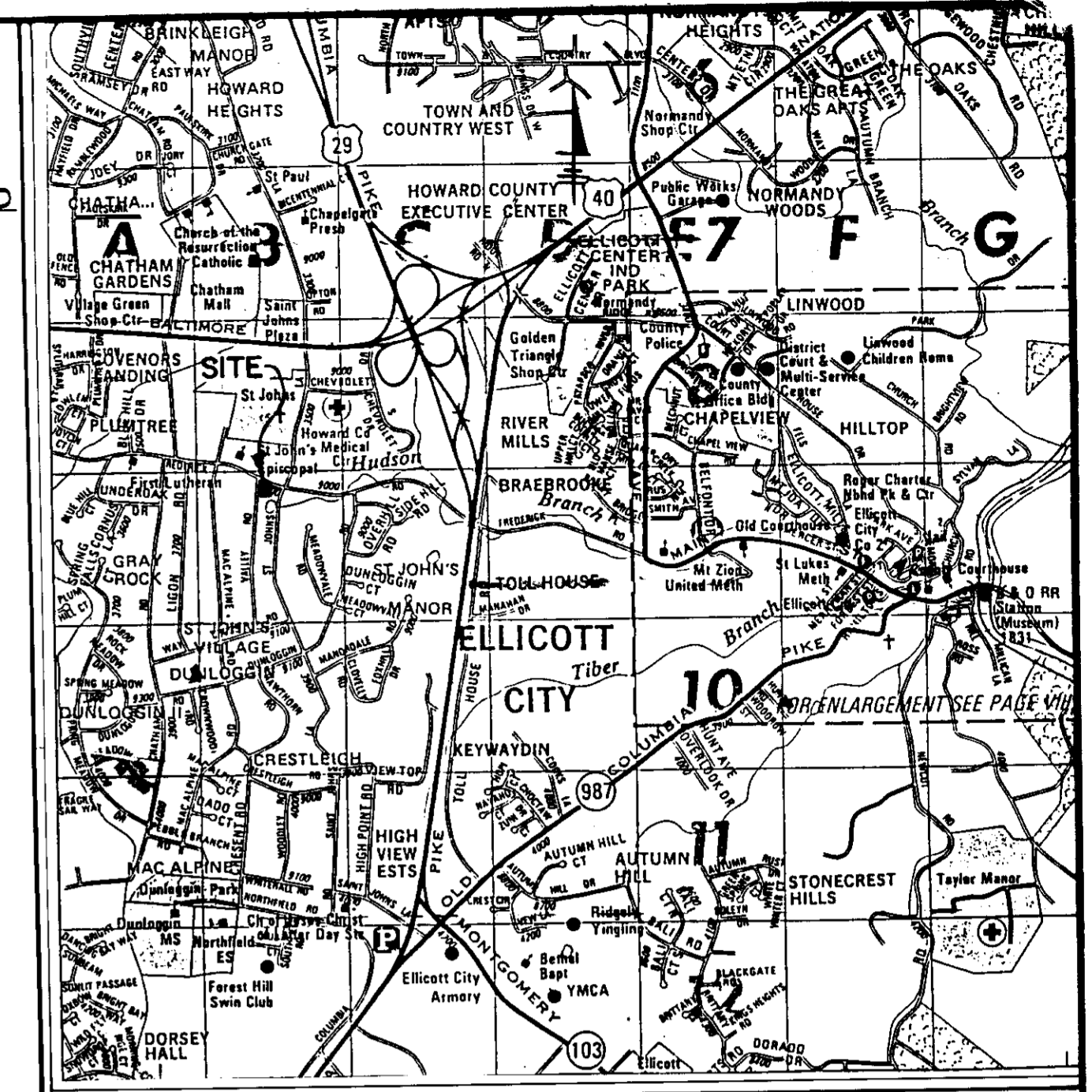


LEGEND

- DESCRIPTION**
- CONTOUR
 - SPOT ELEVATION
 - BUILDING
 - CONCRETE
 - BITUMINOUS PAVING
 - CONCRETE LIGHT BASE (NO LIGHT)
 - UTILITY POLE
 - SIGN
 - SHAUBS
 - DICIDIOUS TREE
 - EVERGREEN TREE
 - BENCH MARK
 - STORM DRAIN
 - STORM DRAIN MANHOLE
 - STORM DRAIN INLET
 - EXTERIOR LIGHT FIXTURE
- EXISTING PROPOSED**
- 385 --- 385 ---
+385.0



VICINITY MAP
SCALE: 1"=2000'

- GENERAL NOTES**
- BENCH MARK FOR CONSTRUCTION - CHISEL "L" ON NORTHEAST CORNER OF CONCRETE BASE OF MANHOLE.
 - TOPOGRAPHY SHOWN IS BASED ON SURVEY PERFORMED BY WHITNEY, BAILEY, COX & MAGNANI DATED JULY 20, 1986.
 - ELEVATIONS SHOWN ARE BASED ON HOWARD COUNTY DATUM.

APPROVED
DEPARTMENT OF COMMUNITY PLANNING & LAND DEVELOPMENT
H. W. WALKER, MARCH 1989
DATE: 4-27-89

NOTES

- AREA OF PROPERTY: 0.465 AC ± OR 20,255.40 SQ. FT. DEED REFERENCE: 709/710 PLAT NO. 3663, MACALPINE, BLOCK A, LOT 32.
- PRESENT ZONING: B-1
- OPEN SPACE - 47.9% OR 0.223 AC.
- EXISTING BUILDING COVERAGE - 2047 S.F. - 10%
PROPOSED BUILDING COVERAGE - 2123 S.F. - 10.5%
TOTAL BUILDING COVERAGE - 4170 S.F. - 20.5%
- USE OF PROPOSED BUILDING ADDITION - MEDICAL FACILITY FOR VETERINARY HOSPITAL.
- TOTAL NUMBER OF EMPLOYEES - 10
BREAKDOWN: EXISTING PROPOSED
a. VETERINARIAN 4 0
b. CLERK 6 0
EMPLOYEES ON SITE ON MAJOR SHIFT:
4. VETERINARIAN - 2 b. CLERK - 3; TOTAL EMPLOYEES ON SITE - 5
- FLOOR AREA: a. EXISTING BUILDING - 1st FLOOR - 2047 S.F.
b. PROPOSED BUILDING ADDITION - 1st FLOOR - 2123 S.F.
2nd FLOOR - 1140 S.F.
TOTAL FLOOR AREA = 5310 S.F.
- PARKING ANALYSIS:
a. PARKING SPACES REQUIRED ON MAJOR SHIFT:
2 VETERINARIAN ON SITE - 4 P.S. / 1 VET. = 8 P.S.
3 CLERK ON SITE - 1 P.S. / 1 CLERK = 3 P.S. TOTAL REQUIRED - 11 P.S.
b. PARKING SPACES PROVIDED:
EXISTING PARKING SPACES - 10 P.S.
PROPOSED PARKING SPACES - 2 P.S. (INCLUDING H.C.)
TOTAL - 12 P.S.
- THE EXISTING EXTERIOR LIGHTING FIXTURE ATTACHED TO THE BUILDING SHALL BE REFLECTED/DIRECTED AWAY FROM ADJACENT RESIDENTIALLY ZONED PROPERTIES AND PUBLIC ROAD RIGHT OF WAY LINES.
- Record Plat No. 8628

DEMOLITION NOTES

- D-1 REMOVE EXISTING PAVING
- D-2 REMOVE EXISTING TREE
- D-3 RELOCATE EXISTING UTILITY FIXTURE
- D-4 REMOVE CONCRETE CURB AND REPLACE WITH BITUMINOUS PAVING.

PLANT LIST

KEY	QUAN.	BOTANICAL NAME COMMON NAME	SIZE	ROOT	REMARKS
PN	30	PINUS NIGRA / AUSTRIAN PINE	6-8'	B&B	
TC	6	TILIA CORDATA 'GREENSPIRE' / GREENSPIRE LINDEN	6-8'	B&B	PLANT 30" O.C.:
IC	32	ILEX CRENATA COMPACTA / COMPACT JAPANESE HOLLY	15-18"	CONT.	
VS	36	VIBURNUM SETIGERUM / TEA VIBURNUM	2-3'	CONT. OR B & B	
EF	875	EUONYMUS FORTUNE LONGWOOD / LONGWOOD EUONYMUS	6"	2" POTS	PLANT 8" O.C.

PLAN
SCALE: 1"=20'

GENERAL NOTES

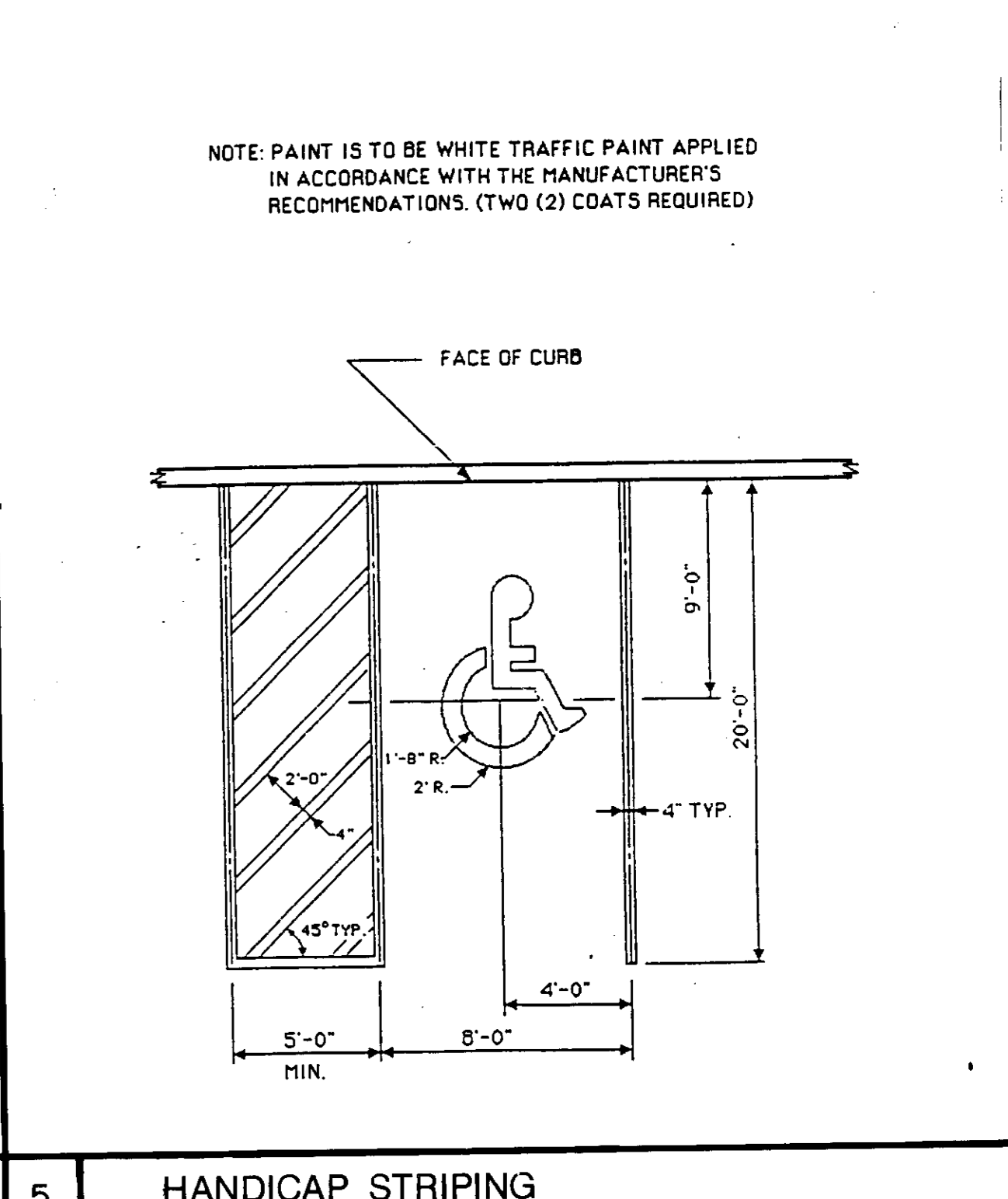
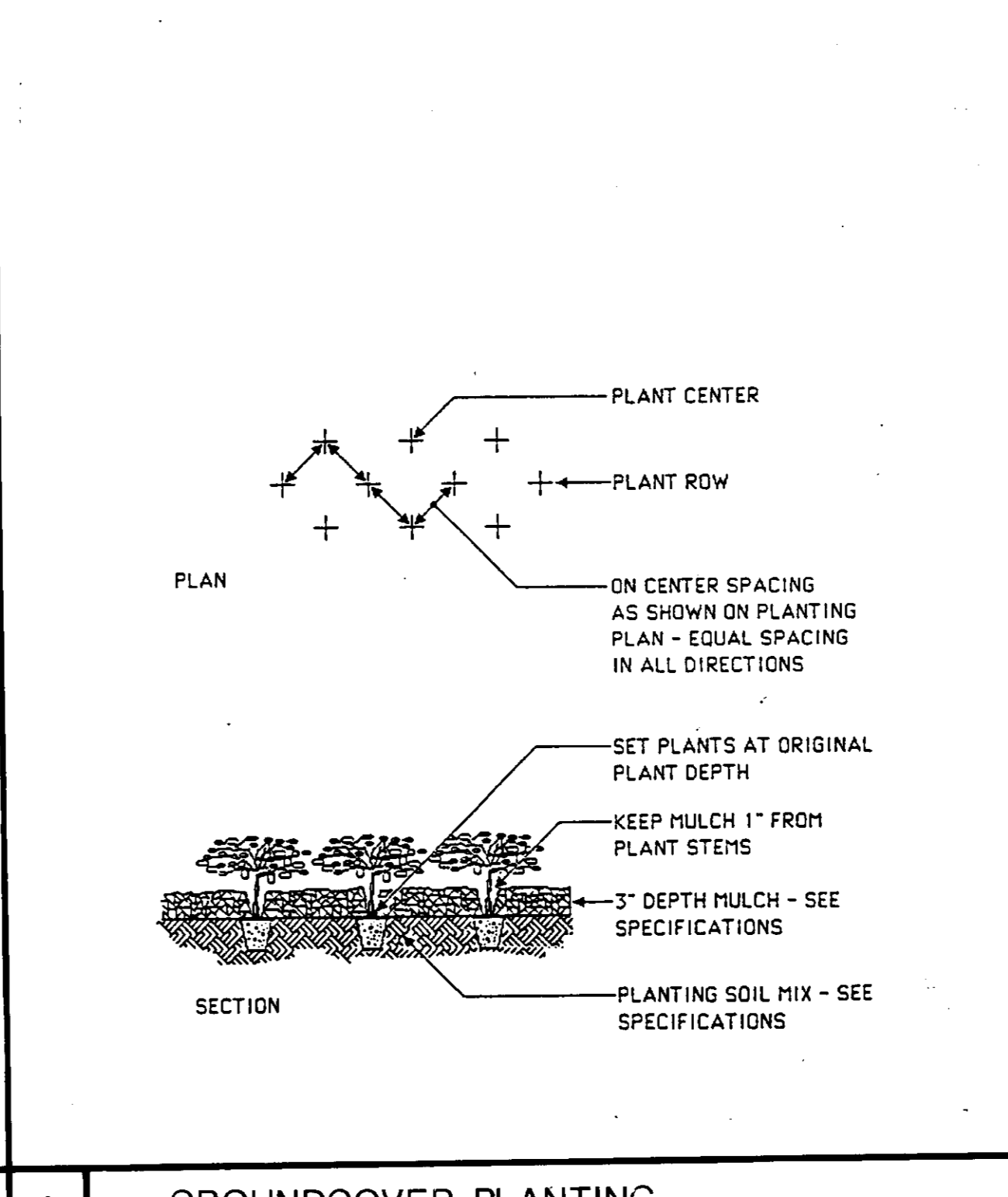
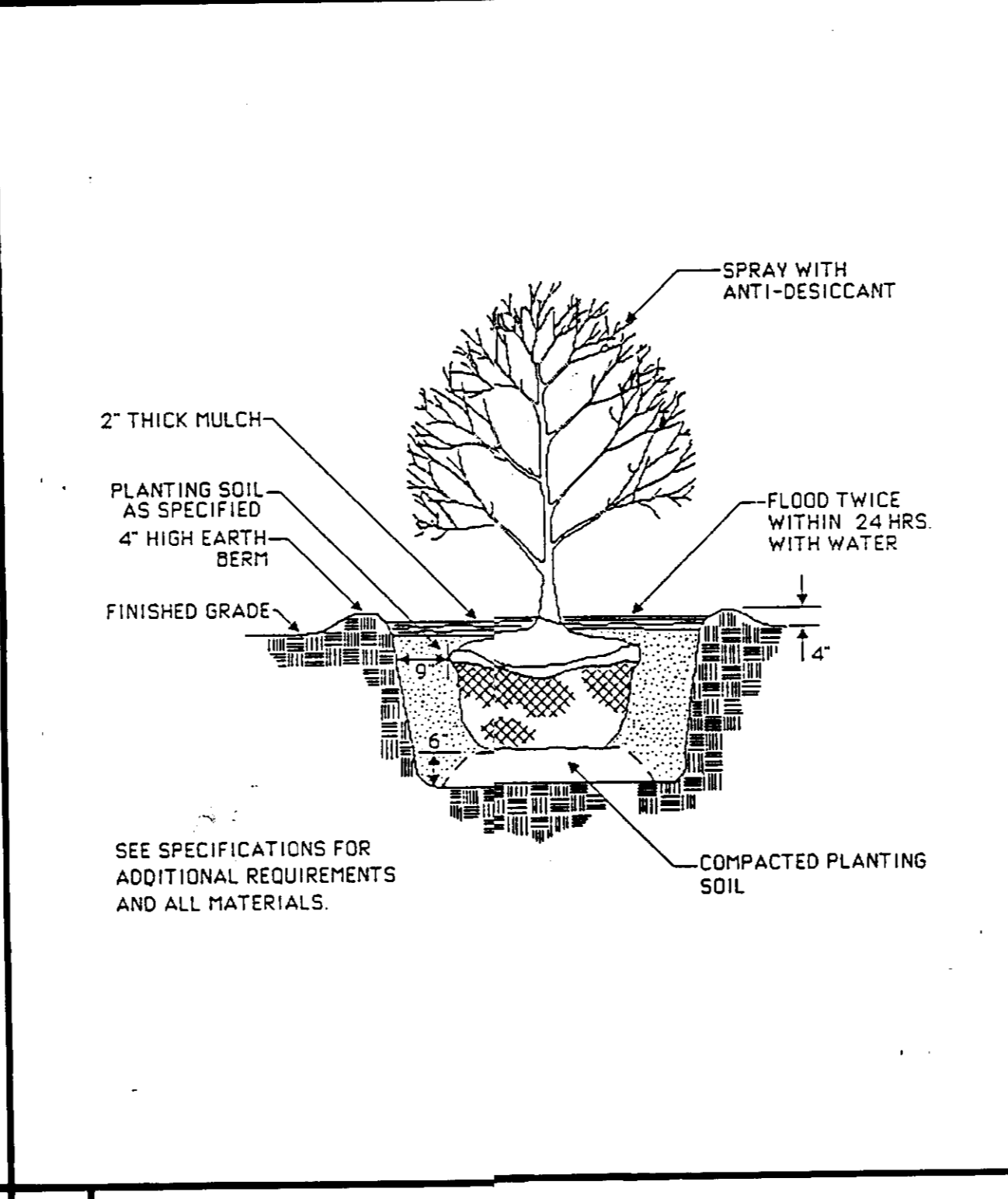
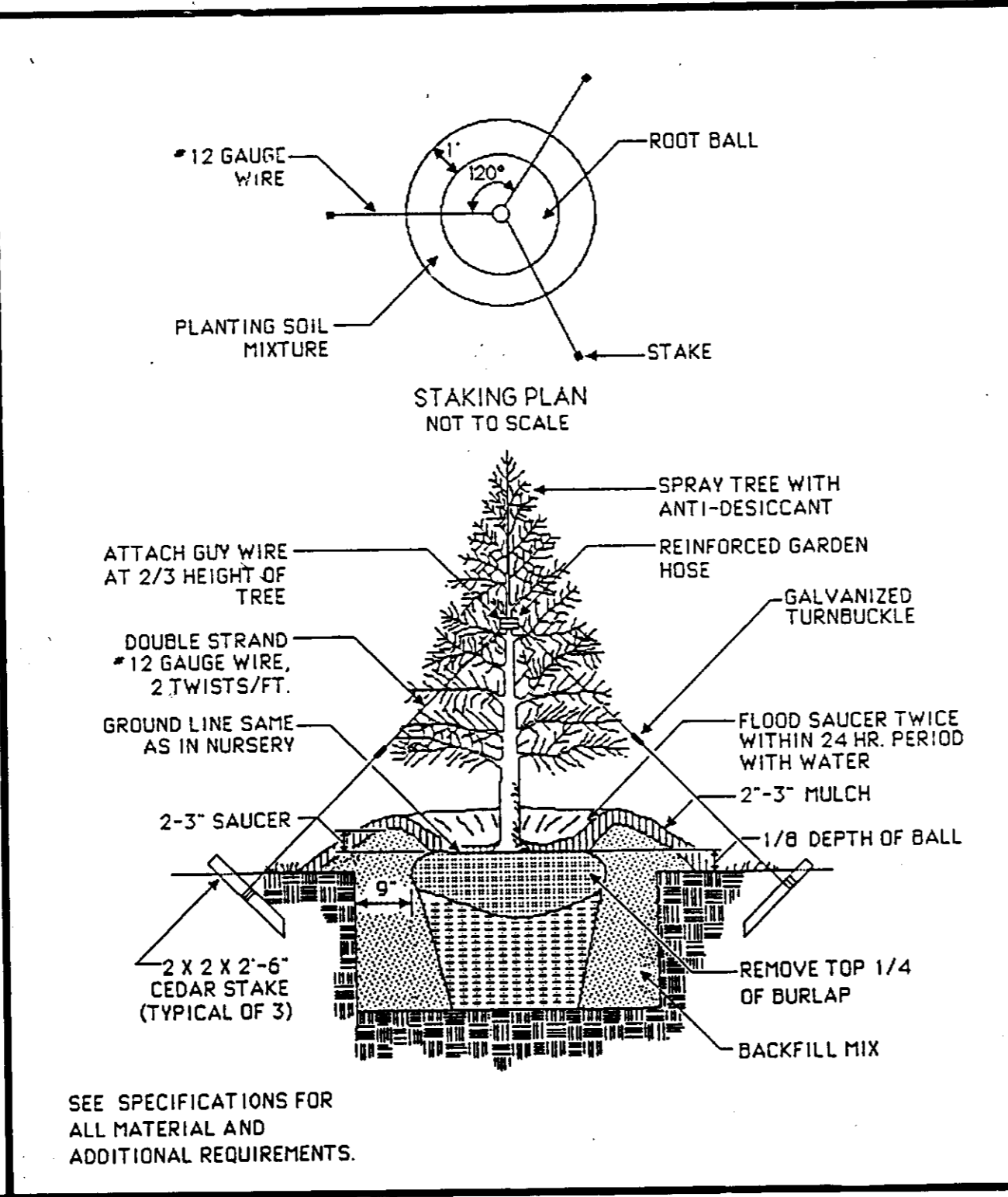
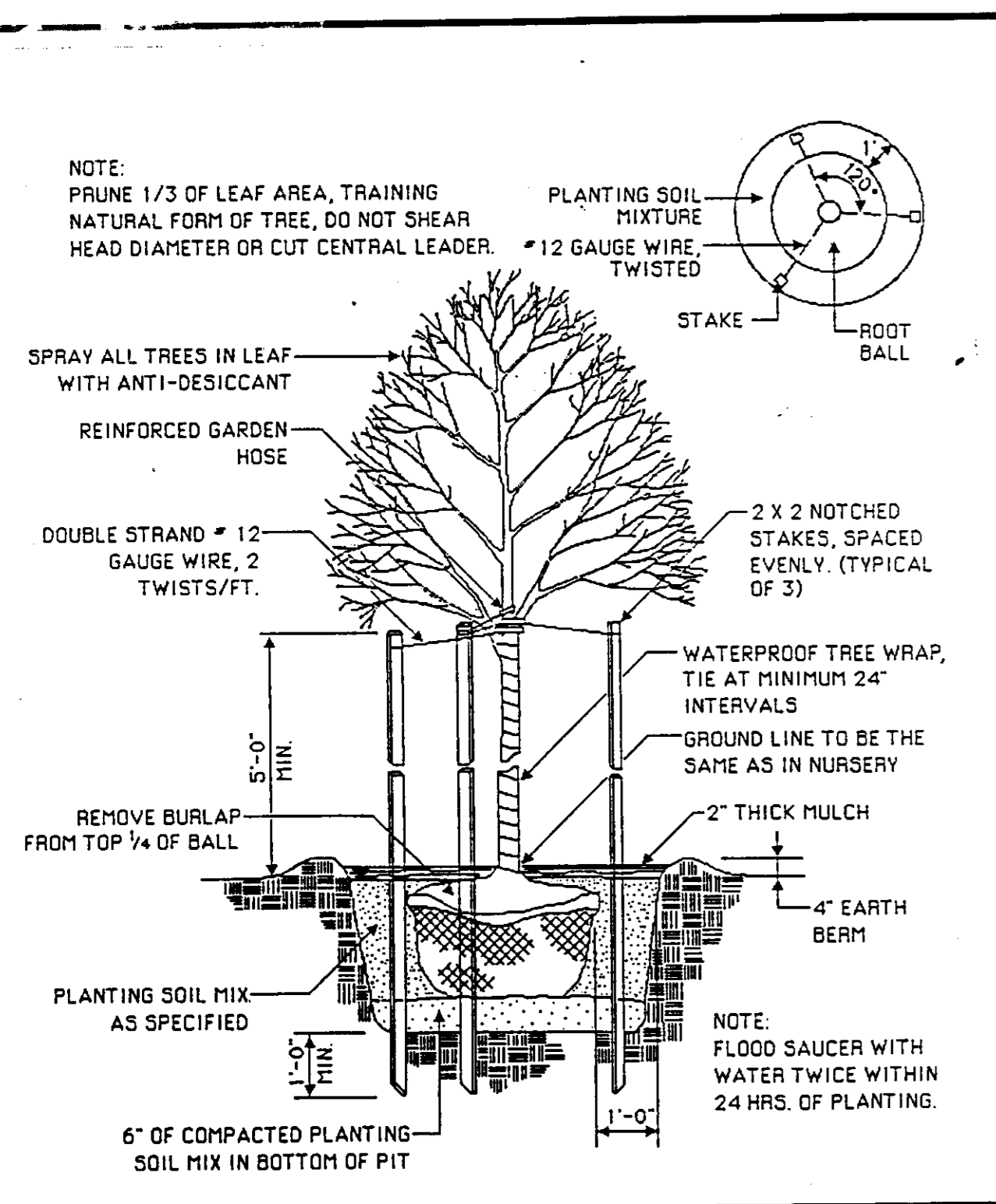
- QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN, "AMERICAN STANDARDS FOR NURSERY STOCK".
- CONTRACTOR SHALL BE REQUIRED TO GUARANTEE ALL PLANTS MATERIALS FOR A PERIOD OF ONE YEAR AFTER INSTALLATION IS COMPLETE AND APPROVED. AT THE END OF ONE YEAR ALL PLANT MATERIAL WHICH IS DEAD OR DYING SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH PLANT MATERIAL OF IDENTICAL TYPE, SIZE AND CONDITION AS ORIGINALLY SPECIFIED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND MAY MAKE MINOR ADJUSTMENTS IN SPACING AND/OR LOCATION OF PLANT MATERIALS TO AVOID CONFLICTS WITH UTILITIES. COORDINATE WITH UTILITY CONTRACTOR TO VERIFY 'AS BUILT' LOCATION OF ALL UTILITIES.
- EVERGREEN TREES SHALL HAVE A FULL, WELL-BRANCHED, CONICAL FORM TYPICAL OF THE SPECIES.

REVIEWED FOR: N.A. S.C.D. AND MEETS TECHNICAL REQUIREMENTS.
U.S. SOIL CONSERVATION SERVICE DATE
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
HOWARD S.C.D. DATE

NOTE: THIS DEVELOPMENT IS EXEMPTED FROM THE PROVISIONS OF SUBTITLE 9, SECTION 18902 AND THE REQUIREMENTS OF PROVIDING STORM WATER MANAGEMENT. THIS DEVELOPMENT WILL DISTURB 4000 S.F. OF LAND AREA WHICH IS LESS THAN 5000 S.F. ALLOWED BY THE SWM REQUIREMENT AND ALSO 85 C.Y. OF DIRT WILL BE EXCAVATED.

ADDRESS CHART

LOT 32	9105 FREDERICK ROAD				
SUBDIVISION NAME	MACALPINE G.L.K. A				
SECT./AREA	LOT/PARCEL # 32				
PARCEL					
PLAT #	BLOCK #	ZONE	TAX/ZONE MAP	ELEC. DIST.	CENSUS TR.
8628	11	B-1	24	2ND	6023.01
3663					
WATER CODE	F-07	SEWER CODE	1402800		
APPROVED: FOR PUBLIC WATER AND SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS					
Director: [Signature]					7-7-89
DATE: 7-7-89					
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWER SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT					
City Health Officer: [Signature]					7/11/89
DATE: 7/11/89					
APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING					
Planning Director: [Signature]					7.29.89
DATE: 7.29.89					
APPROVED: DIVISION OF COMMUNITY PLANNING AND DEVELOPMENT					
Chief: [Signature]					7/13/89
DATE: 7/13/89					
2-6-89	REVISED AS PER HO.CO. COMMENTS				
DATE: NO.	REVISION				
OWNER:					
JOHN PAUL O'MARA 9105 FREDERICK ROAD ELLICOTT CITY, MD 21043					
PROJECT: MACALPINE, BLOCK A, LOT 32 PLAT NO. 3663, F-77-25 F-89-121, PLAT NO. 8628					
DUNLOGGIN VETERINARY HOSPITAL BUILDING ADDITION					
2ND ELECTION DISTRICT			HOWARD COUNTY MARYLAND		
TAX MAP NO. 24			ZONING MAP NO. 24		
ENGINEERS: WHITNEY, BAILEY, COX & MAGNANI CONSULTING ENGINEERS 1850 YORK ROAD TIMONIUM, MD. 21093 (301) 252-8080					
DESIGNED: A.R.					
DRAWN: G.G.					
CHECKED: B.J.					
DATE: 12/21/88					
SCALE: 1"=20'					
DRAWING NO: C-1 of 2 SDP-89-128					



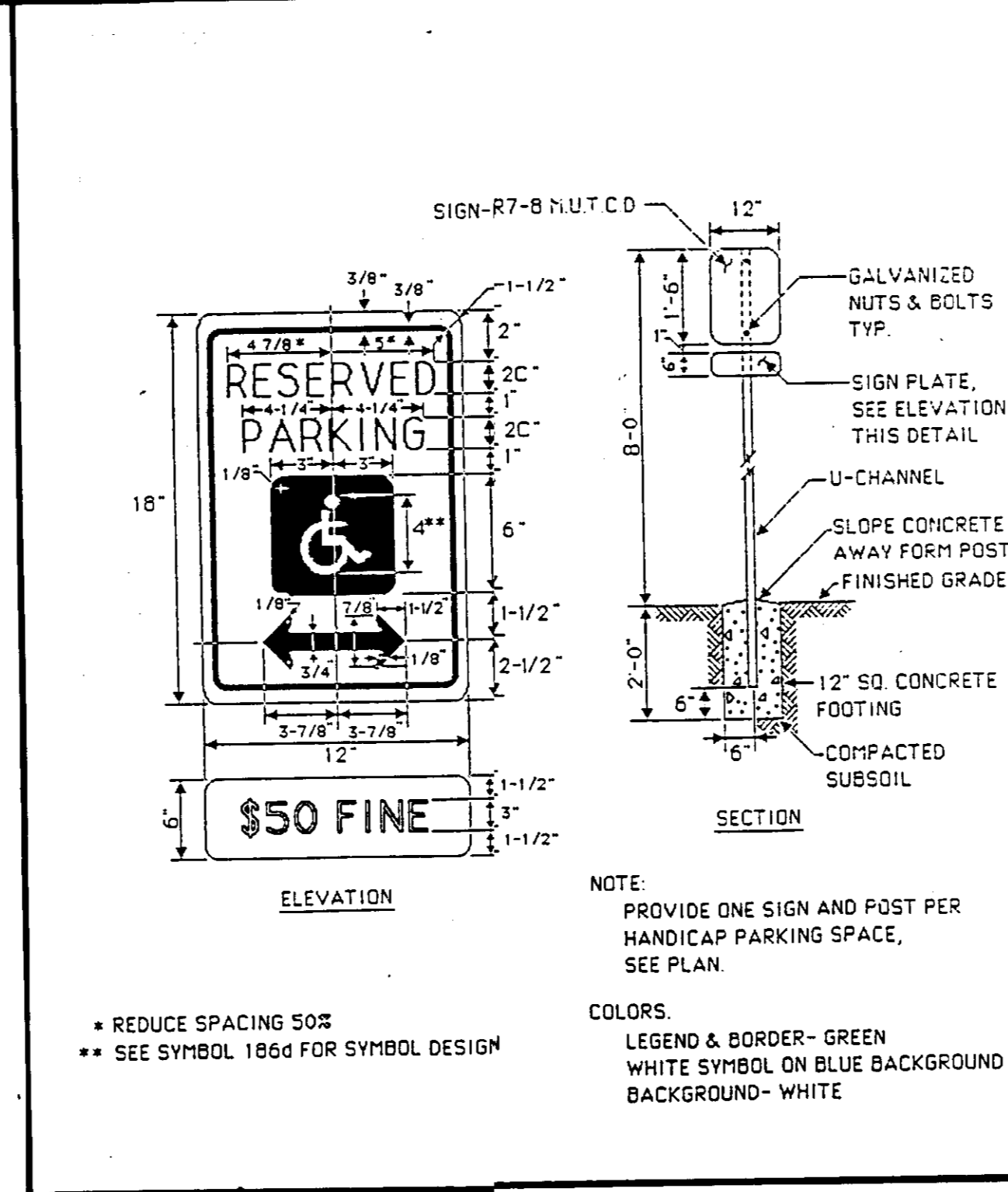
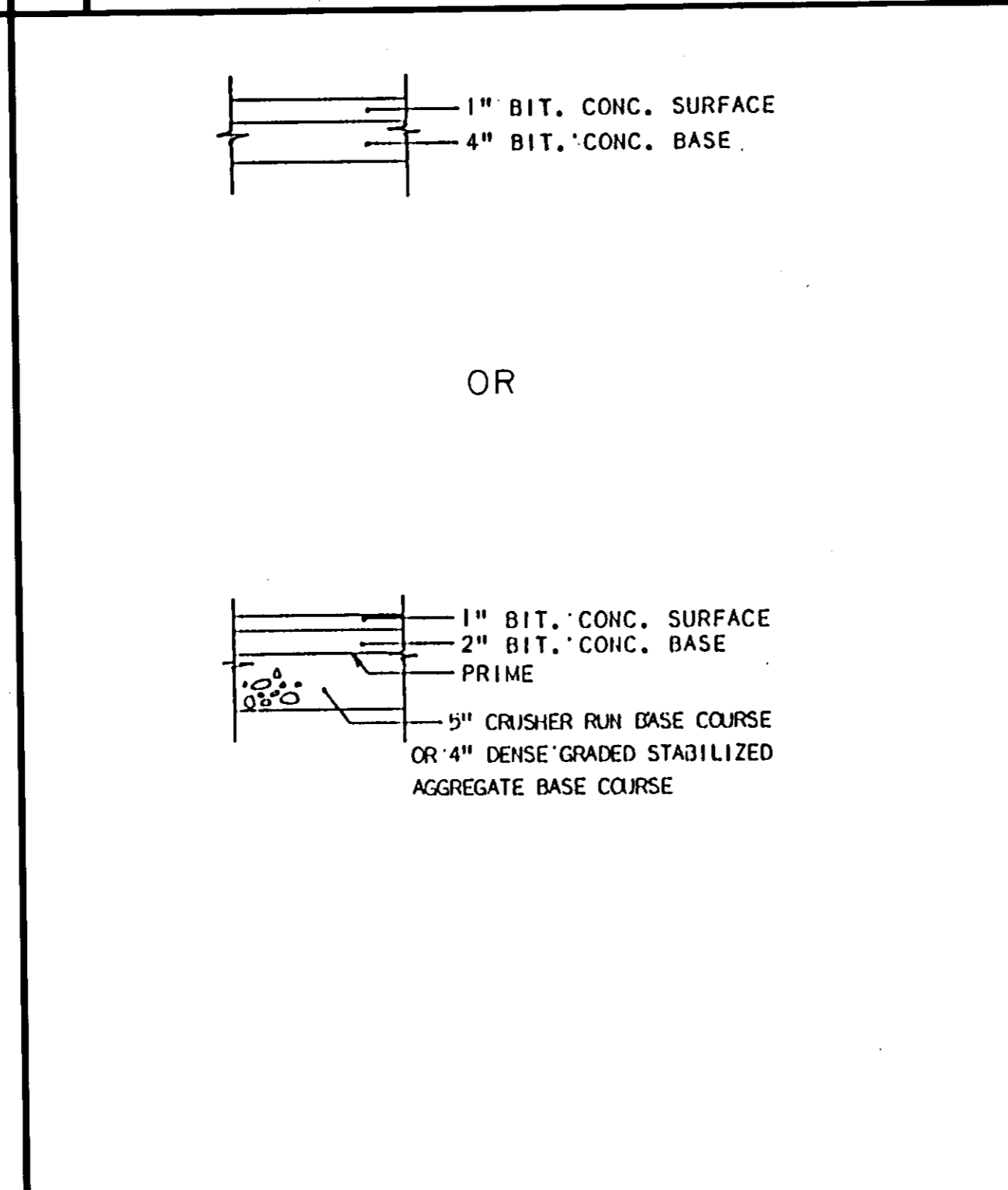
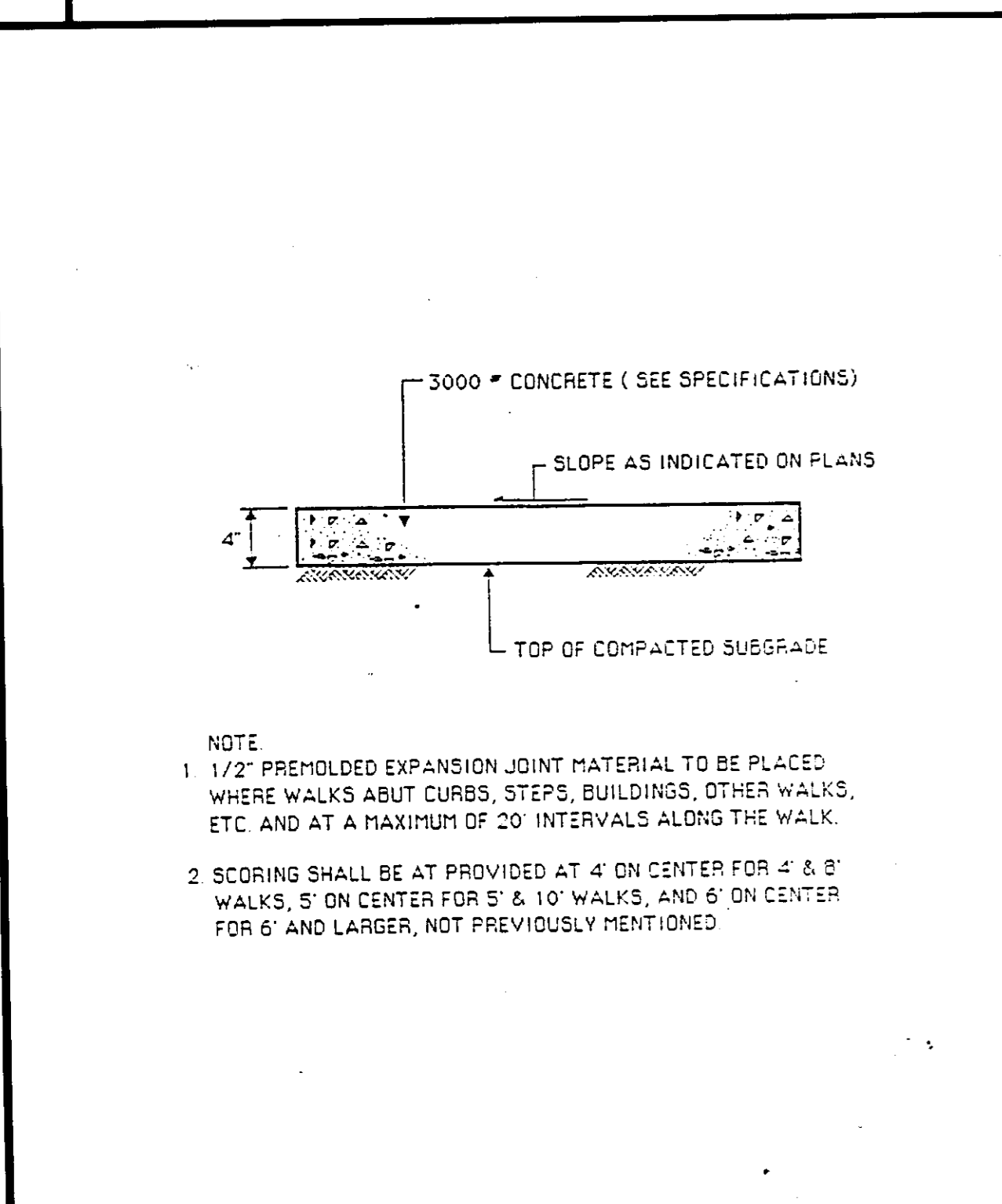
1 TREE PLANTING AND STAKING

2 EVERGREEN TREE DETAIL

3 SHRUB PLANTING DETAIL

4 GROUNDCOVER PLANTING

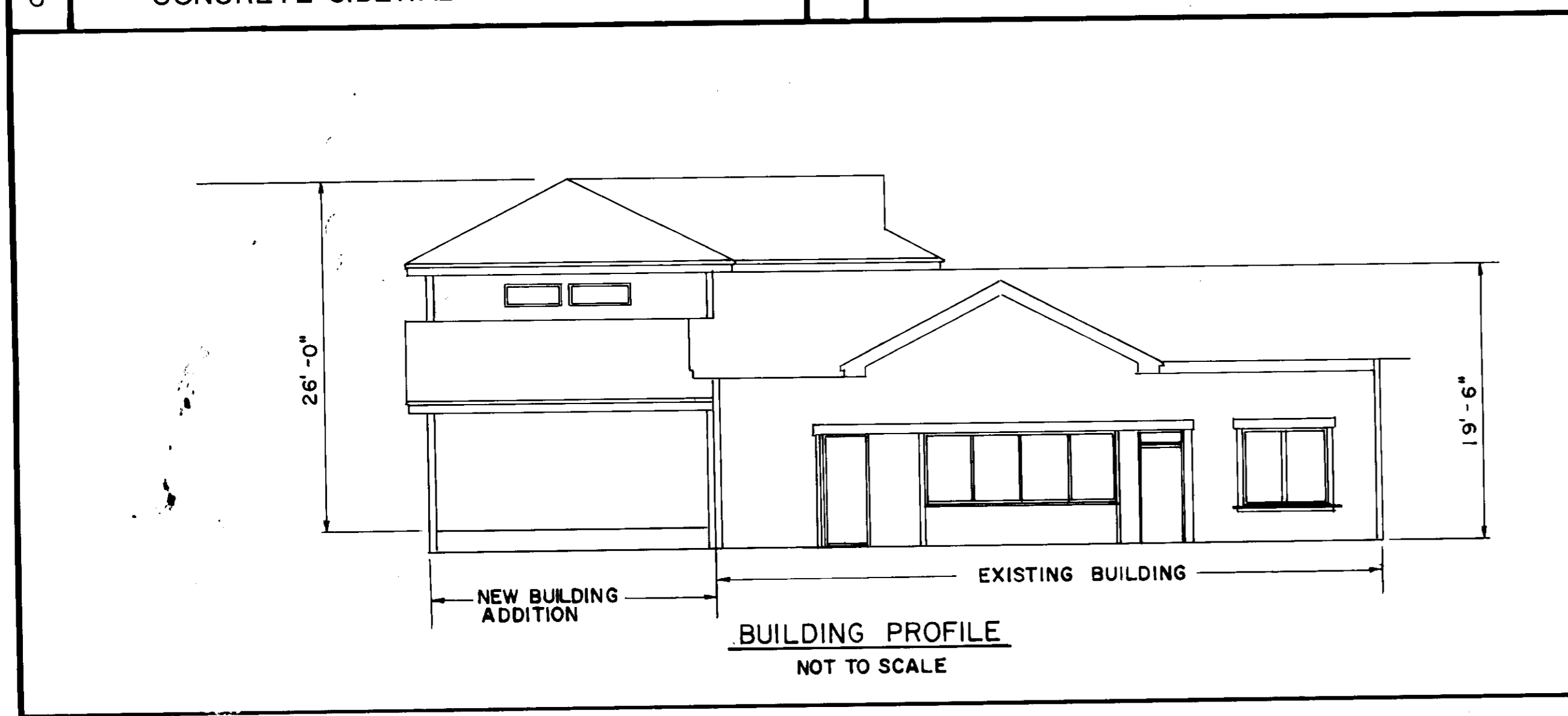
5 HANDICAP STRIPING



6 CONCRETE SIDEWALK

7 PAVING DETAILS

8 HANDICAP SIGN



ADDRESS CHART					
LOT 32		9105 FREDERICK ROAD			
SUBDIVISION NAME	MAC ALPINE BLK. A	SECT./AREA	LOT/PARCEL # 32		
PLAT #	BLOCK #	ZONE	TAX/ZONE MAP	ELEC. DIST.	CENSUS TR.
8628	11	B-1	24	2ND	6023.01
3663					
WATER CODE	F-07	SEWER CODE	1402800		
APPROVED: FOR PUBLIC WATER AND SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS					
Director: <i>Richard Beaman for JMT</i>					7-7-89
DATE: 7-7-89					DATE: 7-7-89
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWER SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT					
Health Officer: <i>James M. England for JMT</i>					7/11/89
DATE: 7-24-89					DATE: 7-24-89
APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING					
Planning Director: <i>David J. J. J. J.</i>					7/13/89
DATE: 7/13/89					DATE: 7/13/89

APPROVED
DIVISION OF
COMMUNITY PLANNING
& LAND DEVELOPMENT
HOWARD COUNTY,
MARYLAND
DATE: 4-27-89

2-6-89 REVISED AS PER HO. CO. COMMENTS

DATE: NO. REVISION

OWNER: JOHN PAUL O'MARA
9105 FREDERICK ROAD
ELLCOTT CITY, MD 21043

PROJECT: MACALPINE, BLOCK A, LOT 32 PLAT NO. 3663, F-77-25
F-89-121, PLAT NO. 8628

DUNLOGGIN VETERINARY HOSPITAL
BUILDING ADDITION

2ND ELECTION DISTRICT HOWARD COUNTY MARYLAND
TAX MAP NO. 24 ZONING MAP NO. 24

ENGINEERS: WHITNEY, BAILEY, COX & MAGNANI
CONSULTING ENGINEERS
1850 YORK ROAD
TIMONIUM, MD. 21093
(301) 252-6060

DESIGNED: A.R.
DRAWN: G.G.
CHECKED: B.J.
DATE: 12/21/88
SCALE: NOT TO SCALE
DRAWING NO: C-2 of 2
SDP-89-128