

GENERAL NOTES:

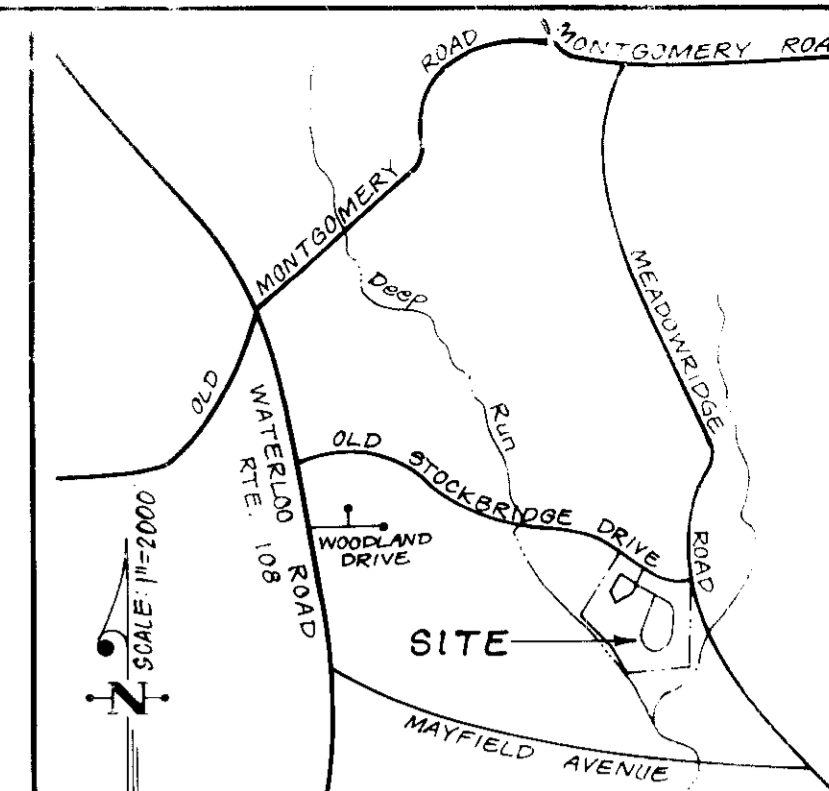
- Subject property is zoned RSA-8 per 8-2-85 Comprehensive Zoning Plan
- The coordinates shown hereon are based on the Maryland State Grid System as projected by Howard County Geodetic Control Stations No. 254-4001 & 254-4002
- Property shown is located on Tax Map #37, Parcel #128
- Total area included in this submission: 13.136 Acres
- Total number of buildable lots: 125
- Any damage to County owned rights of way shall be corrected at the developer's expense
- Maximum lot coverage: 60%
- Reference Plans: S-86-58, P-86-64, VP-87-164, WP-89-28, WP-89-95, F-88-182
- The contractor/developer shall contact the Construction Inspection Survey Division 24 hrs. in advance of commencement of work at 792-2630
- The existing topography shown was aerial topography
- Storm Water Management provided in Water Quality Basin F-88-182
- WP-89-28 Granting a Waiver from the regulations requiring sidewalk on both sides of streets. WP-89-95 granting an extension of final plan approval F-88-182. VP-87-164 Granting an extension of preliminary plan approval
- The wetland/streambank buffer(s) indicated on this plan does not affect the initial construction of a residential unit on any lot. It does prohibit subsequent clearing, grading or construction in the buffer area(s). Maintenance of residences, landscaping and utilities is permitted.
- The distance between units 299 and 334 has been approved as per telephone conversation with Mr. Joseph Rutter
- All work shall be done in accordance with Howard County Design Manual Vol. II, Standard Specifications and Details for Construction 1989 Amendments.

SITE ANALYSIS:

- Unit type proposed: RSA 8
- Number of Units Permitted: 125
- Number of Units Proposed: 125
- Parking Spaces Required: 250
- Parking Spaces Provided: 288 (118 Gar & Drives) (170 Court)
- Area Tabulation: Total Area of Parcel: 13.136 Ac or 572,204 sq ft
Public Roadway Dedication: 2.756 Ac
Buildable Lots: 5.5602 Ac
Community Owned open space: 4.8198 Ac
- Community Open Space to Ho. Co. 2.7119 Ac
- Building Coverage Permitted: 35% Proposed: 28% - 161,833 sq ft
- Lot Coverage Permitted: 60% Proposed: 54.9% (Largest unit on smallest lot)

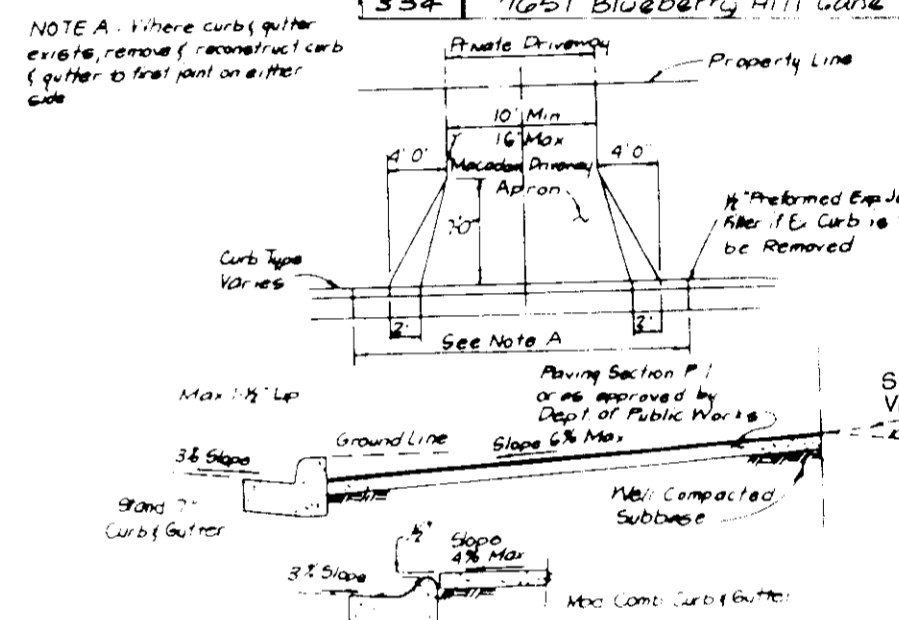
LEGEND:

- Contour interval: 2' ±
- Existing Contour: 250'
- Proposed Contour: 250'
- Spot Elevation: 250'
- Direction of Drainage: Retaining Wall
- 100 Yr. Flood Plain Elev. Walk Out Basement
- Ex. Trees to be Saved



ADDRESS CHART

Lot #	STREET ADDRESS	Lot #	STREET ADDRESS
210	7600 Oldfield Lane	238	7622 Blueberry Hill Lane
211	7602	239	7624
212	7604	240	7626
213	7606	241	7628
214	7608	242	7630
215	7610	243	7632
216	7612	244	7634
217	7614	245	7636
218	7616	246	7638
219	7618	247	7640
220	7620	248	7642
221	7622	249	7644
222	7624	250	7646
223	7626	251	7648
224	7628	252	7650
225	7630	253	7652
226	7632	254	7654
227	7634	255	7656
228	7636	256	7658
229	7638	257	7660
230	7640	258	7662
231	7642	259	7664
232	7644	260	7666
233	7646	261	7668
234	7648	262	7670
235	7650	263	7672
236	7652	264	7674
237	7654	265	7676
238	7656	266	7678
239	7658	267	7680
240	7660	268	7682
241	7662	269	7684
242	7664	270	7686
243	7666	271	7688
244	7668	272	7690
245	7670	273	7692
246	7672	274	7694
247	7674	275	7696
248	7676	276	7698
249	7678	277	7700
250	7680	278	7702
251	7682	279	7704
252	7684	280	7706
253	7686	281	7708
254	7688	282	7710
255	7690	283	7712
256	7692	284	7714
257	7694	285	7716
258	7696	286	7718
259	7698	287	7720
260	7700	288	7722



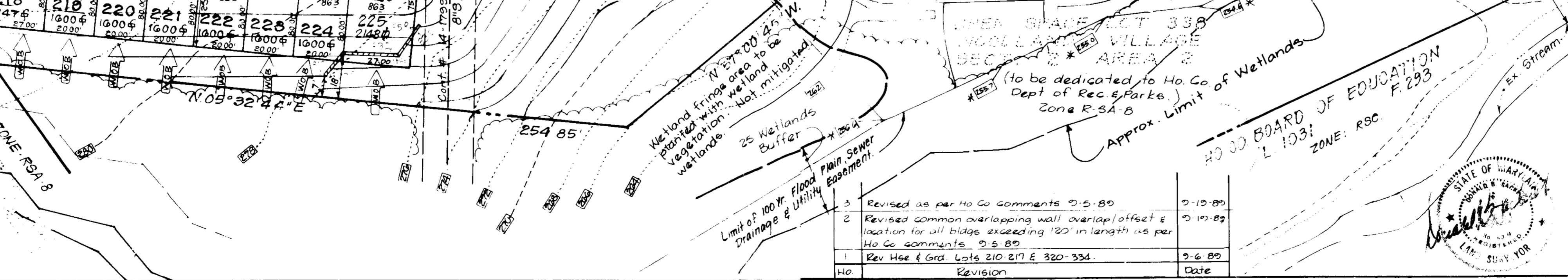
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
DATE: 10-12-89

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
DATE: 10/18/89

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DATE: 10/9/89

9-1-89

Wetland Fringe
Water Quality Basin F-88-182
25 Wetlands Buffer
Approx. Limit of Wetlands



OWNER/DEVELOPER Meadowland Joint Venture 8100 Wooded Glen Ct Ellicott City, Md. 21043	Subdivision Name WOODLAND VILLAGE	Section/Area 2/2	Lots 210 - 334
	Plat No. 804-3020	Block 15	Zone RSA-8
	Water Code D05	Elec Dist 1st	Census Tr. 2012
		Sewer Code 2G10000	

CLARK • FINEFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS

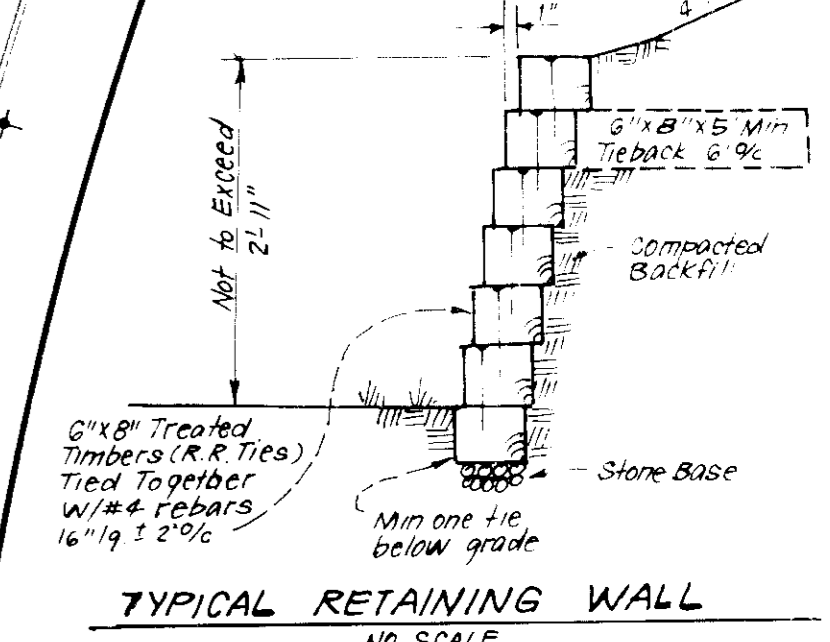
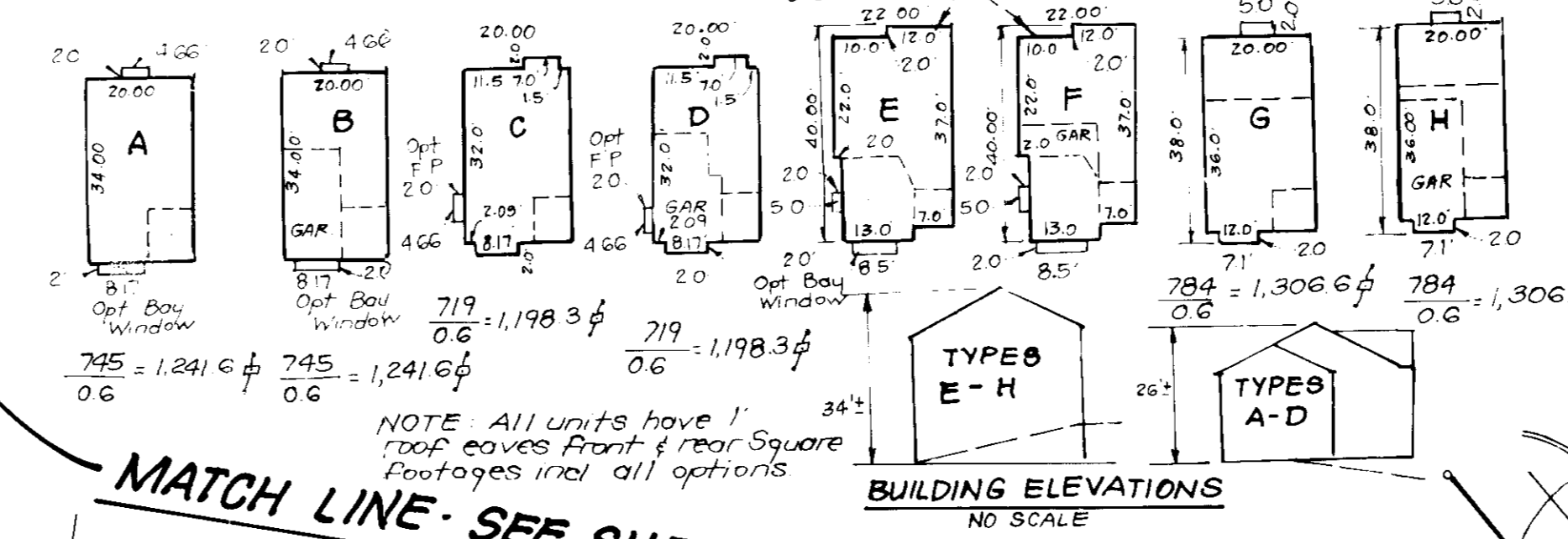
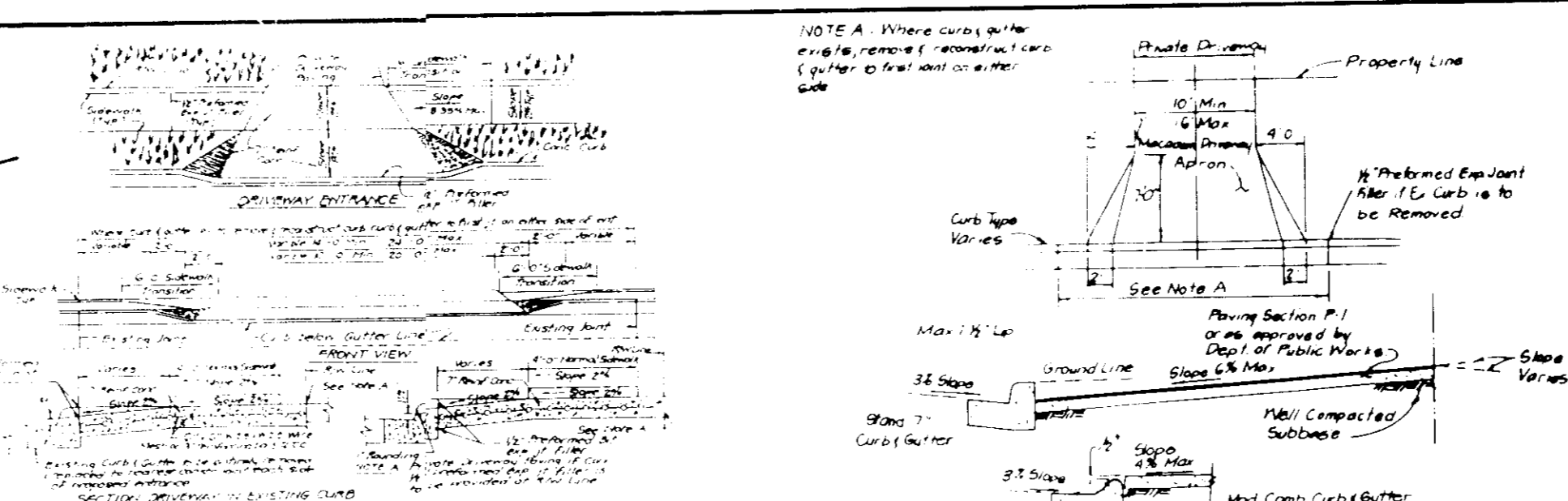
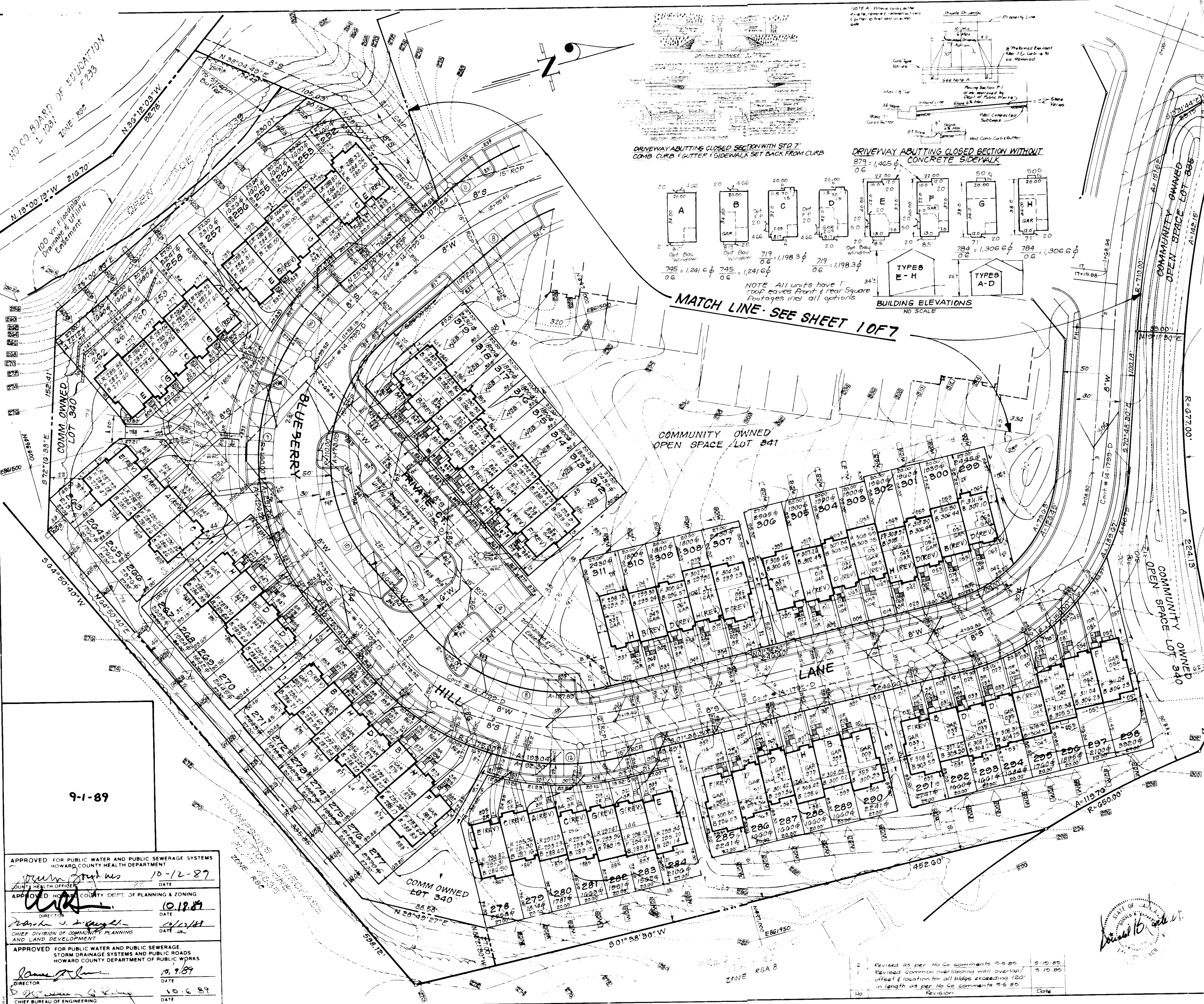
SITE DEVELOPMENT PLAN
LOTS 210 THRU 334
WOODLAND VILLAGE
SECTION 2 AREA 2
144 ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

FOR: CHATEAU BUILDERS, INC.
8100 Wooded Glen Ct
Ellicott City, Md. 21043

DESIGNED: MJP
DRAWN: KJMM/LAI
CHECKED: MJP
DATE: June 1989

SCALE: 1" = 30'
DRAWING: 1 of 7
JOB NO: 85-148
FILE NO: 85-148X

- Revised as per Ho. Co. comments 9-5-89
- Revised common overlapping wall overlap/offset & location for all bldgs. exceeding 120' in length. Use per Ho. Co. comments 9-5-89
- Rev. Hse. & Grd. Lots 210-217 & 320-334.



LOT #	STREET ADDRESS
252	7600 Blueberry Hill Lane
253	7608
254	7700
255	7702
256	7704
257	7706
258	7708
259	7710
260	7712
261	7714
262	7716
263	7718
264	7720
265	7722
266	7724
267	7726
268	7728
269	7730
270	7732
271	7734
272	7736
273	7738
274	7740
275	7742
276	7744
277	7746
278	7748
279	7750
280	7752
281	7754
282	7756
283	7758
284	7760
285	7762
286	7764
287	7766
288	7768
289	7770
290	7772
291	7774
292	7776
293	7778
294	7780
295	7782
296	7784
297	7786
298	7788
299	7790
300	7792
301	7794
302	7796
303	7798
304	7800
305	7802
306	7804
307	7806
308	7808
309	7810
310	7812
311	7814
312	7816
313	7818
314	7820
315	7822
316	7824
317	7826
318	7828
319	7830

9-1-89

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

[Signature] 10-12-89
DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] 10-12-89
DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

[Signature] 10-12-89
DATE

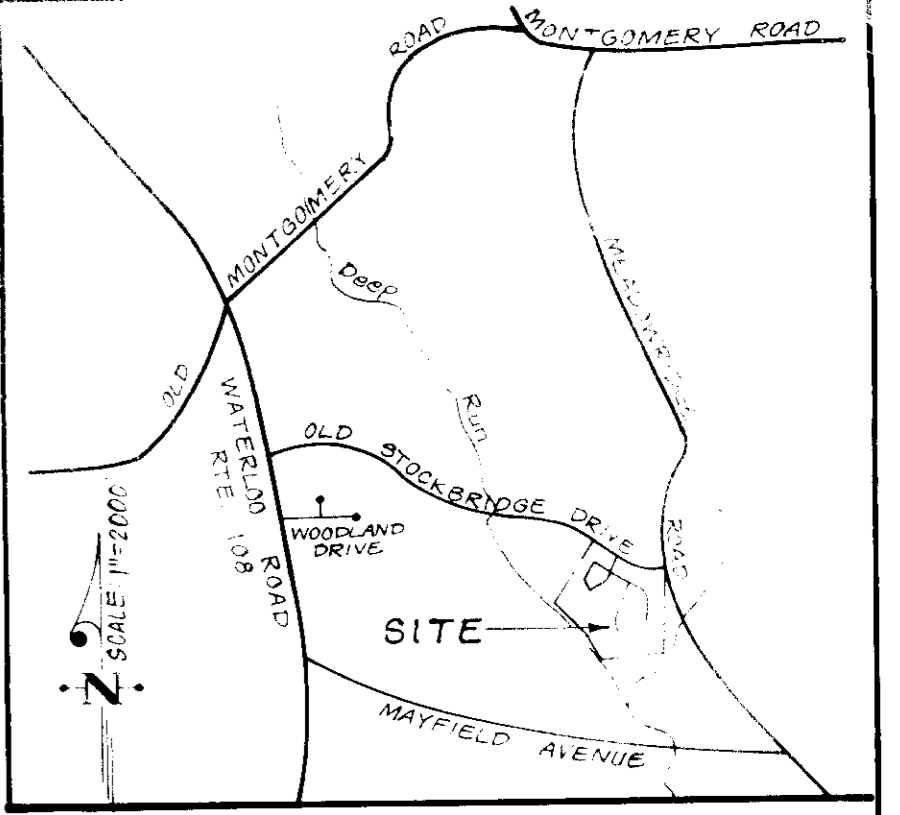
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

[Signature] 10-6-89
DATE

OWNER/DEVELOPER Woodland Village Venture 8100 Woodland Glen Ct Ellicott City, Md. 21043	Subdivision Name	WOODLAND VILLAGE	Section/Area	2/2	Lots	210 - 334
	Plot No.	Block	Zone	Tax/Map No./Elec. Dist.	Deeds Tr.	
	B003 - B006	15	RSA-8	37	1st	2012
	Water Code	D05	Sewer Code	2610000		
DESIGNED MJP	SITE DEVELOPMENT PLAN					
	LOTS 210 THRU 334					
DRAWN KJWM LAI	WOODLAND VILLAGE					
	SECTION 2 AREA 2					
CHECKED MJP	1st ELECTION DISTRICT					
	HOWARD COUNTY, MARYLAND					
DATE	FOR: CHATEAU BUILDERS INC 8100 Woodland Glen Ct Ellicott City, Md. 21043					
June, 1989	FILE NO. 85-148 X					

LEGEND:

- Proposed Interiors
- Existing Interiors
- Proposed Footprint
- Spot Elevation
- Direction of Drainage
- 100 yr Flood Plan Elev
- Earth Dike
- Inlet Protection
- Stabilized Construction Entrance
- Existing Trees to be Saved

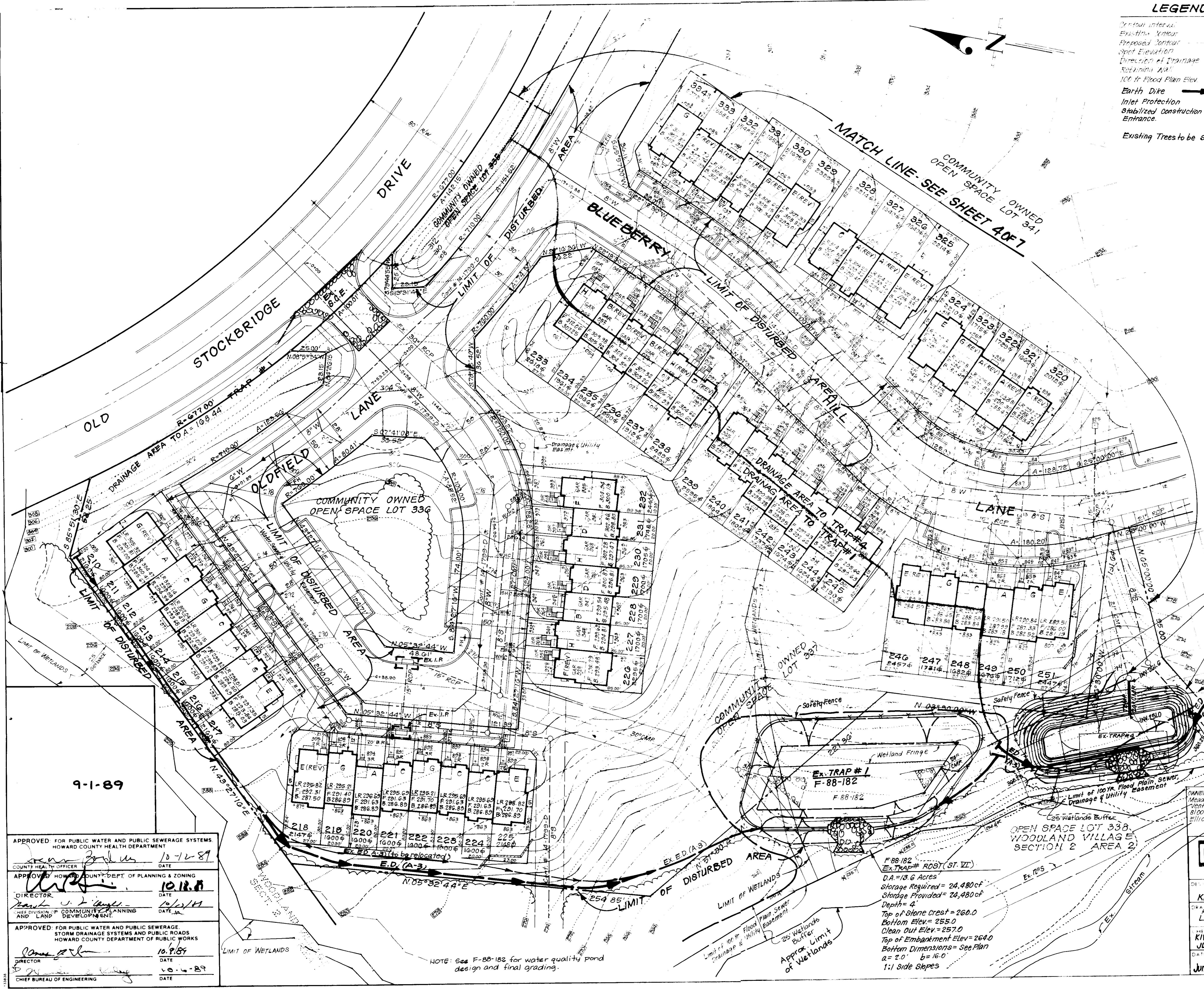


Reviewed for Name: **James H. Schuch** 9/27/89
 Signature: *James H. Schuch*
 Date: 9/27/89
 U.S. Soil Conservation Service

THIS DEVELOPMENT PLAN IS A "PROVED" PLAN FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 Approved: **John R. Robertson** 9/26/89
 Signature: *John R. Robertson*
 Date: 9/26/89

DEVELOPER'S/BUILDER'S CERTIFICATE
 "I/We certify that all development and construction will be done according to this plan of development and plan for erosion and sediment control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Dept. of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."
 Signature of Developer/Builder: **Richard D. ...** 6/2/89
 Signature: *Richard D. ...*
 Date: 6/2/89

ENGINEER'S CERTIFICATE
 "I hereby certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
 Signature: **Jeffrey L. Schwab** 6/2/89
 Signature: *Jeffrey L. Schwab*
 Date: 6/2/89



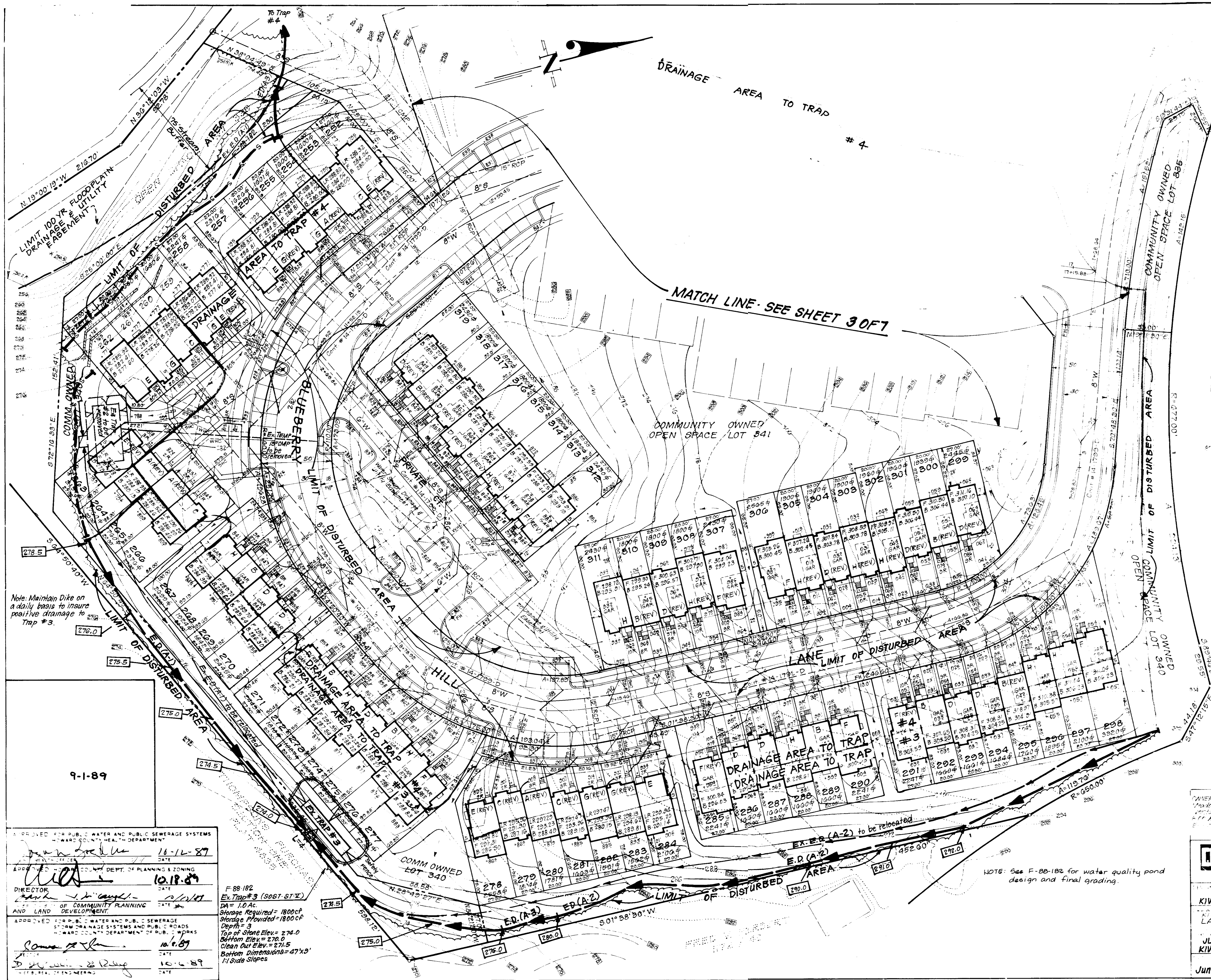
PROVIDE 1' MIN COVER OVER PIPE
 BLOCK PIPE OUTLET & DIVERT FLOW TO TRAP #4 WITH TEMP 24" CMP.
 Extreme Care to be taken when grading in area of 815.
 Enlarge Ex TRAP #4 30ST (ST-V) to R.O. ST. as shown.
 D.A. = 7.2 Acres
 Storage Required = 12060 cf
 Storage Provided = 13000 cf
 Depth = 5'
 Top of Stone Elev = 257.0
 Bottom Elev = 251.0
 Clean Out Elev = 253.5
 Top of Embankment = 260.25
 Bottom Dimensions = 35' x 21'
 a = 1.5 b = 16.0'
 1:1 side slopes.

OWNER/DEVELOPER	Subdivision Name	Section/Area	Lot No.
Meadowland Joint Venture, 8100 Wooded Glen Ct, Ellicott City, Md 21043	WOODLAND VILLAGE	2/2	210 - 334
	Block	Zone	Tax/Map No. Elevation
	B004-B006	15	RSA-B 37 1st 6012
	Water Code		Sewer Dist
	D05		2610000

CLARK • FINEROCK & SACKETT, INC. ENGINEERS • PLANNERS • SURVEYORS	DATE: June, 1989
SEDIMENT & EROSION CONTROL PLAN LOTS 210 THRU 334 WOODLAND VILLAGE SECTION 2 AREA 2 1st ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE: 1" = 30'
FOR MATEAU BUILDERS INC 8700 Wooded Glen Ct Ellicott City, Md 21043	DATE: 8/1/89

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER: *[Signature]* DATE: **10-12-89**
 APPROVED HOWARD COUNTY DEPT. OF PLANNING & ZONING
 DIRECTOR: *[Signature]* DATE: **10-12-89**
 CHIEF DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT
 APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR: *[Signature]* DATE: **10-9-89**
 CHIEF BUREAU OF ENGINEERING DATE: **10-6-89**

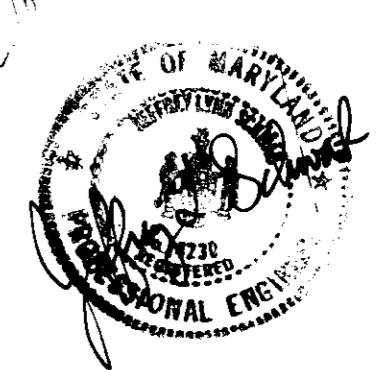
NOTE: See F-88-182 for water quality pond design and final grading.



Reviewed for: **HOURLY CONSULTANTS, S.C.C.**
 Name: **John R. Robertson**
 Signature: *John R. Robertson* Date: **9/27/89**
 U.S. Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION CONTROL MEASURES BY THE DISTRICT ENGINEER, DISTRICT OF COLUMBIA.
 Approved: *John R. Robertson* Date: **9/26/89**

DEVELOPER'S/CURER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan of development and erosion and sediment control and that all responsible parties will follow the instructions of the project engineer and the District Engineer. I/We warrant that the construction project will be completed in accordance with the approved plan and that the project will be completed in accordance with the approved plan and that the project will be completed in accordance with the approved plan.
 Signature of Developer: *Richard W. ...* Date: **6/2/89**



I hereby certify that this plan was prepared and designed by me or under my direct supervision and that I am a duly licensed Professional Engineer in the State of Maryland.
 Signature: *Jeffrey J. Schwab* Date: **6/2/89**

Note: Maintain Dike on a daily basis to insure positive drainage to Trap #3.

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT
 Director: *John ...* Date: **10-16-89**
 APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Director: *...* Date: **10-16-89**

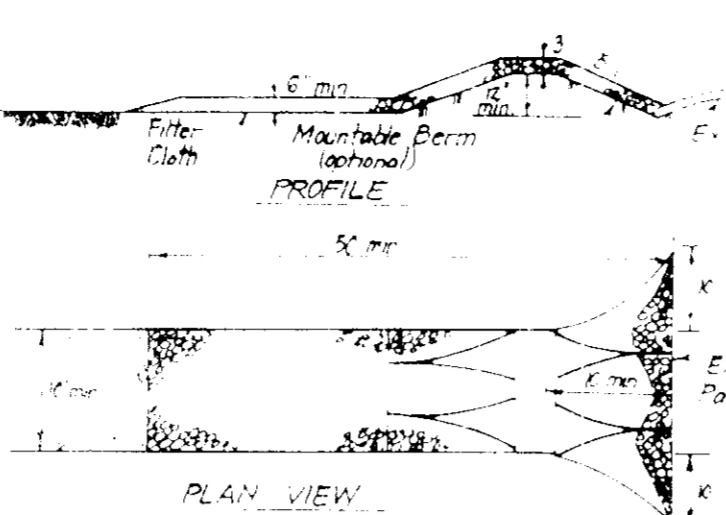
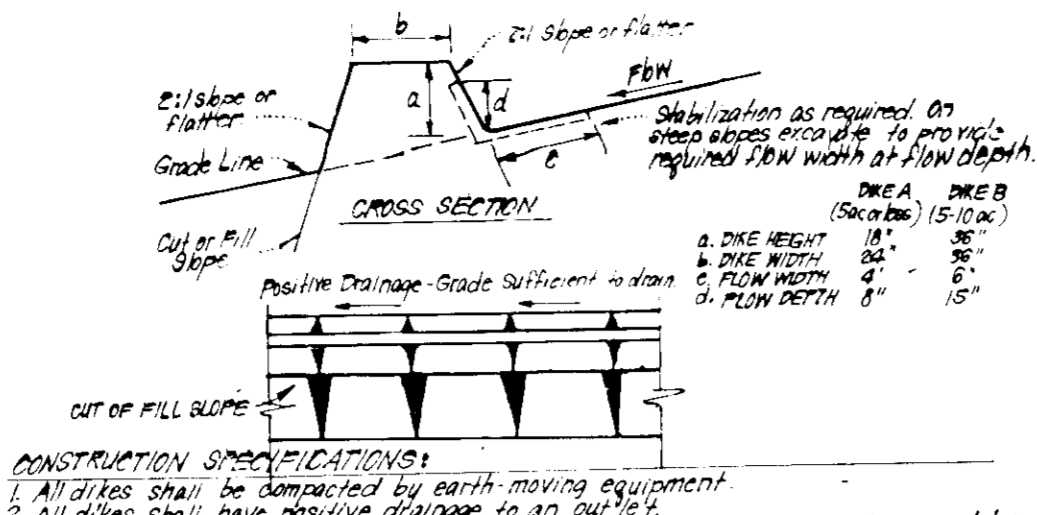
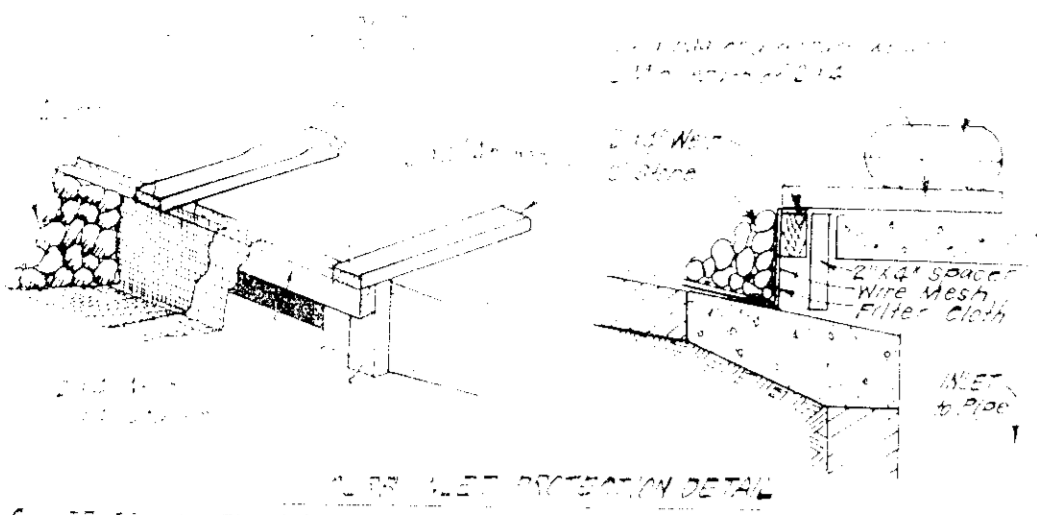
F-88-182
 Ex. Trap #3 (3061-51'E)
 DA = 1.0 Ac.
 Storage Required = 1800 CF
 Storage Provided = 1800 CF
 Top of Stone Elev. = 274.0
 Bottom Elev. = 270.0
 Clean Out Elev. = 271.5
 Bottom Dimensions = 47' x 9'
 1/4 Side Slopes

NOTE: See F-88-182 for water quality pond design and final grading.

OWNER/DEVELOPER	WOODLAND VILLAGE	2-2	0-1	0-1
PLAT NO.	8806	15	Zone	REA-8
TAX MAP	37	1st	6012	
WATER STATE	005	2010000		

CLARK • FINEROCK & SACKETT, INC.

SEDIMENT & EROSION CONTROL PLAN
LOTS 210 THRU 334
WOODLAND VILLAGE 4-7
 SECTION 2 AREA 2
 1st ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 FOR HATEN BULLER, INC.
 500 N. ...
 E. ...
 June 89



CONSTRUCTION SPECIFICATIONS:

- All dikes shall be constructed by earth moving equipment.
- All dikes shall have positive drainage to an outlet.
- Top width may be wider and side slopes may be flatter if desired to facilitate crossing by construction traffic.
- Final location should be adjusted as needed to utilize a stabilized soil outlet.
- Earth dikes shall have an outlet and function with a minimum of erosion. Runoff shall be conveyed to a sediment trapping device such as a sediment trap or sediment basin where either the dike terminal or the drainage area above the dike are not adequately stabilized.
- Stabilization shall be: (A) in accordance with standard specifications for seed and straw mulch or straw mulch if not in seeding season; (B) flow channel as per chart below.

TYPE OF TREATMENT	CHANNEL DRAINAGE	FLOW CHANNEL STABILIZATION	
		DIKE A	DIKE B
1	15-30%	Seed/Straw Mulch	Seed/Straw Mulch
2	31-50%	Seed/Straw Mulch	Seed/Straw Mulch or Straw/Straw Mulch
3	51-80%	Seed/Straw Mulch or Straw/Straw Mulch	Lined Rip Rap 4'-8" Stone
4	81-100%	Lined Rip Rap 4'-8" Stone	Engineering Design

A Stone to be 2" Stone or recycled concrete equivalent, in a layer of at least 3" thick and be pressed into soil with construction equipment.

B Rip Rap to be 4" in a layer of at least 4" thick, pressed into soil.

C Approved equivalents can be substituted for any of the above materials.

7. Periodic Inspection and Required Maintenance must be provided after each rain.

EARTH DIKE DETAIL (E.D.)
NO SCALE

CONSTRUCTION SPECIFICATIONS:

- Use 2" Stone or recycled concrete equivalent for rip rap.
- Use 4" Stone or recycled concrete equivalent for rip rap.
- Use 6" Stone or recycled concrete equivalent for rip rap.
- Use 8" Stone or recycled concrete equivalent for rip rap.
- Use 10" Stone or recycled concrete equivalent for rip rap.
- Use 12" Stone or recycled concrete equivalent for rip rap.
- Use 15" Stone or recycled concrete equivalent for rip rap.
- Use 18" Stone or recycled concrete equivalent for rip rap.
- Use 20" Stone or recycled concrete equivalent for rip rap.
- Use 24" Stone or recycled concrete equivalent for rip rap.
- Use 30" Stone or recycled concrete equivalent for rip rap.
- Use 36" Stone or recycled concrete equivalent for rip rap.
- Use 42" Stone or recycled concrete equivalent for rip rap.
- Use 48" Stone or recycled concrete equivalent for rip rap.
- Use 54" Stone or recycled concrete equivalent for rip rap.
- Use 60" Stone or recycled concrete equivalent for rip rap.
- Use 72" Stone or recycled concrete equivalent for rip rap.
- Use 84" Stone or recycled concrete equivalent for rip rap.
- Use 96" Stone or recycled concrete equivalent for rip rap.
- Use 108" Stone or recycled concrete equivalent for rip rap.
- Use 120" Stone or recycled concrete equivalent for rip rap.

TEMPORARY SEEDING NOTES:

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

Soil Amendment: In lieu of soil test recommendations, use one of the following schedules:

- Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq ft).
- Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.

Seeding: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs/1000 sq ft) of weeping lovegrass. During the period of October 15 thru February 28, protect site by: Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

Inspection: Inspect all seeded areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES

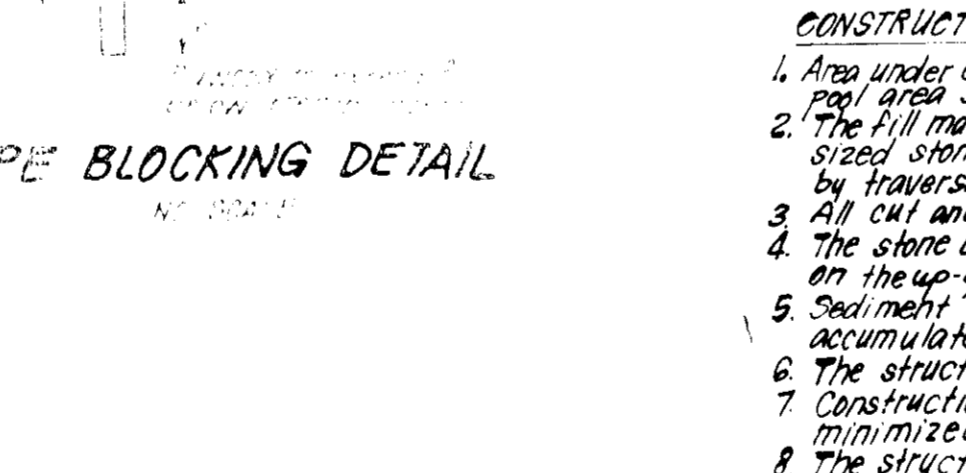
STABILIZED CONSTRUCTION ENTRANCE SOE



CONSTRUCTION SPECIFICATIONS:

- The area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat.
- The pool area shall be cleared.
- The fill material for the embankment shall be free of roots or other woody vegetation as well as over-sized stones, rocks, organic material or other objectionable material. The embankment shall be compacted by traversing with equip. while it is being constructed. Max. height of embankment shall be 5' measured at 8' of embankment.
- All fill slopes shall be 2:1 or flatter's cut slopes 1:1 or flatter.
- Elevation of the top of any dike directing water into trap must equal or exceed height of embankment.
- Storage area provided shall be figured by computing the volume available behind the outlet channel up to an elevation of 1' below the lowest part of dike.
- Filter cloth shall be placed over the bottom and sides of the outlet channel prior to placement of stone. Sections of fabric must overlap at least 1' with section nearest the entrance placed on top. Fabric shall be embedded at least 6" into existing ground at entrance of outlet channel.
- Stone used in the outlet channel shall be 4" to 8" rip rap to provide a filtering effect; a layer of filter cloth aggregate shall be placed on the upstream face of the outlet.
- Sediment shall be removed and trap restored to its original dimensions when the sediment has accumulated to the design depth of the trap. Removed sediment shall be deposited in a suitable area and in such a manner that it will not erode.
- The structure shall be inspected after each rain and repaired as needed.
- Construction operations shall be carried out in such a manner that erosion and water pollution are minimized.
- The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.
- Drainage area for this practice is limited to 15 acres or less.

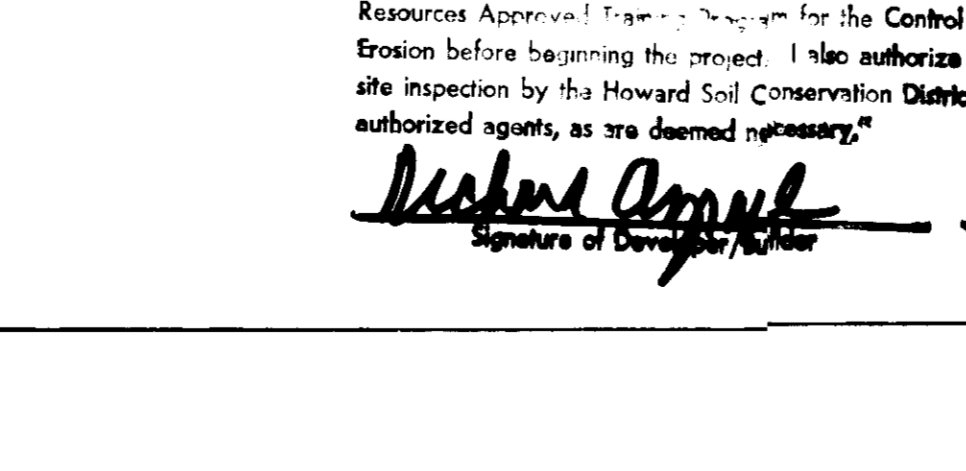
RIP RAP OUTLET SEDIMENT TRAP - ST-VI
NO SCALE



CONSTRUCTION SPECIFICATIONS:

- Area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat. The pool area shall be cleared.
- The fill material for the embankment shall be free of roots and other woody vegetation as well as over-sized stones, rocks, organic material or other objectionable material. The embankment shall be compacted by traversing with equipment while it is being constructed.
- All cut and fill slopes shall be 2:1 or flatter.
- The stone used in the outlet shall be small rip rap 4"-8" along with 1" thickness of 2" aggregate placed on the up-grade side on the small rip rap or embedded filter cloth in the rip rap.
- Sediment shall be removed and trap restored to its original dimensions when the sediment has accumulated to 1/2 the design depth of the trap.
- The structure shall be inspected after each rain and repairs made as needed.
- Construction operations shall be carried out in such a manner that erosion and water pollution is minimized.
- The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.

PIPE BLOCKING DETAIL
NO SCALE



CONSTRUCTION SPECIFICATIONS:

- Area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat. The pool area shall be cleared.
- The fill material for the embankment shall be free of roots and other woody vegetation as well as over-sized stones, rocks, organic material or other objectionable material. The embankment shall be compacted by traversing with equipment while it is being constructed.
- All cut and fill slopes shall be 2:1 or flatter.
- The stone used in the outlet shall be small rip rap 4"-8" along with 1" thickness of 2" aggregate placed on the up-grade side on the small rip rap or embedded filter cloth in the rip rap.
- Sediment shall be removed and trap restored to its original dimensions when the sediment has accumulated to 1/2 the design depth of the trap.
- The structure shall be inspected after each rain and repairs made as needed.
- Construction operations shall be carried out in such a manner that erosion and water pollution is minimized.
- The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.

STONE OUTLET SEDIMENT TRAP (S.O.ST.) ST-VI
NO SCALE

SEDIMENT CONTROL NOTES:

- A minimum of 24 hours must be given to the Howard County Dept. of Inspections and Permits prior to the start of any construction. (892-2431)
- All sediment control structures shall be constructed in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within a 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Title 17, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding (Sec. 31) sod (Sec. 34), temporary seeding (Sec. 30) and mulching (Sec. 32). Temporary stabilization with mulch alone can only be done when recommended seeding rates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:
Total Area of Site: 13.136 Acres
Area Disturbed: 9.75 Acres
Area to be roofed or paved: 2.45 Acres
Area to be vegetatively stabilized: 7.30 Acres
Total Cut: Cu. Yds.
Total Fill: Cu. Yds.
Offsite waste/borrow area location:
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the Howard County DPW sediment control inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- If houses are to be constructed on an "As-Sold" basis, in random, Single Lot Sediment Control as shown below shall be implemented.
- All pipes to be blocked at the end of each road (shown below).
- The total amount of straw bale dikes/silt fence shall be 0' L.F.

CONSTRUCTION SEQUENCE:

Activity	No. of Days
1. Obtain grading permit.	7
2. Refurbish as necessary Ex. Traps #1 & #3; enlarge Ex. Trap #4.	7
3. Install remaining sediment erosion controls and stabilize. Temp. block pipe at M-91 and divert water as shown on plan.	10
4. Excavate for foundations, rough grade and temporarily stabilize.	100
5. Construct structures sidewalks & driveways.	260
6. Final grade and stabilize in accordance with side. & specs; Flush storm drain system.	30
7. Upon approval of the sediment control inspector, remove sediment and erosion controls and stabilize.	7
8. Construct permanent Water Quality Basin in accordance with F-88-182	

* Note: Ex. Trap #2 may not be removed until all roads are paved.

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,
HOWARD COUNTY HEALTH DEPARTMENT

County Health Officer: [Signature] 10-12-89
DATE

APPROVED HOWARD COUNTY DEPT OF PLANNING & ZONING

Director: [Signature] 10/18/89
DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE,
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

Director: [Signature] 10/18/89
DATE

9-1-89

Reviewed for HOWARD COUNTY S.C.D.
and meets Technical Requirement

[Signature] 9/27/89
DATE

U.S. Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED
FOR SOIL EROSION AND SEDIMENT
CONTROL BY THE HOWARD SOIL
CONSERVATION DISTRICT.

[Signature] 9/26/89
DATE

DEVELOPER'S/SUB. ENR'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan of development and plan for erosion and sediment control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Dept. of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

[Signature] 6/2/89
DATE

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Erosion and Sediment Control is a minimum and acceptable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

[Signature] 6/2/89
DATE

WOODLAND VILLAGE

22 210 334

6004-8000 15 R6A-8 37 14' 6012

2810000

CLARK • FINEROCK • SACKETT INC

7155 MINISTREL WAY COLUMBIA MD 21045 • (301)381-7500 BALTO. • (301)621-8100 WASH.

SEDIMENT & EROSION CONTROL DETAILS

LOTS 210 THRU 334

WOODLAND VILLAGE

5 of 7

CHATEAU BUILDERS, INC.

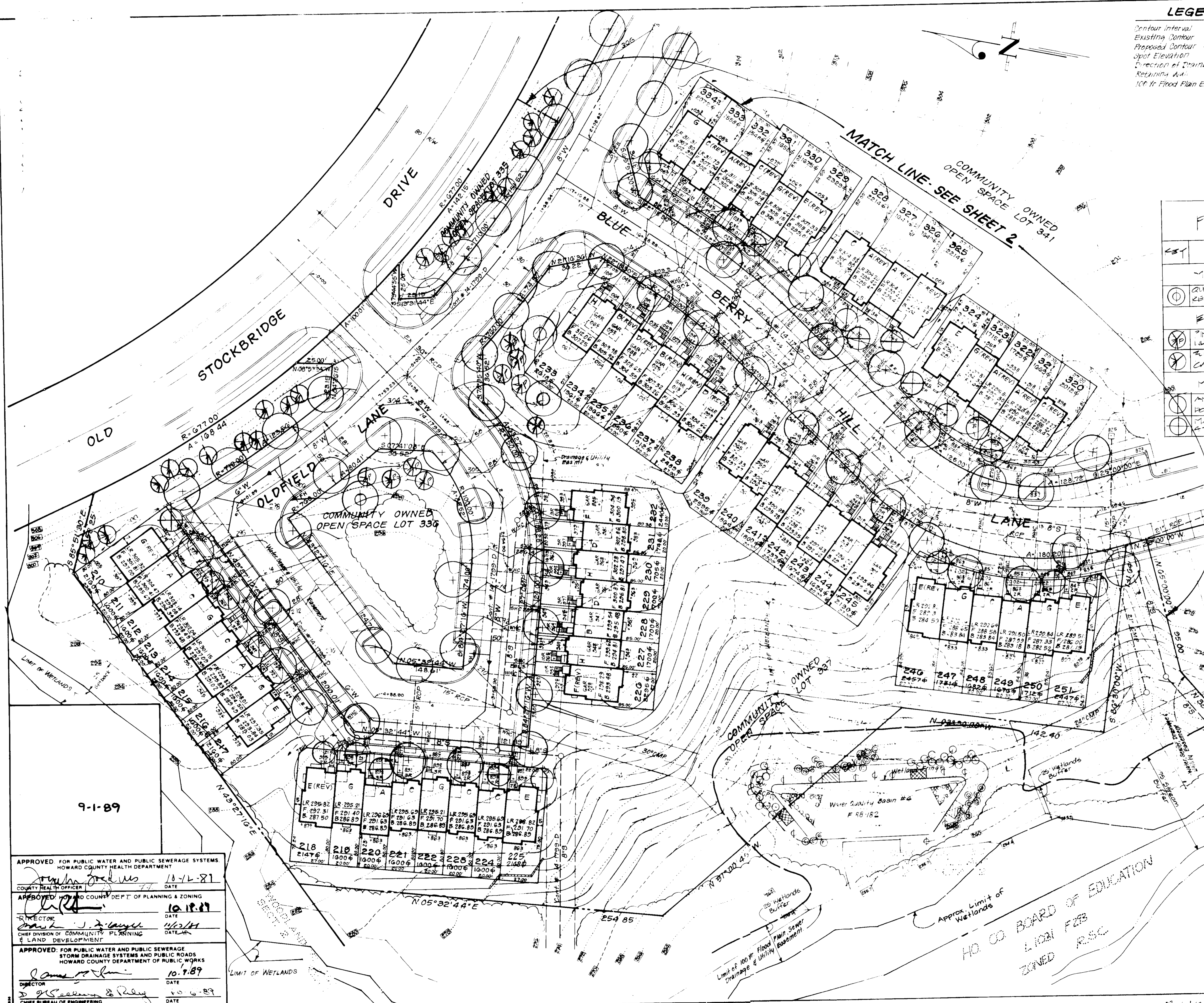
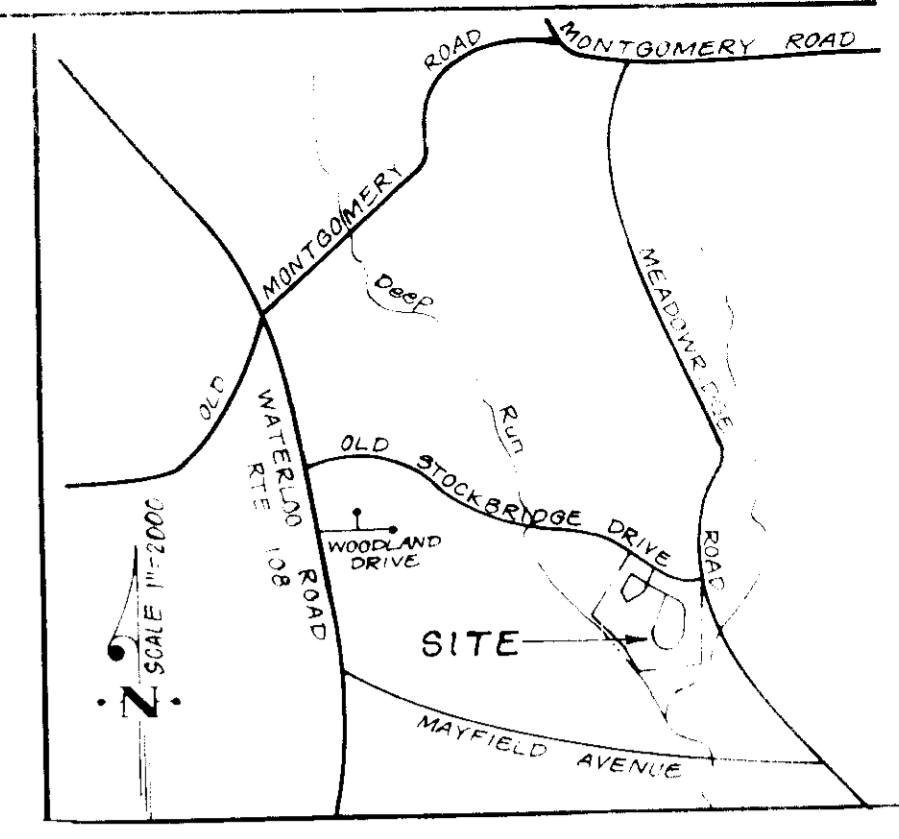
8100 Woodleaf Glen Ct.
Ellicott City, Md. 21043

June, 1989

SPP: 89-247

LEGEND:

Contour Interval	5 FT
Existing Contour	250
Proposed Contour	250
Spot Elevation	1905
Direction of Drainage	→
Retaining Wall	▬
100 Yr Flood Plan Elev	250.4



PLANT SCHEDULE

KEY	PLANT NAME	SIZE	QTY	REMARKS
MAJOR TREE				
⊕	QUERCUS LYRA	2 1/2" DIA	7	PLANT 1/20
EVERGREEN				
⊗	SPICE HYDRANGEA	2 1/2" DIA	20	PLANT 1/20
⊗	RUCCA CANADENSIS	2 1/2" DIA	60	
⊗	CANADIAN HEMLOCK	2 1/2" DIA	60	
MINOR TREE				
⊕	ATLANTIC CANADENSIS	2 1/2" DIA	100	PLANT 1/20
⊕	POPPY SHADBLOW	2 1/2" DIA	100	
⊕	MAGNOLIA STELLATA	2 1/2" DIA	17	

NOTES

⊕ STREET TREES ARE 4' HOLES AT ROAD CONSTRUCTION PLAN

PLANT SCHEDULE FOR WETLAND BY GUYTON #2

KEY	PLANT NAME	SIZE	QTY	REMARKS
⊕	CORNUS FLORIDA	2 1/2" DIA	25	
⊕	SPICE HYDRANGEA	2 1/2" DIA	25	
⊕	VERBENUM OBLIQUE	2 1/2" DIA	25	
⊕	EUROPAEA ANTHEMIS	2 1/2" DIA	25	
⊕	SANTALINA LITorea	2 1/2" DIA	25	
⊕	ICE CUBE	2 1/2" DIA	25	
⊕	WOOD RIBBON	2 1/2" DIA	25	
⊕	COMMON TWIG DOGWOOD	2 1/2" DIA	25	
⊕	WILLOW MOCCOSINENSIS	2 1/2" DIA	25	
⊕	YEW	2 1/2" DIA	25	

9-1-89

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
Thomas J. Jones 10-1-81
COUNTY HEALTH OFFICER DATE

APPROVED FOR HOWARD COUNTY DEPT. OF PLANNING & ZONING
John J. Taylor 10-1-81
DIRECTOR DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
James R. Jones 10-1-89
DIRECTOR DATE

D. J. Coleman & P. J. Riley 10-6-89
CHIEF BUREAU OF ENGINEERING DATE

OWNER/DEVELOPER
Meadowland Joint
8100 Woodley Glen Ct
Ellicott City, Md
21043

CLARK • FINEFROCK & SACKETT, INC
ENGINEERS • PLANNERS • SURVEYORS

DATE: 10-1-89
DRAWN: R.J.G.
CHECKED: R.J.G.
DATE: 10-1-89

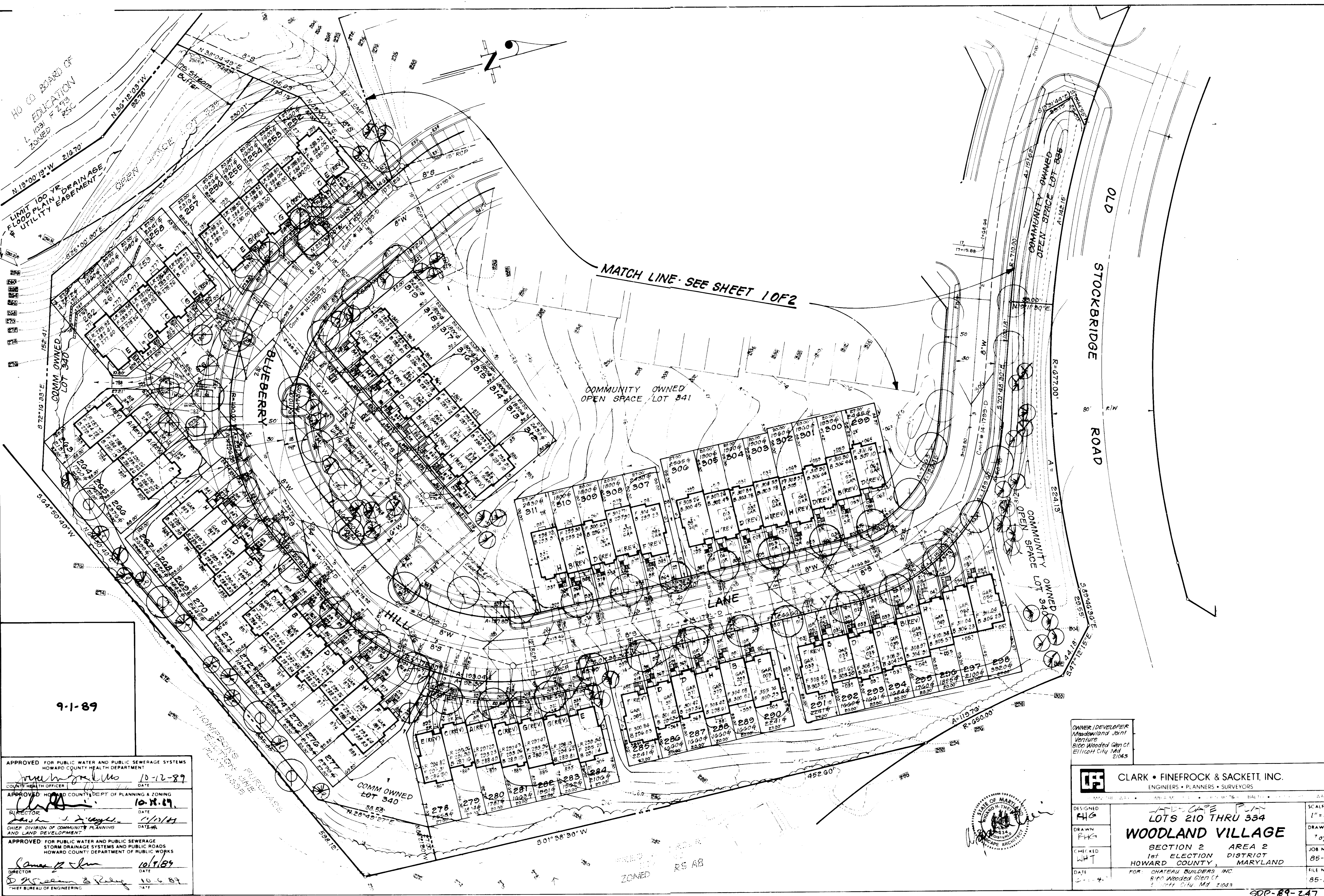
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JOB NO: 85-148
FILE NO: 85-148

WOODLAND VILLAGE
SECTION 2 AREA 2
1st ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

FOR: THEATRE BUILDERS, INC
8100 Woodley Glen Ct
Ellicott City, Md. 21043

SPP 89-247





APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER: *[Signature]* DATE: 10-12-89

APPROVED HOWARD COUNTY DEPT OF PLANNING & ZONING
 DIRECTOR: *[Signature]* DATE: 10-11-89
 CHIEF DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE
 STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR: *[Signature]* DATE: 10-11-89
 CHIEF BUREAU OF ENGINEERING

OWNER / DEVELOPER
 Mansions Joint Venture
 8100 Wooded Glen Ct
 Ellicott City, Md 21045

CLARK • FINEFROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS

DESIGNED: FHG
 DRAWN: FHG
 CHECKED: WHT
 DATE: 10-11-89

SCALE: 1" = 30'
 DRAWING: 7 of 7
 JOB NO: 85-148
 FILE NO: 85-148.1A

LANDSCAPE PLAN
 LOTS 210 THRU 334
WOODLAND VILLAGE
 SECTION 2 AREA 2
 1st ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

FOR: CHATEAU BUILDERS, INC.
 8100 Wooded Glen Ct
 Ellicott City, Md 21045