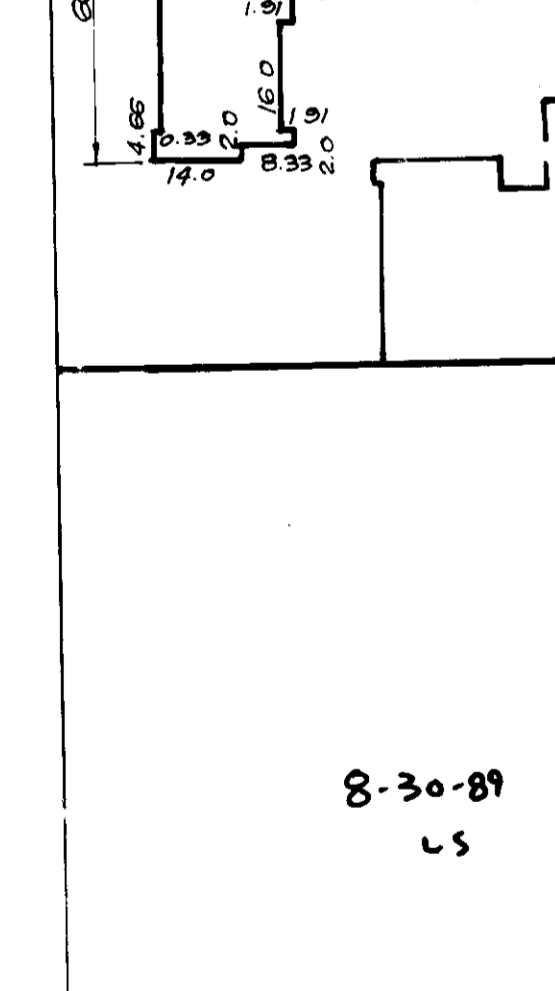
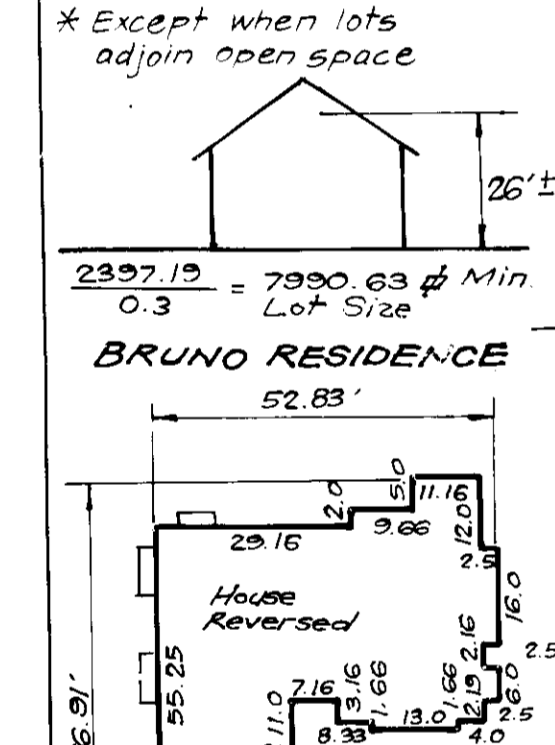


DRIVEWAY ABUTTING CLOSED SECTION WITH STD 7" COMB CURB & GUTTER & SIDEWALK SET BACK FROM CURB

**BUILDING COVERAGE CHART**

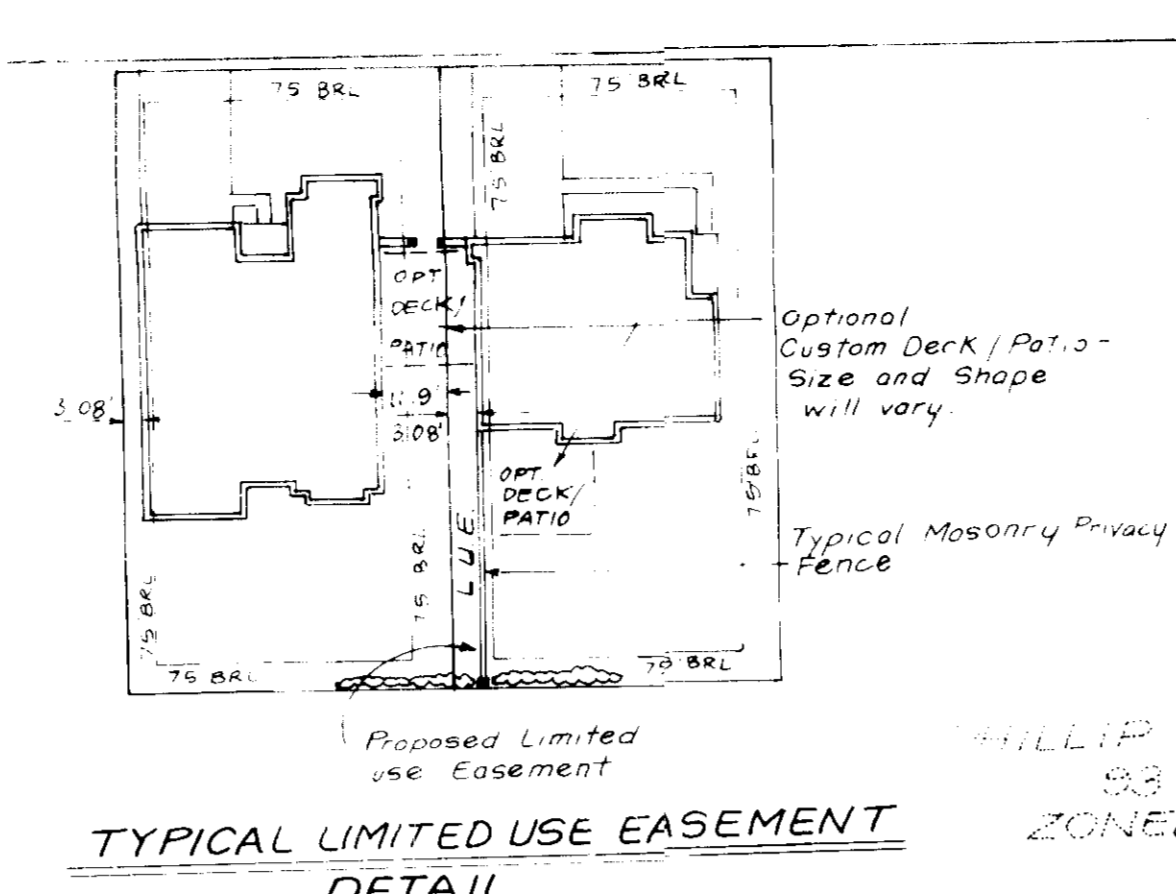
LOT	PROPOSED COVERAGE	PERMITTED COVERAGE
1	27.3%	30%
2	25.7%	30%
3	20.8%	30%
4	38.4%	30%*
5	27.7%	30%
6	38.4%	30%*
7	27.1%	30%
8	24.0%	30%
9	24.0%	30%
10	35.3%	30%*
11	23.2%	30%
12	19.4%	30%
13	27.4%	30%
14	27.5%	30%
15	35.0%	30%*
16	18.5%	30%
17	29.7%	30%
18	22.0%	30%
19	26.9%	30%

\* Except when lots adjoin open space



APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS. HOWARD COUNTY HEALTH DEPARTMENT.  
 COUNTY HEALTH OFFICER: *[Signature]* 10-18-87  
 APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 DIRECTOR: *[Signature]* 10/23/87  
 CHIEF DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT  
 APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE. STORM DRAINAGE SYSTEMS AND PUBLIC ROADS. HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 DIRECTOR: *[Signature]* 10/16/87  
 CHIEF BUREAU OF ENGINEERING

DRIVEWAY ABUTTING CLOSED SECTION WITH STD 7" COMB CURB & GUTTER & SIDEWALK SET BACK FROM CURB

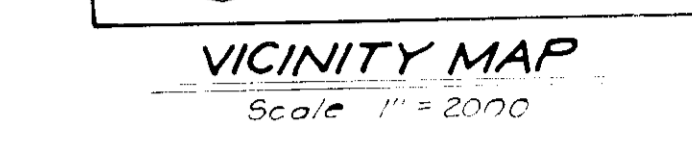


**SITE ANALYSIS**

- 1 Zoned
- 2 Unit Proposed
- 3 No. of Units Permitted
- 4 No. of Units Proposed
- 5 Parking Spaces Required
- 6 Parking Spaces Proposed
- 7 Area Tabular
- 8 Total Area of Lots 1-19
- 9 Building Coverage Permitted
- 10 Building Coverage Proposed

**ENCLOSURE LEGEND**

- Planter Retaining Wall without Masonry Privacy Fence
- Retaining Wall with Masonry Privacy Fence
- Masonry Privacy Fence
- Picket Fence
- Landscape Hedge
- Masonry Columns



**LEGEND**

- Contour Interval 2 FT
- Existing Contour
- Proposed Contour
- Spot Elevation
- Direction of Drainage
- Walk out Basement
- Trees to be Saved

**GENERAL NOTES**

- 1 Subject Property zoned New Town S.F.L.D. per Comprehensive Zoning Plan dated 8-2-85
- 2 The coordinates shown hereon are based upon Howard County Geodetic Control Stations 2739002 and 2739003.
- 3 All roads are public and existing
- 4 Total Number of lots 19
- 5 Total area of lots: 4,203 ac.
- 6 For additional information see OPZ file Nos 5-88-101, P-89-45 and WP-89-19 approved Sept 29, 1988, F-89-162 and FDP 204
- 7 The S.W.M. requirements for the subject property have been waived as per DPW action dated Sept 6, 1988
- 8 Proposed grade taken from approved Road Construction plans.
- 9 WP-89-14 approved Sept 29, 1988 grants a waiver from Section 16.113.C.10 of The Howard County Subdivision and Land Development Regulations to allow a cul-de-sac to be longer than 1200 feet in length.

**SPECIAL NOTES**

- 1 All Road Construction, Storm Drainage facilities and Public Water and Sewer on this plan are shown for reference only. Use approved Road Construction Plans for all phases of construction.

**ADDRESS CHART**

Lot	Street Address
1	11200 Ridermark Row
2	11204 " "
3	11208 " "
4	11212 " "
5	11216 " "
6	11220 " "
7	11224 " "
8	11228 " "
9	11232 " "
10	11236 " "
11	11240 Shadowmere Mews
12	11244 " "
13	11248 " "
14	11252 " "
15	11256 " "
16	11260 " "
17	11264 " "
18	11268 " "
19	11272 " "

Subdivision Name	Col Village of Harpers Choice	Sheet Area	7/3	SFS	1.19
Plot No	8823	Block No	16	Zone	S.F.L.D. 5-N
Water Code	103	Sewer Code	6740000	State Dist	6653.01

**CLARK • FINEFROCK & SACKETT, INC.**  
 ENGINEERS • PLANNERS • SURVEYORS  
 2115 MINSTREL WAY • COLUMBIA, MD 21046 • (410) 875-5811

DESIGNED: MJP  
 DRAWN: BAR  
 CHECKED: JLS  
 DATE: 10-23-89  
 SCALE: 1" = 30'  
 DRAWING: 1 of 4  
 JOB NO: 89-037  
 FILE NO: 89-037X

Owner and Developer: The Howard Research & Development Land Co. 10275 Little Patuxent Parkway Columbia, Md. 21044  
 For: John McDonough Builders, Inc. 6310 Stevens Forest Road # 104 Columbia, Md. 21046

**REVISIONS**

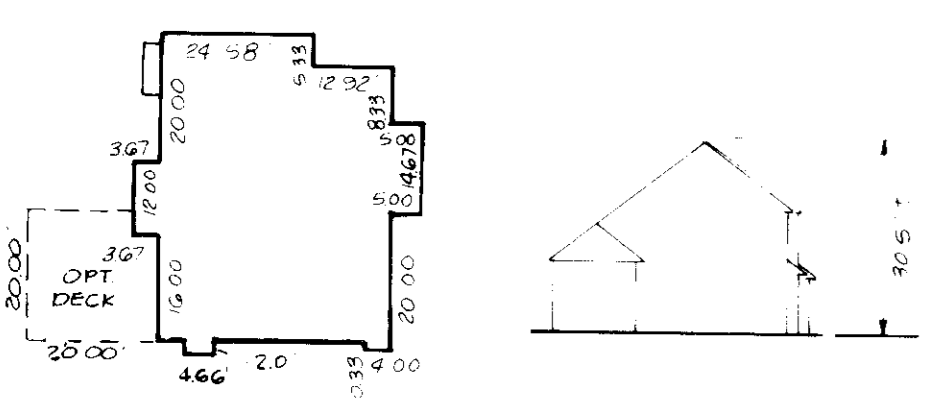
No	Rev. hse. f. grad. Lot 10	Date
3	Rev. hse. f. grad. Lot 10	2-22-85
2	Rev. hse. f. grad. lot 5, Add hse. typical	7-31-84
1	Rev. hse. f. grad. lots 4 & 5	7-2-81



**TYPICAL HOUSES**

Scale 1" = 30'

NOTE: All units have 1" roof eaves front & rear



**BABY**  
w/2 car garage  
2,239.4  
0.3 = 7,464.6  
Min Lot Size

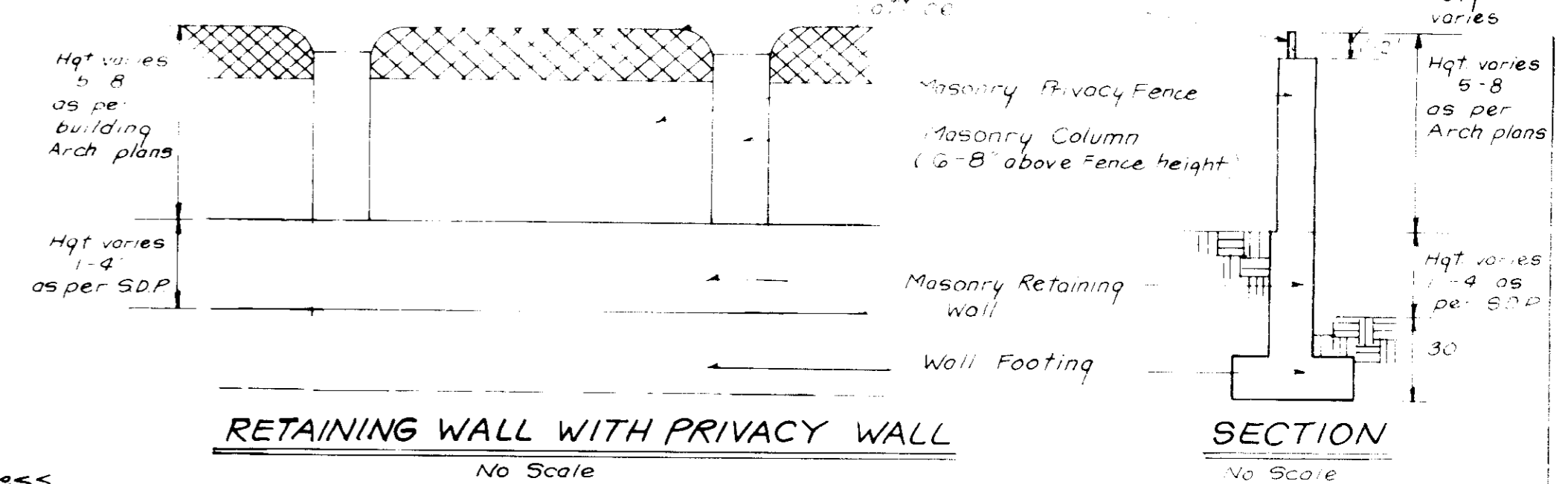
**MAMA**  
w/2 car garage  
2,228.8  
0.3 = 7,429.3  
Min Lot Size  
\* Except when adjacent to open space lot

**PAPA**  
w/2 car garage  
3,096.0  
0.3 = 10,320.0  
Min Lot Size  
\* Except when adjacent to open space lot

**CLARKSVILLE PIKE (Public Road)**      **MD. ROUTE 108**

Vehicle Ingress and Egress is Restricted

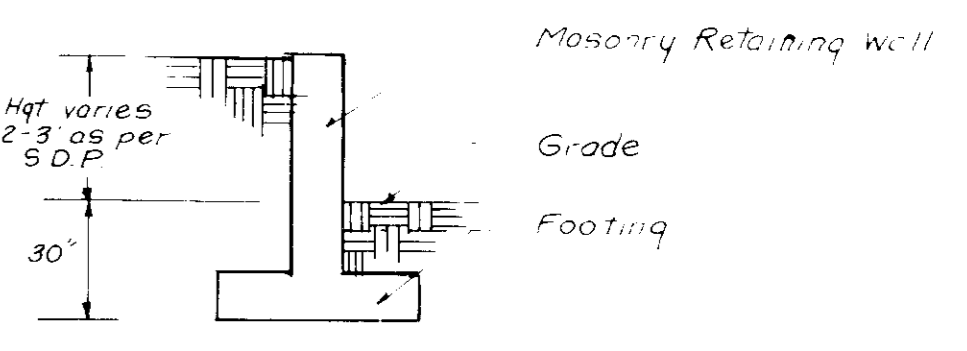
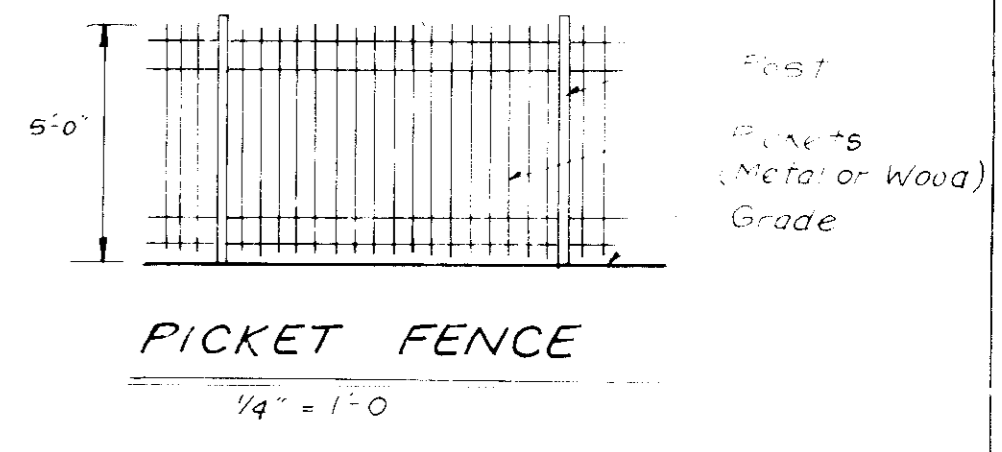
**RETAINING WALL WITH PRIVACY WALL**



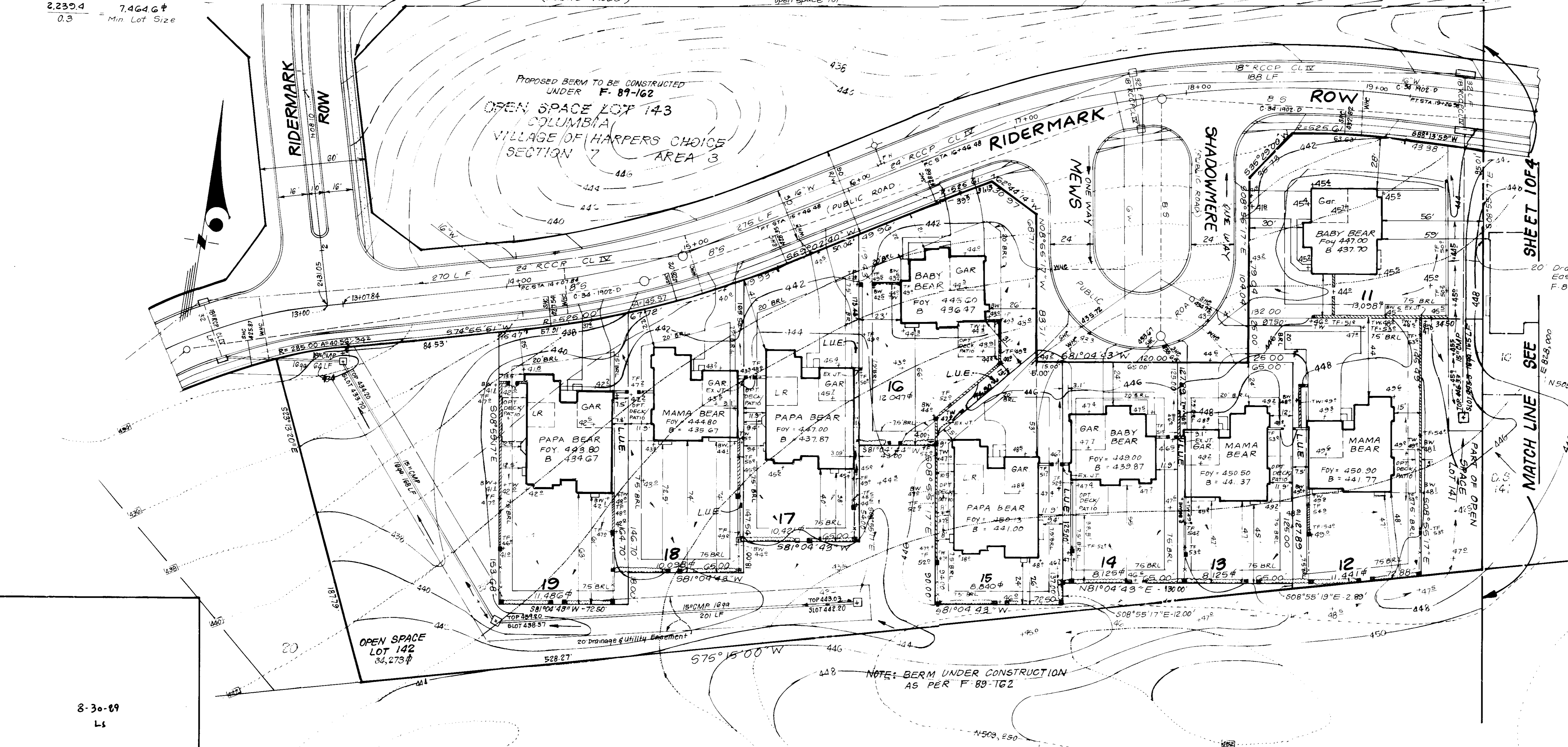
**ENCLOSURE LEGEND**

- Planter Retaining Wall without Masonry Privacy Fence
  - Retaining Wall with Masonry Privacy Fence
  - Masonry Privacy Fence
  - Picket Fence
  - Landscape Hedge
  - Masonry Columns
- TW = Top of Retaining Wall  
BW = Bottom of Retaining Wall  
TF = Top of Privacy Fence  
LUE = Limited Use Easement  
Ex Jt = Expansion Joint

20' Drainage & Utility Easement as per F-89-162

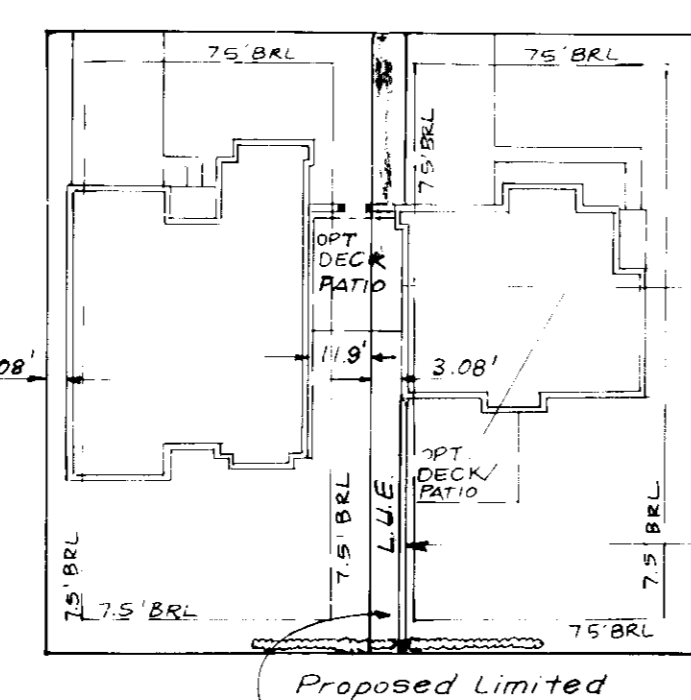


**PLANTER RETAINING WALL**



NOTE: BERM UNDER CONSTRUCTION AS PER F-89-162

HOBBITS GLEN GOLF COURSE  
PLAT 8970  
ZONED: NEW TOWN



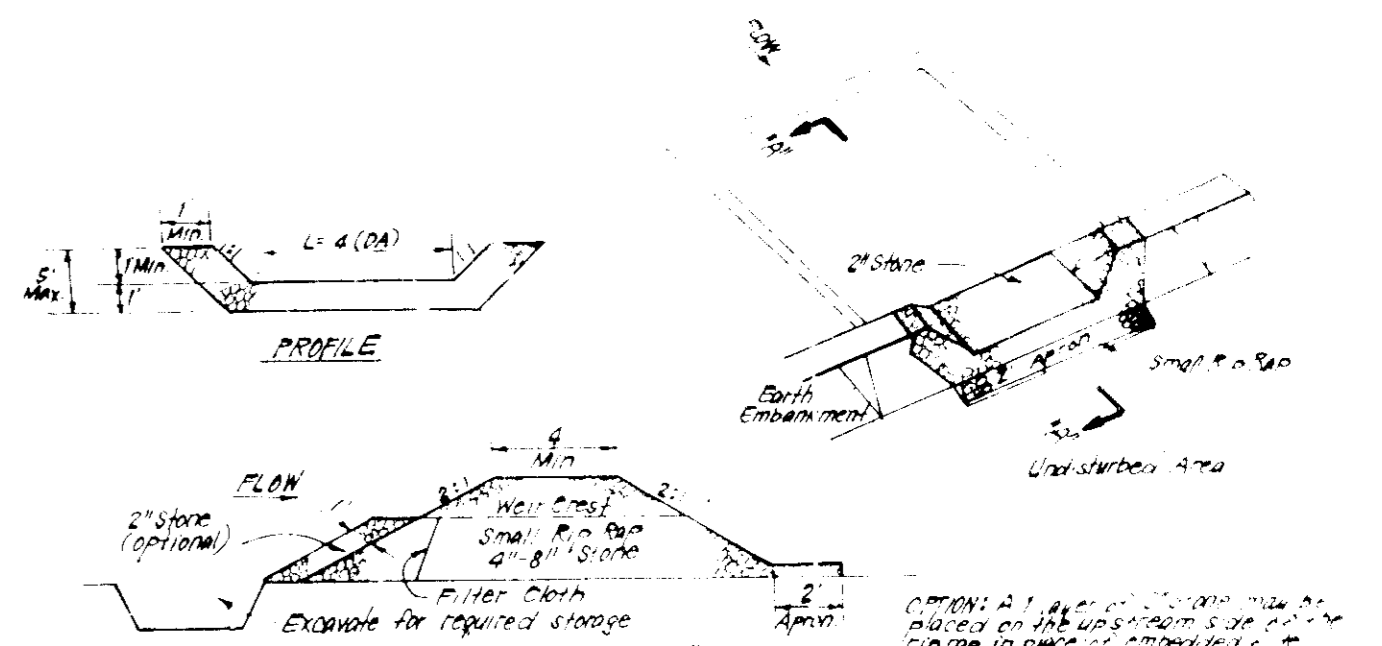
**TYPICAL LIMITED USE EASEMENT DETAIL**

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT	
County Health Officer	DATE 10-18-89
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING	
DATE 10-23-89	
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS	
DATE 10-16-89	
CHIEF BUREAU OF ENGINEERING	DATE

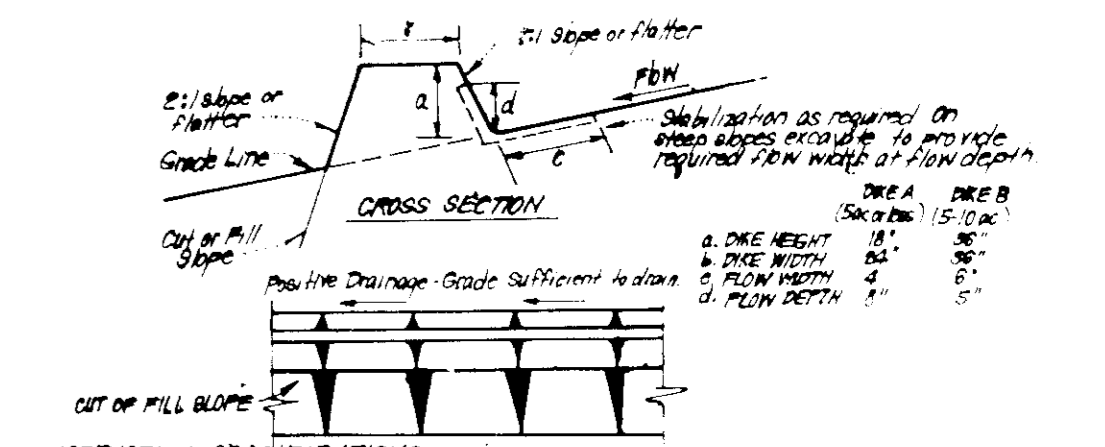
<b>CLARK • FINEFROCK &amp; SACKETT, INC.</b> ENGINEERS • PLANNERS • SURVEYORS	
7135 MINSTREL WAY • COLUMBIA, MD 21046 • (301) 381-7530 • BALTO. • (410) 271-1100 • WASH.	
DESIGNED MJP	SCALE 1" = 1'
DRAWN BAR	DRAWING 2004
CHECKED JLS	JOB NO. 89-237
DATE 6-23-89	FILE NO. 89-237
Client and Developer: The Howard Research & Development Land Co. 10275 Little Patuxent Parkway Columbia, Maryland 21044	
For: John McDonough Builders, Inc. 6310 Stevens Forest Road #109 Columbia, Md 21046	

**LEGEND:**

- Existing Contour
- Proposed Contour
- Spot Elevation
- Direction of Drainage
- Retaining Walls
- Earth Dike
- Silt Fence
- Stabilized Construction Entrance

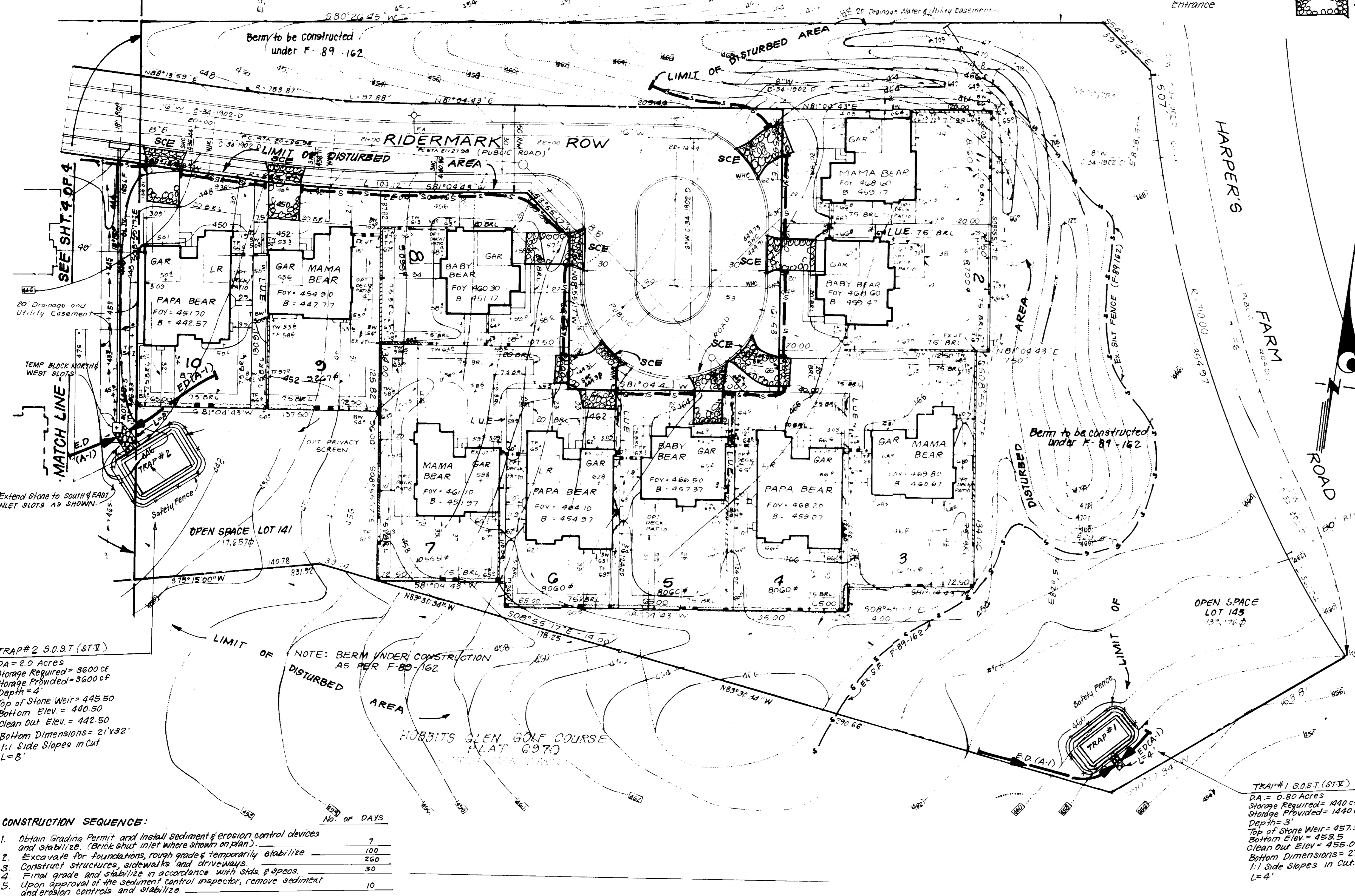


- CONSTRUCTION SPECIFICATIONS:**
1. All under embankment shall be cleared, grubbed and stripped of any vegetation and rocks. The top grade shall be compacted.
  2. The fill material for the embankment shall be free of rocks and other impurities and shall be compacted in layers with equipment of which it is being constructed.
  3. All cut and fill slopes shall be 3:1 or flatter.
  4. The stone used in the outlet shall be small rip rap of 4" to 8" thickness, 2" square and placed on the up-slope side of the small rip rap of embedded filter cloth in the top.
  5. Sediment shall be removed and rips restored to its original dimensions when the sediment has accumulated to 1/2 the depth of the trap.
  6. The structure shall be inspected after each rain and repairs made as needed.
  7. Construction operations shall be carried out in such a manner that erosion and water pollution is minimized.
  8. Structure shall be removed and the area stabilized when the drainage area has been properly stabilized.



- CONSTRUCTION SPECIFICATIONS:**
1. All dikes shall be constructed by earth-moving equipment.
  2. All dikes shall have positive drainage to an outlet.
  3. Top width may be wider and side slopes may be steeper if desired, depending on construction traffic.
  4. Final bedform should be adjusted as needed to utilize a stabilized bank surface.
  5. Earth dikes shall have an outlet near junctions with a minimum of erosion. Runoff shall be conveyed to a sediment trapping device such as a sediment trap or sediment basin where either the dike channel or the drainage area above the dike are not adequately stabilized.
  6. Stabilization shall be: (a) in accordance with standard seed/straw mulch and straw mulch/straw mulch 1/2 net in seeding season, (b) straw mulch as per chart below.
- | TYPE OF TREATMENT | PLANTING GROUP | DIKE A                                      | DIKE B                                      |
|-------------------|----------------|---|---|
| 1                 | 15-30%         | Seed/Straw Mulch                            | Seed or Straw Mulch                         |
| 2                 | 31-45%         | Seed/Straw Mulch                            | Seed/Straw Mulch or Straw Mulch/Straw Mulch |
| 3                 | 46-60%         | Seed/Straw Mulch or Straw Mulch/Straw Mulch | Seed/Straw Mulch or Straw Mulch/Straw Mulch |
| 4                 | 61-75%         | Seed/Straw Mulch or Straw Mulch/Straw Mulch | Seed/Straw Mulch or Straw Mulch/Straw Mulch |
- A slope to be 2:1 minimum, or recycled concrete requirements in a layer at least 3" thick shall be placed on the soil with construction equipment.  
 \* Rip rap to be 4" in a layer at least 8" thick, placed on top soil.  
 B. Approved equivalents can be substituted for any of the above materials.  
 7. Periodic inspection and required maintenance must be provided after the work.
- EARTH DIKE DETAIL (ED)**  
 NO SCALE

**CLARKSVILLE PIKE (PUBLIC ROAD) MD. ROUTE 108**



**CONSTRUCTION SEQUENCE:**

No.	DESCRIPTION	NO. OF DAYS
*1	Obtain Grading Permit and install sediment & erosion control devices and stabilize. (Check sheet in set where shown on plan)	7
2	Excavate for foundations, rough grade & temporarily stabilize.	100
3	Construct structures, sidewalks and driveways.	260
4	Final grade and stabilize in accordance with state specs.	30
5	Upon approval of the sediment control inspector, remove sediment and erosion controls and stabilize.	10

\* Installation of storm drainage must be complete prior to installation of these controls.

**APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.**  
 HOWARD COUNTY HEALTH DEPARTMENT  
 County Health Officer: *Juan Bogdan* 10-18-89

**APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS AND ZONING.**  
 Planning & Zoning: *[Signature]* 10-23-89

**APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS AND PUBLIC ROADS.**  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 Director: *[Signature]* 10-16-89

**CHIEF BUREAU OF ENGINEERING**  
 Date: 8-30-89

**DEVELOPER'S/BUILDER'S CERTIFICATE**

I, the undersigned, certify that all development and construction will be done according to the plan of development and plan for erosion and sediment control and that all responsible persons involved in the construction project will have a Certificate of Approval from the Dept. of Natural Resources Approval Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.

*[Signature]* 8-3-89

**ENGINEER'S CERTIFICATE**

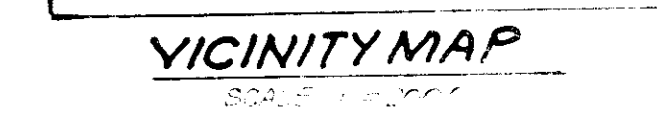
I hereby certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

*[Signature]* 8-3-89

Reviewed for: **HOWARD SOIL CONSERVATION DISTRICT**  
 Name: *[Signature]*  
 Signature: *[Signature]*  
 Date: 9-22-89  
 U.S. Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR THE DISTRICT OF CONSERVATION DISTRICT

*[Signature]* 9/21/89



**CLARK - FINEFROCK - SACKETT, INC.**

**SEDIMENT & EROSION CONTROL PLAN**  
 DTS 1 THRU 13  
**COLUMBIA**  
 VILLAGE OF HARPER'S CHOICE  
 SECTION 3 AREA B  
 5TH ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

1"=30'

Aug, '89

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent land covered vegetative cover is needed.
Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.
Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:
1) Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) before seeding and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding.
2) Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding.
Seeding - For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue.
Seedling - For the periods March 1 thru April 30 and from August 1 thru November 15, seed with 25 bushel per acre of annual rye (3.2 lbs/1000 sq ft).
Mulching - Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding.
Maintenance - Inspect all seeded areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.
Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.
Soil Amendments: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft).
Seeding - For periods March 1 thru April 30 and from August 1 thru November 15, seed with 25 bushel per acre of annual rye (3.2 lbs/1000 sq ft).
Mulching - Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding.
Maintenance - Inspect all seeded areas and make needed repairs, replacements and reseedings.

SEEDING CONTROL NOTES

1. A permit for temporary seeding must be obtained from the County Office of Inspection and Permitting.
2. All operations and structural operations are to be conducted in accordance with the 1983 Maryland Standards and Specifications for Soil Erosion and Sedimentation.
3. All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 Maryland Standards and Specifications for Soil Erosion and Sedimentation.
4. All permanent structures shown must be located and placed in accordance with the 1983 Maryland Standards and Specifications for Soil Erosion and Sedimentation.
5. All permanent structures shown must be located and placed in accordance with the 1983 Maryland Standards and Specifications for Soil Erosion and Sedimentation.
6. All permanent structures shown must be located and placed in accordance with the 1983 Maryland Standards and Specifications for Soil Erosion and Sedimentation.
7. All permanent structures shown must be located and placed in accordance with the 1983 Maryland Standards and Specifications for Soil Erosion and Sedimentation.
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9. All permanent structures shown must be located and placed in accordance with the 1983 Maryland Standards and Specifications for Soil Erosion and Sedimentation.
10. All permanent structures shown must be located and placed in accordance with the 1983 Maryland Standards and Specifications for Soil Erosion and Sedimentation.

DEVELOPER'S/BUILDER'S CERTIFICATE

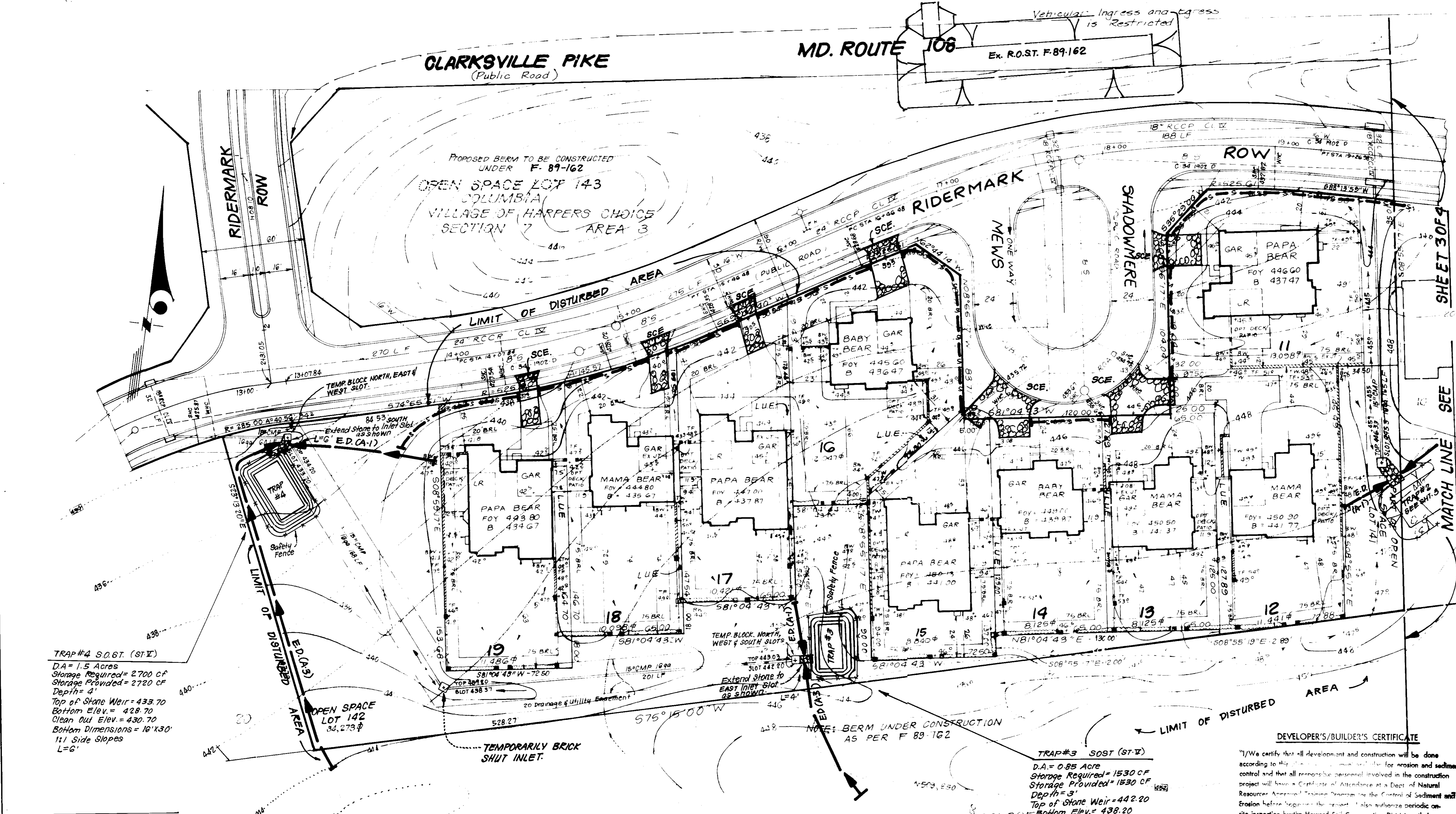
I/We certify that all development and construction will be done according to the plan and specifications shown hereon for erosion and sediment control and that all necessary personnel involved in the construction project will have a Certificate of Attendance at a Day of Natural Resource Awareness Training Program on the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspections by the Howard Soil Conservation District or their authorized agents as are deemed necessary.
Signature of Developer/Builder: [Signature]
Date: 8-3-89

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Signature of Engineer: [Signature]
Date: 8-3-89

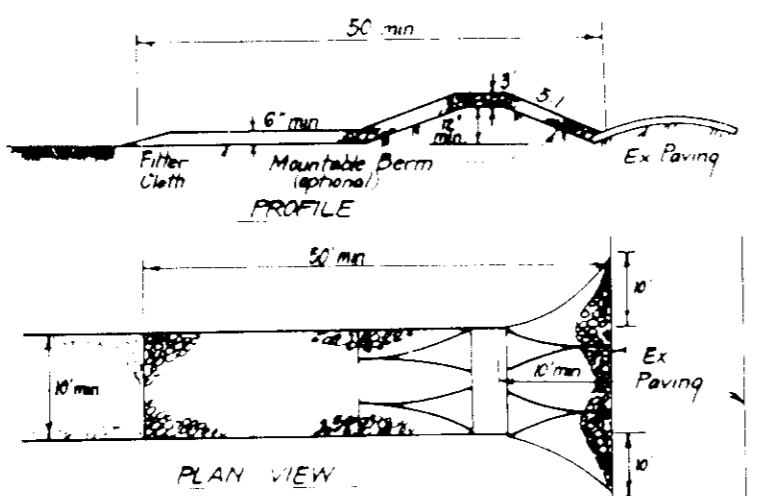
Reviewed for [Signature] S.C.D. Name and meets Technical Requirements. Signature Date 8-22-89 U.S. Soil Conservation Service

THIS EROSION CONTROL PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT. Signature Date 8/2/89

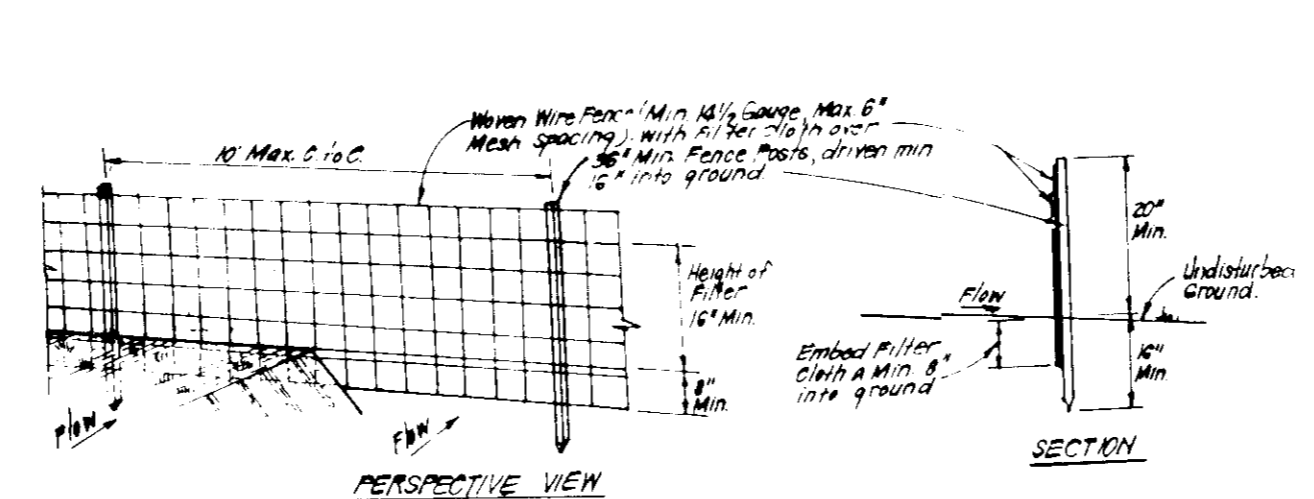


TRAP #4 S.O.G.T. (S.T.V.) D.A. = 1.5 Acres Storage Required = 2700 CF Storage Provided = 2700 CF Depth = 4' Top of Stone Weir = 433.70 Bottom Elev. = 429.70 Clean Out Elev. = 430.70 Bottom Dimensions = 10'x30' 1:1 Side Slopes L=6'

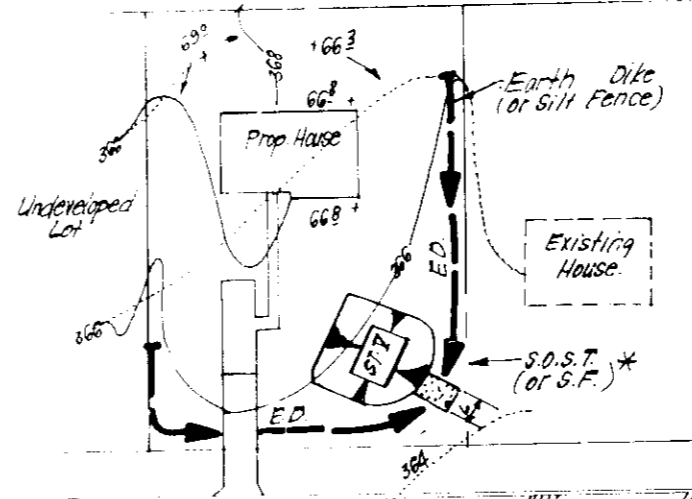
TRAP #3 S.O.S.T. (S.T.V.) D.A. = 0.85 Acre Storage Required = 1530 CF Storage Provided = 1530 CF Depth = 3' Top of Stone Weir = 442.20 Bottom Elev. = 438.20 Clean Out Elev. = 439.70 Bottom Dimensions = 27'x14' 1:1 Side Slopes in Cut L=4'



CONSTRUCTION SPECIFICATIONS: 1. Slope size: Use 2:1 slope or more steep if required concrete equipment. 2. Length: As required to prevent erosion, but not less than 50 feet. 3. Thickness: 18" for 2:1 slope, 24" for 3:1 slope. 4. Weath: Ten (10) feet minimum, but not less than 7 1/2' width at all points where ingress or egress occurs. 5. Filter Cloth: Will be placed over the entire area prior to placing of stone. Filter cloth will be required on any slope steeper than 2:1. 6. Surface Water: All surface water flowing or diverted toward construction entrances shall be piped across the entrance. 7. Maintenance: The entrance shall be maintained in a condition which will prevent tracking or blowing of sediment into public rights of way. 8. Warning: Warning signs shall be placed to remove sediment from entrance onto public rights of way. 9. Periodic inspection and needed maintenance shall be provided after each rain.



CONSTRUCTION SPECIFICATIONS: 1. Weavers wire fabric to be fastened securely to fence posts with wire ties of staples. 2. Filter Cloth to be fastened securely to weaver wire fabric with wire ties spaced every 30' at top and mid section. 3. When 2 sections of filter cloth are used each other they shall be fastened by 6" sand staples. 4. Maintenance shall be performed as needed and material removed when 'bunches' develop in Silt Fence. FABRICATED UNITS: Gen'l. Maintenance or Approval equal.



Notes: 1. All structures shall be constructed in accordance with the specifications shown hereon. 2. All structures shall be located and placed in accordance with the 1983 Maryland Standards and Specifications for Soil Erosion and Sedimentation. 3. All structures shall be located and placed in accordance with the 1983 Maryland Standards and Specifications for Soil Erosion and Sedimentation.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT. Approved: [Signature] 10-18-89. APPROVED: COUNTY DEPT. OF PLANNING & ZONING. Approved: [Signature] 10/22/89. APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS. Approved: [Signature] 10/16/89.

CLARK • FINEFROCK & SACKETT, INC. ENGINEERS • ARCHITECTS • SURVEYORS. SEDIMENT & EROSION CONTROL PLAN LOTS 1 THRU 19 COLUMBIA VILLAGE OF HARPERS CHOICE SECTION 7 AREA 3 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND. DATE: Aug, '89. SDP- 89-274