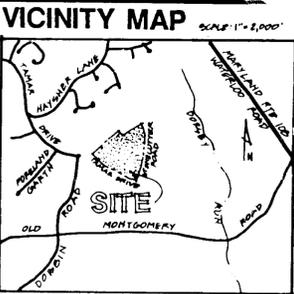


SITE DEVELOPMENT PLANS FOR ASHTON MEADOW



DEVELOPER/OWNER

SUMMIT PROPERTIES
203 FRANCIS SCOTT KEY HIGHWAY
BALTIMORE, MARYLAND 21230

SITE ANALYSIS

- NOTES:
- SITE ANALYSIS
 - AREA OF PARCEL: 10.8 ACRES; 470448 SQ. FT.
 - PRESENT ZONING: NEW TOWN - APARTMENTS HOWARD COUNTY FILE #S-89-21 REFERENCE: WP-89-25
 - NUMBER UNITS ALLOWED: 176 D.U.
 - NUMBER UNITS PROVIDED: 176 D.U.
 - MINIMUM SQUARE FOOT FLOOR AREA OF APARTMENTS:
 - 1 BEDROOM 748 S.F.
 - 2 BEDROOM/DEN 819 S.F.
 - 3 BEDROOM 970 S.F.
 - 4 BEDROOM/DEN 1124 S.F.
 - MAXIMUM NUMBER OF EMPLOYEES ON SITE PER USE: 6
 - PARKING SPACES REQUIRED: 271
 - PARKING SPACES PROVIDED: 278
 - OPEN SPACE (GREEN AREA) TO REMAIN ON SITE: 335651 S.F. AREA AND 71.38.
 - BUILDING COVERAGE OF SITE: 61927 S.F. AND 13.24.
 - WATER SERVICE TO BE PUBLIC
 - SEWER SERVICE TO BE PUBLIC
 - STORMWATER MANAGEMENT TO BE OFFSITE
 - EXISTING 100 YEAR FLOOD PLAIN OCCURS AT ELEVATION 173.0
 - APPLICABLE PLANNING AND ZONING FILES:
 - F-88-171 FINAL PLAN
 - WP-89-25 WAIVER PETITION
 - FDP-197A FINAL DEVELOPMENT PLAN CRITERIA
 - WAIVER PETITION ADDRESSES THE FOLLOWING:
 - 1) WAIVER OF PRELIMINARY PLAN SUBMISSION
 - 2) WAIVER OF REQUIREMENT FOR SPECIFIC SIDEWALKS
 - EXISTING VEGETATION COMPRISED OF SECOND GROWTH MIXED HARDWOODS AND SOFTWOODS, 15-40' HEIGHT.
 - ALL RECREATION FACILITIES ARE INTENDED FOR THE RESIDENTS AND GUESTS OF ASHTON MEADOW ONLY.
 - PROPOSED STREET NAMES: (SUBJECT TO APPROVAL)
 - GREYSTONE LANE
 - COBBLEFIELD DRIVE
 - AUTUMN RIDGE DRIVE
 - ALL RETAINING WALLS ARE LESS THAN 3' IN HEIGHT MEASURED FROM BOTTOM OF WALL TO TOP OF WALL, AT THE HIGHEST POINT
 - A TRAFFIC STUDY FOR THIS PARCEL HAS BEEN PREVIOUSLY SUBMITTED UNDER F-88-171.
 - WATER QUALITY CERTIFICATION FROM THE MARYLAND STATE HEALTH DEPARTMENT AND SECTION 404 PERMITS FROM THE ARMY CORP OF ENGINEERS HAVE BEEN ACQUIRED IN ACCORDANCE WITH FDP-197A AND F-88-171.
 - ALL MATERIALS AND CONSTRUCTION TO BE IN ACCORDANCE WITH HOWARD COUNTY ROAD CONSTRUCTION CODE AND SPECIFICATIONS.
 - ANY DAMAGE TO COUNTY OWNED RIGHTS-OF-WAY TO BE CORRECTED AT THE DEVELOPER'S EXPENSE.
 - INSTALLATION OF TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL".
 - THE CONTRACTOR OR DEVELOPER SHALL CONTACT THE CONSTRUCTION INSPECTION SURVEY DIVISION 24 HOURS IN ADVANCE OF WORK (410-2417 OR 792-7272).
 - ALL DOWNSPOUT DRAINS SHALL BE HANDLED BY DOWNSPOUT TO SPLASH BLOCKS AND DISCHARGED TO GROUND HAVING GOOD PERCOLATION.
 - THE DEVELOPER AGREES TO WORK WITH DEPARTMENT OF LICENSES & INSPECTION TO RESOLVE ANY PROBLEMS CAUSED BY ROCK WATER DISCHARGE.
 - MINIMUM BUILDING SETBACK RESTRICTIONS FROM PROPERTY LINES AND RIGHTS-OF-WAY OF ANY PUBLIC ROAD AND STREET ARE IN ACCORDANCE WITH FOP 1978, PART 11 FOR NEW TOWN APARTMENT ZONE.
 - ALL INTERIOR ROADS ARE TO BE PRIVATE.
 - TOPOGRAPHY & STRUCTURE FOR OUTDOOR SUBSTATION: VILLAGE OF LONGBEACH, PROVIDED BY WHITMAN & REYNOLDS & ASSOCIATES, 1304 ST. PAUL, ST. BALTIMORE, MD DATED OCTOBER 1, 1970.
 - ALL TOPOGRAPHIC SURVEY INFORMATION AND ROADWAY ENGINEERING FOR STREETS, ROAD AND TANK DRIVE PROVIDED BY FURZON AND MESHORE, 1024 N. CALVERT ST., BALTIMORE, MD.
 - BOUNDARY SURVEY AND TOPOGRAPHIC PROVIDED BY FISHER, COLLINS AND CARTER, INC., 8388 COURT AVE., ELLICOTT CITY, MD, JUNE 24, 1988.

SHEET INDEX

- | | |
|---|---|
| 1 SITE DATA SHEET | 10 DRAINAGE AREA MAP AND STORM DRAIN PLAN |
| 2 50 SCALE GRADING PLAN | 11 WATER AND SEWER PLAN |
| 3 50 SCALE LIGHTING AND DIMENSIONING PLAN | 12 ROAD PROFILES |
| 4 50 SCALE REQUIRED PLANTING PLAN | 13 ROAD PROFILES |
| 5 PLANTING NOTES, DETAILS AND PLANT LIST | 14 STORM DRAIN PROFILES |
| 6 SITE DETAILS | 15 SANITARY SEWER PROFILES |
| 7 SITE DETAILS | 16 WATER PROFILES |
| 8 SITE DETAILS | 17 SEDIMENT CONTROL PLAN |
| 9 COMPACTOR DETAILS | 18 SEDIMENT CONTROL DETAILS |

PARKING TABULATION

1 BR	59 ea.	X 1.5	=	88.5
2 BR	103 ea.	X 1.5	=	154.5
3 BR	14 ea.	X 2.0	=	28.0
				176 Total d.u.
				271.0 Total Required Spaces

270 Regular Spaces Required Provided
8 Handicapped Spaces Provided
278 total Spaces Provided

UNITS PER BUILDING

BUILDING NUMBER	NUMBER OF REGULAR UNITS	NUMBER OF HC UNITS	TYPE OF HC UNITS
1	18	0	
2	18	2	(1) 1BR, (1) 2BR
3	14	0	
4	6	0	
5	0	0	
6	16	0	
7	18	2	(1) 1BR, (1) 2BR
8	18	0	
9	16	0	
10	18	2	(1) 1BR, (1) 2BR
11	18	0	
12	16	1	(1) 1BR

TOTAL NUMBER OF 1 BEDROOM (BR) HANDICAPPED UNITS = 4
TOTAL NUMBER OF 2 BEDROOM (BR) HANDICAPPED UNITS = 3

DEVELOPER/OWNER:
SUMMIT PROPERTIES
203 FRANCIS SCOTT KEY HIGHWAY
BALTIMORE, MARYLAND 21230
(301) 234-0070

PRESENT OWNER:
HOWARD RESEARCH AND DEVELOPMENT
LAND COMPANY
THE ROUSE COMPANY BUILDING
COLUMBIA, MARYLAND 21044
(301) 992-6000

ENGINEER:
STV/LYON ASSOCIATES
21 GOVERNOR'S COURT
BALTIMORE, MARYLAND 21207
(301) 944-9112

ADDRESS CHART

LOT #	STREET ADDRESS	LOT #	STREET ADDRESS
Building 1	848 Greystone Lane	Building 6	848 Greystone Lane
Building 2	848 Greystone Lane	Building 7	848 Greystone Lane
Building 3	848 Greystone Lane	Building 8	848 Greystone Lane
Building 4	848 Greystone Lane	Building 9	848 Greystone Lane
Building 5	848 Greystone Lane	Building 10	848 Greystone Lane
Building 6	848 Greystone Lane	Building 11	848 Greystone Lane
Building 7	848 Greystone Lane	Building 12	848 Greystone Lane
Building 8	848 Greystone Lane		
Building 9	848 Greystone Lane		
Building 10	848 Greystone Lane		
Building 11	848 Greystone Lane		
Building 12	848 Greystone Lane		

Large Signature

<p>ENGINEER'S CERTIFICATE</p> <p>I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT</p> <p>SIGNATURE OF ENGINEER: <i>Samuel P. McElroy</i> DATE: 3-24-89</p>	<p>DEVELOPER'S CERTIFICATE</p> <p>I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.</p> <p>SIGNATURE OF DEVELOPER: <i>Samuel P. McElroy</i> DATE: 3-24-89</p>	<p>REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS</p> <p>DATE: 3-24-89</p> <p>U.S. SOIL CONSERVATION SERVICE</p> <p>THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT APPROVED</p> <p>SIGNATURE: <i>Stephen J. ...</i> DATE: 3-24-89</p>	<p>APPROVED OFFICE OF PLANNING AND ZONING</p> <p>DATE: 3-30-89</p> <p>PLANNING DIRECTOR: <i>U. P. ...</i></p> <p>CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT: <i>U. P. ...</i></p> <p>APPROVED HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS</p> <p>HEALTH OFFICER: <i>James M. ...</i> DATE: 3-24-89</p>	<p>APPROVED DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER AND SEWER AND STORM DRAINAGE SYSTEMS AND ROADS</p> <p>DATE: 3-15-89</p> <p>DIRECTOR, PUBLIC WORKS: <i>James M. ...</i></p> <p>CHIEF, BUREAU OF ENGINEERING: <i>U. P. ...</i></p> <p>DATE: 5-2-89</p>	<p>SUBDIVISION NAME: ASHTON MEADOW</p> <p>SECTION/AREA: 3/2 A</p> <p>PARCEL: 8103</p> <p>MAP: 36/37 B</p> <p>WATER CODE: G08</p> <p>SEWER CODE: 3550000</p> <p>DATE: 11-29-88</p>
--	--	---	--	--	---

Handwritten Signature

DATE: 11-29-88
PROJECT NO: 87547
REVISIONS:
REVISED 1-16-89
REVISION 3-22-89

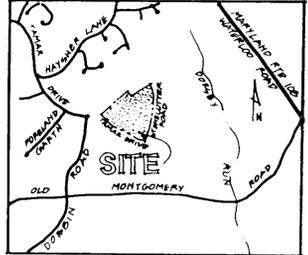
VILLAGE OF LONG BEACH, SECTION 3, AREA 2, PARCEL A

1701 East Boulevard Charlotte, NC 28203
1216 Ponce Street Alexandria, VA 22304
225 Hainborough Street Raleigh, NC 27602

Land Design
Landscape Architecture Land Planning
Urban Design

SHEET NO 1 OF 18
SCALE AS SHOWN
DATE 11-29-88
DISTRICT

VICINITY MAP SCALE: 1"=2,000'



ASHTON MEADOW

NOTE:
FIELD ADJUSTMENTS IN GRADING & LOCATION OF RETAINING WALLS MAY BE REQUIRED DUE TO LOCATION OF EXISTING TREES. CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT PRIOR TO CLEARING.

LEGEND

- BUILDING NUMBER
- BUILDING TYPE
- FINISHED FLOOR ELEVATION
- PROPOSED SPOT ELEVATION
- HIGH POINT
- BREAK POINT
- PROPOSED SHALE
- EXISTING CONTOURS
- STAIRS W/ELEVATIONS
- TIMBER RETAINING WALLS W/ ELEVATIONS (SMG = STEP WITH GRADE)
- WOOD WALK OVER FLUME
- PEDESTRIAN BRIDGE OVER SWALE
- EXISTING TREES TO REMAIN
- HANDICAP PARKING
- CHECKER PLATE
- CURB RAMP
- STEM WALL
- WOOD DECK
- LIMITS OF DISTURBANCE

DEVELOPER/OWNER:
SUMMIT PROPERTIES
203 FRANCIS SCOTT KEY HIGHWAY
BALTIMORE, MARYLAND 21230
(301) 234-0070

PRESENT OWNER:
HOWARD RESEARCH AND DEVELOPMENT
LAND COMPANY
THE ROUSE COMPANY BUILDING
COLUMBIA, MARYLAND 21044
(301) 992-6000

ENGINEER:
STV/LYON ASSOCIATES
21 GOVERNOR'S COURT
BALTIMORE, MARYLAND 21207
(301) 944-9112

Scale: 1"=50'

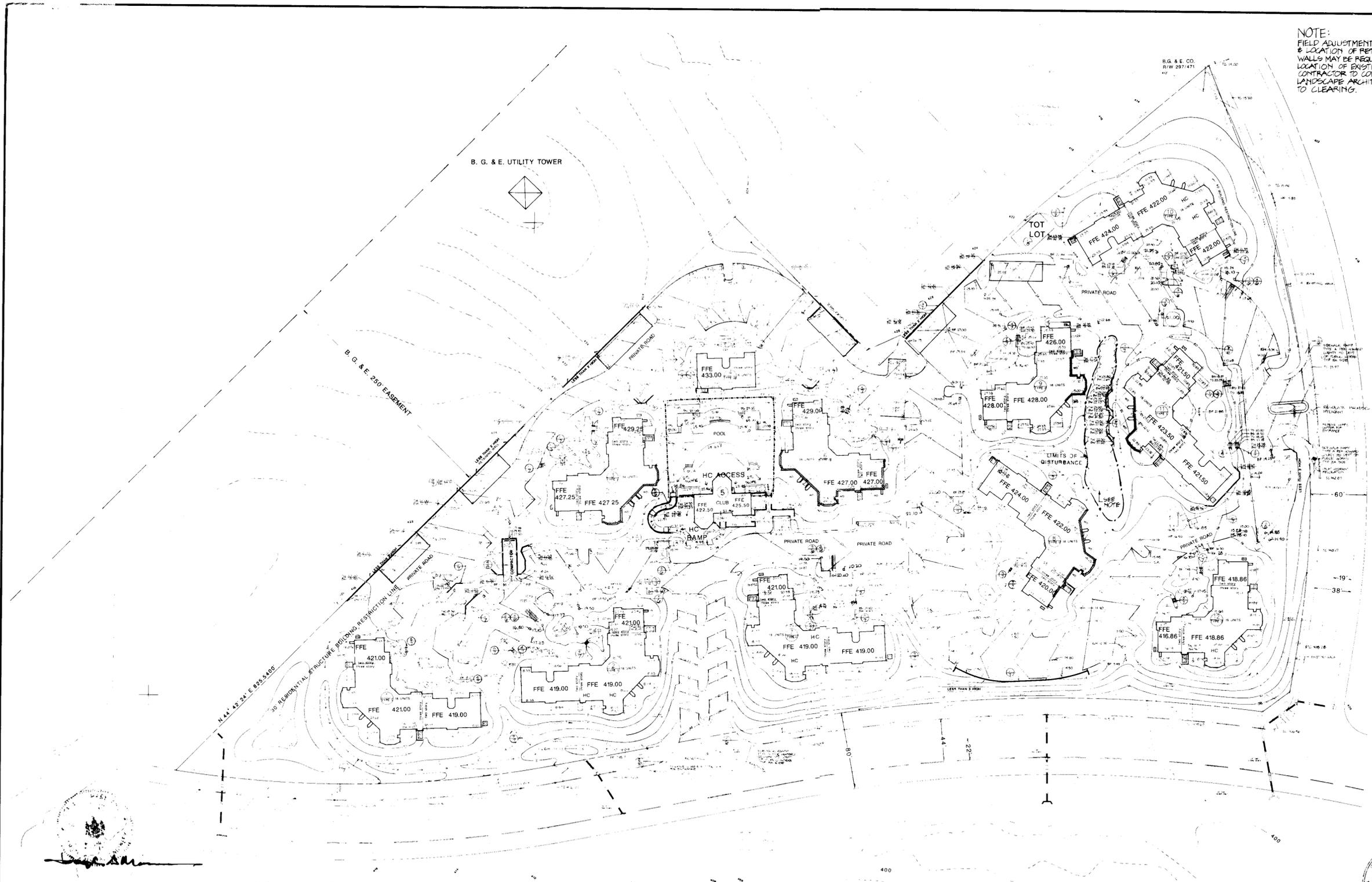


Paul R. Lyon
DATE 11-29-88
PROJECT NO. 87547
REVISIONS
REVISION 1-16-89
REVISION 2-22-89 REVISED SIDEWALKS & PARKING
REVISION 3-22-89

VILLAGE OF LONG REACH
SECTION 3, AREA 2, PARCEL A

1701 East Broadway, Baltimore, MD 21202
1206 West Street, Annapolis, MD 21401
225 Westmoreland Street, Raleigh, NC 27601

Land Design
Landscape Architecture Land Planning
Urban Design
50 SCALE GRADING PLAN



NOTE:
THIS PLAN FOR GRADING AND LAYOUT ONLY
SEE SHEETS 10 & 11 FOR UTILITIES PLANS

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
Paul R. Lyon
3/24/89
SIGNATURE OF ENGINEER DATE

DEVELOPER'S CERTIFICATE
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.
Donald J. McCabe
3/24/89
SIGNATURE OF DEVELOPER DATE

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS
James M. Delmar
4/3/89
U.S. SOIL CONSERVATION SERVICE DATE
THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT APPROVED
Stephen L. Cohen
3/31/89
DISTRICT HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED OFFICE OF PLANNING AND ZONING
Ulrich
1/30/89
PLANNING DIRECTOR DATE
Frank J. Taylor
5/17/89
CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE
APPROVED HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS
James M. Boyd
5/16/89
HEALTH OFFICE DATE

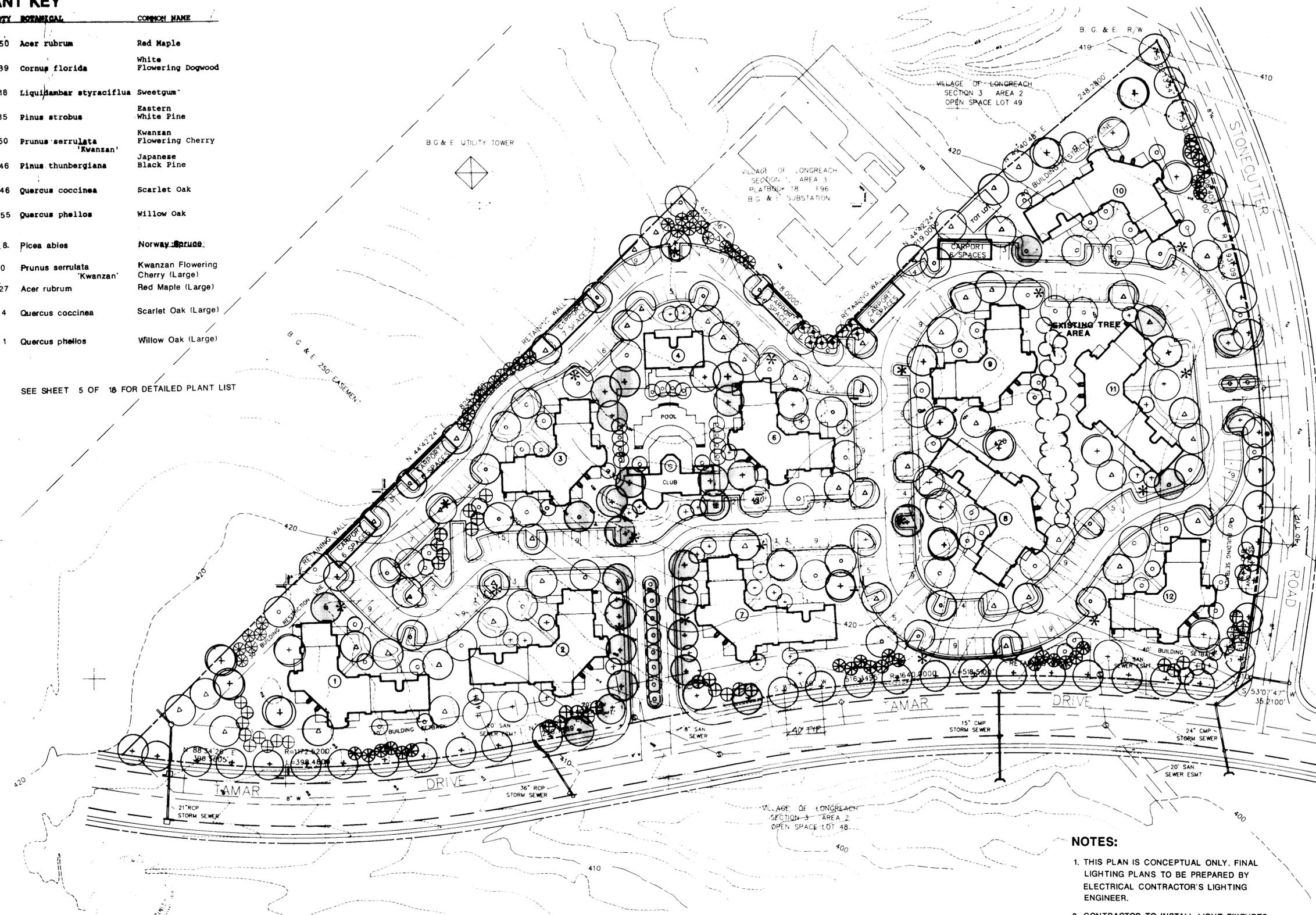
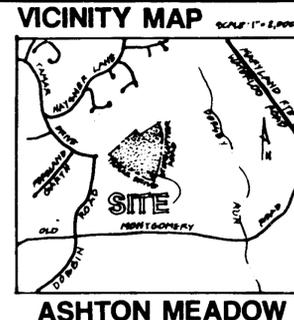
APPROVED DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER AND SEWER AND STORM DRAINAGE SYSTEMS AND ROADS
James P. Lewis
5/2/89
DIRECTOR, PUBLIC WORKS DATE
Richard E. Reed
5-2-89
CHIEF, BUREAU OF ENGINEERING DATE
SUBDIVISION NAME ASHTON MEADOW
VILLAGE OF LONGREACH
SECTION/AREA 3/2 PARCEL A
PLAT NO. 3054A-988 BLOCK NO. 6/1 TAX/ZONE NT MAP 36/37 ELEC DIST 6 CENSUS TR 6016.03
WATER CODE G08 SEWER CODE 3550000

APPROVED PLAN FOR THE VILLAGE OF LONGREACH OF HOWARD COUNTY
DATE 3-15-89
LKS
SHEET NO 2 OF 18
SCALE 1"=50'
DATE 11-29-88
DISTRICT

PLANT KEY

KEY	QTY	BOTANICAL	COMMON NAME
+	50	Acer rubrum	Red Maple
+	39	Cornus florida	White Flowering Dogwood
+	18	Liquidambar styraciflua	Sweetgum
+	35	Pinus strobus	Eastern White Pine
+	50	Prunus serrulata 'Kwanzan'	Kwanzan Flowering Cherry
+	46	Pinus thunbergiana	Japanese Black Pine
+	46	Quercus coccinea	Scarlet Oak
+	55	Quercus phellos	Willow Oak
+	8	Picea abies	Norway Spruce
+	10	Prunus serrulata 'Kwanzan'	Kwanzan Flowering Cherry (Large)
+	27	Acer rubrum	Red Maple (Large)
+	4	Quercus coccinea	Scarlet Oak (Large)
+	1	Quercus phellos	Willow Oak (Large)

SEE SHEET 5 OF 18 FOR DETAILED PLANT LIST

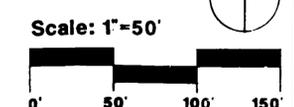


* SITE LIGHTING

DEVELOPER/OWNER:
SUNNIT PROPERTIES
203 FRANCIS SCOTT KEY HIGHWAY
BALTIMORE, MARYLAND 21230
(301) 234-0070

PRESENT OWNER:
HOWARD RESEARCH AND DEVELOPMENT
LAND COMPANY
THE ROUSE COMPANY BUILDING
COLUMBIA, MARYLAND 21044
(301) 998-6000

ENGINEER:
STV/LYON ASSOCIATES
21 GOVERNOR'S COURT
BALTIMORE, MARYLAND 21207
(301) 944-9112



- NOTES:**
- THIS PLAN IS CONCEPTUAL ONLY. FINAL LIGHTING PLANS TO BE PREPARED BY ELECTRICAL CONTRACTOR'S LIGHTING ENGINEER.
 - CONTRACTOR TO INSTALL LIGHT FIXTURES, FOOTINGS AND ELECTRICAL IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

<p>ENGINEER'S CERTIFICATE</p> <p>I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.</p> <p><i>[Signature]</i> DATE</p>	<p>DEVELOPER'S CERTIFICATE</p> <p>I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.</p> <p><i>[Signature]</i> DATE</p>	<p>REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS</p> <p><i>[Signature]</i> DATE</p> <p>THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT APPROVED</p> <p><i>[Signature]</i> DATE</p>	<p>APPROVED OFFICE OF PLANNING AND ZONING</p> <p><i>[Signature]</i> DATE</p> <p>PLANNING DIRECTOR</p> <p><i>[Signature]</i> DATE</p> <p>CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT</p> <p>APPROVED HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS</p> <p><i>[Signature]</i> DATE</p>	<p>APPROVED DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER AND SEWER AND STORM DRAINAGE SYSTEMS AND ROADS</p> <p><i>[Signature]</i> DATE</p> <p>DIRECTOR, PUBLIC WORKS</p> <p><i>[Signature]</i> DATE</p> <p>CHIEF, BUREAU OF ENGINEERING</p> <p>DATE</p>	<p>3-15-89</p> <p>LKS</p>
<p>ENGINEER: STV/LYON ASSOCIATES 21 GOVERNOR'S COURT BALTIMORE, MARYLAND 21207 (301) 944-9112</p>		<p>VILLAGE OF LONG REACH SECTION 3, AREA 2 OPEN SPACE LOT 48</p>		<p>SUBDIVISION NAME: ASHTON MEADOW SECTION/AREA: 3/2 PARCEL: 1</p> <p>PLAT NO: 8103 BLOCK NO: 1 LOT: 1 TAX ZONE: MAP 36/37 ELEC DIST: 6 CENSUS TR: 8016.03</p> <p>WATER CODE: G08 SEWER CODE: 3550000</p>	

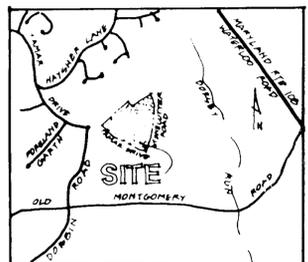
VILLAGE OF LONG REACH, SECTION 3, AREA 2, PARCEL A

1701 East Boulevard, Charlotte, NC 28203 704/333-0321
1216 Prince Street, Alexandria, VA 22314 703/545-7184
225 Hilsborough Street, Raleigh, NC 919/834-6127

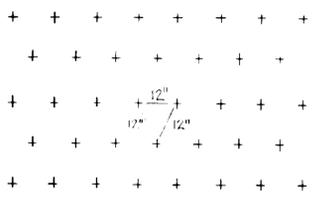
Land Design
Landscape Architecture Land Planning
Urban Design

50 SCALE LIGHTING
& LANDSCAPING PLAN
4 of 18

SHEET NO. 4 OF 16
SCALE 1"=50'
DATE 12-21-88
DISTRICT



ASHTON MEADOW



NOTE: EXAMPLE ILLUSTRATES TRIANGULAR SPACING 12" OC. OTHER SPACING MAY BE IMPLEMENTED USING SAME PROPORTION.

TRIANGULAR SPACING PLAN (SHRUBS AND GROUND COVER)

1
5

NOTE: PLANT SPACING VARIES - (SEE PLAN) - PRUNE ALL BRANCHES, DISCLOSED, AND HILAK BRANCHES

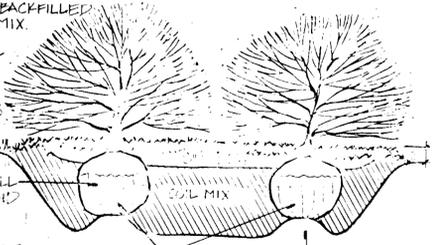
ALL SHRUB BEDS TO BE COMPLETELY EXCAVATED OF ALL EXIST. SOIL TO REQ. DEPTH AND BACKFILLED W/ REQUIR'D SOIL MIX. SOIL MIX TO BE: 75% EXISTING TO 20% TO GROUND BARK

COMPLETELY REMOVE ALL STRINGS, FIBERS, AND TAGS FROM PLANT

REMOVE TOP 1/3 OF ALL MULCH FABRIC AROUND ROOT BALL

SCAFFEY ROOTS ON POT BOUND PLANT

COMPACT SOIL TO 85% AT OPTIMUM MOISTURE CONTENT



SHRUB PLANTING BED

2
5

NOTE: CONTRACTOR TO REGRADE, HYDROSEED AND STRAW MULCH ALL AREAS DISTURBED AS A RESULT OF THEIR WORK

12 GA GALVANIZED WIRE - TRIPLE STRAND TWISTED

RUBBER HOSE & WIFE - TIE MAIN LEADERS TOGETHER

TREE WRAP MAIN TRUNKS

2X2 HARDWOOD GUY STAKE - 2 PER TREE

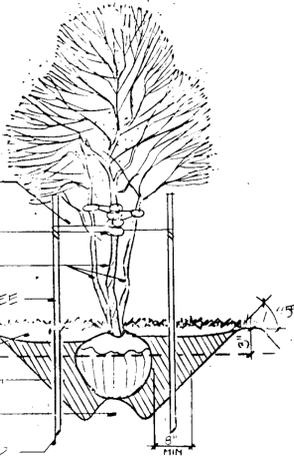
EXISTING GRADE

3" MULCH

SOIL MIX - (SEE DETAIL #2)

COMPACT MOUND TO PREVENT TREE FROM SETTLING

UPRIGHT STAKES EXTEND TO FIRM GROUND



MULTI-TRUNK TREE PLANTING DETAIL

3
5

TYPICAL TREE STAKING DETAIL

4
5

NOTE: CONTRACTOR TO REGRADE, HYDROSEED AND STRAW MULCH ALL AREAS DISTURBED AS A RESULT OF THEIR WORK

TREES LARGER THAN 16" TO BE GUYED. SMALLER TREES TO BE STAKED

STAKES TO BE DRIVEN INTO FIRM GROUND, OUTSIDE OF SOIL MIX AREA

TREE WRAP MAIN TRUNK

RUBBER HOSE

12 GA GALVANIZED WIRE - TRIPLE STRAND TWISTED

DO NOT COVER ROOT CROWN

3" MULCH

3" HGT SAUCER AROUND TREE

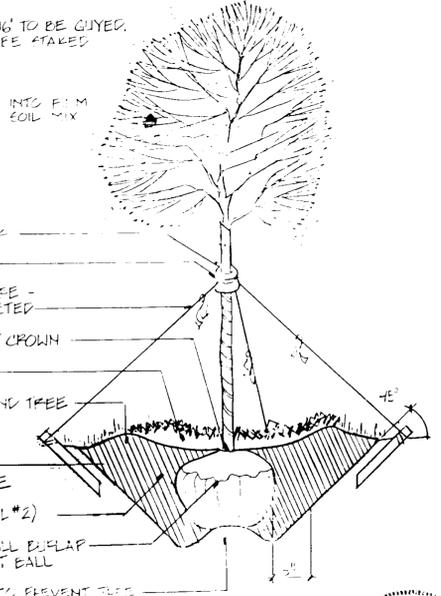
2X2 HARDWOOD GUY STAKE - 3 PER TREE

DRIVEN AT 45° ANGLE

SOIL MIX - (SEE DETAIL #2)

REMOVE TOP 1/3 OF ALL MULCH FABRIC AROUND ROOT BALL

COMPACTED MOUND TO PREVENT TREE FROM SETTLING



NOTE: CONTRACTOR TO REGRADE, HYDROSEED AND STRAW MULCH ALL AREAS DISTURBED AS A RESULT OF THEIR WORK

(2) UPRIGHT STAKES TO BE USED ON TREES UP TO 12' HGT. LARGER TREES TO BE GUYED

TREE WRAP TRUNK

2X2 HARDWOOD GUY STAKE 2 PER TREE

RUBBER HOSE

12 GA GALVANIZED WIRE - TRIPLE STRAND TWISTED

3:1 SLOPE (TYP)

DO NOT COVER ROOT CROWN W/ SOIL

3" MULCH

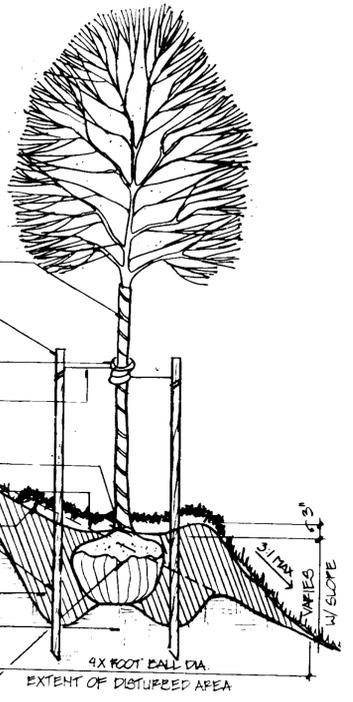
EXISTING GRADE

UPRIGHT STAKES EXTENDED TO FIRM BEARING

SOIL MIX - (SEE DETAIL #2)

COMPACTED MOUND TO PREVENT SETTLING - (6" MIN)

REMOVE TOP 1/3 OF ALL MULCH AND ROPE FROM ROOT BALL



TREE ON SLOPE

6
5

PLANTING NOTES

- CONTRACTOR TO SLIGHTLY ADJUST PLANT LOCATIONS IN THE FIELD AS NECESSARY TO BE CLEAR OF DRAINAGE SWALES AND UTILITIES. LANDSCAPE ARCHITECT SHALL BE NOTIFIED SHOULD THE RELOCATION OF PROFFERED PLANTS BE NECESSARY.
- ALL TREES AND SHRUBS TO BE IN 4" DEEP MULCH BEDS. MULCH TO BE SHREDED HARDWOOD BARK. BEDS TO HAVE SMOOTHLY CONTOURED EDGES. CLEARLY DEFINED AND SHALL GENERALLY FOLLOW THE CONTOUR OF THE GROUND. TREES LOCATED WITHIN 4' OF SHRUB BEDS SHALL SHARE SAME MULCH BED.
- LARGE GROWING PLANTS ARE NOT TO BE PLANTED IN FRONT OF WINDOWS, UNDER BUILDING OVERHANGS, OR IN DRAINAGE SWALES. SHRUBS PLANTED NEAR WINDOWS SHALL BE LOCATED SO THE SHRUBS AT MATURITY WILL MAINTAIN 1' AIRSPACE BETWEEN UNIT AND PLANT.
- ALL SHRUBS, GROUNDCOVER, AND SEASONAL COLOR TO BE TRIANGULARLY SPACED.
- CENTER OF DARK CIRCLES REPRESENT PROFFERED PLANT LOCATIONS. NO SUBSTITUTIONS ARE ALLOWED WITHOUT APPROVAL BY GOVERNING AGENCIES.
- FINISHED PLANTING BEDS SHALL BE GRADED SO AS TO NOT IMPED DRAINAGE AWAY FROM BUILDING.
- ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND FREE OF ALL DISEASE, INSECT EGGS AND LARVAE.
- ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE FULL TOPS WHICH ARE HEALTHY AND VIGOROUS. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.
- SHADE TREES: HEIGHT SHALL BE MEASURED FROM GROUND TO THE AVERAGE HEIGHT OF CANOPY. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF "V" CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION.
- SIZES SPECIFIED IN THE PLANT LIST ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE JUDGED. FAILURE TO MEET MINIMUM SIZE ON ANY PLANT MAY RESULT IN REJECTION OF THAT PLANT.
- CROWN OF ALL PLANTS SHALL BE 1/6 HEIGHT OF ROOT BALL HIGHER (AFTER SETTLING) THAN ADJACENT POSITIVELY DRAINED GRADE.
- WHERE TREES ARE PLANTED IN ROWS, THEY SHALL BE UNIFORM IN SIZE AND SHAPE.
- ALL PLANTS TO BE INSTALLED PER HOWARD COUNTY AND HRS STANDARDS.
- THE PLANTING OF DECIDUOUS TREES, SHRUBS AND VINES SHALL BE FROM MARCH 1ST TO JUNE 15TH AND FROM SEPTEMBER 15TH TO DECEMBER 15TH. PLANTING OF DECIDUOUS MATERIAL MAY BE COMPLETED DURING THE WINTER MONTHS PROVIDED THERE IS NO FROST IN THE GROUND AND FROST-FREE TOP SOIL PLANTING MIXTURES ARE USED.
- THE PLANTING OF EVERGREEN MATERIAL SHALL BE FROM MARCH 15TH TO JUNE 15TH AND FROM AUGUST 15TH TO DECEMBER 15TH. NO PLANTING SHALL BE DONE WHEN GROUND IS FROZEN OR EXCESSIVELY WET. NO FROZEN OR WET TOP SOIL SHALL BE USED AT ANY TIME.
- ALL PLANT MATERIAL SHALL BE DUG, BALLED AND BURLAPPED (BAB) IN ACCORDANCE WITH THE "AAM STANDARDS."
- ALL PITS SHALL BE GENERALLY CIRCULAR IN OUTLINE. VERTICAL SIDING. DEPTH SHALL NOT BE LESS THAN TWO TIMES THE DIAMETER OF THE ROOT BALL.

PLANT LIST

KEY	QTY	BOTANICAL	COMMON NAME	HEIGHT	SPREAD/ CALIPER	REMARKS
ARL	27	Acer rubrum	Red Maple	16-18'	4-4 1/2"	B&B; Min. branching hgt. 8', max. 10'
PSKL	10	Prunus serrulata 'Kwanan'	Kwanan Flowering Cherry	14-16'	3 1/2-4"	B&B; Pink Flowers
OCL	4	Quercus coccinea	Scarlet Oak	16-18'	4-4 1/2"	B&B; Min. branching hgt. 8', max. 10'
QPHL	1	Quercus phellos	Willow Oak	16-18'	4-4 1/2"	B&B; Min. branching hgt. 8', max. 10'
AR	50	Acer rubrum	Red Maple	12-14'	2 1/2-3"	B&B; Min. branching hgt. 5', max. 8'
CIN	32	Cornus florida	White Flowering Dogwood	8-10'	2-2 1/2"	B&B; white flowers
LS	18	Liquidambar styraciflua	Sweetgum	12-14'	2 1/2-3"	B&B; Min. branching hgt. 5', max. 8'
CS	35	Pinus strobus	Eastern White Pine	6-8'	2-2 1/2"	B&B; Full specimens
PSK	50	Prunus serrulata 'Kwanan'	Kwanan Flowering Cherry	8-10'	2-2 1/2"	B&B; Pink flowers
FT	48	Pinus thunbergii	Japanese Black Pine	6-8'	2-2 1/2"	B&B; Full specimens
QO	48	Quercus coccinea	Scarlet Oak	12-14'	2 1/2-3"	B&B; Min. branching hgt. 6', max. 8'
WH	55	Quercus imbricaria	Willow Oak	12-14'	2 1/2-3"	B&B; Min. branching hgt. 6', max. 8'
PIA	8	Picea abies	Norway Spruce	6-8'	2-2 1/2"	B&B; Full specimens

DEVELOPER/OWNER:
SUMMIT PROPERTIES
203 FRANCIS SCOTT KEY HIGHWAY
BALTIMORE, MARYLAND 21230
(301) 992-0070

PRESENT OWNER:
HOWARD RESEARCH AND DEVELOPMENT
LAND COMPANY
THE ROUSE COMPANY BUILDING
COLUMBIA, MARYLAND 21044
(301) 992-6000

ENGINEER:
STV/LYON ASSOCIATES
21 GILBERT COURT
BALTIMORE, MARYLAND 21207
(201) 944-9112

DATE 12-21-88
PROJECT NO. 87547
REVISIONS:
REVISED 1-16-89
2-22-89 REVISED PLANT COUNT
& PLANT LIST
REVISION 3-22-89

VILLAGE OF LONG BEACH,
SECTION 3, AREA 2, PARCEL A

Land Design
Landscape Architecture Land Planning
Urban Design
**PLANTING NOTES,
DETAILS, AND PLANT LIST**
5 of 15

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

James M. Delaney
DATE 3-24-89

DEVELOPER'S CERTIFICATE
I WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

James M. Delaney
DATE 3-24-89

REVIEWED FOR HOWARD COUNTY HEALTH DEPARTMENT AND MEETS TECHNICAL REQUIREMENTS
James M. Delaney 4/3/89
U.S. SOIL CONSERVATION SERVICE DATE

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT APPROVED
James M. Delaney 2/21/89
DISTRICT HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED OFFICE OF PLANNING AND ZONING
James M. Delaney 5-20-89
PLANNING DIRECTOR DATE

James M. Delaney 5/20/89
CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT LMS DATE

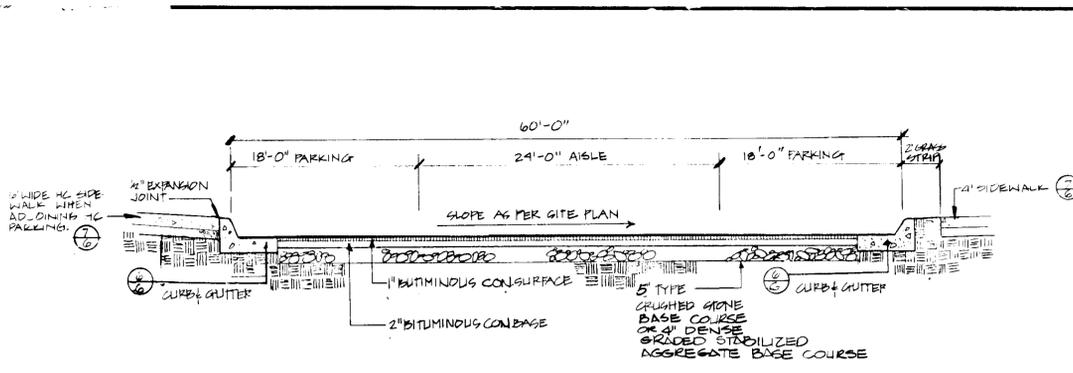
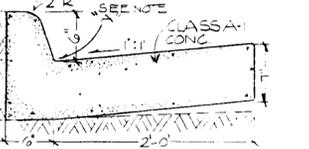
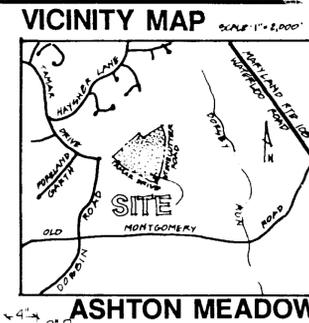
APPROVED HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS
James M. Delaney 5/16/89
S.A.O. OFFICER DATE

APPROVED DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER AND SEWER AND STORM DRAINAGE SYSTEMS AND ROADS
James M. Delaney 5-2-89
DIRECTOR PUBLIC WORKS DATE

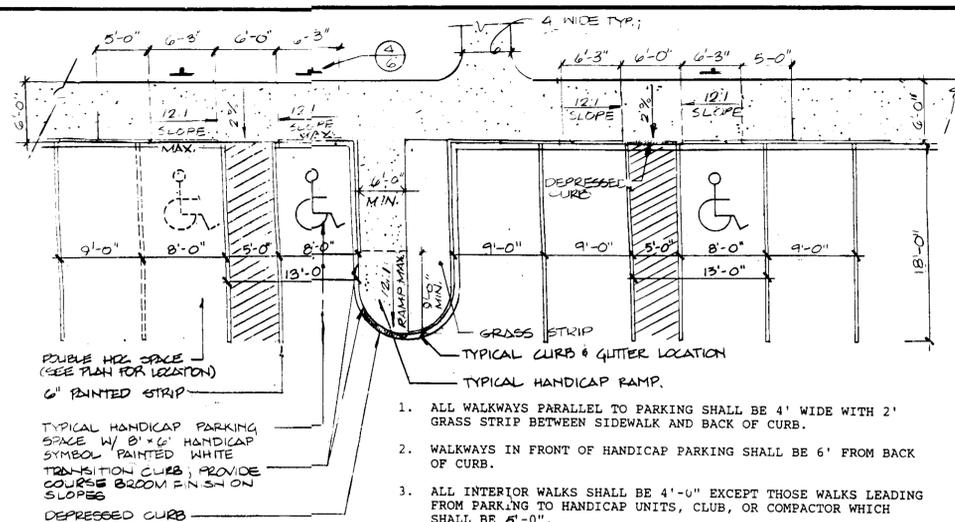
James M. Delaney 5-2-89
CHIEF BUREAU OF ENGINEERING DATE

SUBDIVISION NAME ASHTON MEADOW
VILLAGE OF LONG BEACH
PARCEL A
SECTION/AREA 3/2
PARCEL A
TAX/ZONE ELEC DIST 6
CENSUS TR 6016.03
MAP 6:1
WATER CODE G08 SEWER CODE 3550000

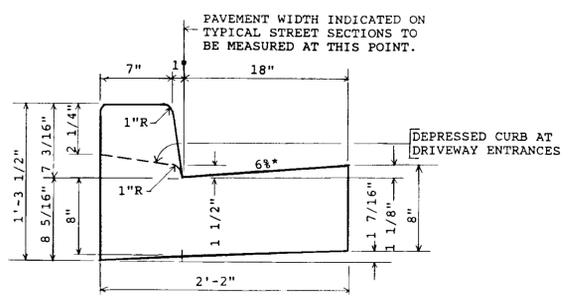
SHEET NO. 5 OF 10
SCALE
DATE 12-21-88
DISTRICT



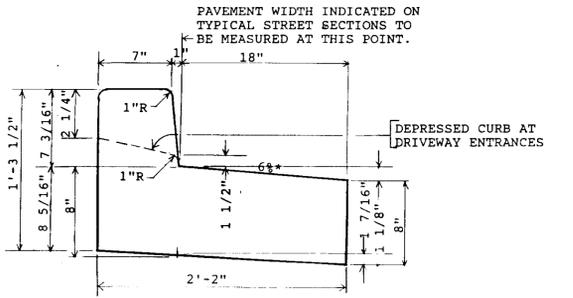
1 TYPICAL PARKING SECTION WITH DRIVE AISLE N.T.S.



3 TYPICAL PARKING SPACES

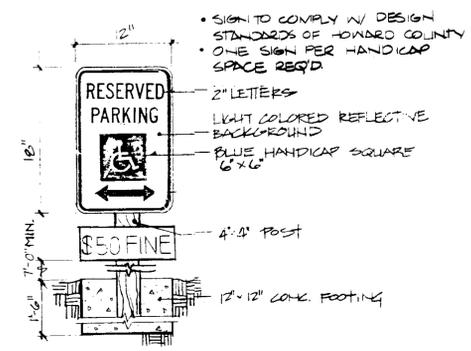


A R-3.01 STANDARD CURB & GUTTER



B R-3.01 REVERSED CURB & GUTTER

2 HOWARD COUNTY CURB & GUTTER N.T.S.

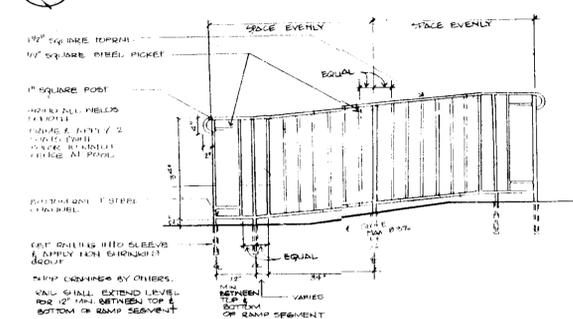


4 HANDICAP SIGN (R7-8) N.T.S.

\$50.00 FINE SIGN TO UTILIZE AN ALUMINUM BLANK 6" X 12" X 0.080 INCH THICK WITH TWO (2) SINGLE POST MOUNTING HOLES. THE TEXT AND BORDER SHALL BE STANDARD GREEN TO MATCH THE R7-8 RESERVED PARKING SIGN AND THE BACKGROUND SHALL BE REFLECTIVE WHITE. THE TEXT SHALL BE 3" CHARACTERS.

RESERVED PARKING SIGN COLORS
LEGEND AND BORDER - GREEN
WHITE SYMBOL ON BLUE BACKGROUND
BACKGROUND - WHITE

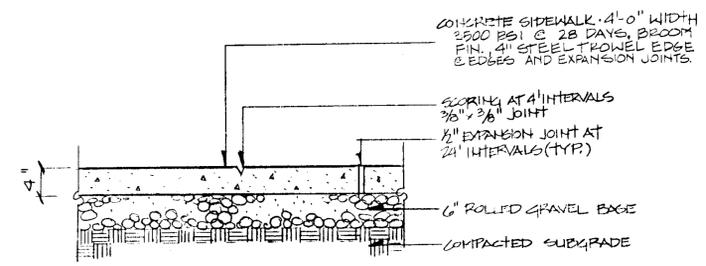
5 HANDICAP RAMP & RAILING N.T.S.



THE BOTTOM OF THE CURB AND GUTTER MAY BE CONSTRUCTED PARALLEL TO THE SLOPE OF SUBSURFACE COURSES PROVIDED A MINIMUM DEPTH OF 7" IS MAINTAINED.

NOTE:
SUBGRADE FOR ALL SIDEWALKS, CURB AND GUTTER SHALL BE COMPACTED TO MINIMUM 95% DENSITY AT OPTIMUM MOISTURE TO FULL WIDTH OF RIGHT-OF-WAY IN ACCORDANCE WITH AASHTO T99-61.
NOTE:
CURB HAVING A RADIUS OF 300' OR LESS (ALONG FACE OF CURB) SHALL BE CONSIDERED RADIAL CURB.
NOTE A: 2" RADIUS WILL BE ALLOWED WITH CURB AND GUTTER.

6 CURB & GUTTER N.T.S.



7 TYPICAL CONCRETE WALK N.T.S.

- ALL WALKWAYS ADJACENT TO PARKING SHALL BE 5' WIDE FROM BACK OF CURB EXCEPT THOSE IN FRONT OF HANDICAP PARKING, WHICH SHALL BE 6' FROM BACK OF CURB. THERE SHALL BE A GRASS STRIP OF 2' WIDE BETWEEN BACK OF CURB AND CLOSEST SIDEWALK EDGE EXCEPT FOR HANDICAP PARKING SPACES.
- ALL INTERIOR WALKS SHALL BE 4'-0", EXCEPT THOSE WALKS LEADING FROM HANDICAP SPACES TO HANDICAP UNITS, CLUB, OR COMPACTOR WHICH SHALL BE 5'-0".
- ALL OTHER WALKWAYS ALONG STREETS WHERE NO PARKING OCCURS SHALL BE 4'-0" WIDE.
- FOR WALKWAY PLAN, SEE SHEET NUMBER 2.
- AT THE INTERSECTION OF TWO (2) WALKS THERE SHALL BE A 3' MIN. RADIUS ON THE WALKS.

DEVELOPER/OWNER:
SUMMIT PROPERTIES
203 FRANCIS SCOTT KEY HIGHWAY
BALTIMORE, MARYLAND 21230
(301) 234-0070

PRESENT OWNER:
HOWARD RESEARCH AND DEVELOPMENT
LAND COMPANY
THE ROUSE COMPANY BUILDING
COLUMBIA, MARYLAND 21044
(301) 992-6000

ENGINEER:
STV/LYON ASSOCIATES
21 GOVERNOR'S COURT
BALTIMORE, MARYLAND 21207
(301) 944-9112

Final Design
DATE 11-29-88
PROJECT NO 87547
REVISIONS
REVISED 1-16-89
2-22-89 REVISED DETAIL 2/2
REVISION 3-22-89

VILLAGE OF LONG REACH,
SECTION 3, AREA 2, PARCEL A

Land Design
Landscape Architecture Land Planning
Urban Design
SITE DETAILS

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT

3-24-89
DATE

DEVELOPER'S CERTIFICATE
I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

3-24-89
DATE

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

4/3/89
DATE

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT APPROVED

4/3/89
DATE

APPROVED OFFICE OF PLANNING AND ZONING

5/30/89
DATE

APPROVED HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS

5/1/89
DATE

APPROVED DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER AND SEWER AND STORM DRAINAGE SYSTEMS AND ROADS

5/2/89
DATE

5-2-89
DATE

SUBDIVISION NAME ASHTON MEADOW	SECTION/AREA 3/2	PARCEL A
VILLAGE OF LONGREACH	TAX/ZONE MAP 36/37	TELEC DIST 6
PLAY NO 8103	BLOCK NO 6/1	CENSUS TR 6016.03
WATER CODE G08	SEWER CODE 3550000	

3-15-89
DATE

LKS

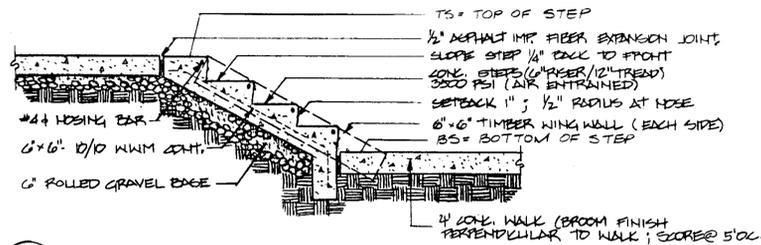
SHEET NO 6 of 18
SCALE

DATE 11-29-88
DISTRICT

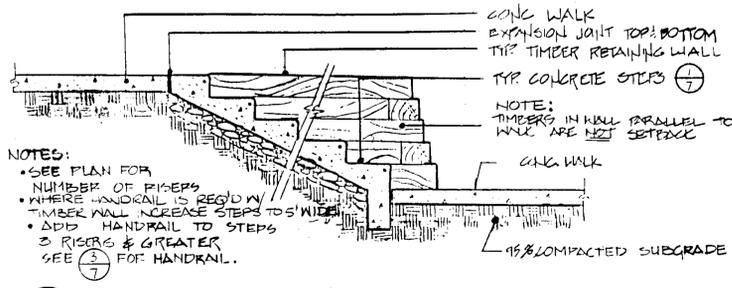


NOTES:

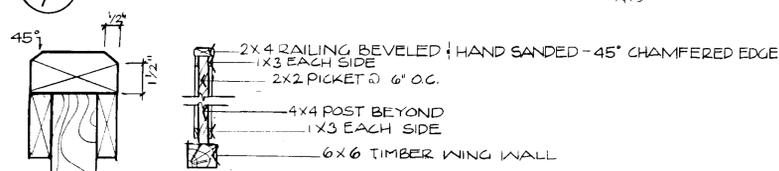
- SEE PLAN FOR NUMBER OF RISERS.
- ADD HANDRAIL TO STEPS THREE (3) RISERS AND GREATER SEE (7) FOR HANDRAIL.
- WHERE HANDRAIL IS REQUIRED AT STEPS WITH TIMBER WALL, INCREASE WIDTH OF STEPS TO 5' WIDE TO ALLOW FOR HANDRAILS.



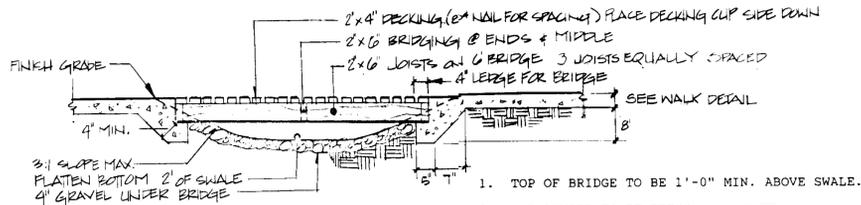
1 CONCRETE STEPS



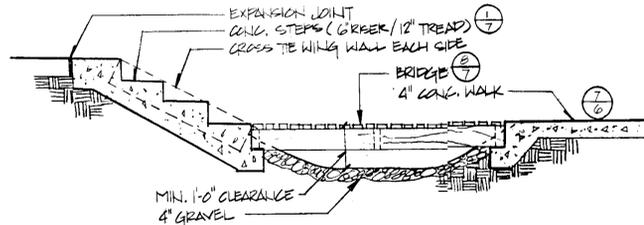
2 STEPS @ TIMBER WALL



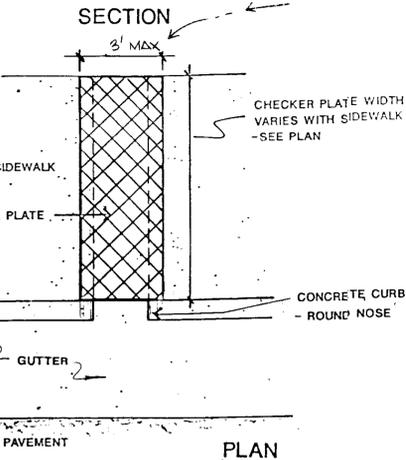
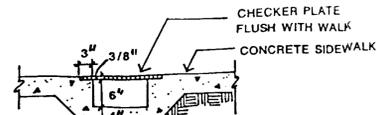
3 WOOD HANDRAIL DETAIL



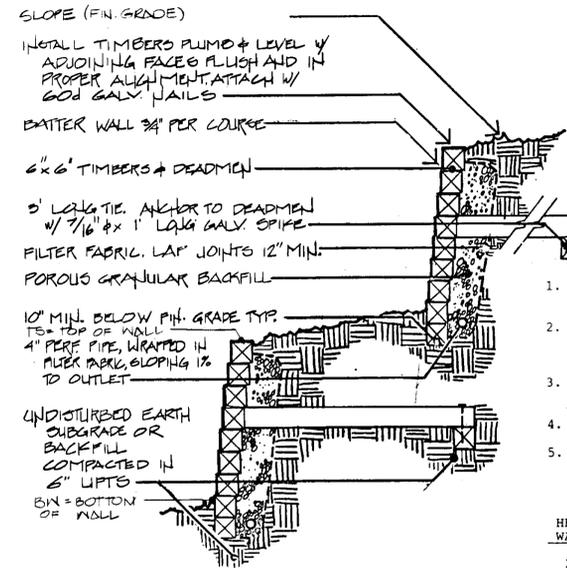
- TOP OF BRIDGE TO BE 1'-0" MIN. ABOVE SWALE.
- ALL LUMBER TO BE PRESSURE TREATED.
- ALL HARDWARE TO BE GALVANIZED.
- USE 2" X 8" JOISTS FOR 8' BRIDGE.



4 WOOD BRIDGE SECTIONS



5 METAL CHECKER PLATE

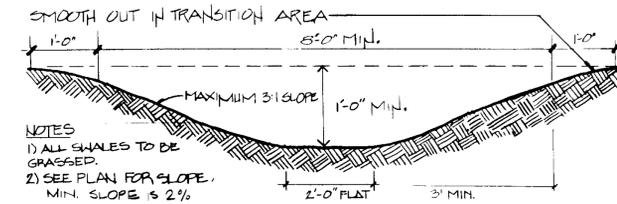


- TREAT WOOD MEMBERS TO MEET AWPB L-22 SPEC.
- STEP TOP OF WALL WITH FINISHED GRADE UNLESS OTHER WISE NOTED. (SWG=STEP WITH GRADE).
- MAXIMUM WALL HEIGHT TO BE 4'-10" FROM SUBGRADE.
- MINIMUM DISTANCE BETWEEN WALLS IS 4'.
- CUT TIMBERS TO LOCATE DEADMEN @ 8'-0" CENTER TO CENTER IN REQUIRED COURSES AS FOLLOWS:

HEIGHT OF WALL	# OF DEADMEN	LOCATION IN # OF COURSES ABOVE SUBGRADE
< 2'-0"	1 ROW	2
2'-0" - 3'-6"	3 ROWS	2, 4 & 6
3'-6" - 4'-6"	4 ROWS	2, 4, 6 & 8

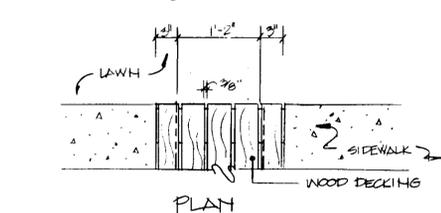
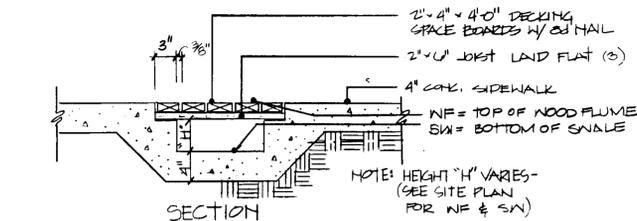
6. WITH MULTIPLE ROWS OF DEADMEN, STAGGER @ 3'-6" O.C. TO ELIMINATE VERTICAL ALIGNMENT OF DEADMEN.

6 WOOD TIMBER WALL



- NOTES:**
- ALL SWALES TO BE GRASSED.
 - SEE PLAN FOR SLOPE. MIN. SLOPE IS 2%.

7 TYPICAL SWALE



8 SECTION WOOD FOOTBRIDGE

DEVELOPER/OWNER:
SUMMIT PROPERTIES
203 FRANCIS SCOTT KEY HIGHWAY
BALTIMORE, MARYLAND 21230
(301) 234-0070

PRESENT OWNER:
HOWARD RESEARCH AND DEVELOPMENT
LAND COMPANY
THE ROUSE COMPANY BUILDING
COLUMBIA, MARYLAND 21044
(301) 992-6000

ENGINEER:
STW/LVON ASSOCIATES
21 GOVERNOR'S COURT
BALTIMORE, MARYLAND 21207
(301) 944-9112

DATE 11-29-88
PROJECT NO. 87547
REVISIONS
REVISED 1-16-89
REV. 2-22-89
REVISION 3-22-89

VILLAGE OF LONG BEACH,
SECTION 3, AREA 2, PARCEL A

1701 East Boulevard, Charlotte, NC 28203
1216 Prince Street, Alexandria, VA 22304
225 Hargett Street, Raleigh, NC 27601

Land Design
Landscape Architecture Land Planning
Urban Design
SITE DETAILS

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signature of Engineer
DATE

DEVELOPER'S CERTIFICATE
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

Signature of Developer
DATE

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

Signature of Reviewer
DATE

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT APPROVED

Signature of District Official
DATE

APPROVED OFFICE OF PLANNING AND ZONING

Signature of Planning Director
DATE

CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT

APPROVED HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS

Signature of Health Officer
DATE

APPROVED DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER AND SEWER AND STORM DRAINAGE SYSTEMS AND ROADS

Signature of Director
DATE

CHIEF, BUREAU OF ENGINEERING

DATE

SUBDIVISION NAME: ASHTON MEADOW
VILLAGE OF LONG BEACH

PLAY NO. 8103	BLOCK NO. 6/1	ZONE NT	TAX ZONE MAP 36/37	ELEC DIST 6	CENSUS TR 6016.03
---------------	---------------	---------	--------------------	-------------	-------------------

WATER CODE G08 SEWER CODE 3550000

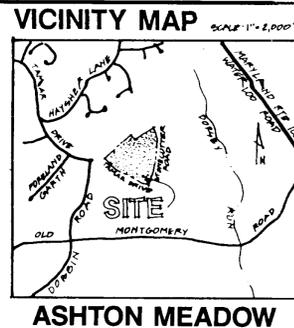
SECTION/AREA 3/2 PARCEL A

DATE 11-29-88

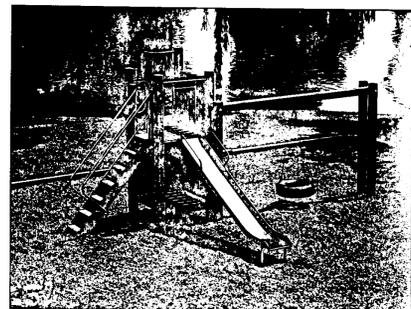
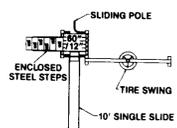
SHEET NO 7 OF 18

SCALE

DISTRICT



ASHTON MEADOW

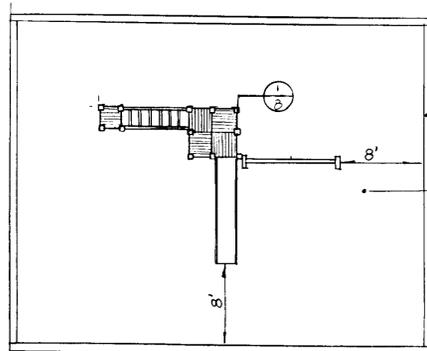


The TOWER CENTER is designed to accommodate up to 20 children, ages 5 to 12. The overall dimensions of the unit are 15'-0" x 20'-0" and requires an area 35'-0" x 48'-0" for installation.

PLAYWORLD SYSTEMS - WOOD STRUCTURES TOWER CENTER 0019 (TREATED PINE) OR SIMILAR

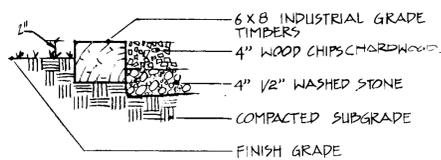
SUPPLIER: ALPERSTEIN BROTHERS, INC. JOHN LOMBARDI 900 7TH N.W. WASHINGTON, DC 20001 (703) 450-6002

1 TOT LOT EQUIPMENT

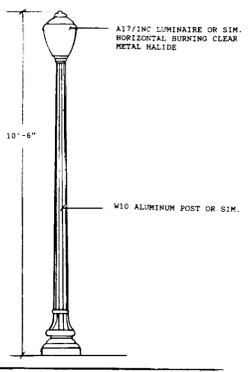


PLAY PLATFORM CONSTRUCTED AND INSTALLED AS PER MANUFACTURER'S SPECIFICATION
 6 X 8 CCA TREATED TIMBER EDGING (CHAMFER ALL EXPOSED EDGES)
 PLAY SURFACE TO CONSIST OF 4" WOOD CHIPS OVER 4" OF 1/2" WASHED STONE

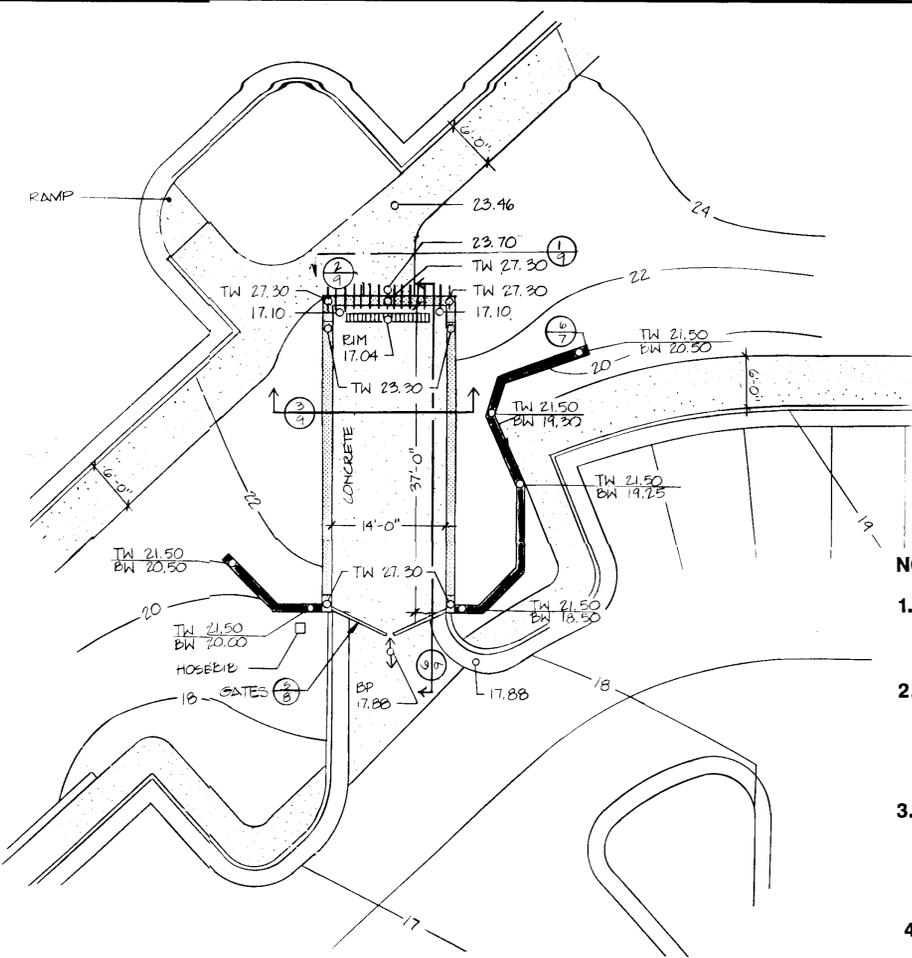
PLAY PLATFORM CONSTRUCTED AND INSTALLED AS PER MANUFACTURER'S SPECIFICATION



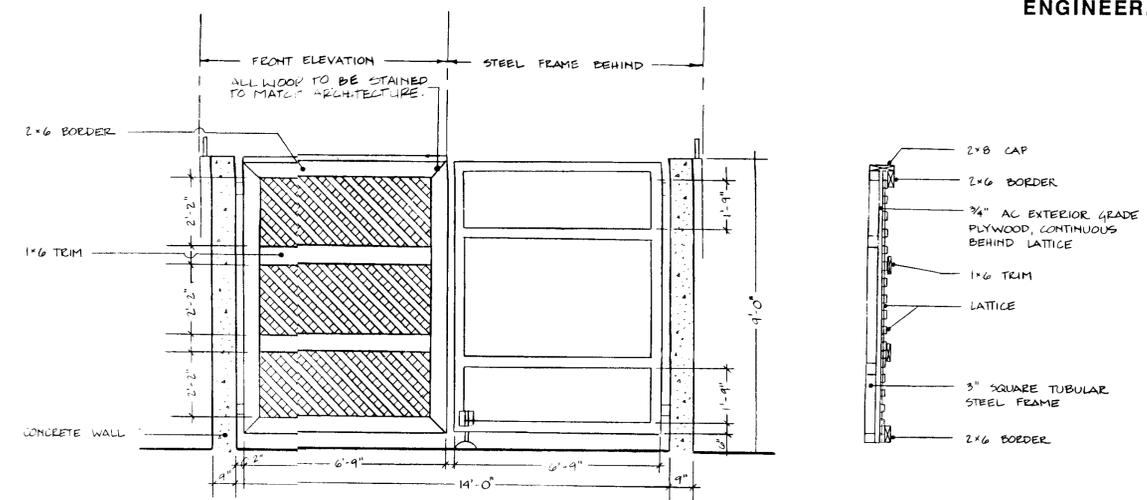
2 TOT LOT DETAIL



3 STREETLIGHT DETAIL



4 COMPACTOR • Grading Plan



5 GATE AT COMPACTOR AREA • Elevation & Section

- NOTES:
1. PLUMBING CONTRACTOR TO MAKE HOSEBIB LOCATION
 2. COMPACTOR POWER PACK REQUIRES ELECTRICAL CONNECTION
 3. FABRICATOR TO COORDINATE W/ LANDSCAPE ARCHITECT ON SIZING OF HOPPER
 4. HOSE BIB AND ELECTRICAL CONNECTION FOR COMPACTOR TO BE PROVIDED BY OTHERS
 5. CONCRETE WALLS TO BE REVIEWED BY STRUCTURAL ENGINEER.

DEVELOPER/OWNER: SUMMIT PROPERTIES 203 FRANCIS SCOTT KEY HIGHWAY BALTIMORE, MARYLAND 21230 (301) 234-0070

PRESENT OWNER: HOWARD RESEARCH AND DEVELOPMENT LAND COMPANY THE ROUSE COMPANY BUILDING COLUMBIA, MARYLAND 21044 (301) 992-6000

ENGINEER: STV/LYON ASSOCIATE, 21 GOVERNOR'S COURT BALTIMORE, MARYLAND 21207 (301) 944-9112



ENGINEER'S CERTIFICATE
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 SIGNATURE OF ENGINEER: [Signature] DATE: 3/24/89

DEVELOPER'S CERTIFICATE
 I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ONSITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.
 SIGNATURE OF DEVELOPER: [Signature] DATE: 3-24-89

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS
 [Signature] DATE: 4/8/89
 U.S. SOIL CONSERVATION SERVICE
 THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 APPROVED
 [Signature] DATE: 3/31/89
 DISTRICT HOWARD SOIL CONSERVATION DISTRICT

APPROVED OFFICE OF PLANNING AND ZONING
 [Signature] DATE: 5/20/89
 PLANNING DIRECTOR
 [Signature] DATE: 5/20/89
 CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT
 APPROVED HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS
 [Signature] DATE: 5/16/89
 HEALTH OFFICER

APPROVED DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER AND SEWER AND STORM DRAINAGE SYSTEMS AND ROADS
 [Signature] DATE: 5/16/89
 DIRECTOR, PUBLIC WORKS
 [Signature] DATE: 5-2-89
 CHIEF, BUREAU OF ENGINEERING
 SUBDIVISION NAME: ASHTON MEADOW
 VILLAGE OF LONG BEACH
 PARCEL: 3/2 A
 PLAT NO: 8103 BLOCK NO: 6/1 LOT: NT APTS: 6
 TAX ZONE: MAP 36/37/6 TELE DIST: 6 CENSUS TR: 6016.03
 WATER CODE: G08 SEWER CODE: 3550000

APPROVED PLANNING BOARD OF HOWARD COUNTY
 DATE: 3-15-89
 LKS
 SHEET NO 8 of 18 DATE 11-29-88 DISTRICT SCALE

Paul R. [Signature]
 DATE 11-29-88
 PROJECT NO 87547
 REVISIONS:
 REVISED 1-16-89
 2-22-89 REVISED DETAIL 4/8
 REVISION 3-22-89

VILLAGE OF LONG BEACH SECTION 3, AREA 2, PARCEL A
 1707 East Boulevard Charlotte, NC 28203
 1216 Prince Street Alexandria, VA 22304
 225 Hillborough Street Raleigh, NC 27601

Land Design
 Landscape Architecture Land Planning
 Urban Design
 SITE DETAILS
 8 of 18
 SDP-89-109

GENERAL NOTES

- EXISTING ZONING NEW TOWN - APARTMENTS
- SITE AREA 10.8 AC
- TOTAL AREA OF INTERIOR ROADS 1.5 AC
- WATER SERVICE TO BE PUBLIC
- SEWER SERVICE TO BE PUBLIC
- STORMWATER MANAGEMENT TO BE OFFSITE
- EXISTING 100 YEAR FLOOD PLAIN OCCURS AT ELEVATION 373.0
- APPLICABLE PLANNING AND ZONING FILES:
F-88-171 FINAL PLAT
WP-89-25* WAIVER PETITION
FDP-197A FINAL DEVELOPMENT PLAN CRITERIA
- WAIVER PETITION ADDRESSES THE FOLLOWING:
1) WAIVER OF PRELIMINARY PLAN SUBMISSION
2) WAIVER OF REQUIREMENT FOR SPECIFIC SIDEWALKS
- ALL PUBLIC ROADWAY ENGINEERING, GRADING, AND HORIZONTAL ALIGNMENT INFORMATION PROVIDED BY PURDUM AND JESCHKE, CONSULTING ENGINEERS AND LAND SURVEYORS FOR THE HOWARD RESEARCH AND DEVELOPMENT LAND COMPANY.
- EXISTING VEGETATION COMPRISED OF SECOND GROWTH MIXED HARDWOODS AND SOFTWOODS, 15'-40' HEIGHT.
- ALL RECREATION FACILITIES ARE INTENDED FOR THE RESIDENTS AND GUESTS OF ASHTON MEADOW ONLY.
- PROPOSED STREET NAMES: (SUBJECT TO APPROVAL)
GREYSTONE LANE
COBBLEFIELD DRIVE
AUTUMN RIDGE DRIVE
- ALL RETAINING WALLS ARE LESS THAN 3' IN HEIGHT MEASURED FROM BOTTOM OF WALL TO TOP OF WALL, AT THE HIGHEST POINT.
- A TRAFFIC STUDY FOR THIS PARCEL HAS BEEN PREVIOUSLY SUBMITTED UNDER F-88-171.
- WATER QUALITY CERTIFICATION FROM THE MARYLAND STATE HEALTH DEPARTMENT AND SECTION 404 PERMITS FROM THE ARMY CORP OF ENGINEERS HAVE BEEN ACQUIRED IN ACCORDANCE WITH FDP-197A AND F-88-171.

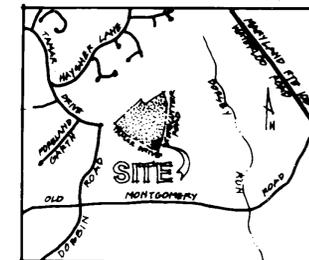
DENSITY TABULATIONS

- MULTI-FAMILY 176 DU
- DENSITY 16.3 DU/AC
- PARKING SPACES REQUIRED @ 1.5 SPACES/1 BR. OR 2 BR. UNIT
2.0 SPACES/3 BR. UNIT 271
- PARKING SPACES PROVIDED 278
- PROJECT BUILDING LOT COVERAGE 20.8% (INCLUDES BUILDINGS, CLUB & POOL, AND CARPORTS)

PARKING TABULATIONS

- | | | |
|-----------------------|---------------|------------------------------------|
| 1 BR | 59 ea. X 1.5 | 88.5 |
| 2 BR | 103 ea. X 1.5 | 154.5 |
| 3 BR | 14 ea. X 2.0 | 28.0 |
| 176 Total d.u. | | 271.0 Total Required Spaces |

VICINITY MAP

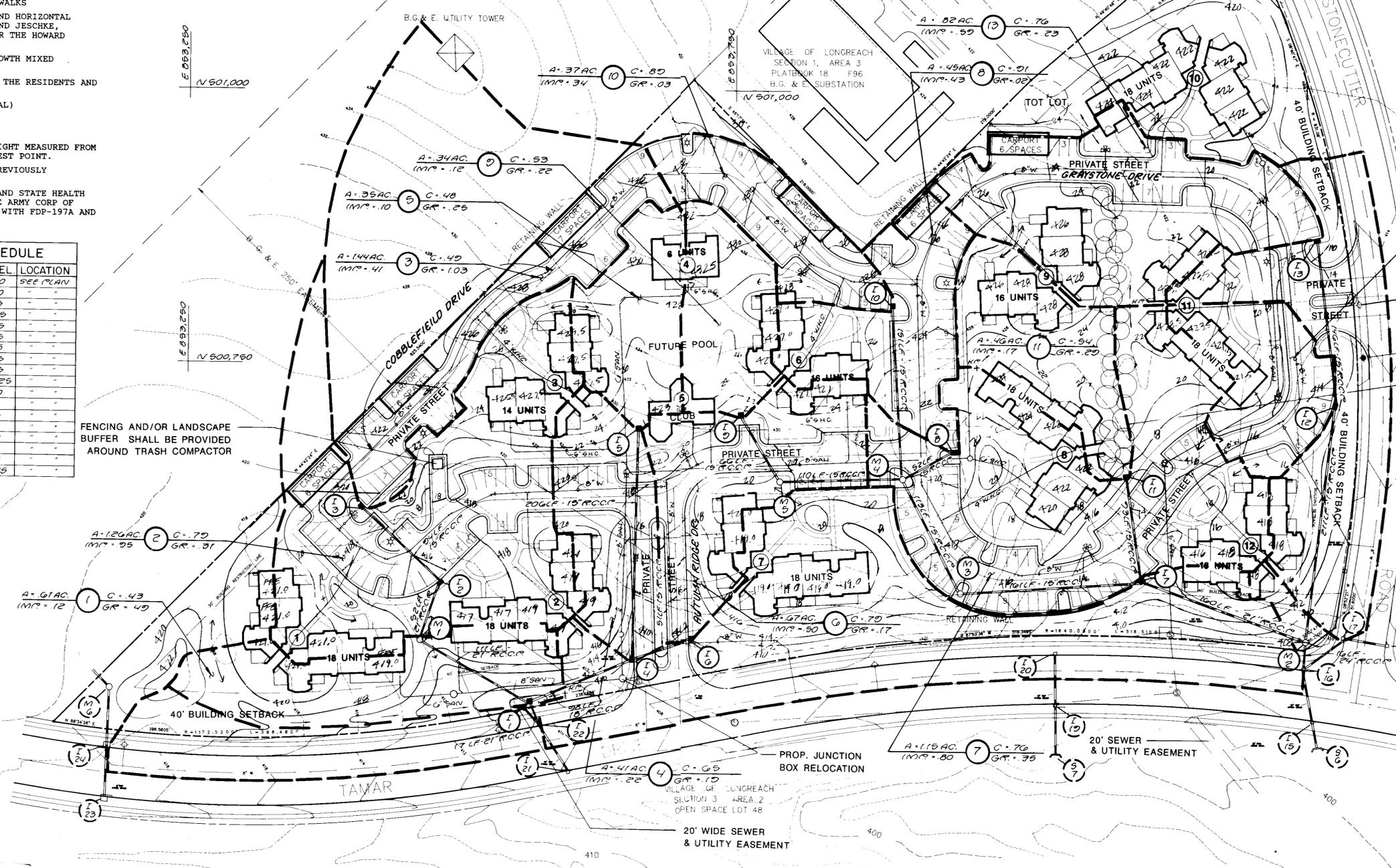


LEGEND

- HYDRANT
- WATER LINE
- STORM SEWER LINE
- SAN. SEWER LINE
- SAN. SEWER JUNCTION BOX
- PROPOSED STREET LIGHT

STORM DRAIN STRUCTURE SCHEDULE

NO.	TYPE	INV. IN	INV. IN	INV. OUT	TOP EL.	LOCATION
E-1	YARD INLET	403.62	403.37	403.12	402.0	SEE PLAN
E-2	A-10 DEP	410.40	-	402.20	410.0	-
E-3	"	-	-	412.73	412.5	-
E-4	A-8 WIDEF	404.20	404.20	404.25	402.5	-
E-5	YARD INLET	-	-	415.00	420.5	-
E-6	A-10 WIDEF	-	-	405.00	402.5	-
E-7	A-10 DEP	408.25	408.25	407.75	413.5	-
E-8	"	-	-	415.00	420.5	-
E-9	YARD INLET	-	-	416.25	412.5	-
E-10	A-10 DEP	-	-	420.00	426.25	-
E-11	YARD INLET	-	-	402.51	410.0	-
E-12	A-10	402.0	-	408.75	414.0	-
E-13	A-10 DEP	-	-	412.00	416.5	-
M-1	STD. MH	408.45	-	408.20	417.0	-
M-2	"	402.25	402.25	402.00	408.0	-
M-3	"	412.20	-	412.25	417.0	-
M-4	"	414.10	414.10	413.55	420.8	-
M-5	"	414.22	-	414.07	420.25	-



FENCING AND/OR LANDSCAPE BUFFER SHALL BE PROVIDED AROUND TRASH COMPACTOR

RELOCATE HYDRANT

PROPOSED HYDRANT RELOCATION

EXISTING TREES TO REMAIN 2ND GROWTH MIXED HARDWOODS 2-6" CALIPER

DEVELOPER/OWNER:
SUMMIT PROPERTIES
203 FRANCIS SCOTT KEY HIGHWAY
BALTIMORE, MARYLAND 21230
(301) 234-0070

PRESENT OWNER:
HOWARD RESEARCH AND DEVELOPMENT
LAND COMPANY
THE ROUSE COMPANY BUILDING
COLUMBIA, MARYLAND 21044
(301) 992-6000

ENGINEER:
STUYLON ASSOCIATES
21 GOVERNOR'S COURT
BALTIMORE, MARYLAND 21207
(301) 944-9112

Scale: 1"=50'



Final Review

DATE 10-19-88
PROJECT NO 87547
REVISIONS 10-24-88 ADDED PROP STREET LIGHTS, TOT, SIGNATURE BLOCK
12-0-88 REVISED LENGTH OF PIPE (STUYLON)
1-17-89 REVISED PER 300 REVISED COMMENTS
3-7-89 REVISED PER DCW COMMENTS
VILLAGE OF LONG REACH SECTION 3, AREA 2, PARCEL A 7-14-89 REVISED PER DCW COM.

ENGINEER'S CERTIFICATE
HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signature of Engineer: [Signature]
DATE: 3-24-89

DEVELOPER'S CERTIFICATE
WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

Signature of Developer: [Signature]
DATE: 3-24-89

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

Signature: [Signature]
DATE: 4-3-89

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT APPROVED

Signature: [Signature]
DATE: [Signature]

APPROVED OFFICE OF PLANNING AND ZONING

Signature: [Signature]
DATE: 5-30-89

Signature: [Signature]
DATE: 5/16/89

APPROVED HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS

Signature: [Signature]
DATE: 5/16/89

APPROVED DEPARTMENT OF PUBLIC WORKS FOR WATER AND SEWER AND STORM DRAINAGE SYSTEMS AND ROADS

Signature: [Signature]
DATE: 3-2-89

Signature: [Signature]
DATE: 3-2-89

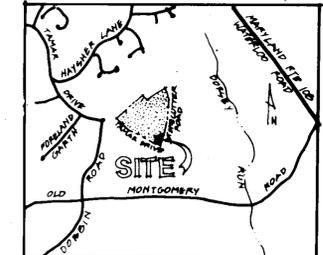
SUBDIVISION NAME ASHTON MEADOW, VILLAGE OF LONGREACH
PLAT NO 8103 BLOCK NO 6/1 ZONE NT APTS TAX/ZONE ELEC DIST CENSUS TR 36/37 6 6016 03
WATER CODE 608 SEWER CODE 3550000

DATE 3-15-89
LKS

SHEET NO. 10 OF 18
SCALE: 1"=50'
DATE 11-29-88
DISTRICT

Land Design
Landscape Architecture Land Planning Urban Design
DRAINAGE AREA MAP & STORM DRAIN PLAN
SDP-89-109

VICINITY MAP SCALE 1"=2,000'



LEGEND

- HYDRANT EX.
- WATER LINE EX.
- STORM SEWER LINE EX.
- SAN. SEWER LINE EX.
- SAN. SEWER JUNCTION BOX EX.

DEVELOPER/OWNER:
SUMMIT PROPERTIES
203 FRANCIS SCOTT KEY HIGHWAY
BALTIMORE, MARYLAND 21230
(301) 234-0070

PRESENT OWNER:
HOWARD RESEARCH AND DEVELOPMENT
LAND COMPANY
THE ROUSE COMPANY BUILDING
COLUMBIA, MARYLAND 21044
(301) 992-6000

ENGINEER:
STV/LYON ASSOCIATES
21 GOVERNOR'S COURT
BALTIMORE, MARYLAND 21207
(301) 944-9112

Scale: 1"=50'

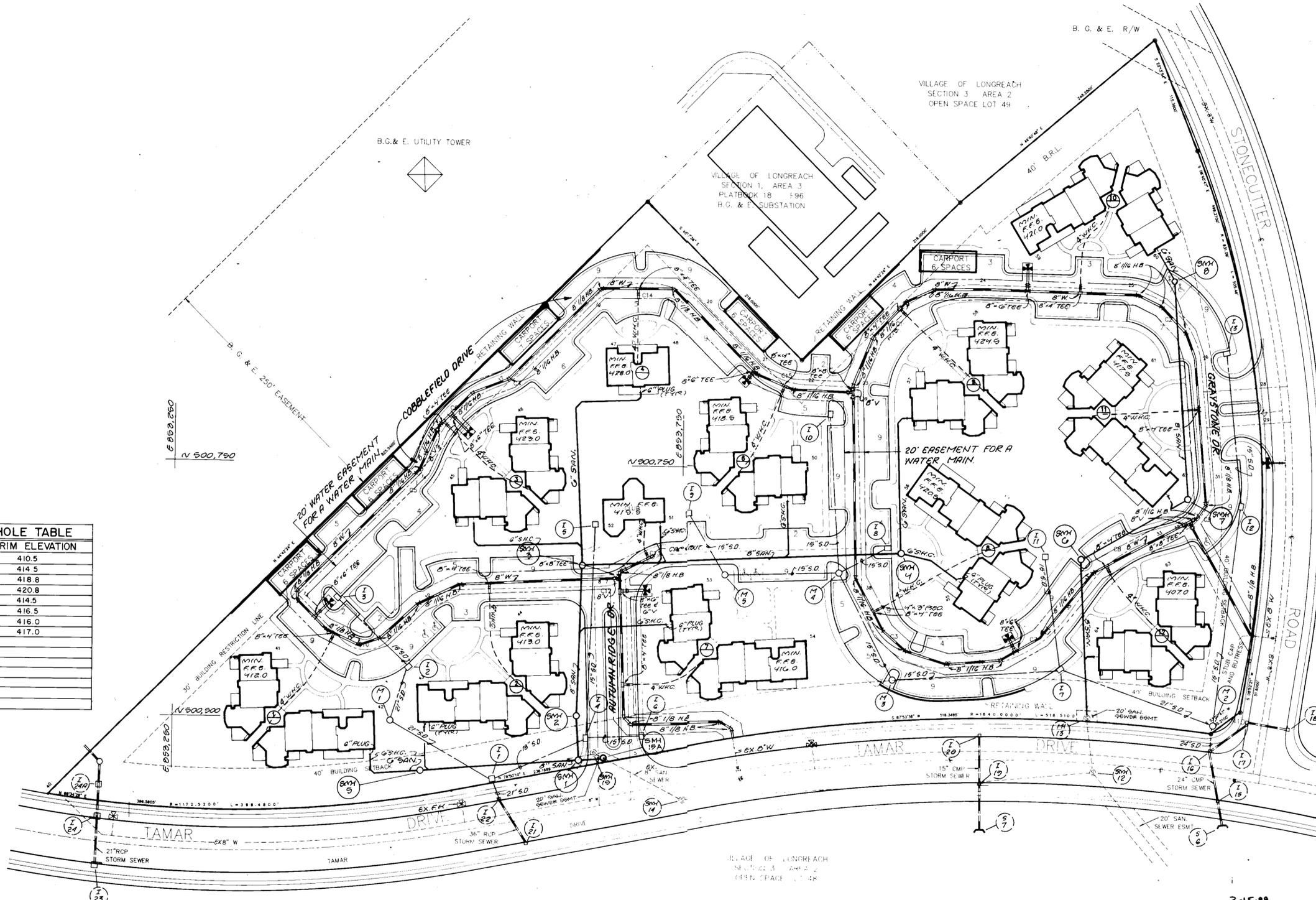


Land Design

DATE: 3-15-89
PROJECT NO: LK5
REVISIONS:
12-8-88 REVISED W/S
H.O. COMM. LOCATIONS PER
D. MCCABE
1-17-89 REVISED SAN. PER
D. MCCABE
3-7-89 REVISED PER D.C.W.
COMMENTS
3-21-89 REV. PER D.C.W. COMMENTS
VILLAGE OF LONG REACH
SECTION 3, AREA 2, PARCEL A
7-14-89 REVISED PER D.M.W. COM.
9-13-89 REV. PER D.M.W. COMMENTS
1716 East Boulevard, Charlotte, NC 28203 704-333-0325
1216 Prince Street, Alexandria, VA 22314 703-549-7784
225 Hildborough Street, Raleigh, NC 919-834-6127

Land Design
Landscape Architecture Land Planning
Urban Design

SAN. MANHOLE TABLE	
SMH. NO.	RIM ELEVATION
1	410.5
2	414.5
3	418.8
4	420.8
5	414.5
6	416.5
7	416.0
8	417.0



STV/LYON ASSOCIATES
ENGINEERS - SURVEYORS - PLANNERS
21 GOVERNOR'S COURT
BALTIMORE, MD 21207
(301-944-9112)

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature]
SIGNATURE OF ENGINEER
DATE: 3-24-89

DEVELOPER'S CERTIFICATE
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ONSITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY."

[Signature]
SIGNATURE OF DEVELOPER
DATE: 3-24-89

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

[Signature]
U.S. SOIL CONSERVATION SERVICE
DATE: 3/21/89

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED:
[Signature]
DISTRICT HOWARD SOIL CONSERVATION DISTRICT
DATE: 3/21/89

APPROVED: OFFICE OF PLANNING AND ZONING

[Signature]
PLANNING DIRECTOR
DATE: 5-20-89

[Signature]
CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT
DATE: 5/20/89

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS.

[Signature]
DATE: 5/20/89

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER AND SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.

[Signature]
DIRECTOR, PUBLIC WORKS
DATE: 5/20/89

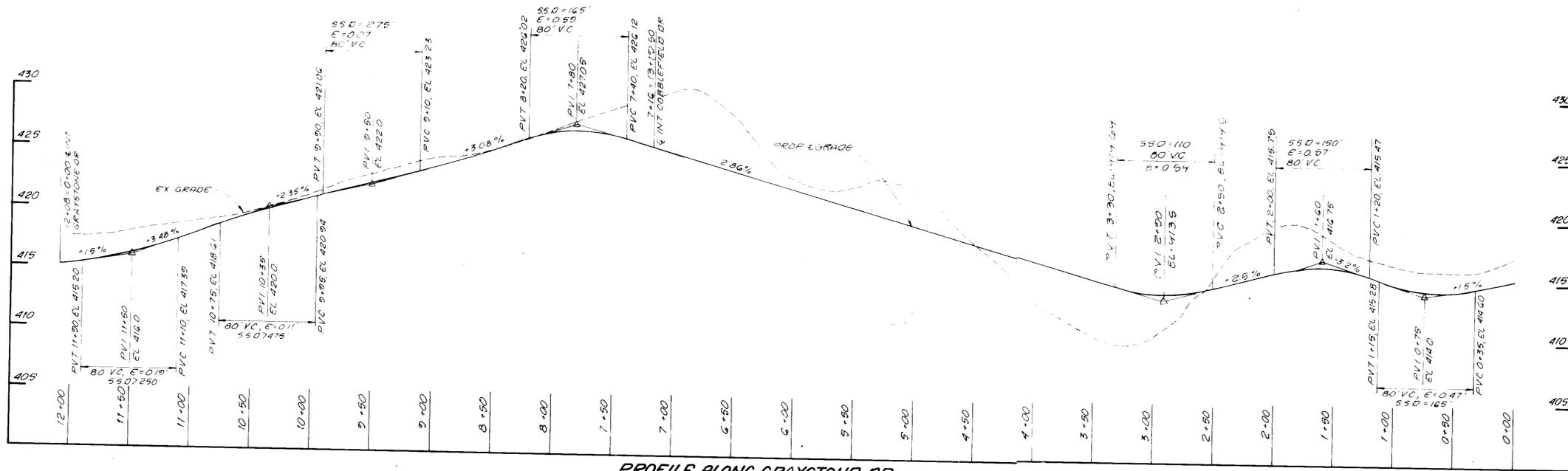
[Signature]
CHIEF, BUREAU OF ENGINEERING
DATE: 5-2-89

SUBDIVISION NAME ASHTON MEADOW, VILLAGE OF LONGREACH
SECTION/AREA 3/2
PARCEL A

PLAT NO. 8103	BLOCK NO. 6/1	ZONE NT	TAX/ZONE MAP 36/37	ELEC DIST 6	CENSUS TR 6016.03
WATER CODE 608			SEWER CODE 355.0000		

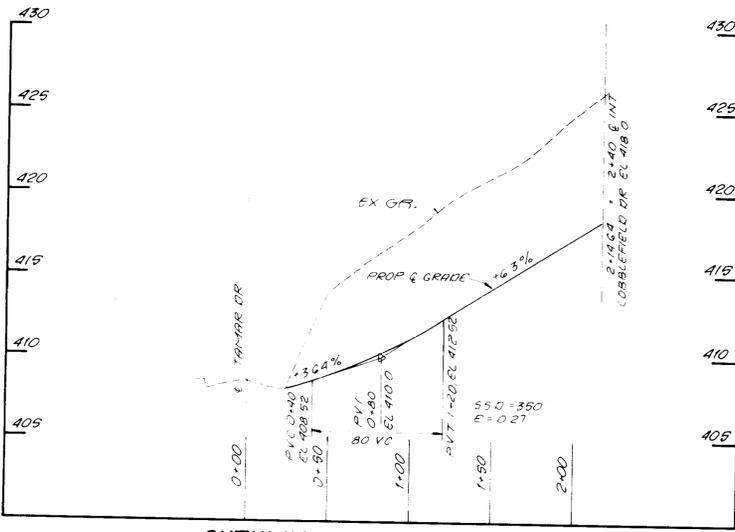
WATER AND SEWER PLAN

SHEET NO. 11 OF 18
SCALE: 1"=50'
DATE: 11-29-88
DISTRICT



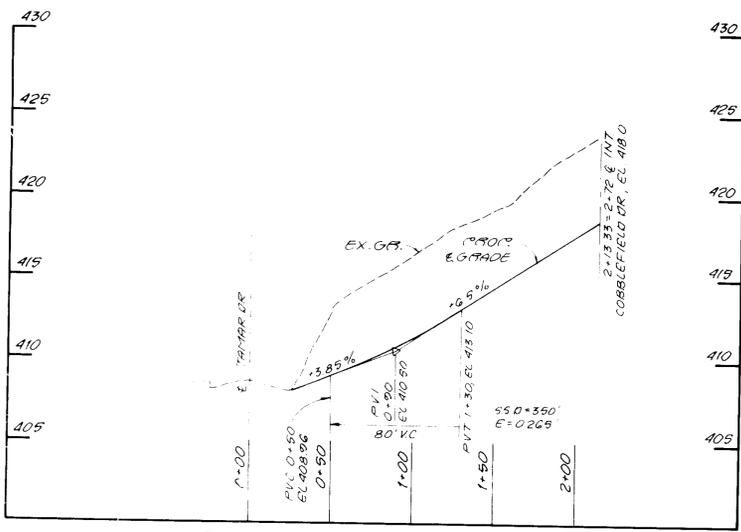
PROFILE ALONG GRAYSTONE DR.

SCALE: 1"=90 HOR
1"=5 VERT



AUTUMN RIDGE DRIVE-ENTRANCE

SCALE: 1"=90 HOR
1"=5 VERT



AUTUMN RIDGE DRIVE-EXIT

SCALE: 1"=90 HOR
1"=5 VERT

DEVELOPER/OWNER:
SUMMIT PROPERTIES
203 FRANCIS SCOTT KEY HIGHWAY
BALTIMORE, MARYLAND 21230
(301) 234-0070

PRESENT OWNER:
HOWARD RESEARCH AND DEVELOPMENT
LAND COMPANY
THE ROUSE COMPANY BUILDING
COLUMBIA, MARYLAND 21044
(301) 992-6000

ENGINEER:
STW/LVON ASSOCIATES
21 GOVERNOR'S COURT
BALTIMORE, MARYLAND 21207
(301) 944-9112

Scale: 1"=50'



Paul Rogers

DATE: _____
PROJECT NO: _____
REVISIONS: _____

VILLAGE OF LONG REACH
SECTION 3, AREA 1, PARCEL A

Land Design
Landscape Architecture Land Planning
Urban Design

ENGINEER'S CERTIFICATE
HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: *James A. Mc...*
DATE: _____

DEVELOPER'S CERTIFICATE
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

Signature: *Samuel J. Mc...*
DATE: 3-24-89

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

Signature: *James M. Clement*
DATE: 4/3/89

U.S. SOIL CONSERVATION SERVICE

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: *Stephen J. ...*
DATE: 2-31-89

DISTRICT HOWARD SOIL CONSERVATION DISTRICT

APPROVED OFFICE OF PLANNING AND ZONING

Signature: *W.R. ...*
DATE: 5-20-89

PLANNING DIRECTOR

Signature: *Martha S. ...*
DATE: 5/25/89

CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT

APPROVED HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS

Signature: *James M. ...*
DATE: 5/6/89

HEALTH OFFICER

APPROVED DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER AND SEWER AND STORM DRAINAGE SYSTEMS AND ROADS

Signature: *James ...*
DATE: 5/2/89

DIRECTOR, PUBLIC WORKS

Signature: *William B. ...*
DATE: 5-2-89

CHIEF, BUREAU OF ENGINEERING

SUBDIVISION NAME: MEADOW, VILLAGE OF LONGREACH
SECTION/AREA: 3/2
PARCEL: A

PLAT NO: 8103
BLOCK NO: 6/1
ZONE: NT
TAX/ZONE MAP: 36/37
TELEC DIST: 6
CENSUS TR: 601603

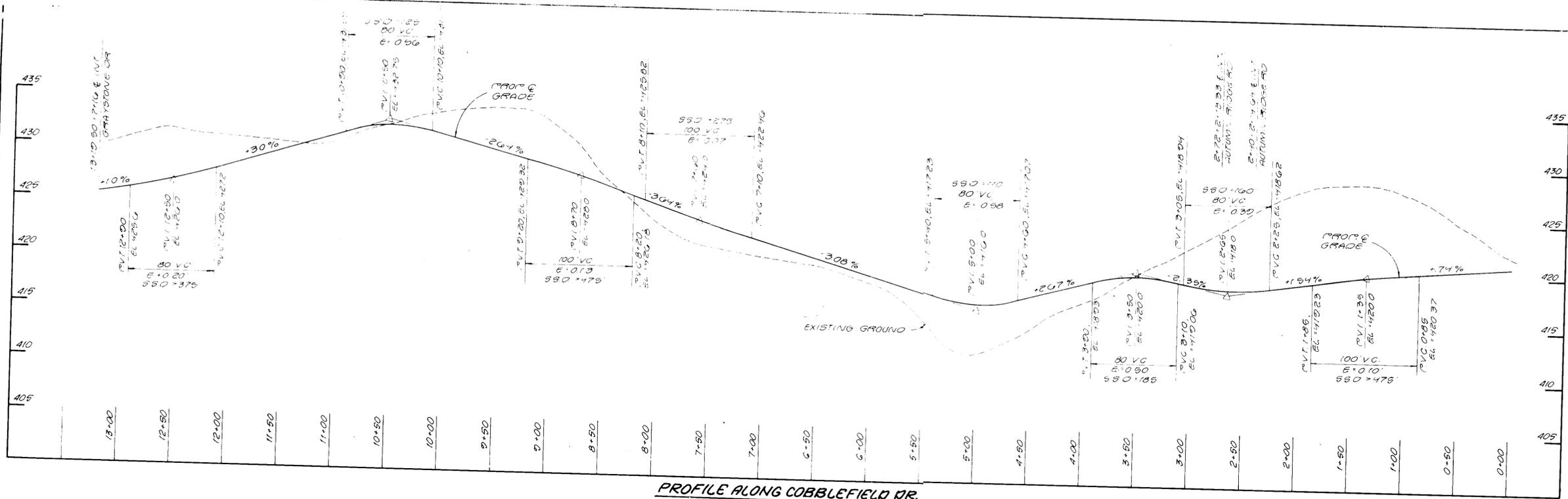
WATER CODE: 608
SEWER CODE: 3550000

3-15-89
LKS

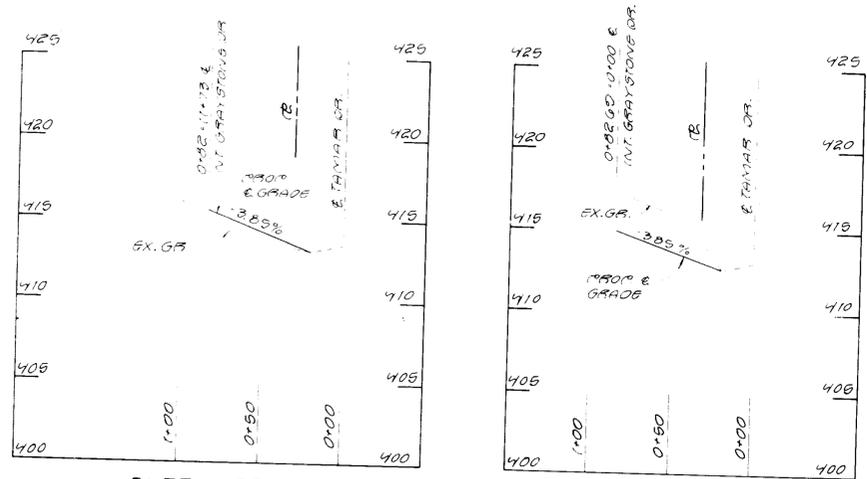
SHEET NO 12 OF 18
SCALE AS SHOWN

DATE: 1-13-89
DISTRICT

ROAD PROFILE



PROFILE ALONG COBBLEFIELD RR.
SCALE: 1"=50' HOR.
1"=5' VERT.



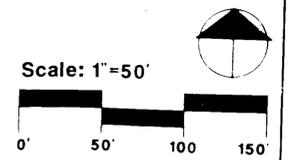
ENTRANCE AT STONECUTTER RD.
SCALE: 1"=50' HOR.
1"=5' VERT.

EXIT AT STONECUTTER RD.
SCALE: 1"=50' HOR.
1"=5' VERT.

DEVELOPER/OWNER:
SUMMIT PROPERTIES
203 FRANCIS SCOTT KEY HIGHWAY
BALTIMORE, MARYLAND 21230
(301) 234-0070

PRESENT OWNER:
HOWARD RESEARCH AND DEVELOPMENT
LAND COMPANY
THE ROUSE COMPANY BUILDING
COLUMBIA, MARYLAND 21044
(301) 992-6000

ENGINEER:
STV/LYDON ASSOCIATES
21 GOVERNOR'S COURT
BALTIMORE, MARYLAND 21207
(301) 944-9112



Final Design
DATE: _____
PROJECT NO: _____
REVISIONS: _____

VILLAGE OF LONG REACH
SECTION 3, AREA 2, PARCELS A

Land Design
Landscape Architecture Land Planning
Urban Design

ENGINEER'S CERTIFICATE
HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

SIGNATURE OF ENGINEER: *[Signature]*
DATE: 3-24-89

DEVELOPER'S CERTIFICATE
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

SIGNATURE OF DEVELOPER: *[Signature]*
DATE: 3-24-89

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

[Signature] 5/15/89
U.S. SOIL CONSERVATION SERVICE DATE

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT APPROVED.

[Signature] 5/15/89
DISTRICT HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED OFFICE OF PLANNING AND ZONING

[Signature] 5-30-89
PLANNING DIRECTOR DATE

[Signature] 5/24/89
CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE

APPROVED HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS.

[Signature] 5/15/89
HEALTH OFFICER DATE

APPROVED DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER AND SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.

[Signature] 5/2/89
DIRECTOR, PUBLIC WORKS DATE

[Signature] 5-2-89
CHIEF, BUREAU OF ENGINEERING DATE

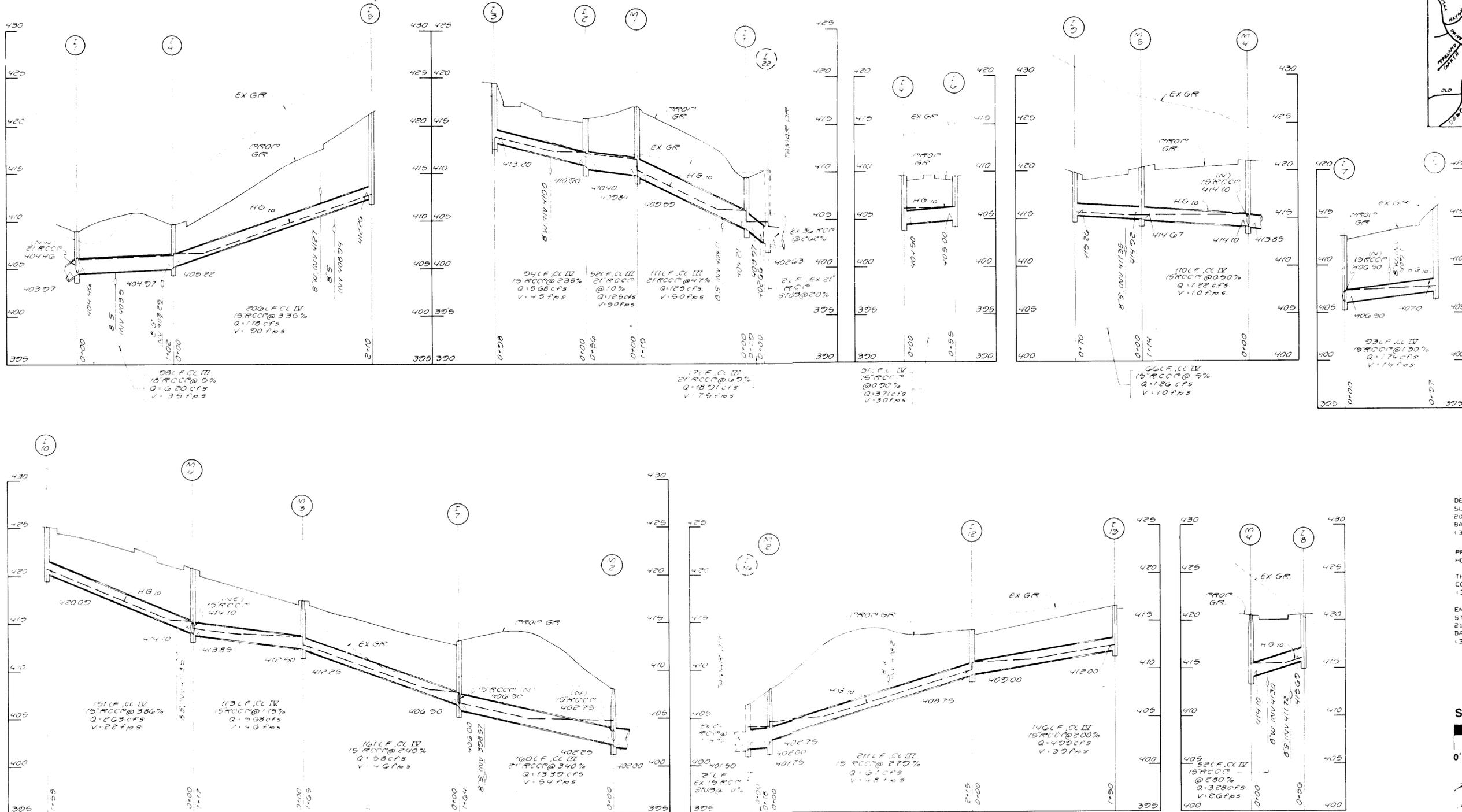
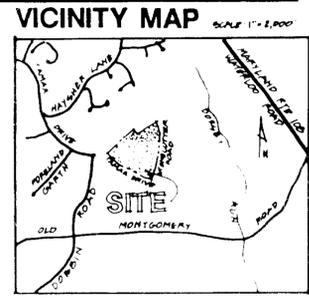
SUBDIVISION NAME ASHTON MEADOW, VILLAGE OF LONGREACH	SECTION/AREA 3/2	PARCEL A
PLAT NO. 8103	BLOCK NO. 6/1	ZONE NT
TAX/ZONE MAP 36/37	ELEC/DIST 6	CENSUS TR 6016 03
WATER CODE G08	SEWER CODE 3550000	

3-15-89
LKS

SHEET NO 13 OF 18
SCALE AS SHOWN

DATE 1-13-89
DISTRICT

ROAD PROFILE

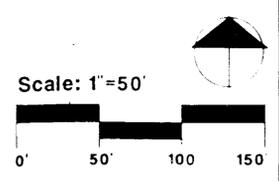


PROFILES
SCALE: 1"=50' HOR.
1"=5' VERT.

DEVELOPER/OWNER:
SUMMIT PROPERTIES
203 FRANCIS SCOTT KEY HIGHWAY
BALTIMORE, MARYLAND 21230
(301) 234-0070

PRESENT OWNER:
HOWARD RESEARCH AND DEVELOPMENT
LAND COMPANY
THE ROUSE COMPANY BUILDING
COLUMBIA, MARYLAND 21044
(301) 992-6000

ENGINEER:
STVLBYN ASSOCIATES
21 GOVERNOR'S COURT
BALTIMORE, MARYLAND 21207
(301) 944-9112



Paul R. Stinson
DATE: 3-15-89
PROJECT: MEADOWS RD & BOLLING RD
PROFILE I-1 TO I-8

VILLAGE OF LONG REACH
SECTION 3, AREA 2, PARCEL 4

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

James M. Stinson
SIGNATURE OF ENGINEER
DATE: 3-24-89

DEVELOPER'S CERTIFICATE
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I/ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY.

Samuel J. Helle
SIGNATURE OF DEVELOPER
DATE: 3-24-89

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

James M. Stinson
DATE: 3-24-89

U.S. SOIL CONSERVATION SERVICE

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT APPROVED.

James M. Stinson
DATE: 3-24-89

APPROVED OFFICE OF PLANNING AND ZONING

Unk
DATE: 3-20-89

James M. Stinson
DATE: 3-15-89

CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT

APPROVED HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS

James M. Stinson
DATE: 3/6/89

APPROVED DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER AND SEWER AND STORM DRAINAGE SYSTEMS AND ROADS

James M. Stinson
DATE: 5/2/89

CHIEF, BUREAU OF ENGINEERING

DATE: 5-2-89

SUBDIVISION NAME	ASHTON	SECTION/AREA	3/2	PARCEL	A
MEADOW VILLAGE OF LONGREACH					
PLAT NO.	8103	TAX/ZONE	6	ELEC/DIST	6016.03
BLOCK NO.	6/1	MAP	36/37	CENSUS TR	
WATER CODE	608	SEWER CODE	3550000		

DATE: 3-15-89

PROJECT: MEADOWS RD & BOLLING RD

PROFILE I-1 TO I-8

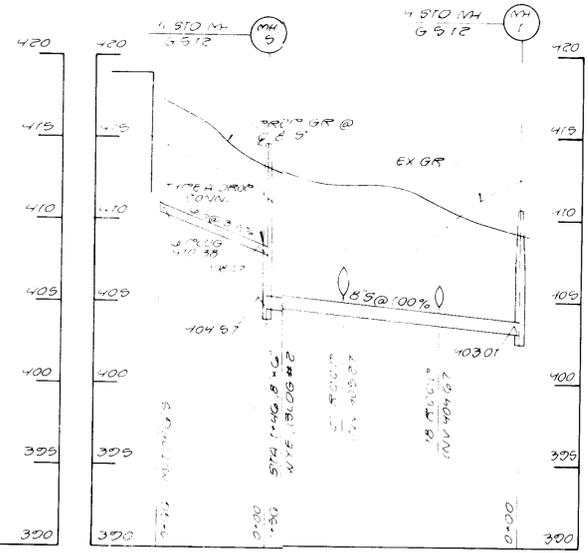
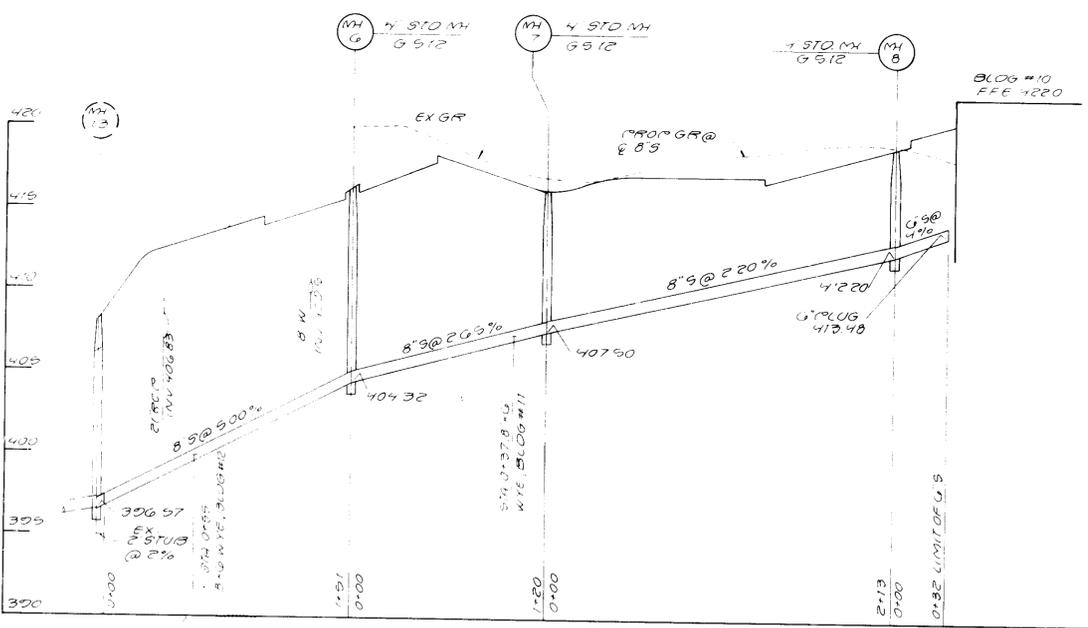
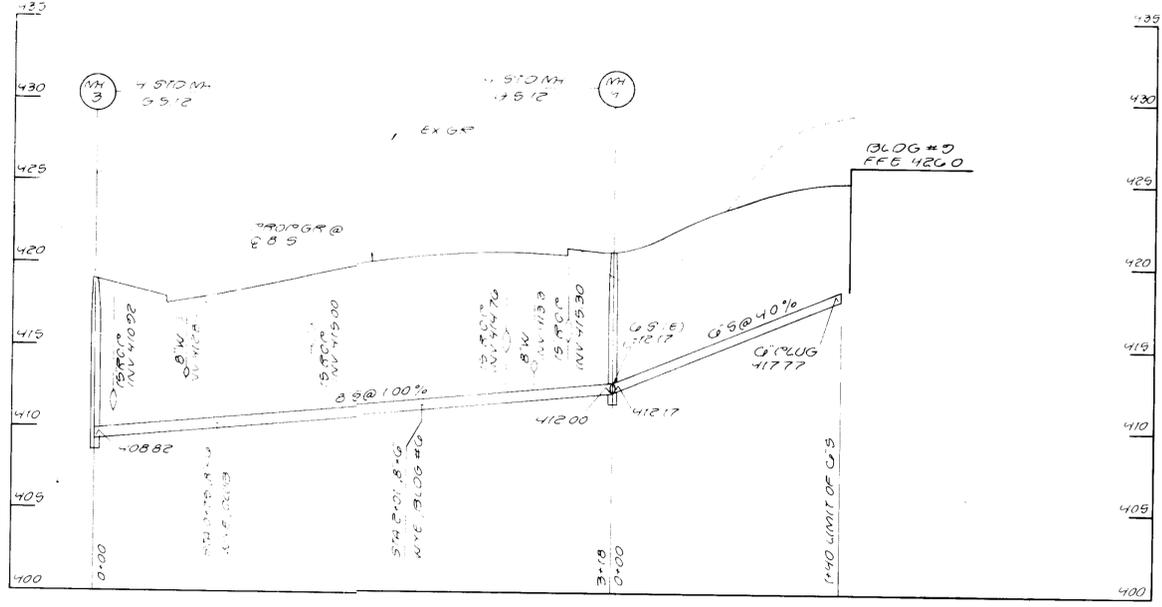
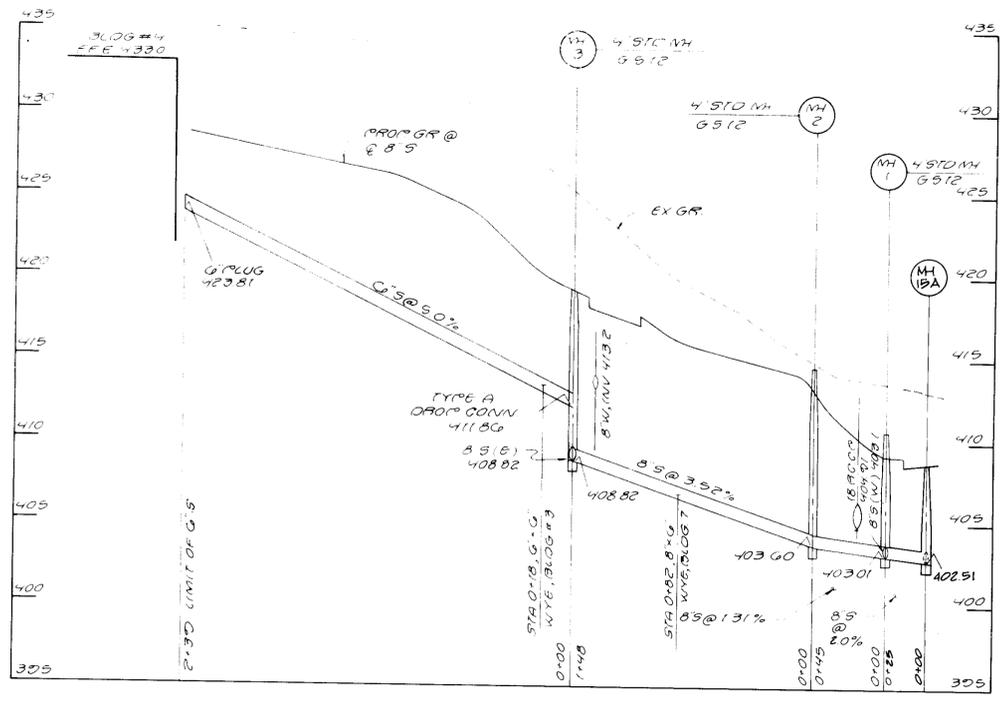
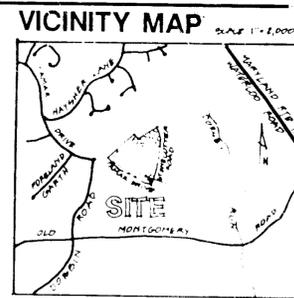
SHEET NO 14 OF 18
SCALE AS SHOWN

DATE: 11-29-88
DISTRICT

Land Design
Landscape Architecture • Land Planning • Urban Design

STORM DRAIN PROFILES

SDP-89-109

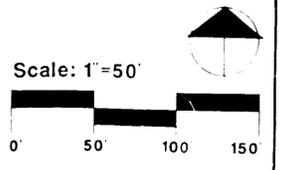


PROFILES
SCALE 1" = 50' VERT

DEVELOPER/OWNER:
SUMMIT PROPERTIES
203 FRANCIS STREET, HIGHWAY
BALTIMORE, MARYLAND 21202
(301) 234-0070

PRESENT OWNER:
HOWARD RESEARCH AND DEVELOPMENT
LAND COMPANY
THE ROUSE COMPANY BUILDING
COLUMBIA, MARYLAND 21044
(301) 992-6000

ENGINEER:
STEVYON ASSOCIATES
21 GOVERNOR'S COURT
BALTIMORE, MARYLAND 21207
(301) 944-9112

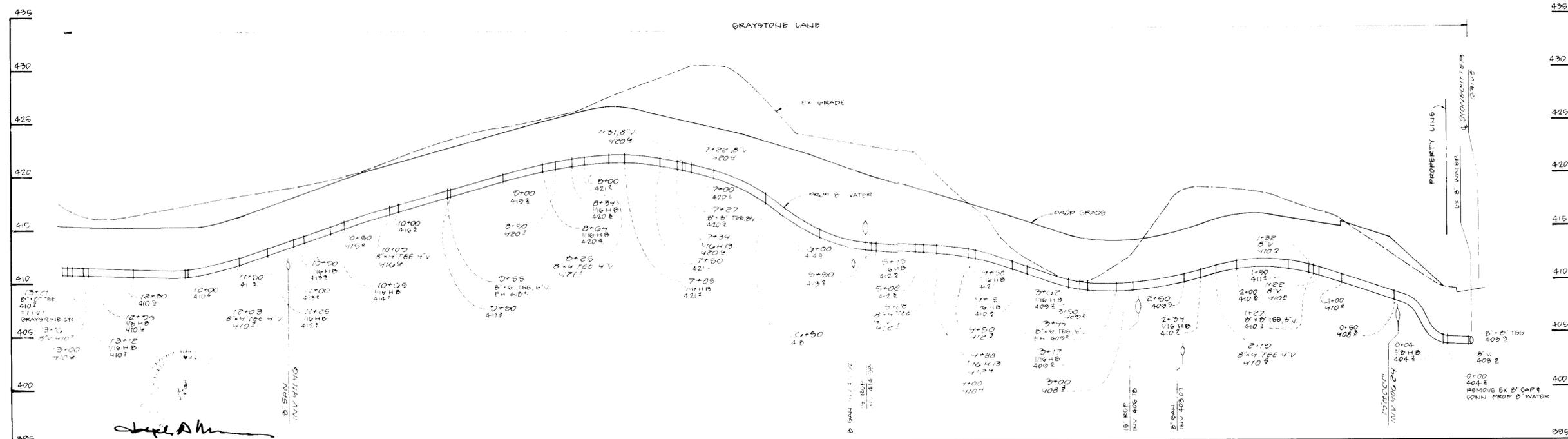
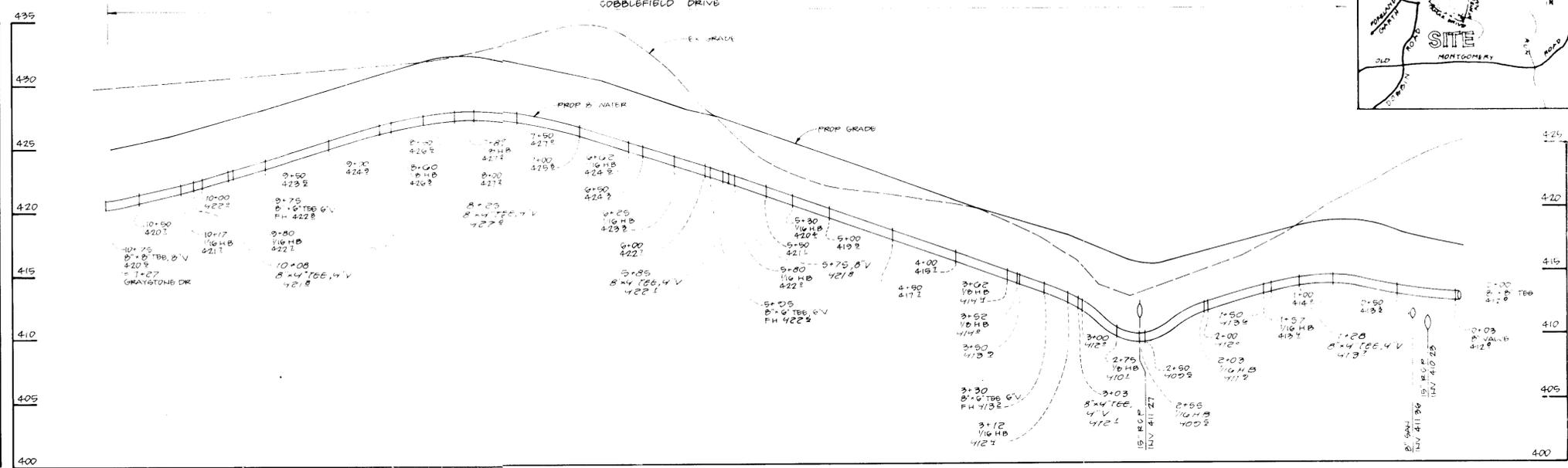
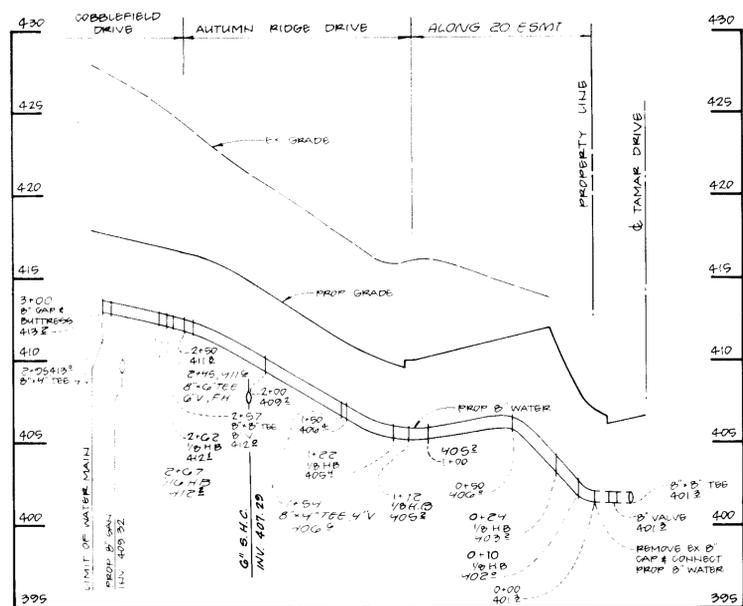
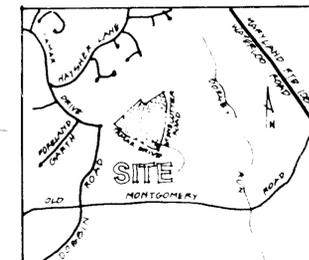


Land Design
Landscape Architecture and Planning
Urban Design

3-15-89
LKS

<p>ENGINEER'S CERTIFICATE HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT</p> <p><i>James M. Boyle</i> SIGNATURE OF ENGINEER DATE</p>	<p>DEVELOPER'S CERTIFICATE I WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.</p> <p><i>David T. McVie</i> SIGNATURE OF DEVELOPER DATE 3-24-89</p>	<p>REVIEWED FOR HOWARD COUNTY HEALTH DEPARTMENT AND MEETS TECHNICAL REQUIREMENTS</p> <p><i>James M. Boyle</i> U.S. SOIL CONSERVATION SERVICE DATE 4-3-89</p> <p>THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT APPROVED</p> <p><i>James M. Boyle</i> DISTRICT HOWARD SOIL CONSERVATION DISTRICT DATE 3-24-89</p>	<p>APPROVED OFFICE OF PLANNING AND ZONING</p> <p><i>Ullrich</i> PLANNING DIRECTOR DATE 5-30-89</p> <p><i>Frank J. J. Langhans</i> CHIEF DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE 5/2/89</p> <p>APPROVED HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS</p> <p><i>James M. Boyle</i> DATE 5/16/89</p>	<p>APPROVED DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER AND SEWER AND STORM DRAINAGE SYSTEMS AND ROADS</p> <p><i>James M. Boyle</i> DIRECTOR PUBLIC WORKS DATE 6/6/89</p> <p><i>James M. Boyle</i> CHIEF BUREAU OF ENGINEERING DATE 5-2-89</p>	<p>SUBDIVISION NAME ASHTON MEADOW VILLAGE OF LONGREACH BLK #5 BLDG NO 701 WATER CODE 608</p> <p>SECTION/AREA 3/2 PARCEL A</p> <p>TAX/ZONE MAP 36/37 ELEC DIST 6th CENSUS TR 6061.03</p> <p>SEWER CODE 3550000</p> <p>SHEET NO. 15 OF 18 SCALE AS SHOWN</p> <p>DATE 11-29-88 DISTRICT</p>
---	---	--	---	--	--

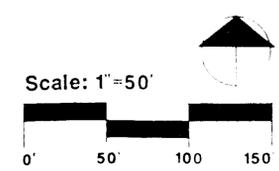
VICINITY MAP SCALE 1"=100'



DEVELOPER/OWNER:
SUMMIT PROPERTIES
203 FRANCIS SCOTT KEY HIGHWAY
BALTIMORE, MARYLAND 21230
(301) 234-0070

PRESENT OWNER:
HOWARD RESEARCH AND DEVELOPMENT
LAND COMPANY
THE ROUSE COMPANY BUILDING
COLUMBIA, MARYLAND 21044
(301) 992-6000

ENGINEER:
STYLSON ASSOCIATES
21 GOVERNOR'S COURT
BALTIMORE, MARYLAND 21207
(301) 944-9112



Scale: 1"=50'

REVISIONS:

- 12-10-88 REVISION FOR WES HO CONVA LOCAL DISTRICT PER 10 MOD 38
- 12-01-88 REVISION FOR DOW SUBMISSION
- 3-28-88 REVISION PER CIVIL DISTRICT
- 2-21-88 REVISION PER CIVIL DISTRICT
- 7-14-88 REVISION PER CIVIL DISTRICT

VILLAGE OF LONG REACH
SECTION 3, AREA 2, PARCEL A

ENGINEER'S CERTIFICATE
HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

SIGNATURE OF ENGINEER: [Signature]
DATE: 3-24-89

DEVELOPER'S CERTIFICATE
I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY.

SIGNATURE OF DEVELOPER: [Signature]
DATE: 3-24-89

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

[Signature]
DATE: 3/24/89

U.S. SOIL CONSERVATION SERVICE

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT APPROVED

[Signature]
DATE: 3/24/89

DISTRICT HOWARD SOIL CONSERVATION DISTRICT

APPROVED OFFICE OF PLANNING AND ZONING

[Signature]
DATE: 5-30-89

PLANNING DIRECTOR

[Signature]
DATE: 5/25/89

CHIEF DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT

APPROVED HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS

[Signature]
DATE: 5/6/89

HEALTH OFFICER

APPROVED DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER AND SEWER AND STORM DRAINAGE SYSTEMS AND ROADS

[Signature]
DATE: 5/1/89

DIRECTOR PUBLIC WORKS

[Signature]
DATE: 5-2-89

CHIEF BUREAU OF ENGINEERING

SUBDIVISION NAME ASHTON MEADOW VILLAGE OF LONGREACH
SECTION AREA 3/2
PARCEL A
PLAT NO. 8103
BLOCK NO. 671
ZONING MAP 36/37
TAX ZONE 6
ELEC DIST 6
CENSUS TR 5016 03
WATER CODE 608
SEWER CODE 3550000

3-15-89
LKS

SHEET NO. 16 OF 18
SCALE AS SHOWN

DATE 11-29-88
DISTRICT

Land Design
Landscape Architecture
Urban Design

WATER PROFILES

SDP-89-109

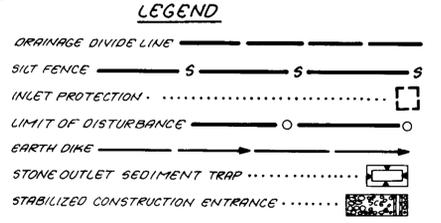
STONE OUTLET SEDIMENT TRAP #1
 1. DRAINAGE AREA = 5.0 AC.
 2. STORAGE REQ'D = 50 * 67 C.Y. (AC * 335 C.Y.)
 3. STORAGE PROVIDED = 21 * 75 * 6' = 27 * 336 C.Y.
 4. WEIR LENGTH = 20' SIDE SLOPES = 1:1
 5. BOTTOM ELEV. = 402.5
 6. TOP OF EMBANKMENT = 410.5
 7. CREST ELEV. = 405.5
 8. CLEANOUT ELEV. = 405.5

NOTE:
 ALL CUT & FILL QUANTITIES AS SHOWN HEREON ARE FOR INFORMATIONAL PURPOSES ONLY AS REQUIRED BY THE MUNICIPAL SEDIMENT CONTROL AUTHORITIES INVOLVED. THE CONTRACTOR SHALL VERIFY ALL SUCH CALCULATIONS TO HIS OWN SATISFACTION FOR BID CONTRACT PURPOSES.

STONE OUTLET SEDIMENT TRAP #2
 1. DRAINAGE AREA = 1.2 AC.
 2. STORAGE REQ'D = 12 * 67 C.Y. (AC * 304 C.Y.)
 3. STORAGE PROVIDED = 20 * 28 * 4' = 27 * 82 C.Y.
 4. WEIR LENGTH = 4.8' SIDE SLOPES = 1:1
 5. BOTTOM ELEV. = 407.5
 6. TOP OF EMBANKMENT = 415.5
 7. CREST ELEV. = 414.5
 8. CLEANOUT ELEV. = 411.5

STONE OUTLET SEDIMENT TRAP #3
 1. DRAINAGE AREA = 1.0 AC.
 2. STORAGE REQ'D = 10 * 67 C.Y. (AC * 107 C.Y.)
 3. STORAGE PROVIDED = 27 * 27 * 4' = 108 C.Y.
 4. WEIR LENGTH = 6.4' SIDE SLOPES = 1:1
 5. BOTTOM ELEV. = 408.5
 6. TOP OF EMBANKMENT = 414.5
 7. CREST ELEV. = 413.5
 8. CLEANOUT ELEV. = 410.5

STONE OUTLET SEDIMENT TRAP #4
 1. DRAINAGE AREA = 2.3 AC.
 2. STORAGE REQ'D = 23 * 67 C.Y. (AC * 154 C.Y.)
 3. STORAGE PROVIDED = 29 * 22 * 25 * 37 * 6' = 164 C.Y.
 4. WEIR LENGTH = 9.2' SIDE SLOPES = 1:1
 5. BOTTOM ELEV. = 370.5
 6. TOP OF EMBANKMENT = 407.5
 7. CREST ELEV. = 406.5
 8. CLEANOUT ELEV. = 402.5

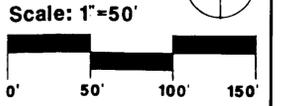


STONE OUTLET SEDIMENT TRAP #5
 1. DRAINAGE AREA = 1.2 AC.
 2. STORAGE REQ'D = 12 * 67 = 804 C.Y.
 3. STORAGE PROVIDED = 20 * 28 * 4' = 27 * 82 C.Y.
 4. WEIR LENGTH = 4.8' SIDE SLOPES = 1:1
 5. BOTTOM ELEV. = 408.5
 6. TOP OF EMBANKMENT = 414.5
 7. CREST ELEV. = 413.5
 8. CLEANOUT ELEV. = 410.5

DEVELOPER/OWNER:
 SUMMIT PROPERTIES
 203 FRANCIS SCOTT KEY HIGHWAY
 BALTIMORE, MARYLAND 21230
 (301) 234-0070

PRESENT OWNER:
 HOWARD RESEARCH AND DEVELOPMENT
 LAND COMPANY
 THE ROUSE COMPANY BUILDING
 COLUMBIA, MARYLAND 21044
 (301) 992-6000

ENGINEER:
 STV/LYON ASSOCIATES
 21 GOVERNOR'S COURT
 BALTIMORE, MARYLAND 21207
 (301) 944-9112



Revision Log

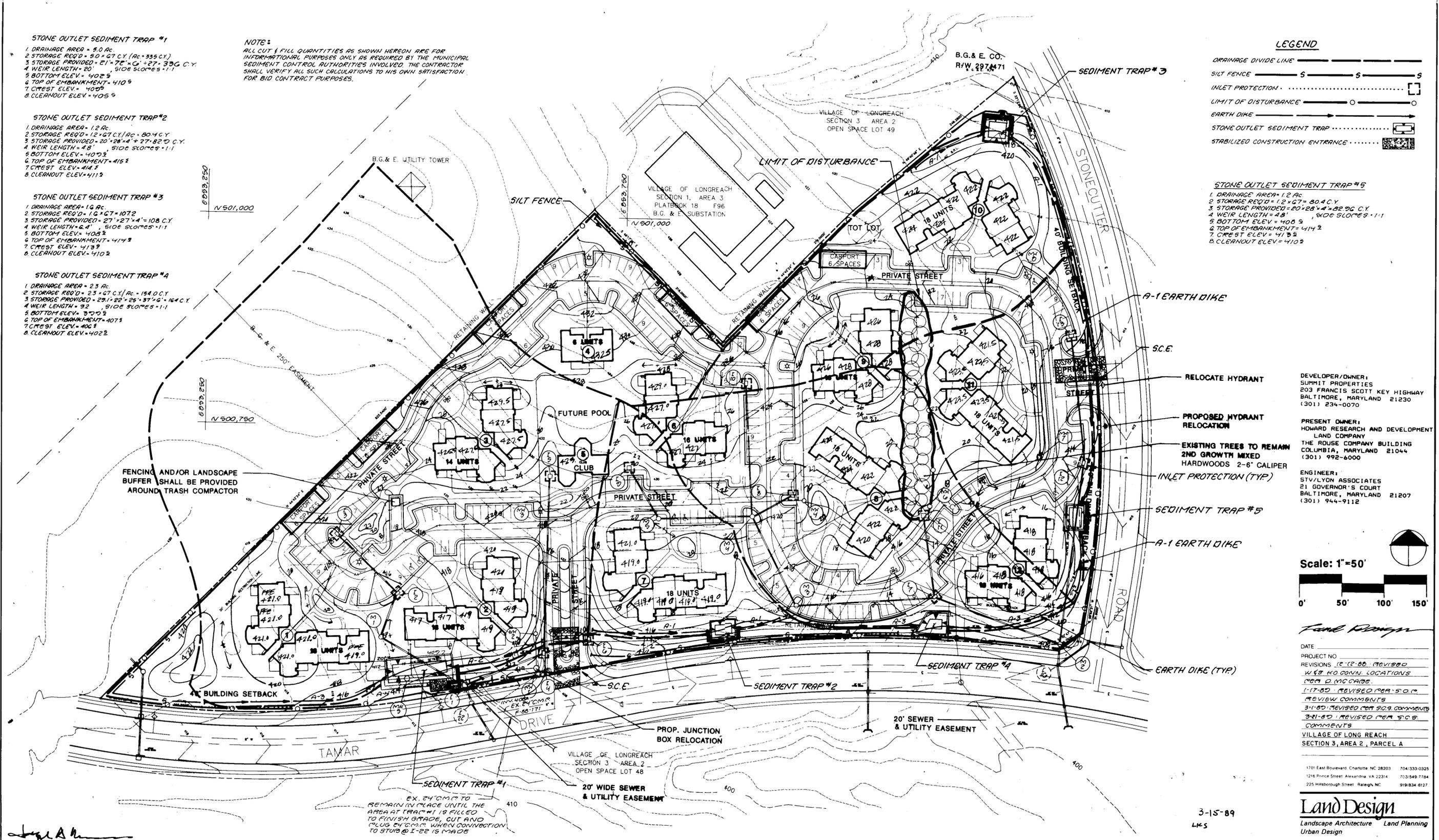
DATE	REVISIONS
12-12-88	REVISED
1-17-89	REVISED PER S.O.C. REVIEW COMMENTS
3-11-89	REVISED PER S.O.C. COMMENTS
3-21-89	REVISED PER S.O.C. COMMENTS

VILLAGE OF LONG REACH
 SECTION 3, AREA 2, PARCEL A

1701 East Boulevard Charlotte, NC 28203 704/333-0325
 1216 Prince Street Alexandria, VA 22314 703/549-7784
 225 Hillsborough Street Raleigh, NC 919/834-6127

Land Design
 Landscape Architecture Land Planning
 Urban Design

3-15-89
 LKS



STV/LYON ASSOCIATES
 ENGINEERS · SURVEYORS · PLANNERS
 21 GOVERNOR'S COURT
 BALTIMORE, MD 21207
 (301) 944-9112

ENGINEER'S CERTIFICATE
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

EX. 24" O.M.C. TO REMAIN IN PLACE UNTIL THE AREA AT TRAP #1 IS FILLED TO FINISH GRADE, CUT AND PLUG 24" O.M.C. WHEN CONNECTION TO STUB @ I-22 IS MADE

DEVELOPER'S CERTIFICATE
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I/ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

U.S. SOIL CONSERVATION SERVICE DATE

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: DATE

APPROVED: OFFICE OF PLANNING AND ZONING

PLANNING DIRECTOR DATE

CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS. DATE

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER AND SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.

DIRECTOR, PUBLIC WORKS DATE

CHIEF, BUREAU OF ENGINEERING DATE

SEDIMENT CONTROL PLAN

SUBDIVISION NAME ASHTON MEADOW, VILLAGE OF LONGREACH SECTION/AREA 3/2 PARCEL A

PLAT NO. 8103 BLOCK NO. 6/1 ZONE NT MAP 36/37 ELEC DIST 6 CENSUS TR 6016.03

WATER CODE 608 SEWER CODE 3550000

SHEET NO. 17 OF 18 SCALE: 1" = 50' DATE: 11-29-88 DISTRICT

