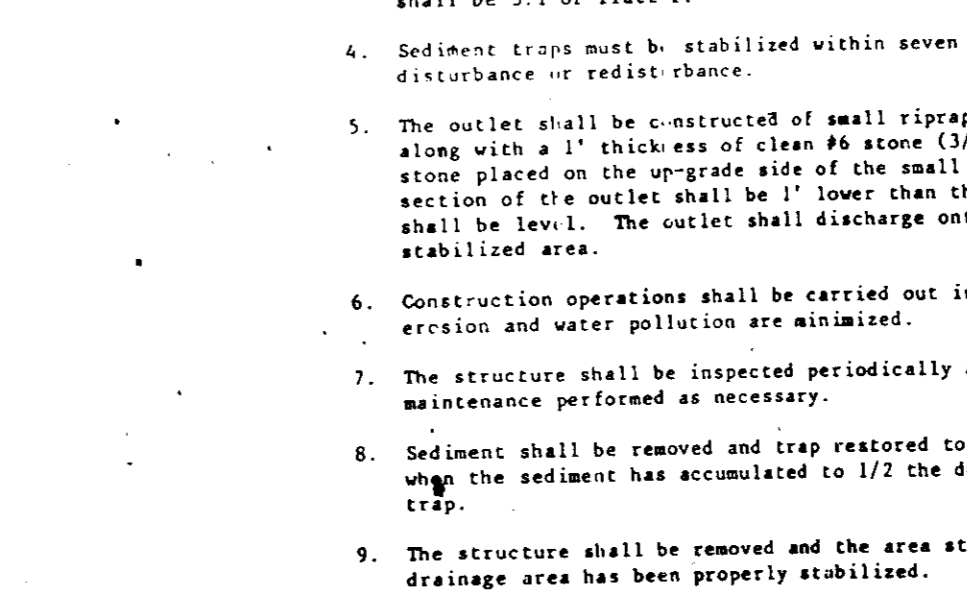
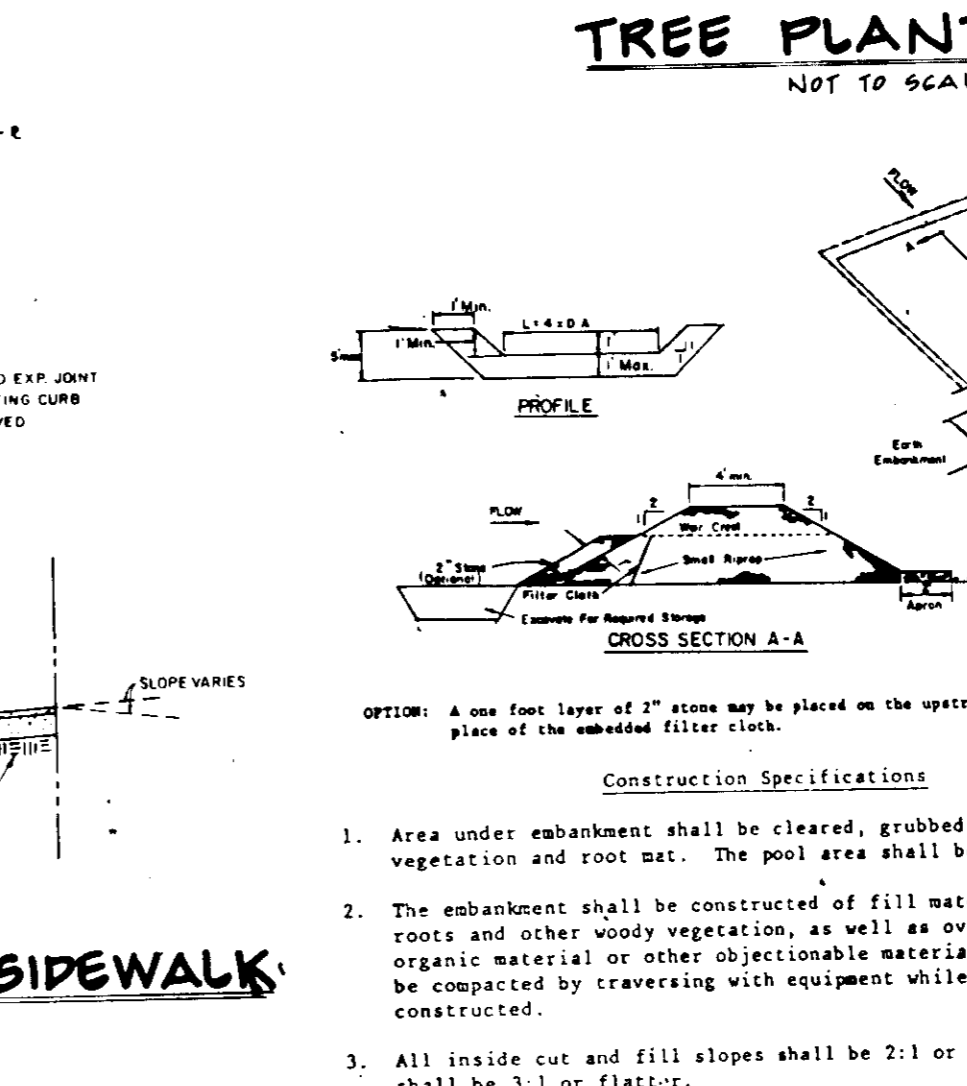
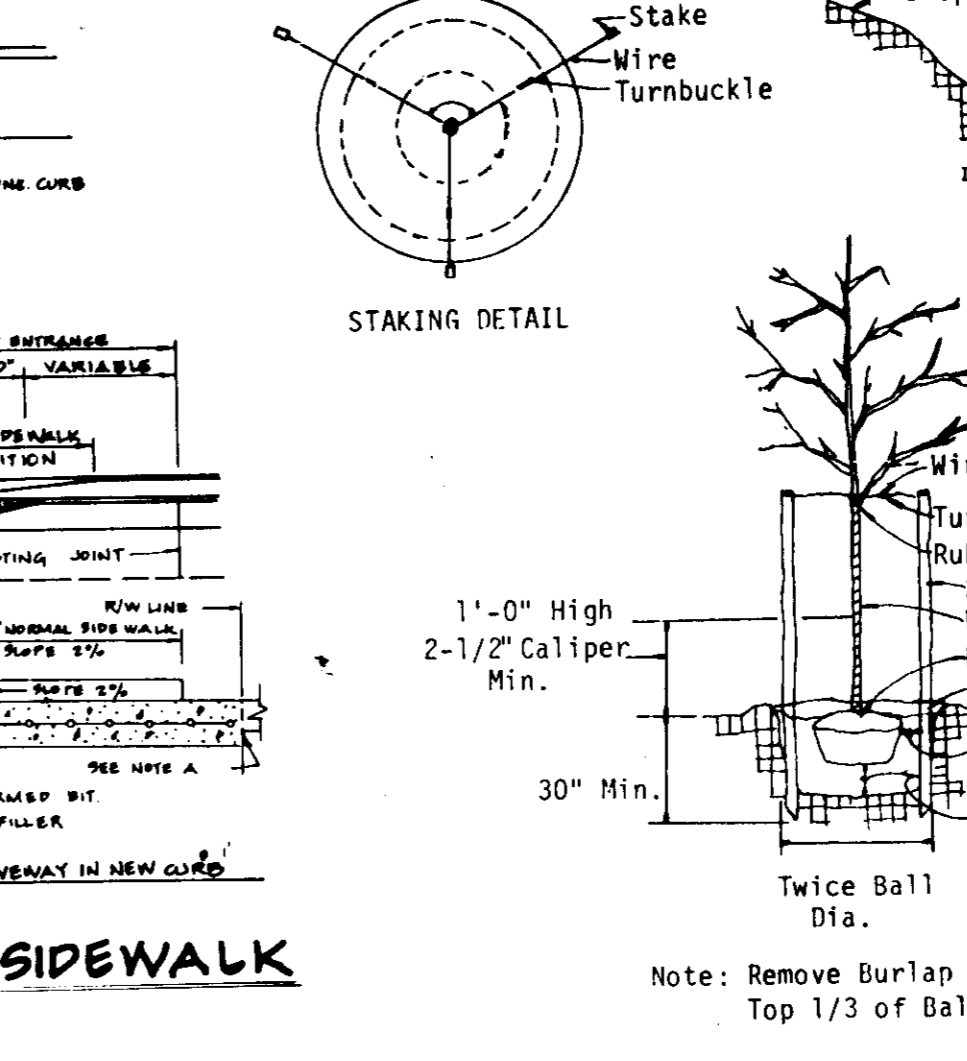
- SEDIMENT CONTROL NOTES:**
- A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION. (892-2437)
  - ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
  - FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1, B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADY AREAS ON THE PROJECT SITE.
  - ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
  - ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDINGS (SEC. 51) AND (SEC. 54). TEMPORARY SEEDING (SEC. 50) AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED BY GRADING ACTIVITIES FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.



- CONSTRUCTION SPECIFICATIONS FOR DRIVEWAY ENTRANCE**
- The area under embankment shall be cleared, grubbed and stripped of any vegetation and top soil. The top area shall be cleared.
  - The fill material for the embankment shall be free of roots or other woody vegetation as well as oversized stones, rocks, organic material or other objectionable material. The embankment shall be compacted by traversing with equipment while it is being constructed. Maximum height of embankment shall be five (5) feet, measured at centerline of embankment.
  - All fill slopes shall be 2:1 or flatter; outside slopes 1:1 or flatter.
  - Elevation of the top of any dike diverting water into trap must equal or exceed the height of embankment.
  - Storage area provided shall be figured by computing the volume available behind the dike channel up to an elevation of one (1) foot below the level of the dike.
  - Filter fabric shall be placed over the bottom and sides of the outlet channel prior to placement of stone. Sections of fabric must overlap at least one (1) foot with section nearest the entrance placed on top. Fabric shall be embedded at least six (6) inches into existing ground at entrance of outlet channel.
  - Stone used in the outlet channel shall be four (4) to eight (8) inches in size. It shall provide a filtering effect; a layer of filter cloth shall be embedded one (1) foot back into the upstream face of the outlet stone or a one (1) inch thick layer of two (2) inch or finer aggregate shall be placed on the upstream face of the outlet.
  - Sediment shall be removed and trap restored to its original dimensions when the sediment has accumulated to 1/2 the design depth of the trap. Removed sediment shall be deposited in a suitable area and in such a manner that it will not erode.
  - The structure shall be inspected after each rain and repaired as needed.
  - Construction operations shall be carried out in such a manner that erosion and water pollution are minimized.
  - The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.
  - Drainage area for this practice is limited to 3 acres or less.

**RIP-RAP SEDIMENT TRAP**  
NOT TO SCALE

- SEDIMENT CONTROL NOTES:**
- A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION. (892-2437)
  - ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
  - FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1, B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADY AREAS ON THE PROJECT SITE.
  - ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
  - ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDINGS (SEC. 51) AND (SEC. 54). TEMPORARY SEEDING (SEC. 50) AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED BY GRADING ACTIVITIES FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.



**Dewberry & Davis**  
ARCHITECTS ENGINEERS PLANNERS SURVEYORS

300 HARRY S. THAMAN PARKWAY, SUITE 200  
ANNAPOLIS, MARYLAND 21401  
(301) 841-6811 (METRO) 261-8707

John Eastman  
John E.C. Parnes  
10-24-89

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

3/16/90

DATE

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER AND SEWERAGE SYSTEMS.

3/16/90

DATE

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER AND SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.

4/17/90

DATE

**NOTES AND DETAILS**

**MONTGOMERY MEADOWS**

SECTION ONE AREA FOUR  
LOTS 100 THRU 212 AND LOTS 210 THRU 220

TAX MAP 31 P/O PARCEL 423  
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: AS SHOWN DATE: