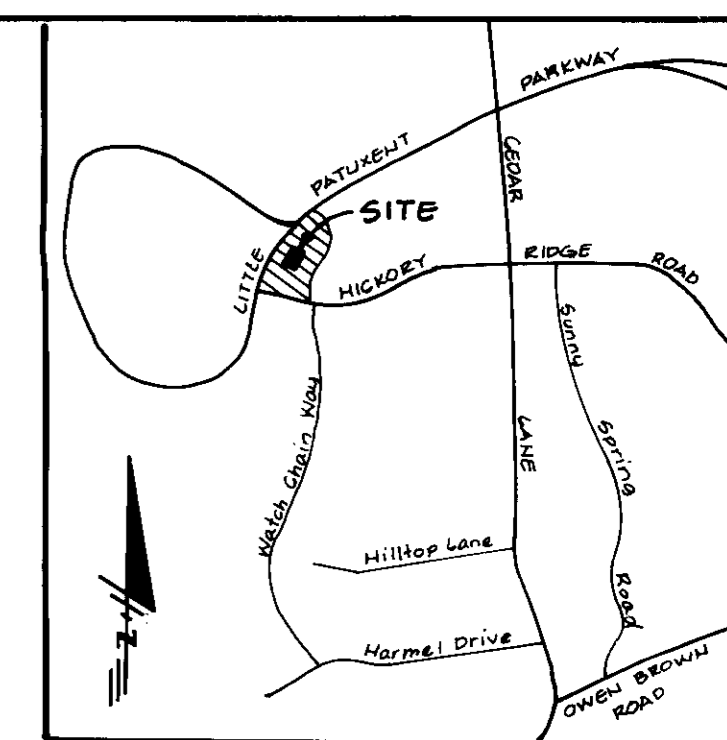
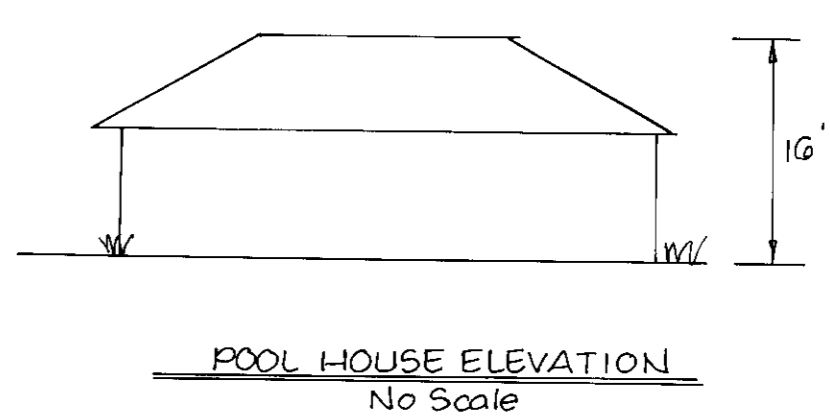
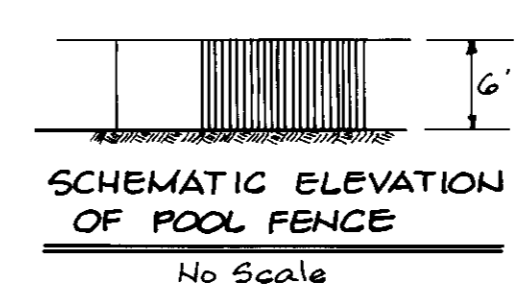
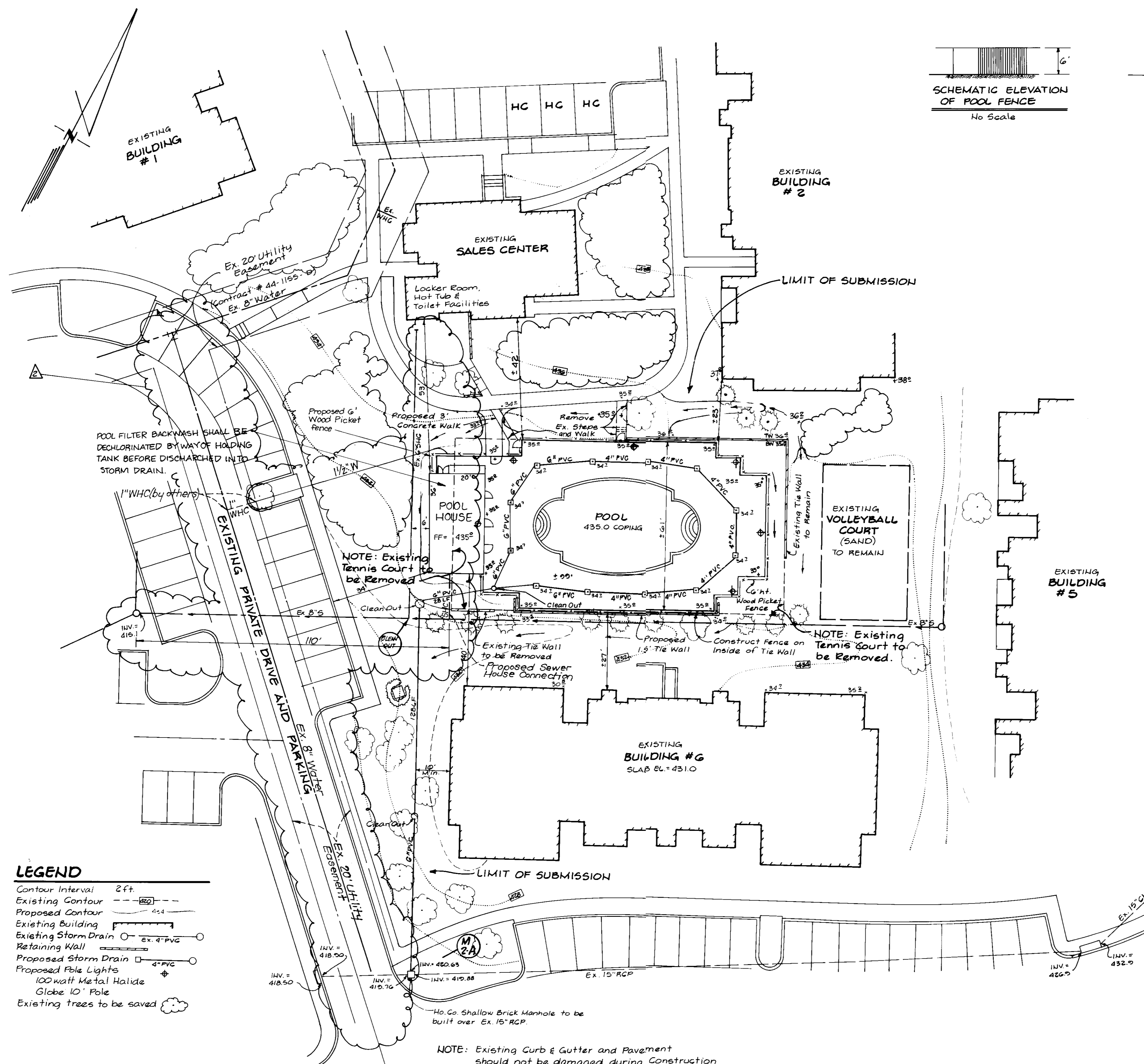


**GENERAL NOTES - CONTINUED**

10. No Wetlands exist on this site within the limit of submission.



**LEGEND**

- Contour Interval 2ft
- Existing Contour ---
- Proposed Contour - - -
- Existing Building [Symbol]
- Existing Storm Drain [Symbol]
- Retaining Wall [Symbol]
- Proposed Storm Drain [Symbol]
- Proposed Pole Lights [Symbol]
- 100 watt Metal Halide Globe 10' Pole [Symbol]
- Existing trees to be saved [Symbol]

**GENERAL NOTES**

1. The purpose of this Site Development Plan is for the removal of an existing Tennis Court and the construction of a community Swimming Pool and associated utilities. Unless otherwise shown, all other improvements are existing as per SDP-84-20C.
2. The proposed Pool is intended for resident members only. No additional parking is required.
3. All materials and construction to be in accordance with Ho. Co. Road Construction Code and Specifications.
4. This plan is covered by FDP Plan, Phase 1B1-A-II Part I, Plat 3054 A 701 to 707.
5. Topography was compiled from actual field surveys, C.F.S., June 1980.
6. The area included in this submission is located on Tax Map # 35.
7. All driveways and parking are privately owned & maintained, and are existing.
8. Coordinates are based on Ho. Co. Geodetic Control Traverse which is based upon the Maryland State Plane Coordinate System.
9. Class "C" trench bedding shall be used for all storm drainage unless shown otherwise, see detail sheet 2.
10. All downspout drains shall be handled by one of the following methods:
  - A. Downspout to splash blocks and discharged onto ground with good percolation.
  - B. Downspout in front of bldg. & piped to curb.
  - C. Downspout connected to storm drain.
11. The Developer agrees to work with the Department of Licenses & Inspections to resolve any problems caused by roof water discharge.
12. Information concerning underground utilities was obtained from available records, but the contractor must determine the exact location and elevation of mains by digging test pits, by hand, at all utility crossings well in advance of construction.
13. The Contractor or Developer shall contact the Construction Inspection / Survey Division 24 hours in advance of commencement of work at 992-2417 or 792-7272.
14. All setback criteria as shown on FDP, Phase 1B1-A-II, Part I, as Plat 3054 A, 701 to 707.
15. County Reference Files: SDP-84-20C, SDP 00-89
16. All existing trees to be saved if possible.
17. Stormwater Management Analysis: Stormwater Management for SDP 84-20C was provided by a central facility in VOHR 3/1 F-83-120. The proposed removal of the existing tennis courts to construct a pool will result in no increase in impervious area, therefore, no Stormwater Management is required for this project.
18. All work shall be done in accordance with Ho. Co. Design Manual, Vol. IV, Stds. & Specs. and Details for Construction, 1989 amendments.

**SITE ANALYSIS**

1. Zoning =	New Town Apartments (FDP-181, Part I)
2. Number of Units Existing and Permitted =	108
3. No change in Units Proposed	
4. Parking Spaces Existing (no change)	302
5. Parking Spaces Required	207
6. Total Area of Parcel	10.4 Ac.
7. Area of Limits of this Submission	± 0.25 Ac.
8. Building Coverage: (Pool Area = 0.15 Ac.)	
Existing =	1.85 Ac. or 17.8%
Proposed =	1.09 Ac. or 10.1%
9. Green Area	
Existing =	4.45 Ac. or 43%
Proposed =	± 4.60 Ac. or 44%

2	Rev. Water & Sewer House Connections to Pool House	12.12.90
1	ADDED POOL HOUSE	7.2.90
No.	REVISION	DATE

**ADDRESS CHART**

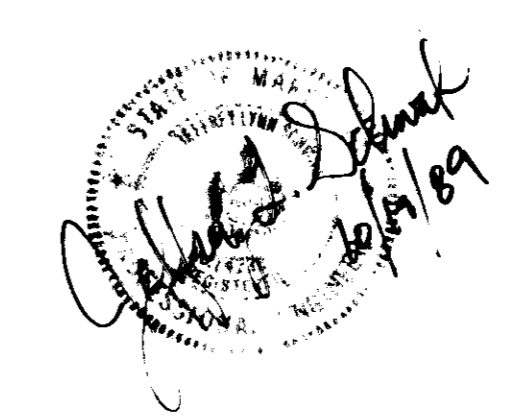
Subdivision Name	Street Address
Sales Ctr & Pool	11311 Little Patuxent Parkway
Village of Hickory Ridge	3/2
Block #	5
NT-APT	35
Water Code	I-07
Sewer Code	650300

**APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.**  
 HOWARD COUNTY HEALTH DEPARTMENT  
 3-5-90  
 COURTNEY HEALTH OFFICER

**APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING**  
 4-3-90  
 PLANNING DIRECTOR

**APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS**  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 2-23-90  
 DIRECTOR

11-22-89  
 45



**CLARK • FINEFROCK & SACKETT, INC.**  
 ENGINEERS • PLANNERS • SURVEYORS  
 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (301) 381-7500 - BALTO. • (301) 621-8100 - WASH.

**SITE DEVELOPMENT PLAN FOR COMMUNITY POOL PARCEL "A" ("CLARY'S CROSSING")**  
 COLUMBIA  
 VILLAGE OF HICKORY RIDGE  
 5TH ELECTION DIST., SECTION 3, AREA 2  
 HOWARD COUNTY, MARYLAND

DESIGNED: MJP  
 DRAWN: PER  
 CHECKED: MJP  
 DATE: June '89

SCALE: 1" = 20'  
 DRAWING: 1 of 3  
 JOB NO.: 89-063  
 FILE NO.: 89-063 X

For: Fogelman Properties  
 5400 Poplar Avenue  
 Memphis, Tennessee 38112

**SEDIMENT CONTROL NOTES**

- 1) A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (1983-2033)
- 2) All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- 3) Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within a 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all disturbed or graded areas on the project site.
- 4) All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- 5) All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding (Sec. 31) and (Sec. 34), temporary seeding (Sec. 30) and mulching (Sec. 32). Temporary stabilization with mulch alone can only be done when recommended seeding rates do not allow for proper germination and establishment of grasses.
- 6) All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- 7) Site Analysis:  
 Total Area of Site: 10.4 Acres  
 Area Disturbed: 0.18 Acres  
 Area to be roofed or paved: 0.18 Acres  
 Area to be vegetatively stabilized: 0.10 Acres  
 Total Cut: 290 Cu. yds  
 Total Fill: 310 Cu. yds  
 Offsite waste/borrow area location: N/A
- 8) Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on same day of disturbance.
- 9) Additional sediment control must be provided, if deemed necessary by the Howard County DWM sediment control inspector.
- 10) On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approval may not be authorized until this initial approval by the inspection agency is made.
- 11) If houses are to be constructed on an "As-Built" basis, at random, Single lot sediment control as shown below shall be implemented. N/A
- 12) All pipes to be blocked at the end of each day (see detail below). N/A
- 13) The total amount of straw bale dikes/silt fence equals 270 L.F.

**PERMANENT SEEDING NOTES**

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

**Seeded Preparation:** Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

**Soil Amendments:** In lieu of soil test recommendations, use one of the following schedules:

- 1) Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 square ft) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Narrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq ft).
- 2) Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Narrow or disc into upper three inches of soil.

**Seeding:** For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs/1000 sq ft) of weeping lovegrass. During the period of October 15 thru February 28, protect site by: Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring; Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

**Mulching:** Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

**Maintenance:** Inspect all seeded areas and make needed repairs, replacements and reseedings.

**TEMPORARY SEEDING NOTES**

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

**Seeded Preparation:** Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

**Soil Amendments:** Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft)

**Seeding:** For periods March 1 thru April 30 and from August 15 thru November 15, seed with 25 bushel per acre of annual ryegrass (3.2 lbs/1000 sq ft). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (.07 lbs/1000 sq ft). For the period November 15 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

**Mulching:** Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

**LEGEND**

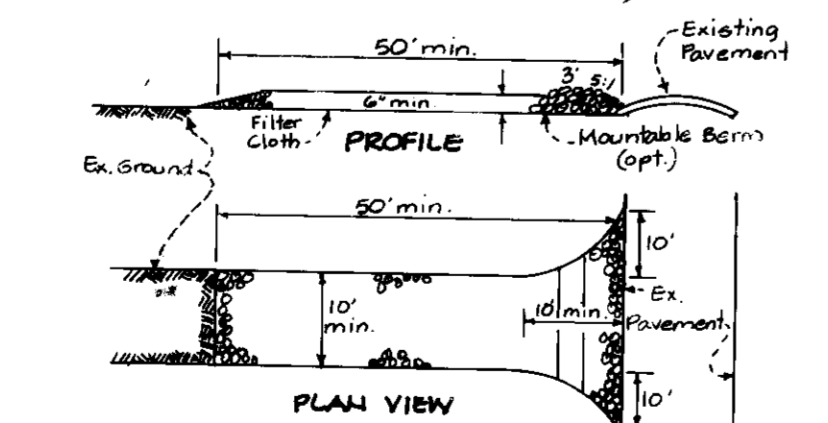
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- Existing Contour: ---
- Proposed Contour: - - -
- Existing Building: [Symbol]
- Existing Storm Drain: [Symbol]
- Retaining Wall: [Symbol]
- Silt Fence: [Symbol]
- Limit of Disturbed Area: [Symbol]
- Proposed Storm Drain: [Symbol]

**APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS**  
 HOWARD COUNTY HEALTH DEPARTMENT  
 [Signature] 2-5-90  
 COUNTY HEALTH OFFICER DATE

**APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING**  
 [Signature] 4-3-90  
 PLANNING DIRECTOR DATE

**APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE**  
 STORM DRAINAGE SYSTEMS AND PUBLIC ROADS  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 [Signature] 2-23-90  
 DIRECTOR DATE

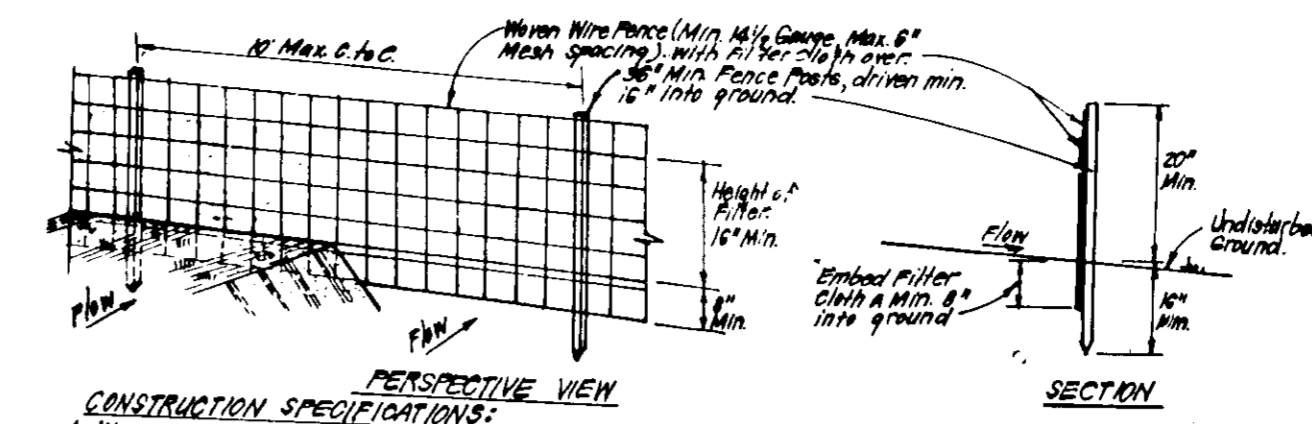
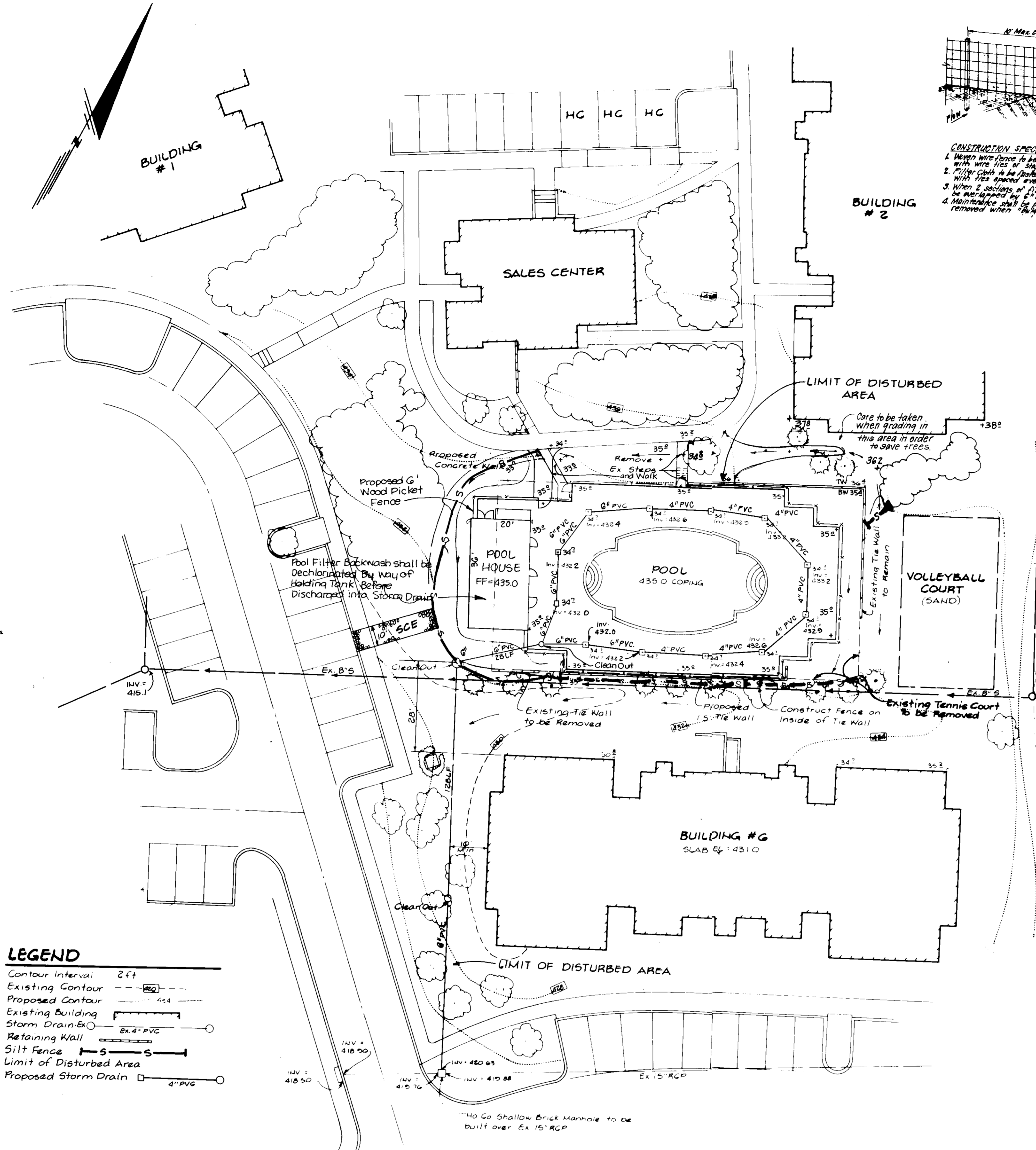
11-22-89  
 LS



1. Stone size - Use 2" stone, reclaimed or recycled concrete equivalent.
2. Length - as required, but not less than 50' (except on a single residence lot where a 30' min length would apply).
3. Thickness - Not less than 6".
4. Width - 10' min., but not less than the full width at points where ingress and egress occur.
5. Filter cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a single family residential construction entrance, shall be placed across the entrance.
6. Surface water - all surface water flowing or diverted toward the entrance is to be trapped in a manhole berm w/ 5:1 slopes.

**STABILIZED CONSTRUCTION ENTRANCE**

No Scale

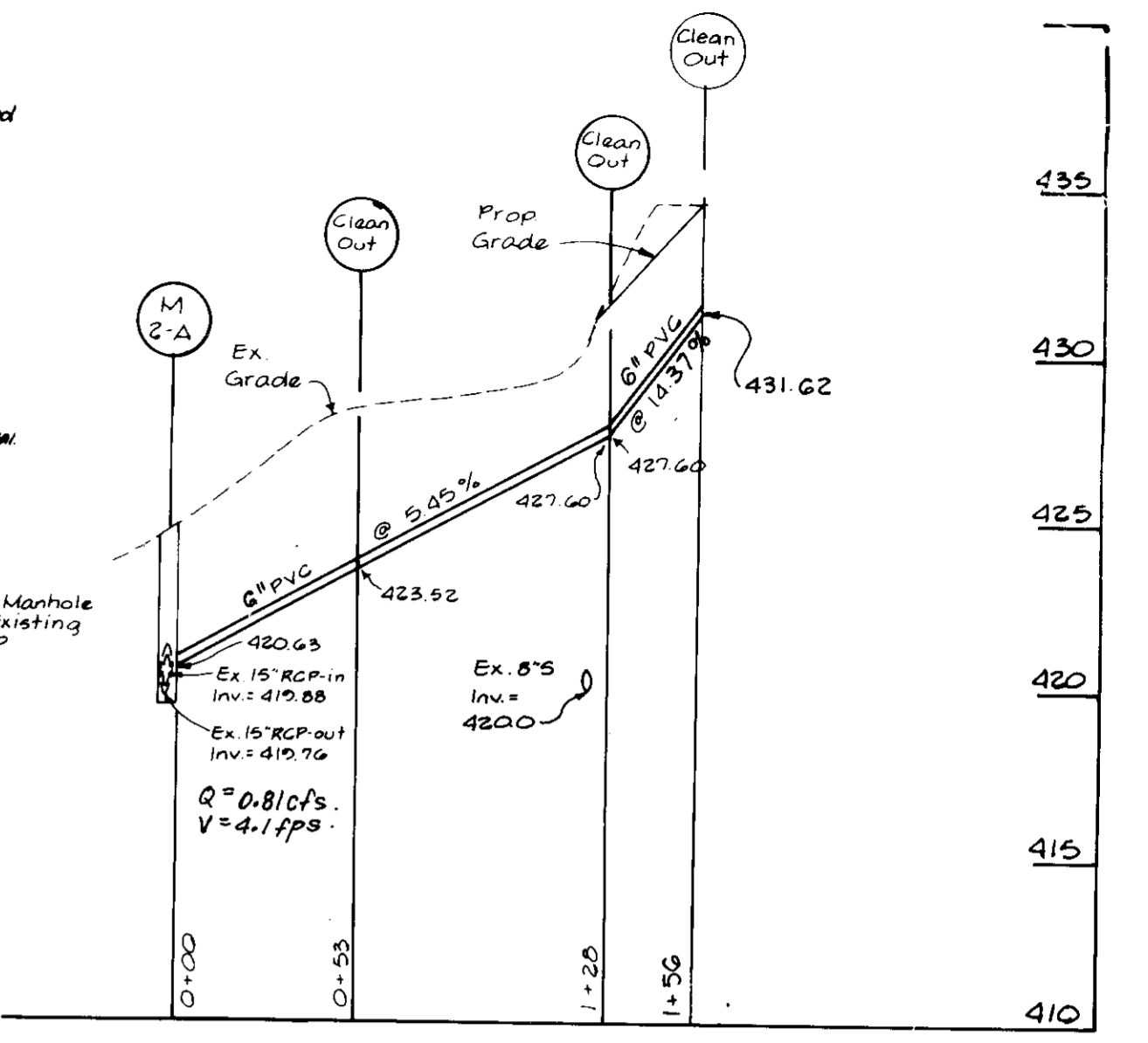


**CONSTRUCTION SPECIFICATIONS:**  
 1. Woven wire fence to be fastened securely to fence posts with wire ties or staples.  
 2. Filter cloth to be fastened securely to woven wire fence with ties spaced every 4' at top and mid section.  
 3. When 2 sections of filter cloth are used each other they shall be overlapped by 6" and stapled.  
 4. Maintenance shall be performed as needed and material removed when "blow" debris is visible in silt fence.

**POSTS:** Steel, either T or U Type or 2" Hardwood  
**FENCE:** Woven Wire, 1/4" Gauge 6" Max. Mesh Opening  
**FILTER CLOTH:** Filter Cloth, 100% Submittal, TYPED or APPROVED  
**PREPARED UNIT:** Geotextile, 200lb/roll, 4' x 100'

**SILT FENCE DETAIL (S)**

No Scale



**PROFILE-SHALLOW BRICK MANHOLE**

Ho.Co Std. G. 505  
 Scale: Hor=1"=50'  
 Vert=1"=5'

**STRUCTURE SCHEDULE**

No.	Type	Inv. In	Top Elev.	Remarks	Location
M 2-A	Shallow Manhole	419.88	419.76	Ex. Grade	Ho.Co Std. G-505 48" eq

**PIPE SCHEDULE**

Size	Type	Length
6"	PVC	156 LF

**CONSTRUCTION SEQUENCE**

#	Days
1. Obtain Building Permit	2
2. Install Sediment and Erosion Controls	5
3. Clear and Rough Grade	7
4. Install Utilities & Inlet Protection	30
5. Construct Structures, Sidewalks & Paving	30
6. Final Grade & Stabilize Site	10
7. Upon approval of the Sediment Control Inspector, remove Sediment and Erosion Controls & Stabilize.	3

Reviewed for Howard S.C.D. and meets Technical Requirements.  
 [Signature] 1/27/90  
 U.S. Environmental Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
 [Signature] 4/2/90  
 Approved

**DEVELOPER CERTIFICATE**  
 "I/We certify that all development and construction will be done according to this plan of development and plan for erosion and sediment control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Dept. of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."  
 [Signature] 9/18/89  
 Date

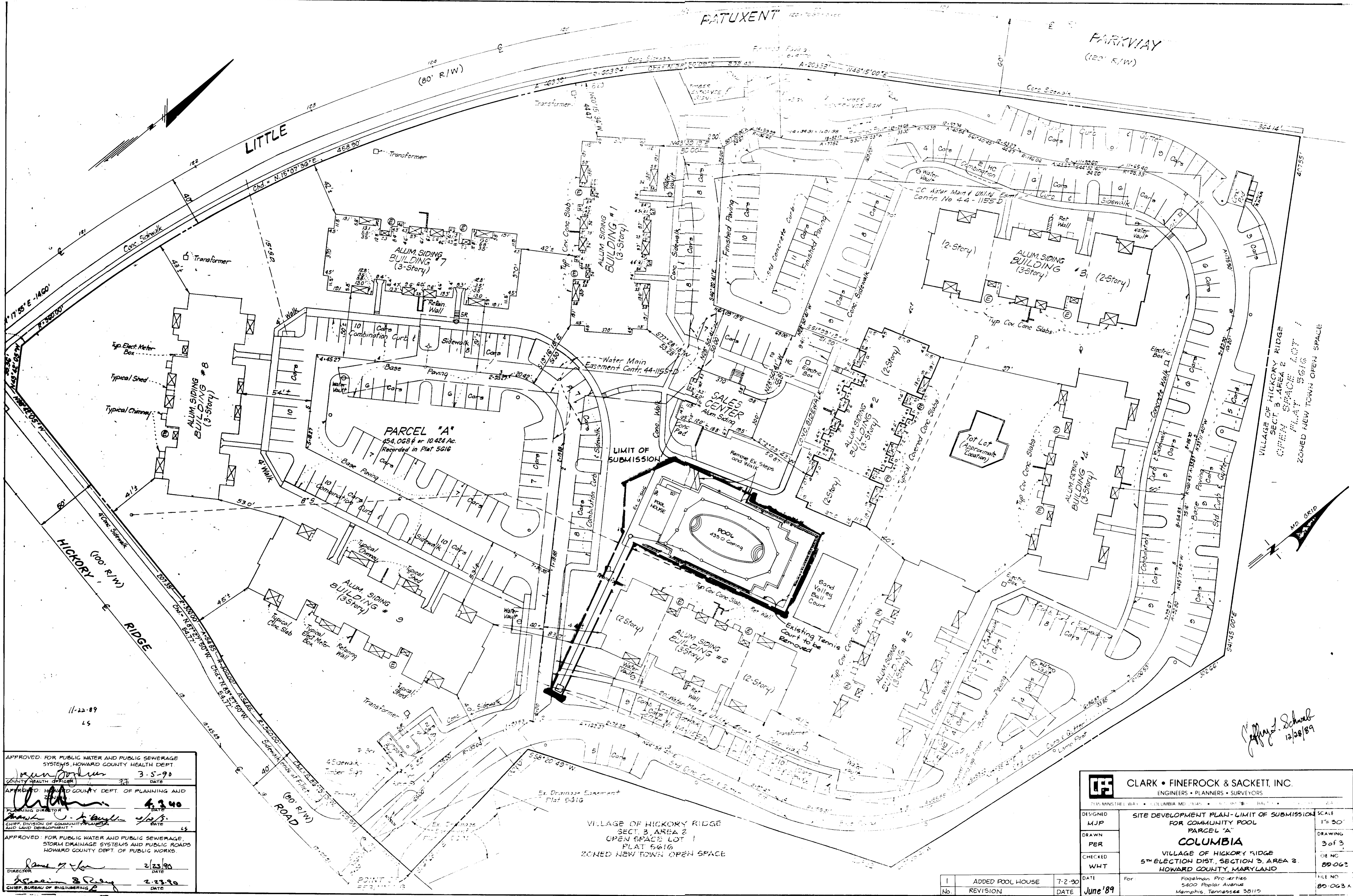


**CLARK • FINEFROCK & SACKETT, INC.**  
 ENGINEERS • PLANNERS • SURVEYORS  
 715 MINNISTREL WA • COLUMBIA MD 21045 • (301) 481-7500 • BALTO • (301) 621-8300 • WASH

**DESIGNED:** MCB  
**DRAWN:** PER  
**CHECKED:** MCB  
**DATE:** June '89

**SEDIMENT & EROSION CONTROL FOR COMMUNITY POOL PARCEL "A"**  
**COLUMBIA**  
 VILLAGE OF HICKORY RIDGE  
 5TH ELECTION DIST., SECTION 3, AREA 2  
 HOWARD COUNTY, MARYLAND

**SCALE:** 1"=20'  
**DRAWING:** 2 of 3  
**JOB NO:** 80 063  
**FILE NO:** [Blank]



APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPT.  
 COUNTY HEALTH OFFICER: *[Signature]* 3-5-90  
 DATE: 3-5-90

APPROVED HOWARD COUNTY DEPT. OF PLANNING AND ZONING  
 PLANNING DIRECTOR: *[Signature]* 4-3-90  
 DATE: 4-3-90

CHIEF DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT  
 DATE: 4-3-90

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPT. OF PUBLIC WORKS.  
 DIRECTOR: *[Signature]* 2-23-90  
 DATE: 2-23-90

CHIEF, BUREAU OF ENGINEERING  
 DATE: 2-23-90

VILLAGE OF HICKORY RIDGE  
 SECT. 3, AREA 2  
 OPEN SPACE LOT 1  
 PLAT 5616  
 ZONED NEW TOWN OPEN SPACE

<b>CLARK • FINEFROCK &amp; SACKETT, INC.</b> ENGINEERS • PLANNERS • SURVEYORS <small>715 MINNIE E. WAY • COLUMBIA, MD. 21046 • TEL. 410-271-1100 • FAX 410-271-1101</small>		SCALE 1" = 30' DRAWING 3 of 3 JOB NO. 89-062 FILE NO. 89-063A
DESIGNED MJP DRAWN PER CHECKED WHT	SITE DEVELOPMENT PLAN - LIMIT OF SUBMISSION FOR COMMUNITY POOL PARCEL "A" <b>COLUMBIA</b> VILLAGE OF HICKORY RIDGE 5TH ELECTION DIST., SECTION 3, AREA 2 HOWARD COUNTY, MARYLAND	DATE 7-2-90 For: Fogelman Properties 5400 Poplar Avenue Memphis, Tennessee 38119
NO. 1 REVISION DATE	DATE June '89	FILE NO. 89-063A

*[Signature]*  
 12/28/89