

ADDRESS CHART

63	8036	Brightwood Court
64	8037	
65	8039	
66	8041	
67	8043	
68	8045	
69	8047	
70	8053	
71	8055	
72	8057	
73	8059	
74	8061	
75	8067	
76	8069	
77	8071	
78	8073	
79	8075	
80	8077	
81	8079	
82	8072	
83	8070	
84	8068	
85	8066	
86	8064	
87	8062	
88	8060	
89	8058	
90	8054	
91	8052	
92	8050	
93	8048	
94	8046	
95	8044	
96	8040	
97	8038	
98	8036	
99	8034	
100	8030	
101	8028	
102	8026	
103	8024	

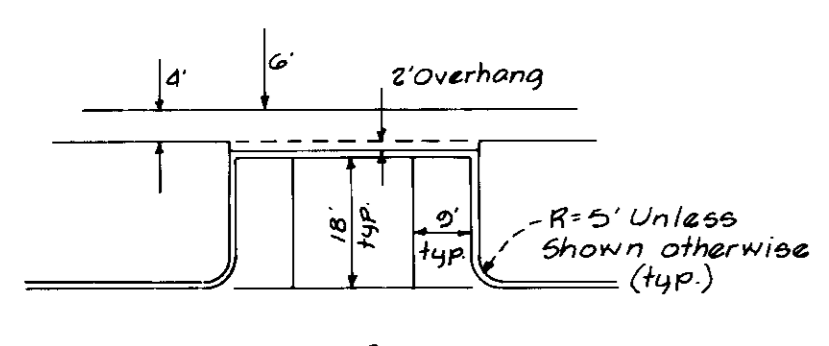
PARCEL A' BRIGHTFIELD SECTION 1, AREA 1 ZONED R5C

Perpetual State Highway Admin. Easement for Drainage & Utilities for Md. Route 100

PARCEL B' BRIGHTFIELD SECTION 1, AREA 2 ZONED R5C

ROUTE 100 RESTRICTED EGRESS AND INGRESS

200' R/W FUTURE MD. RTE. 100



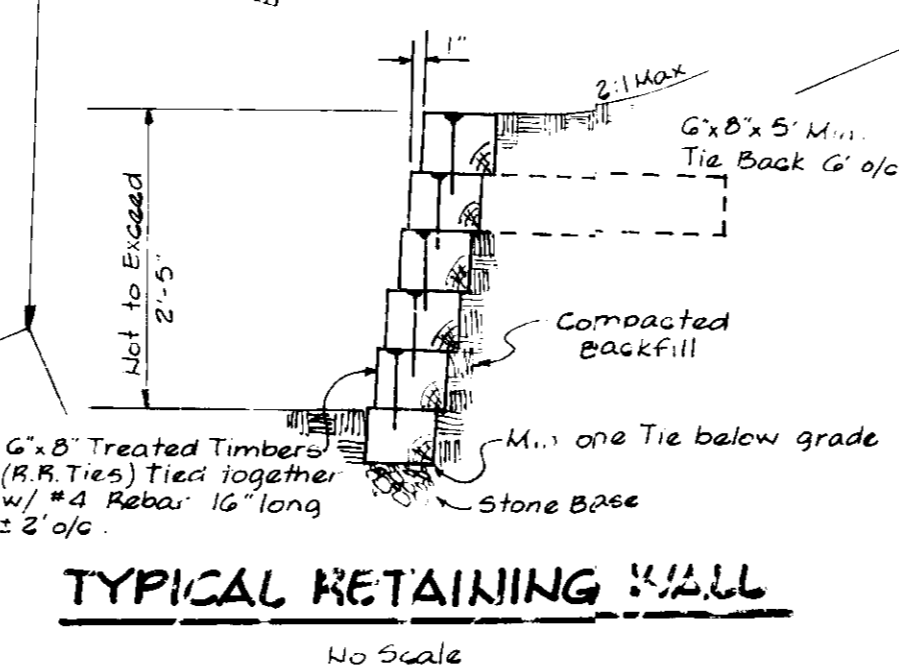
TYPICAL PARKING No Scale

8-2-89

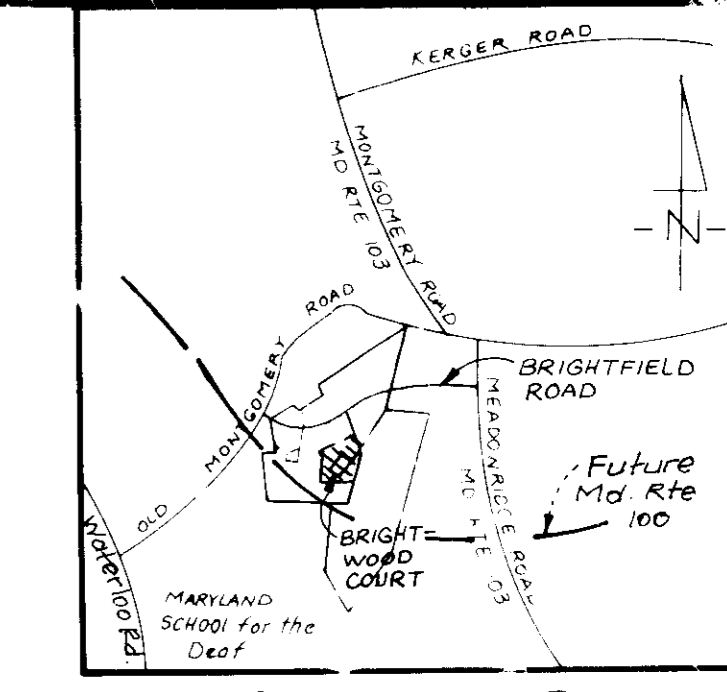
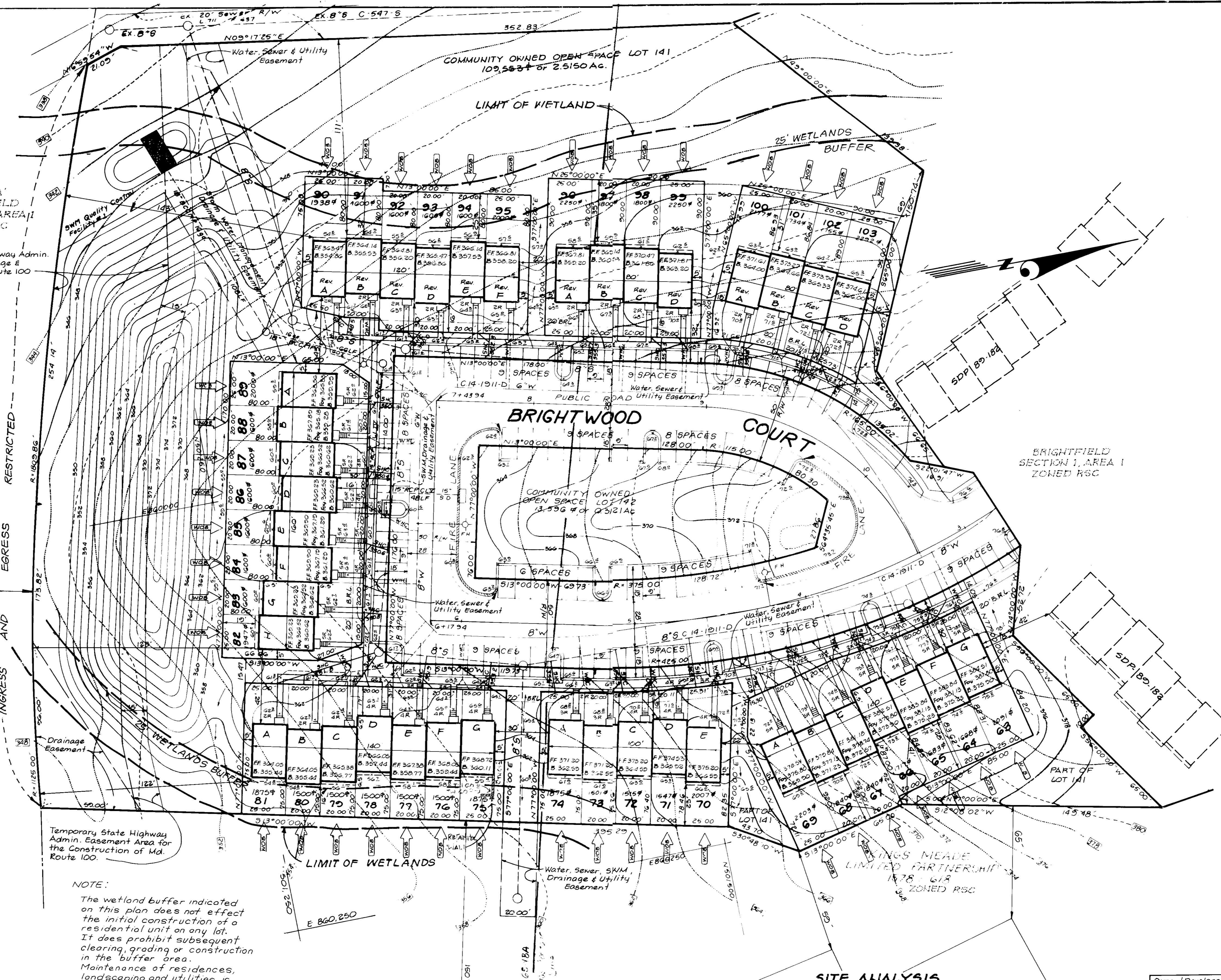
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER: [Signature] DATE: 10-11-89
 APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 DIRECTOR: [Signature] DATE: 10-23-89
 APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR: [Signature] DATE: 10-5-89
 CHIEF BUREAU OF ENGINEERING: [Signature] DATE: 12-4-89

SEWER HOUSE CONNECTION TABLE

LOTS	INV. @ R	MIN. C	LOTS	INV. @ R	MIN. C
63/64	365.5	368.7	82/83	350.8	354.0
65/66	363.0	367.1	84/85	350.0	353.8
67/68	362.1	365.4	86/87	350.4	353.0
69	360.0	364.1	88/89	350.3	353.5
70/71	359.0	362.2	90/91	348.5	351.7
72/73	356.0	360.0	92/93	350.0	353.2
74	354.7	357.8	94/95	352.3	355.0
75	353.2	356.3	96/97	355.3	358.0
76/77	351.0	355.0	98/99	357.3	360.5
78/79	351.2	354.4	100/101	350.8	363.1
80/81	351.8	355.0	102	361.4	364.0
			103	361.5	364.7



TYPICAL RETAINING WALL No Scale



VICINITY MAP Scale 1" = 2000'

LEGEND

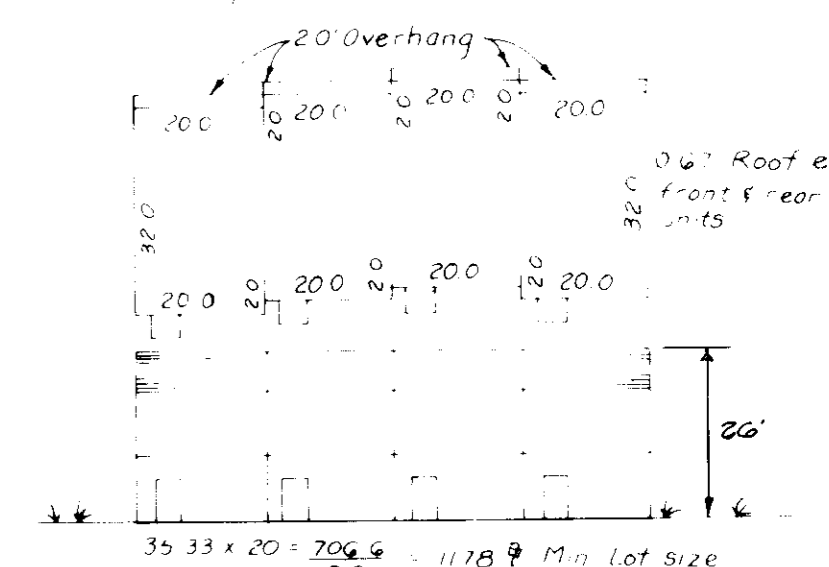
- Contour Interval: 2 FT
- Existing Contour: [Symbol]
- Proposed Contour: [Symbol]
- Spot Elevation: +105
- Direction of Drainage: [Symbol]
- Walk out Basement: [Symbol]
- Trees to be Saved: [Symbol]

GENERAL NOTES

- Subject property zoned R5C per 8-2-85 Comprehensive Zoning Plan
- The coordinates shown herein are based on the Maryland State Grid System and derived from the following Howard County Control Stations No. 2644004 and No. 2644005
- All roads are public and existing
- Any damage to county owned rights of way to be corrected at the developer's expense
- The Articles of Incorporation Identification No. 27814 for Brightfield Association is dated 1-16-87
- The contractor or developer shall contact the Construction Inspection/Survey Division, 24 hrs in advance of commencement of work at 792-2630
- Reference File Nos. 5-87-30, F-87-149, S-86-35, P-87-06, VP-87-46, PB-Case # 210, P88-86, F89-93, 589-02, F89-19
- Stormwater Management is provided in a central facility shown on F-89-19, Brightfield Section 1 Area 1.

SPECIAL NOTES

- Approved Road Construction Plans shall be used for all public utilities
- The water and sewer shown is for reference only for more detailed information, see Water and Sewer plans Contract No. 34-1911-0
- The water and sewer house connections not included in a Developers Agreement shall conform to Howard County Plumbing Code. The site WFO shall be in cooper and the SMO shall be a floor
- Stormwater Management provided under plans, F-89-19.



TYPICAL BUILDING

SITE ANALYSIS

- Area of Parcel: 5.3680 Ac. or 233,869.20 sq ft
- Zoned R5C
- Number of Units Permitted: 41
- Number of Units Proposed: 41
- Parking Spaces Required: 82
- Parking Spaces Provided: 110
- Building Coverage: 12%
- Total Number of Lots: 41 + 2 Open Spaces = 43

Owner/Developer	BRIGHTFIELD	Lot Area	1/2	Lot #	63-103
BritAm Development Group, Inc.	6752	Zone	R5C	1st	1/11
9030 Red Branch Road		County	Howard	City	Columbia, Maryland 21045
Suite 210		County	D-05	Area	2720000

CLARK • FINEPROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 7135 MISTHILL WAY • COLUMBIA, MD 21045 • (301) 381-7500 • FAX: (301) 621-8100 • WASH.

DESIGNED	RHG	JME	SCALE	1" = 30'	
DRAWN	PAR	PER	DRAWING	1 of 3	
CHECKED	JME		JOB NO.	88-117	
DATE	5-11-80	For	RYAN HOMES INC.	FILE NO.	88-117 X
			3175 Guilford Road # 200		
			Columbia, MD 21046		

- All vegetation and structural practices are to be installed according to the provisions of this plan and are to be in accordance with the 1983 PORTLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within a 7 calendar day period for all perimeter sediment control structures, down perimeter slopes and all slopes greater than 3:1, by 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Section 11, Chapter 11, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 313 and Sec. 30), temporary seedings (Sec. 303 and Sec. 312), Temporary stabilization with mulch alone can only be done when recommended seedings do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.

EX. TRAP #1 S.O. ST. (ST. I)
F-89-93

D.A. = 4.1 Acres
Storage Required = 7380 cf
Storage Provided = 7423 cf
Top of Stone Crest = 34.5'
Bottom Elev. = 337.0'
Clean Out Elev. = 340.25'
Depth = 3.5'
Bottom Dimensions = 9'4" x 14'

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seeded Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:

- Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 400 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Narrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 urea fertilizer (9 lbs/1000 sq ft).
- Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Narrow or disc into upper three inches of soil.

Seeding: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs/1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 ft or higher, use 348 gal per acre (8 gal/1000 sq ft) for anchoring.

Maintenance: Inspect all seeded areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redistributed where a short-term vegetative cover is needed.

Seeded Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

Soil Amendments: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft).

Seeding: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 30 bushel per acre of annual ryegrass (3.2 lbs/1000 sq ft). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (.07 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 ft or higher, use 348 gal per acre (8 gal/1000 sq ft) for anchoring.

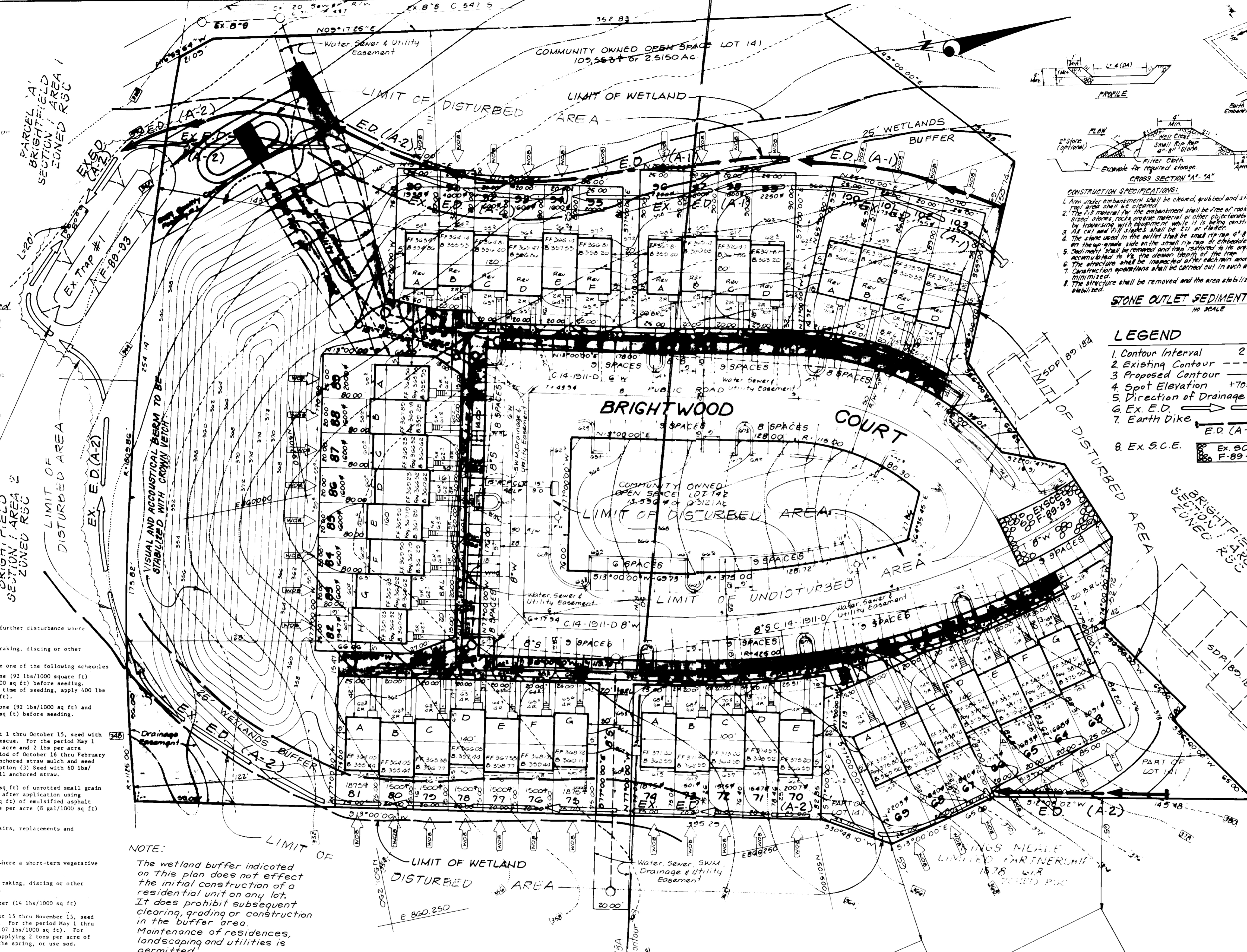
Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
DATE: 10-11-89

APPROVED: FOR PLANNING & ZONING
HOWARD COUNTY DEPT. OF PLANNING & ZONING
DATE: 10-23-89

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DATE: 10-5-89

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DATE: 8-2-89



NOTE: The wetland buffer indicated on this plan does not effect the initial construction of a residential unit on any lot. It does prohibit subsequent clearing, grading or construction in the buffer area. Maintenance of residences, landscaping and utilities is permitted.

CONSTRUCTION SEQUENCE:

	# OF DAYS
A. Obtain Grading permit.	7
* B. Repair as necessary any existing controls to be utilized and install any new sediment erosion controls.	7
C. Excavate for foundations and rough grade & temporarily stabilize.	30
D. Construct Structures, Sidewalks and Driveways.	120
E. Final Grade and stabilize in accordance with Stds. & Specs.	30
F. Upon approval of the sediment control inspector, remove sediment and erosion controls and stabilize.	10

* All existing controls shown were taken from F-89-93.

Reviewed for HOWARD S.C.D. Name: and meets Technical Requirements Signature: J. Kelm Date: 9-13-89 US Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

Signature: [Signature] Date: 7-12-89 Approved

DEVELOPER'S BUILDER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan of development and plan for erosion and sediment control and that a responsible personnel involved in the construction project will have a Certificate of Attendance at a Dept. of Natural Resources Approved Training Program for the Control of Sediment and Drift before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as is deemed necessary."

Signature of Developer/Builder: [Signature] Date: 6-7-89

ENGINEER'S CERTIFICATE

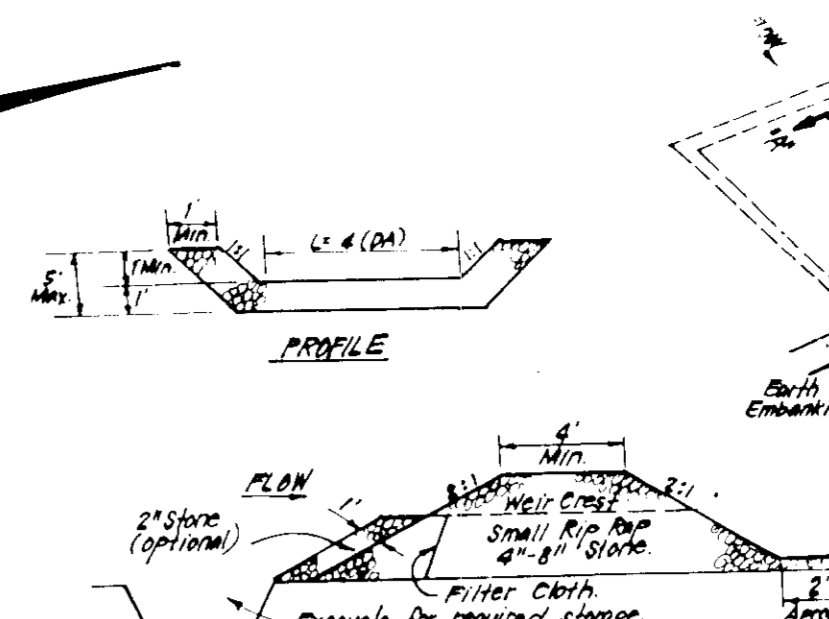
I hereby certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District

Signature: G. Nelson Clark Date: 5-17-89

CLARK • FINEFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS
1155 WASHINGTON WAY • COLUMBIA, MD 21045 • (301) 371-7500 - BALTIMORE • (301) 621-8100 - WASH.

DESIGNED: KIWM
DRAWN: BAR PER YLM
CHECKED: KIWM
DATE: 5-11-89

SCALE: 1" = 30'
DRAWING: 2 of 3
JOB NO: 88-117
FILE NO: 88-175E

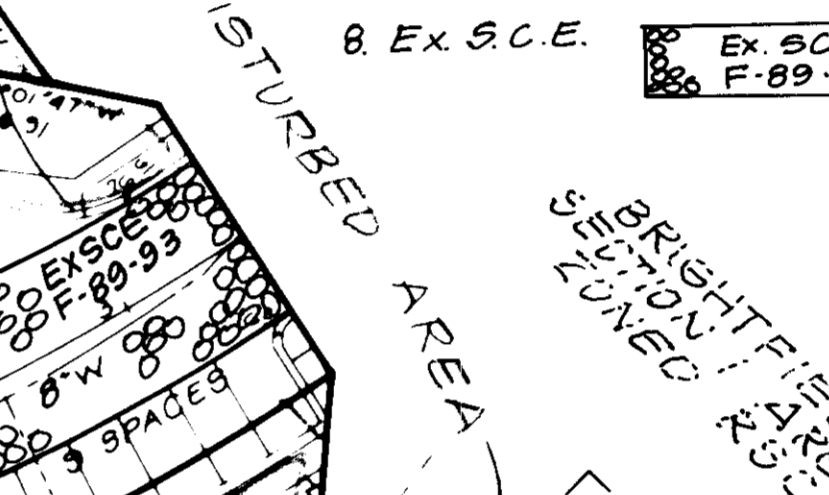


CONSTRUCTION SPECIFICATIONS:

- Any traps shall be cleaned, grubbed and stripped of any vegetation and root mat. The fill material for the embankment shall be free of roots and other woody vegetation as well as any other debris, rocks, organic material or other objectionable material. The embankment shall be compacted by tamping with equipment while it is being constructed.
- The stone used in the outlet shall be small rip rap 4" x 4" with a thickness of 2" aggregate placed on the up-slope side in the small rip rap in a layer of 12" depth in its original dimensions when the sediment has accumulated to 1/2 the design depth of the trap.
- The structure shall be inspected after each storm and repairs made as needed.
- Construction operations shall be carried out in such a manner that erosion and water pollution is minimized.
- The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.

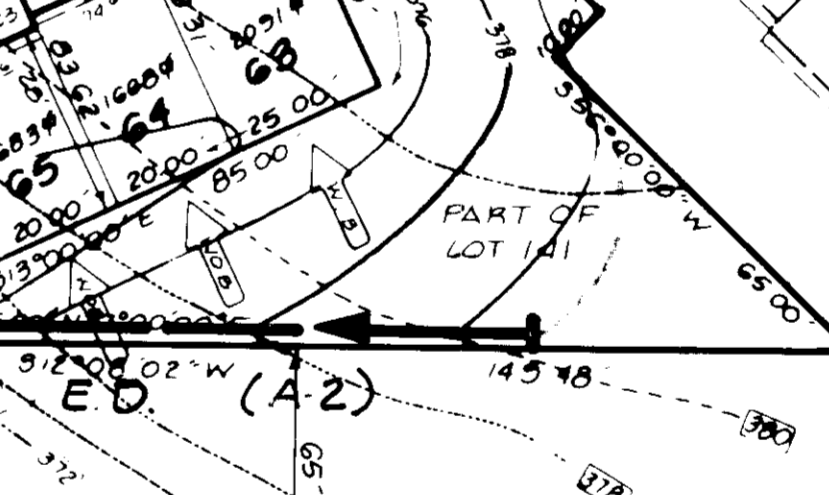
LEGEND

- Contour Interval 2 Ft.
- Existing Contour 570
- Proposed Contour 570
- Spot Elevation +705
- Direction of Drainage EX. E.D.
- Ex. E.D.
- Earth Dike EX. E.D.
- Ex. S.C.E.



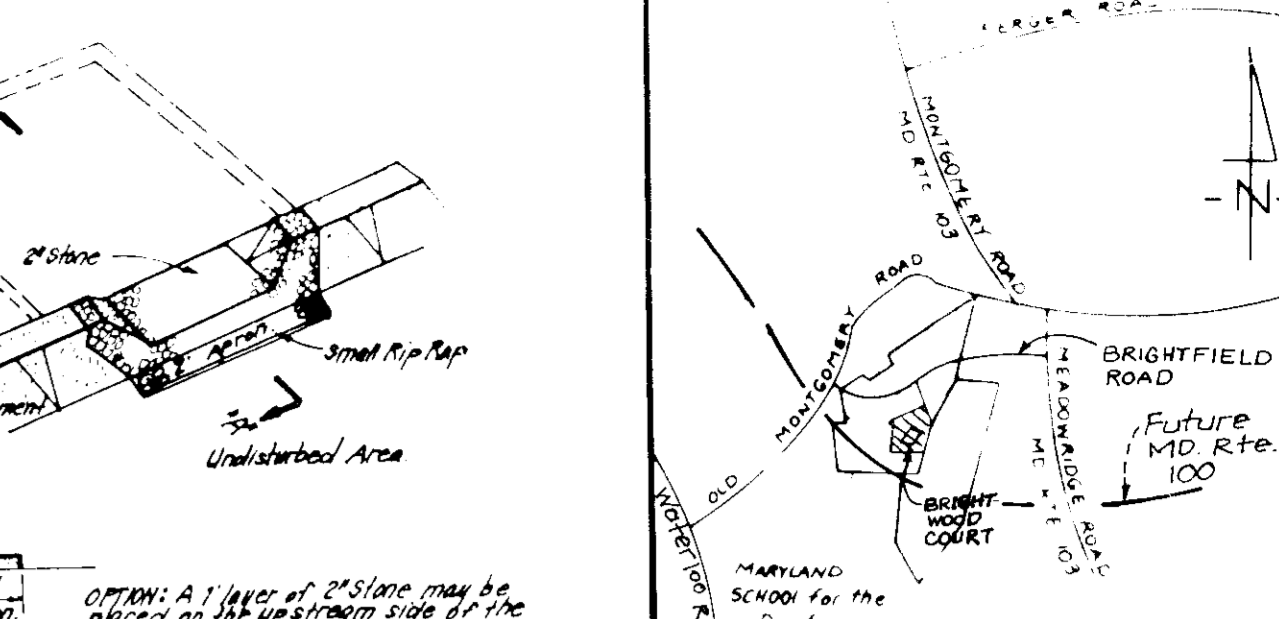
CONSTRUCTION SPECIFICATIONS:

- All dikes shall be constructed by earth-moving equipment.
- All dikes shall have positive drainage in the direction of flow.
- The width may be wider and side slopes may be flatter if desired to facilitate mowing by construction traffic.
- Final location should be adjusted as needed to utilize a stabilized slope outlet.
- Earth dikes shall be constructed and maintained to a minimum of erosion. Runoff shall be conveyed to a sediment trapping device such as a sediment trap or an outlet basin where erosion of the dike channel or the drainage area above the dike are not adequately stabilized.
- Stabilization shall be: (A) in accordance with standard specifications for seed and straw mulch or straw mulch if not in seeding season, (B) flow channel as per chart below.



CONSTRUCTION SPECIFICATIONS:

- Stone size: Use 2 1/2" stones or equivalent of rounded concrete equivalent.
- Length: As required, but not less than 50 feet. Extension of stone structure into where a 30 feet minimum length would apply.
- Thickness: Not less than 18 inches.
- Width: 12" to 18" and minimum 12" over the top and at points where ingress or egress occurs.
- Filter Cloth: Will be placed over the entire area prior to placing of stone. Filter will not be required on single channel structures.
- Surface Water: All surface water flowing or diverted toward construction entrances shall be passed across the entrance. If doing so impractical, a manhole shall be installed in 10' diameters.
- Maintenance: The entrance shall be maintained in a condition when will prevent tracking or flowing of sediment into public rights of way. This may require periodic cleaning of the entrance with the side slope, stone and debris and repair any or clearance of any material used for the sediment trap. All sediment shall be disposed of in a proper manner. Tracked areas shall be removed immediately.
- Warning: When it is cleaned to remove sediment or for maintenance into public rights of way, where warning is required, the entrance on an area stabilized with stone and which drains into an approved sediment trapping device.
- Periodic inspection and needed maintenance shall be provided after each rain.

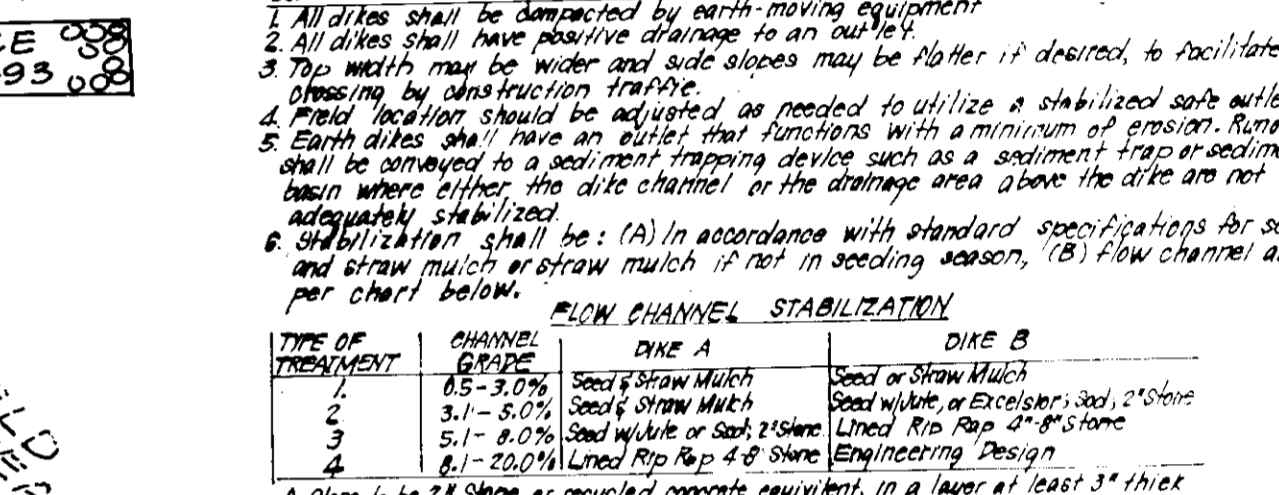


CONSTRUCTION SPECIFICATIONS:

- Any traps shall be cleaned, grubbed and stripped of any vegetation and root mat. The fill material for the embankment shall be free of roots and other woody vegetation as well as any other debris, rocks, organic material or other objectionable material. The embankment shall be compacted by tamping with equipment while it is being constructed.
- The stone used in the outlet shall be small rip rap 4" x 4" with a thickness of 2" aggregate placed on the up-slope side in the small rip rap in a layer of 12" depth in its original dimensions when the sediment has accumulated to 1/2 the design depth of the trap.
- The structure shall be inspected after each storm and repairs made as needed.
- Construction operations shall be carried out in such a manner that erosion and water pollution is minimized.
- The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.

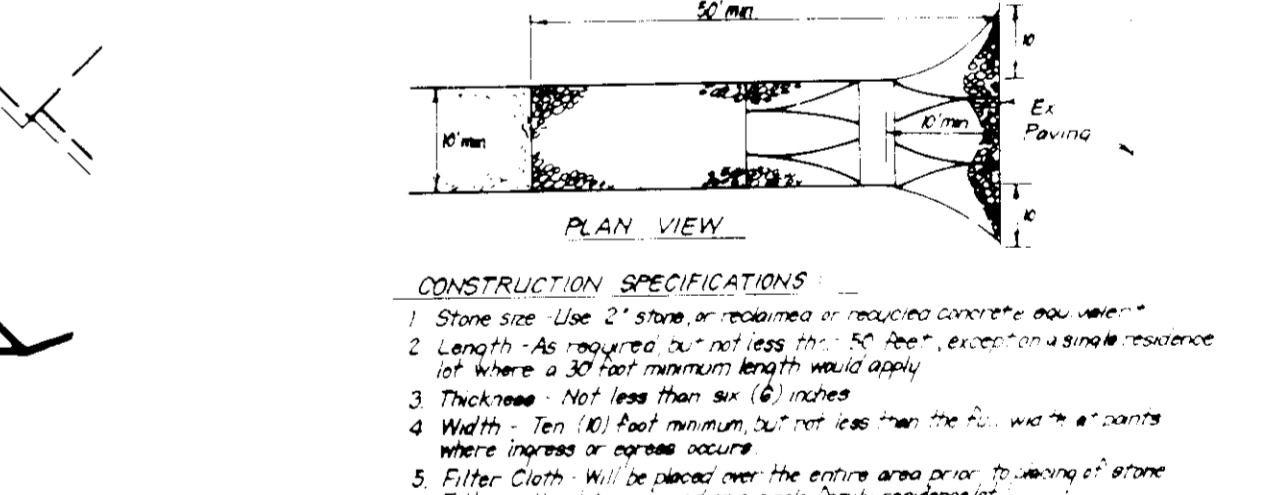
LEGEND

- Contour Interval 2 Ft.
- Existing Contour 570
- Proposed Contour 570
- Spot Elevation +705
- Direction of Drainage EX. E.D.
- Ex. E.D.
- Earth Dike EX. E.D.
- Ex. S.C.E.



CONSTRUCTION SPECIFICATIONS:

- All dikes shall be constructed by earth-moving equipment.
- All dikes shall have positive drainage in the direction of flow.
- The width may be wider and side slopes may be flatter if desired to facilitate mowing by construction traffic.
- Final location should be adjusted as needed to utilize a stabilized slope outlet.
- Earth dikes shall be constructed and maintained to a minimum of erosion. Runoff shall be conveyed to a sediment trapping device such as a sediment trap or an outlet basin where erosion of the dike channel or the drainage area above the dike are not adequately stabilized.
- Stabilization shall be: (A) in accordance with standard specifications for seed and straw mulch or straw mulch if not in seeding season, (B) flow channel as per chart below.



CONSTRUCTION SPECIFICATIONS:

- Stone size: Use 2 1/2" stones or equivalent of rounded concrete equivalent.
- Length: As required, but not less than 50 feet. Extension of stone structure into where a 30 feet minimum length would apply.
- Thickness: Not less than 18 inches.
- Width: 12" to 18" and minimum 12" over the top and at points where ingress or egress occurs.
- Filter Cloth: Will be placed over the entire area prior to placing of stone. Filter will not be required on single channel structures.
- Surface Water: All surface water flowing or diverted toward construction entrances shall be passed across the entrance. If doing so impractical, a manhole shall be installed in 10' diameters.
- Maintenance: The entrance shall be maintained in a condition when will prevent tracking or flowing of sediment into public rights of way. This may require periodic cleaning of the entrance with the side slope, stone and debris and repair any or clearance of any material used for the sediment trap. All sediment shall be disposed of in a proper manner. Tracked areas shall be removed immediately.
- Warning: When it is cleaned to remove sediment or for maintenance into public rights of way, where warning is required, the entrance on an area stabilized with stone and which drains into an approved sediment trapping device.
- Periodic inspection and needed maintenance shall be provided after each rain.

Owner/Developer: BritAm Development Group, Inc. 2080 Red Branch Road Columbia, Maryland 21045

Redesigner Name: CLARK • FINEFROCK & SACKETT, INC. ENGINEERS • PLANNERS • SURVEYORS

Project No: 8752, Block: 9, Zone: RSC, Tr./Map No.: 37, Eros. Dist. Census Tr.: 1st

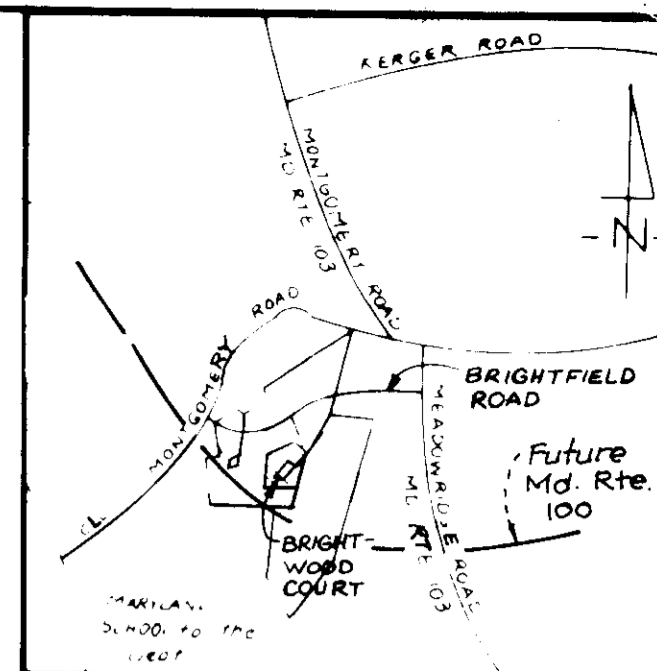
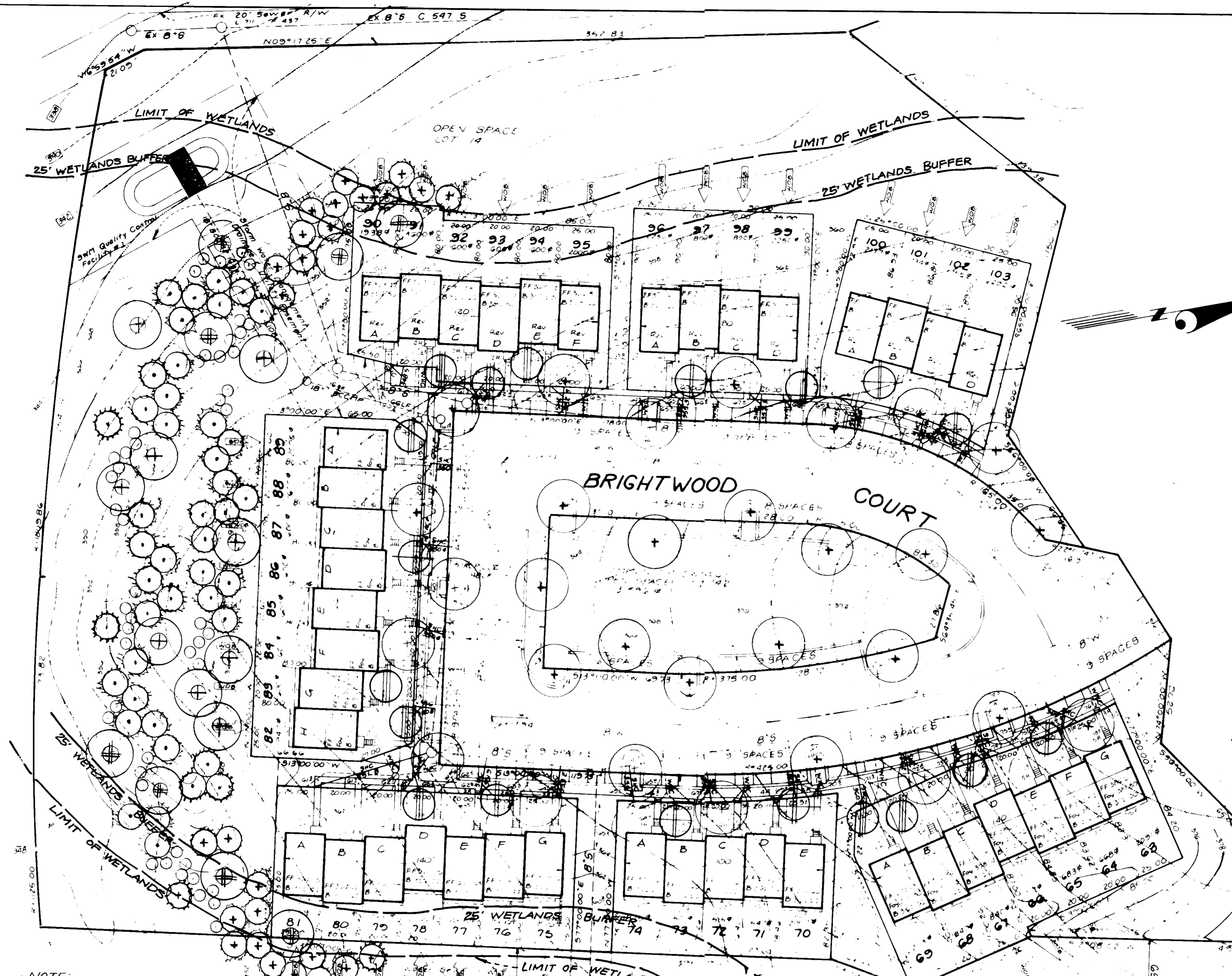
Water Code: D-05, Sewer Code: 2730000

DESIGNED: KIWM
DRAWN: BAR PER YLM
CHECKED: KIWM
DATE: 5-11-89

SCALE: 1" = 30'
DRAWING: 2 of 3
JOB NO: 88-117
FILE NO: 88-175E

1ST ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
RYAN HOMES INC
3175 Guilford Road # 200
Columbia, Md 21046

SDP 89-256



PLANT SCHEDULE

KEY	PLANT NAME	SIZE	QTY	REMARKS
BRIGHTWOOD COURT				
⊕	COENUS COCA	2-2 1/2" dia	11	PLANT P.B.B.
⊕	COCA DOORWOOD	7/8" dia	8	
⊕	FRAXINUS AMERICANA	1" dia	8	
⊕	WEEPING HICAT CHERRY			
PERY PLANTING				
⊕	ACER RUBRA	1" dia	8	P.B.B.
⊕	RED MAPLE	8/10" dia	8	
⊕	QUERCUS ALTA	1" dia	8	
⊕	FRAXINUS AMERICANA	1" dia	8	
⊕	WHITE PINE	1 1/2" dia	27	P.B.B.
⊕	WHITE PINE	3/4" dia	44	
⊕	STYRACIA FURcata	2 1/2" dia	5	P.B.B.
⊕	RED ZAPTEL	2 1/2" dia	5	P.B.B.

⊕ TREES TO BE PLANTED AT CONSTRUCTION PER PLAN F-27-89

NOTE:
 The wetland buffer indicated on this plan does not effect the initial construction of a residential unit on any lot. It does prohibit subsequent clearing, grading or construction in the buffer area. Maintenance of residences, landscaping and utilities is permitted.

8-2-89

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER: [Signature] DATE: 11-11-89
APPROVED
 DEPARTMENT OF PLANNING & ZONING
 DIRECTOR: [Signature] DATE: 10-23-89
 CHIEF DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT
 DATE: 11-11-89
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR: [Signature] DATE: 10-25-89
 CHIEF BUREAU OF ENGINEERING: [Signature] DATE: 10-24-89



Owner/Developer:
 BritAm Development Group, Inc.
 5050 Red Branch Road Suite 215
 Columbia, Maryland 21046

CLARK • FINEROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 1155 MINISTREL WAY • COLUMBIA MD 21046 • (301) 881-7500 • BALTO. • (301) 821-8400 • WASH.

DATE: 5-11-89	FOR: RYAN HOMES INC. 8175 Guilford Road # 200 Columbia Md 21046	SCALE: 1" = 30'
DRAWN: S.J.G.	LANDSCAPE PLAN LOTS 69-103 SECTION 1 AREA 2	DRAWING: 3 of 3
CHECKED: [Signature]	BRIGHTFIELD	JOB NO: 88-117
DATE: 5-11-89	1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND	FILE NO: 88-117LS

S.D.P. 89-256