

**PARKING:**

Parking for these improvements are part of the shared parking facilities for the entire commercial area of the Village of Wilde Lake. The tabulation below states the current uses for the entire center plus the proposed improvements. (For entire parking layout refer to SDP #72-22C and 77-87C).

**Projected Parking Needs**

The analysis which follows establishes the needs of current parking requirements for these facilities:

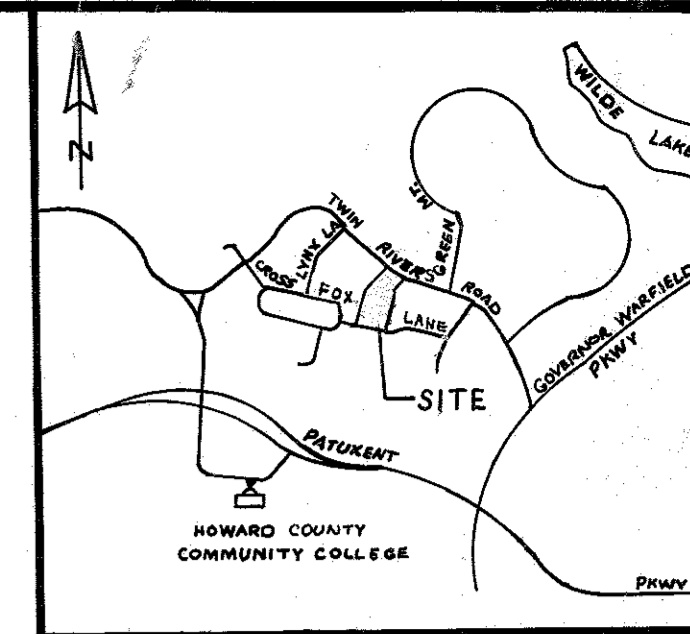
- Slayton House**  
Use: Community Center  
Area: 10,940 s.f.  
Usable area: 8,000 s.f. classroom  
6,000 s.f. gallery space  
**REQUIRED PARKING:**  
4 employees x 1 space/2 employees = 2  
2,000 s.f. x 1 space/100 s.f. = 20  
6,000 s.f. x 1 space/200 s.f. = 30  
52 spaces
- Family Life Center**  
Use: Community Center  
Area: 3,630 s.f.  
Usable area: 2,900 s.f.  
Employees: 2 full-time  
3 half-time  
10 quarter-time  
Visitors: 10  
**REQUIRED PARKING:**  
11 employees x 1 space/2 employees = 6  
10 visitors x 1 space/2 visitors = 5  
11 spaces
- Wilde Lake Tennis Club**  
Use: Tennis Club  
Area: 2.8 acres  
Courts: 11  
Employees: 3  
**REQUIRED PARKING:**  
11 courts x 4 spaces/court = 44  
3 employees x 1 space/2 employees = 2  
46 spaces

- Columbia Swim Center**  
Use: Swim Center  
Area: 22,000 SF (includes proposed addition)  
Maximum Patronage: 390 persons  
Employees: 10  
\*From a study of weekend use at the Swim Center, the following percentages were determined for arrival to the Center.  
15% walk/bike/bus  
43% dropped off  
42% park (average 2.1 persons per car)  
**REQUIRED PARKING:**  
390 persons x .42 = 164 persons  
164 persons - 2.1 persons per car = 78  
10 employees x 1 space/2 employees = 5  
83 spaces

**TOTAL PROJECTED REQUIRED PARKING:**

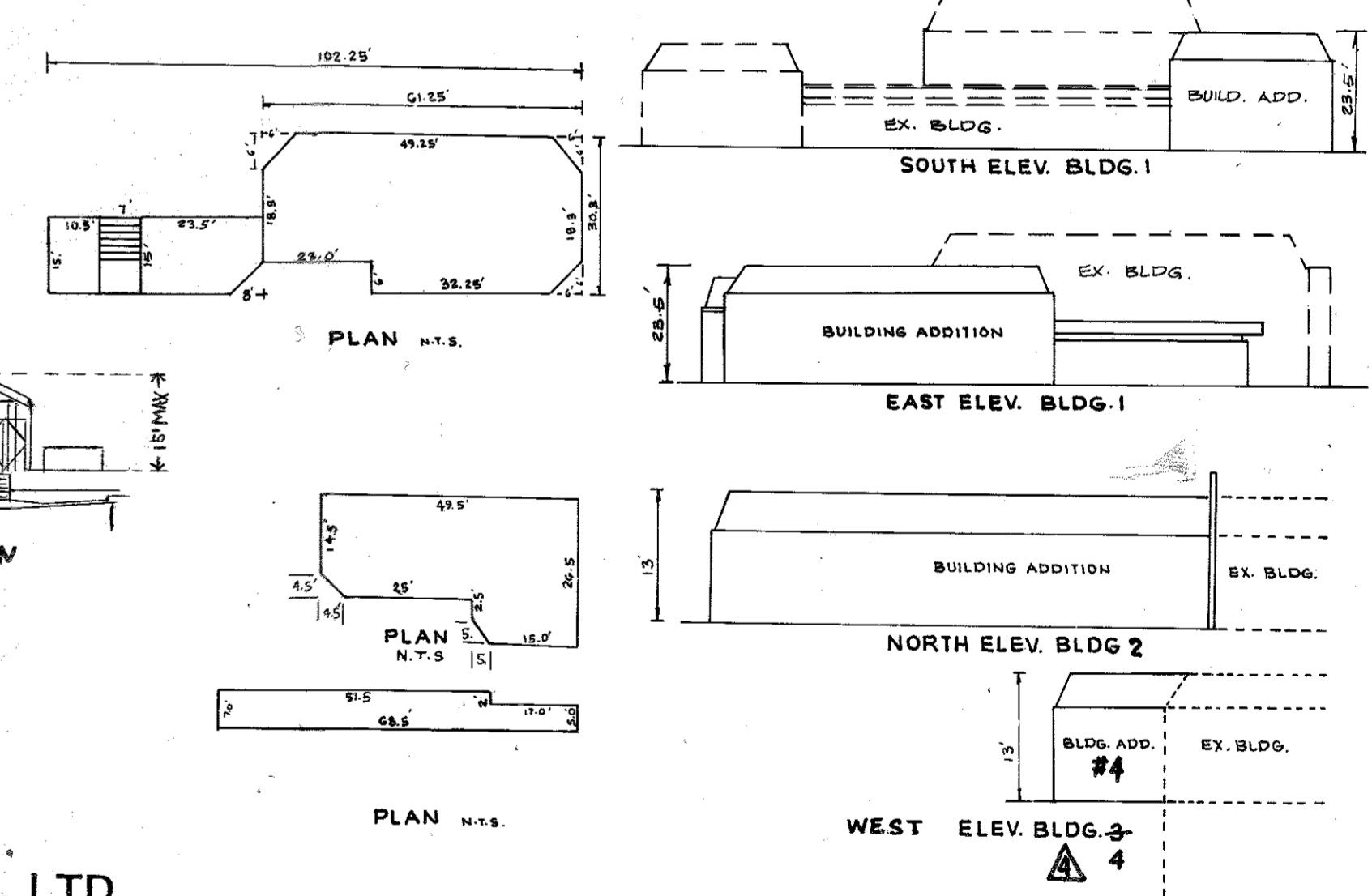
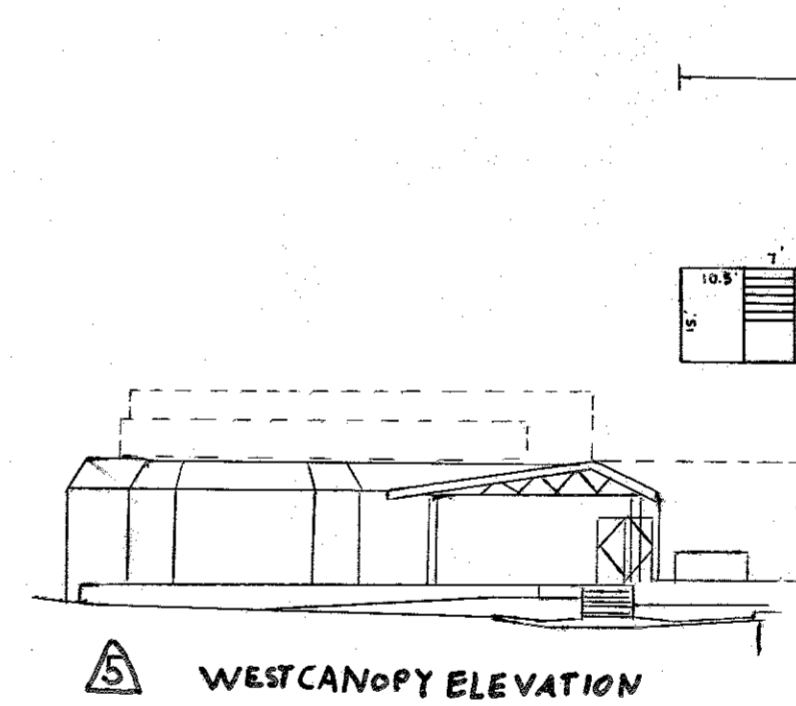
Slayton House	52
Family Life Center	11
Wilde Lake Tennis Club	46
Columbia Swim Center	83
Office and Retail	210
<b>TOTAL</b>	<b>402</b>

**TOTAL PARKING PROVIDED - 454**



**GENERAL NOTES**

- Property zoned - NEW TOWN OPEN SPACE
- Property is recorded in plat book 12, Folio 43 on May 16, 1967.
- Site Analysis:**
  - Existing use of structure: Community hall and bath house
  - Scope of work: Building Addition
  - Total area of open space 77.471 Ac.
  - Area of Structures  
Existing: 1.28 AC (55,708 S.F.)  
Proposed Addition: 3,711 S.F.  
Total: 3,711 S.F. or 1.363 Ac, 17%  
E. Open space to remain: 76,108 Ac, 98%
- The contractor shall notify the Howard County Construction Inspection/Permits Division 24 hours prior to commencement of work at 997-2437.
- The contractor shall determine the exact location of existing utilities before any excavation in the area
- The contractor shall notify Miss Utility at 559-0100 a minimum of three days prior to beginning of any construction.
- See SDP-85-204 & SDP-73-47C.
- Water and sewer will be provided through existing building.
- No easements on LOTS-1 & 2
- Proposed building addition will be:  
Proposed addition #1 - storage  
Proposed addition #2 - OFFICES & Recreational Room.  
Proposed addition #3 - ~~storage~~  
Proposed addition #4 - ~~storage~~
- The setbacks are in accordance with Section 5 & 10 of Final Development Plan Phase 2-A-V.
- The Structures are permitted within building setback in accordance with FPD Plan Phase 2-A-V.
- There will no additional employee for building addition #2.



**SEDGHI & ASSOCIATES, LTD.**  
Civil Engineers • Site Planners • Surveyors  
3217 Corporate Court  
Ellicott City, MD 21043  
(301) 750-9003

ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
4	10451 TWIN RIVERS ROAD

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 45542, EXPIRATION DATE: 08/11/18.

THE ADDITION OF THE SHADE SHELTER (830 SFT) IS EXEMPT FROM PROVIDING STORMWATER MANAGEMENT. ANY INCREASE IN IMPERVIOUS COVER THAT CUMULATIVELY EXCEEDS 5,000 SFT SHALL MEET CURRENT STORMWATER MANAGEMENT REQUIREMENTS.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT  
4-25-90  
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
5-15-90  
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
4-23-90  
4-20-90

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS  
U.S. SOIL CONSERVATION SERVICE  
THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT  
APPROVED  
DISTRICT HOWARD SOIL CONSERVATION DISTRICT

APPROVED  
DATE 2-14-90

NO.	REVISION	DATE	BY
1	PROPOSED FIRE LINE	08-14-90	V.S.
2	RELOCATE FIRE LINE	02-04-91	V.S.
3	REDUCE BUILDING	05-21-91	V.S.
4	BUILDING ADDITION	10-31-10	M.S.
5	ENTRANCE CANOPY	01-02-10	M.S.

**ENGINEER'S CERTIFICATE**  
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOILS CONSERVATION DISTRICT.  
2-27-1990  
SIGNATURE OF ENGINEER

**DEVELOPER'S CERTIFICATE**  
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY."  
3-2-90  
SIGNATURE OF DEVELOPER

DESIGNED	V.S.	AMENDMENT TO SDP-85-204 & SDP-73-47C	SCALE: 1" = 30'
DRAWN	V.S.	<b>SITE DEVELOPMENT PLAN</b> PROPOSED BUILDING ADDITION	DRAWING 1 OF 1
CHECKED	M.S.	<b>C.A. INDOOR POOL FACILITY EXPANSION</b> VILLAGE OF WILDE LAKE LOT 4 OF SEC. 4	JOB NO.
DATE	2-27-1990	TAX MAP 29 & 30 PARCEL 182 5TH ELECTION DISTRICT, HOWARD COUNTY, MD.	FILE NO.
OWNER	COLUMBIA PARKS & RECREATION ASSOCIATION 9861 BROKEN LAND PARKWAY COLUMBIA, MARYLAND 21046		