

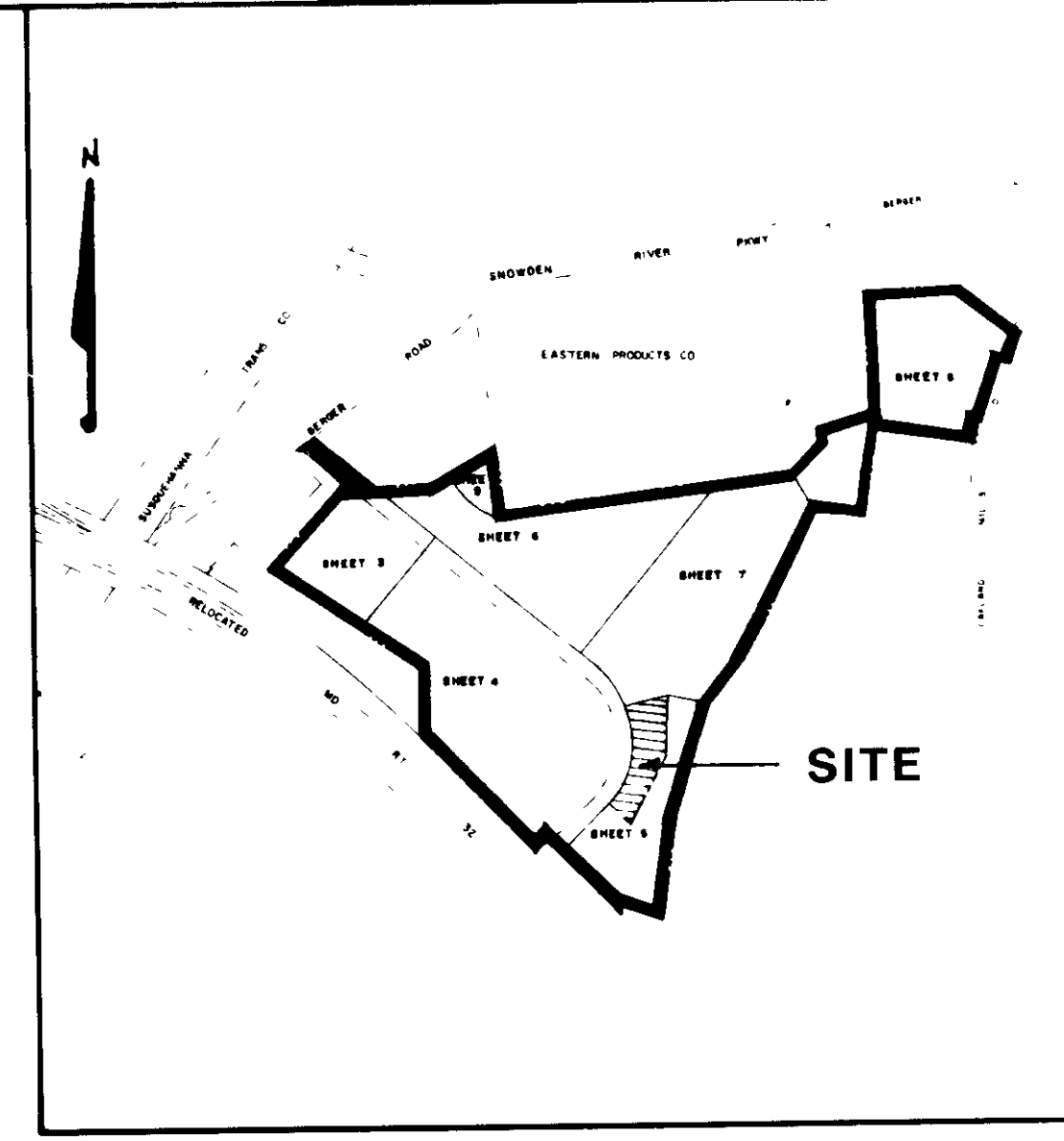
**SHEET INDEX**

NO	DESCRIPTION
1 of 6	COVER SHEET
2 of 6	SITE PLAN
3 of 6	GRADING & SEDIMENT CONTROL PLAN
4 of 6	DETAIL SHEET
5 of 6	SWM PLAN & DETAIL SHEET
6 of 6	LANDSCAPE PLAN

**DEVELOPMENTAL SERVICES GROUP, INC.**

**OFFICE / WORKSHOP ADDITION**

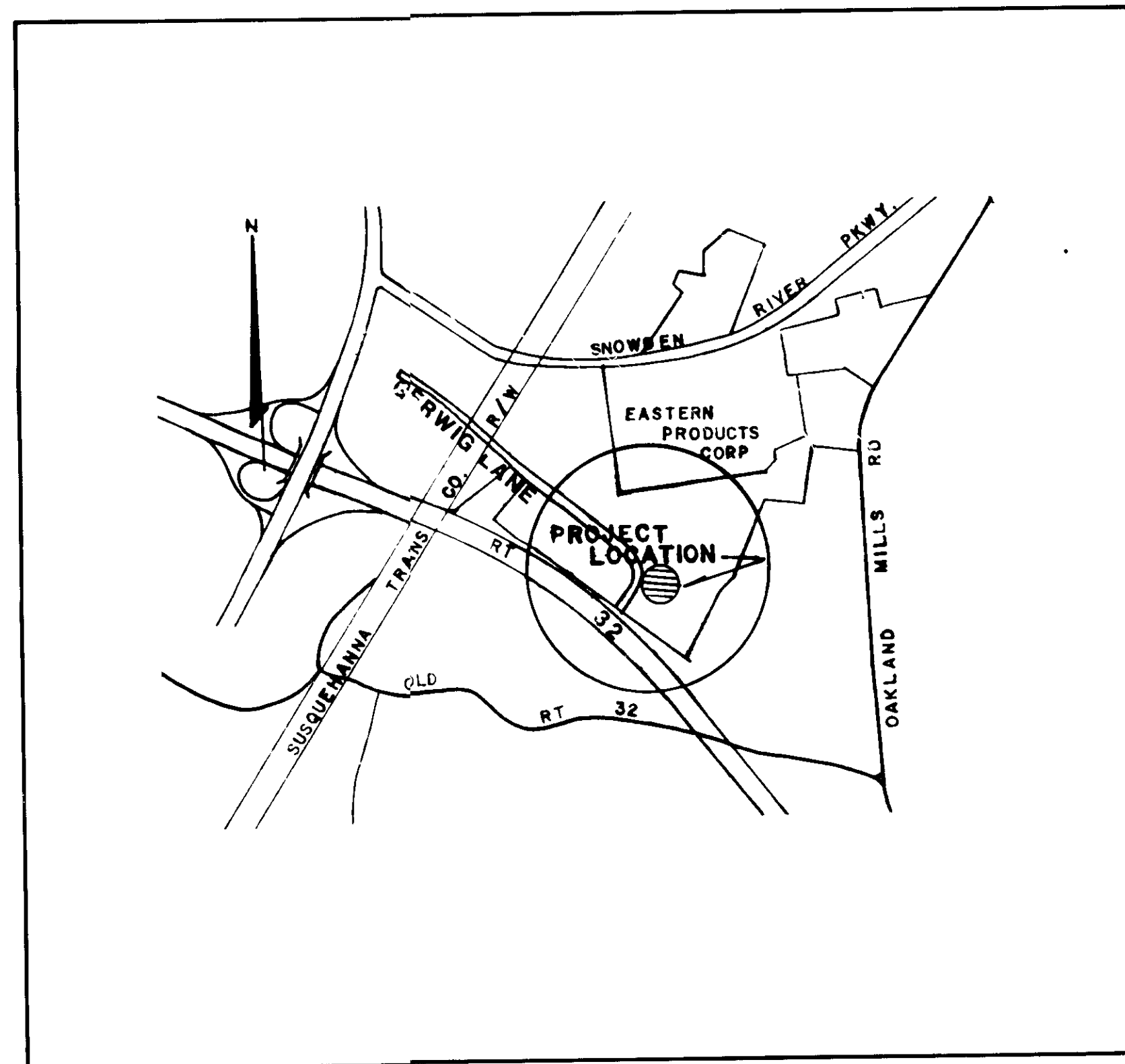
**HOWARD COUNTY, MARYLAND**



**VICINITY MAP**  
SCALE 1"=2,000'

**GENERAL NOTES**

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION.
- TOPO TAKEN FROM A SURVEY BY THE RBA GROUP, DATED OCTOBER 1987.
- ALL HORIZONTAL CONTROLS ARE BASED ON MARYLAND STATE COORDINATES.
- BENCH MARK ELEVATION TIED INTO EXISTING BUILDING FIRST FLOOR ELEVATION 334.00.
- THE DEVELOPER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR THE SEDIMENT AND EROSION CONTROL PRACTICES, STORMWATER MANAGEMENT PRACTICES AND THE DISCHARGE OF STORMWATER ONTO OR ACROSS ADJACENT OR DOWNSTREAM PROPERTIES INCLUDED IN THIS PLAN. HE IS ALSO RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENT, RIGHTS AND/OR RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR GRADING AND/OR WORK ON ADJACENT PROPERTIES INCLUDED IN THIS PLAN.
- DEVIATIONS FROM THESE PLANS AND SPECIFICATIONS WITHOUT THE PRIOR WRITTEN CONSENT OF THE CIVIL ENGINEER MAY CAUSE THE WORK TO BE UNACCEPTABLE.
- PRIOR TO START OF ANY CONSTRUCTION, CONTRACTOR SHALL STAKE OUT ALL CONSTRUCTION AND VERIFY ALL OFFSETS, SETBACKS, EXISTING UTILITY LOCATIONS (HORIZONTAL AND VERTICAL) AND DIMENSIONS.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL USE DIMENSIONS SHOWN. SCALING OF THESE PLANS IS DISCOURAGED UNLESS DIRECTED BY CIVIL ENGINEER.
- ADJUSTMENTS TO THE SEQUENCE OF CONSTRUCTION ON SHEET SHALL BE APPROVED BY THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS AND PERMITS PRIOR TO SUCH ADJUSTMENT.
- CONTRACTOR IS TO REFER TO ARCHITECTS PLANS FOR SPECIFIC BUILDING AND SUPPORT FACILITY FEATURES PRIOR TO AND DURING CONSTRUCTION.
- APPROXIMATE LOCATIONS OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATIONS SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES, WHERE DIRECTED BY THE ENGINEER, A MINIMUM OF TWO WEEKS IN ADVANCE OF CONSTRUCTION OPERATIONS.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- CONTRACTOR TO ALSO COMPLY WITH SEDIMENT CONTROL NOTES AS DOCUMENTED ON SHEET.
- THERE MAY BE ADDITIONAL UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR LOCATIONS SHOWN AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF CONSTRUCTION AND NOTIFY THE ENGINEER.
- CONTRACTOR TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:  
 "MISS UTILITY" 1-(800)-257-7777  
 BALTIMORE GAS & ELECTRIC COMPANY (301) 234-5491  
 C & P TELEPHONE CO (301) 393-3448
- IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.
- THE DEVELOPER MUST REQUEST THAT THE DEPARTMENT OF INSPECTIONS AND PERMITS APPROVE WORK COMPLETED IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN, THE GRADING OR BUILDING PERMIT, AND THE ORDINANCE.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE DEPARTMENT OF INSPECTIONS AND PERMITS SHALL BE REQUIRED ON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THE INITIAL APPROVAL BY THE DEPARTMENT OF INSPECTIONS AND PERMITS IS GIVEN.
- APPROVAL SHALL BE REQUESTED ON FINAL STABILIZATION OF ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES BEFORE REMOVAL OF CONTROLS.
- ANY DAMAGE TO COUNTY RIGHTS-OF-WAY AND PAVING OF PUBLIC ROADS SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS AND STANDARDS.
- TRENCH THROUGH EXISTING PAVED AREA SHALL BE REPAIRED IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS AND STANDARDS.
- CONTRACTOR IS RESPONSIBLE FOR MAKING CONNECTIONS TO ALL BUILDING SERVICES SO AS TO ASSURE COMPLETE UTILITY SERVICES TO AND FROM THE BUILDINGS.
- ALL FILL SHALL BE ROLLED TO A MINIMUM DEGREE OF COMPACTION OF 95% OF THE DRY UNIT WEIGHT AS DETERMINED BY ASTM D-698.
- ALL CONCRETE FOR SITE WORK SHALL BE CLASS 2 CONCRETE AND SHALL BE IN ACCORDANCE WITH THE MARYLAND STATE HIGHWAY ADMINISTRATION SPECIFICATION AS AMENDED TO DATE.
- STRUCTURES NOTED FOR REMOVAL SHALL BE REMOVED ENTIRELY AND COMPLETELY; REMOVAL OF UTILITIES OR MATERIALS THAT ARE BELOW GRADE SHALL HAVE THE SURFACE ABOVE RESTORED TO MATCH ADJACENT GRADES.
- ALL DISTURBED AREAS SHALL BE STABILIZED WITH PERMANENT SEED AND MULCH IN ACCORDANCE WITH PLANS APPROVED BY THE HOWARD COUNTY CONSERVATION DISTRICT.
- FOR DETAILS OF UPRIGHT SIGNS AND AREAS FOR HANDICAPPED, SEE THE CODE OF MARYLAND REGULATIONS 05-01-07 MARYLAND BUILDING CODE FOR THE HANDICAPPED.
- PAVED AREAS AS PER DETAILS SHOWN ON THESE APPROVED DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN THE NECESSARY BUILDING PERMITS FOR CONSTRUCTION.
- ALL UTILITIES ARE TO BE RETAINED UNLESS MARKED OTHERWISE AND APPURTENANCE ARE TO BE ADJUSTED TO FINISHED GRADE.
- THE CONTRACTOR SHALL REPAIR AND MAINTAIN EXISTING SEDIMENT CONTROL DEVICE UNTIL ALL AREAS WITHIN THE LIMIT OF CONSTRUCTION ARE STABILIZED AT THE POINT. ALL SEDIMENT CONTROL DEVICES SHALL BE REMOVED AND AREAS RESTORED AND STABILIZED.
- THE MEASURES REQUIRED IN THE APPROVED SEDIMENT CONTROL PLAN SHALL APPLY TO THIS PLAN.
- THE CONTRACTOR SHALL CONTACT THE CONSTRUCTION INSPECTION/SURVEY DIVISION 14 HOURS IN ADVANCE OF COMMENCEMENT OF WORK AT 492-2417 OR 992-2418.
- SITE DEVELOPMENT PLAN SUBJECT TO FINAL DEVELOPMENT PLAN PHASE B5.
- AT THIS TIME, WE BELIEVE THIS SITE IS NOT WITHIN WATERSHED FLOOD PLAIN.
- AT THIS TIME, WE BELIEVE THERE WILL BE NO FILL ACCOMPLISHED WITHIN A "SENSITIVE AREA".



**LOCATION MAP**  
SCALE 1"=1,400'

PLAN APPROVAL STAMP:

**APPROVED**  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE 5-11-88  
J.B.

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT  
 [Signature] 5-24-89  
 COUNTY HEALTH OFFICER  
 APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
 [Signature] 6.5.89  
 PLANNING DIRECTOR  
 APPROVED  
 [Signature] 5/11/88  
 CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT  
 APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 [Signature] 5/19/89  
 DIRECTOR  
 [Signature] 5-17-89  
 CHIEF, BUREAU OF ENGINEERING

ADDRESS CHART		
BUILDING	STREET	ADDRESS

**RESPONSIBLE PERSONNEL CERTIFICATION**  
 I HEREBY CERTIFY THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE FROM A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.  
 APPROVED [Signature] 4/12/88  
 HOWARD S C D DATE  
 REVIEWED FOR HOWARD S C D AND MEETS TECHNICAL REQUIREMENTS  
 SIGNATURE [Signature] DATE 5-11-88  
 U S SOIL CONSERVATION SERVICE

**CERTIFICATION BY THE ENGINEER**  
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.  
 [Signature] 5-9-88  
 SIGNATURE OF ENGINEER DATE

**CERTIFICATION BY THE DEVELOPER**  
 I CERTIFY THAT ALL DEVELOPMENT AND OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OF THEIR AUTHORIZED AGENTS AS DEEMED NECESSARY.  
 [Signature] 5-11-88  
 SIGNATURE OF DEVELOPER DATE



SUBDIVISION NAME E G U SUBDIVISION	SECTION AREA 2 / 3	LOT PARCEL PARCEL '1'
PLAT 21 - 86	BLOCK NT	TAX ZONE MAP 42
WATER CODE E06	SEWER CODE 5200 400	ELECT DIST 6th
no. revisions	date	prepared by <b>RBA</b>
5485 HOWLANDS FARM RD. SUITE 200 COLUMBIA MARYLAND 21044 301/730 7950 FAX 635		

**OWNER/DEVELOPER**  
 DEVELOPMENT SERVICES GROUP, INC  
 9380 GERWIG LANE  
 COLUMBIA, MD 21046  
 (301)-381-7171

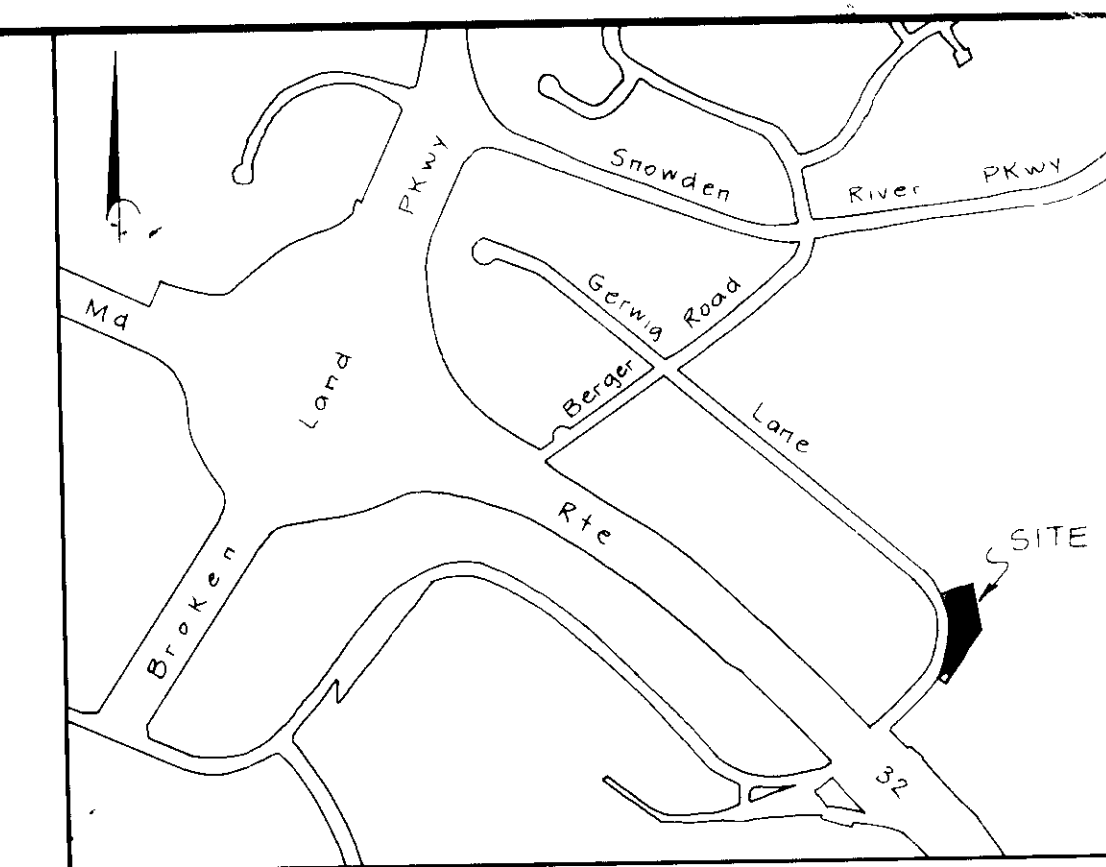
**COVER SHEET**  
 HOWARD COUNTY WORKSHOP  
 PARCEL '1'  
 E G U SUBDIVISION  
 SECT 2 AREA 3 PLAT 21-86  
 6th ELECT DIST HOWARD CO  
 PREVIOUS SDP-83-63C

SCALE AS SHOWN  
 DRAWN RC  
 PROJ NO 9054  
 DATE 12/28/87  
 SHEET 1 OF 6

NOTE: ALL WORK/CONSTRUCTION SHALL BE NEW UNLESS INDICATED EXISTING OR SHOWN AS DASHED LINE

**CO CONSTRUCTION NOTES**

- C1. CONNECT NEW 10" SD TO EXISTING TRENCH DRAIN SEE DETAIL SHEET 4.
- C2. NEW CURB & GUTTER SHALL BE HOWARD CO. STD. R-3 OF STANDARD 7" COMBINATION CURB AND GUTTER GUTTER PAN SLOPE TO MATCH PAVEMENT CROSS SLOPE.
- C3. MODIFIED TYPE 'A' SIDEWALK RAMP. SEE HOWARD CO. STD. DETAIL R-4 01. SEE SHEET 4 OF 6
- C4. NEW PAVING SEE DETAIL SHEET 4.
- C5. REMOVE SAN SEW CLEANOUT. REPLACE @ MIN. 5' OUTSIDE FOUNDATION WALL.

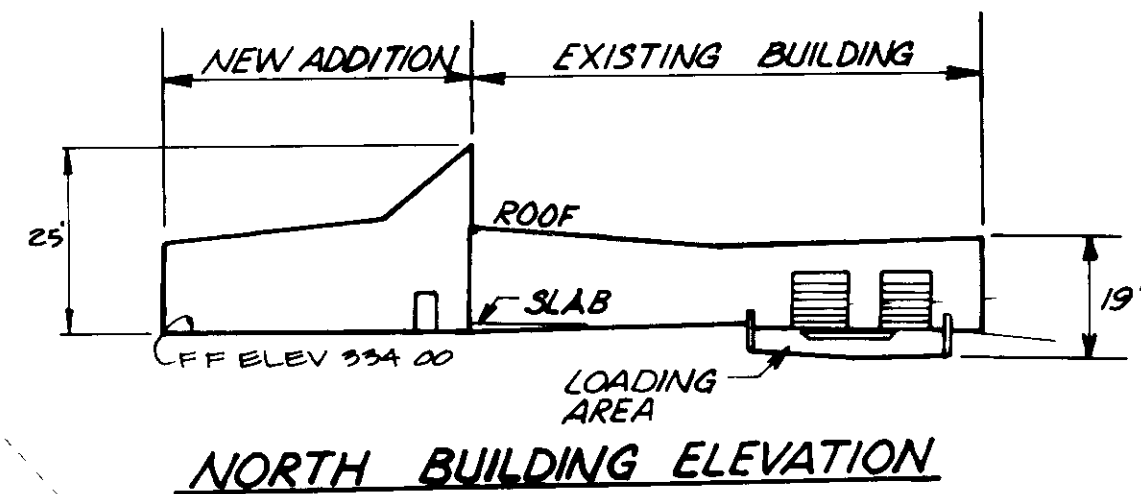


VICINITY MAP  
Scale 1" = 1200'

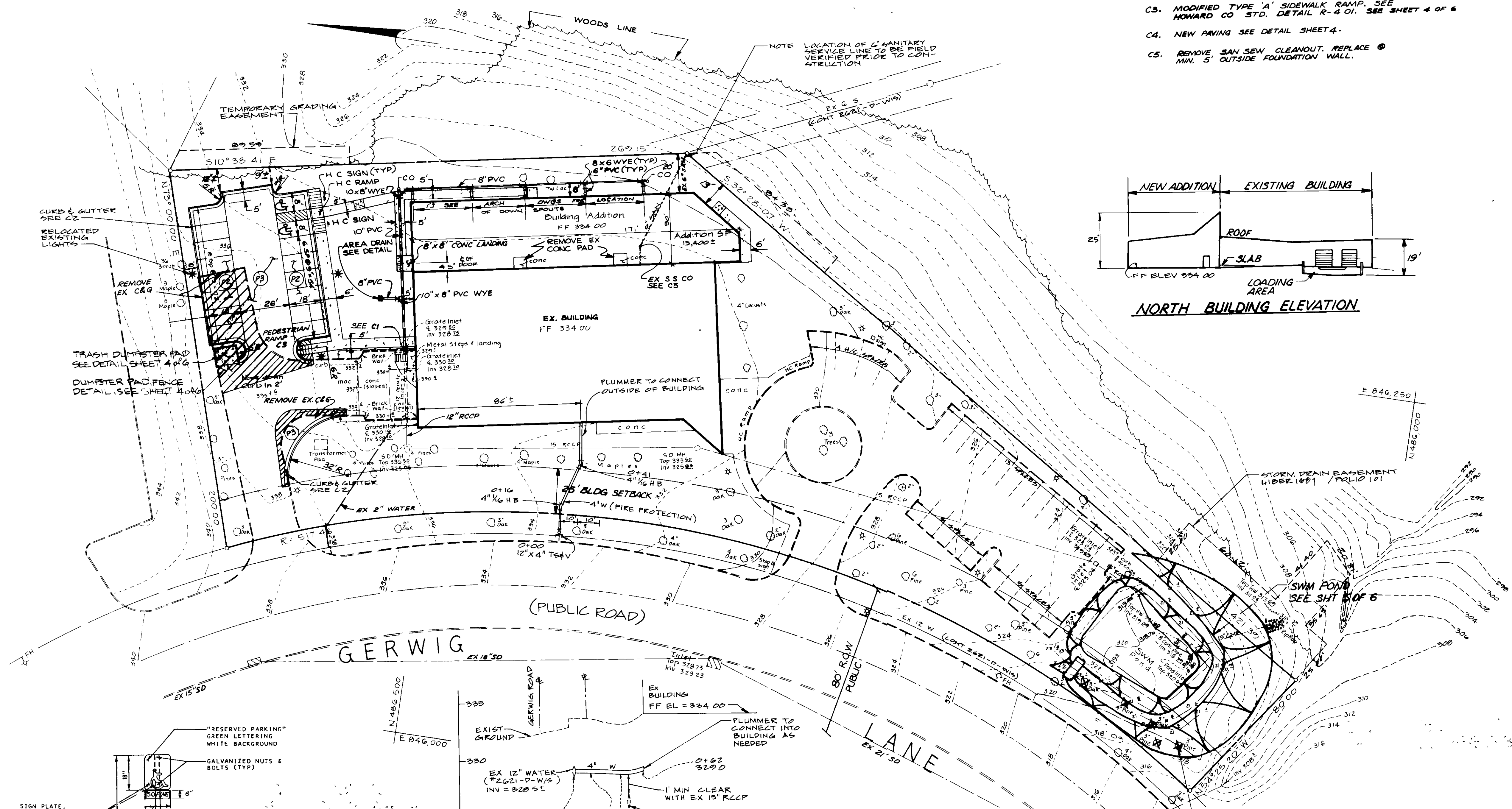
**LEGEND**

- EXISTING CONTOURS
- ==== EXISTING C & G
- ==== NEW C & G
- /// REMOVE EXISTING PAVING
- ==== NEW CONC. SIDEWALK
- ==== NEW H.C. RAMP
- (P) NEW PAVING SECTION
- ==== NEW STORM DRAIN
- \* NEW LIGHT FIXTURE

SHT. NO.	TITLE
2.	SITE PLAN
3.	GRADING & SEDIMENT CONTROL PLAN
4.	SITE & SEDIMENT CONTROL DETAILS
5.	SWM PLAN & DETAILS
6.	LANDSCAPE PLAN



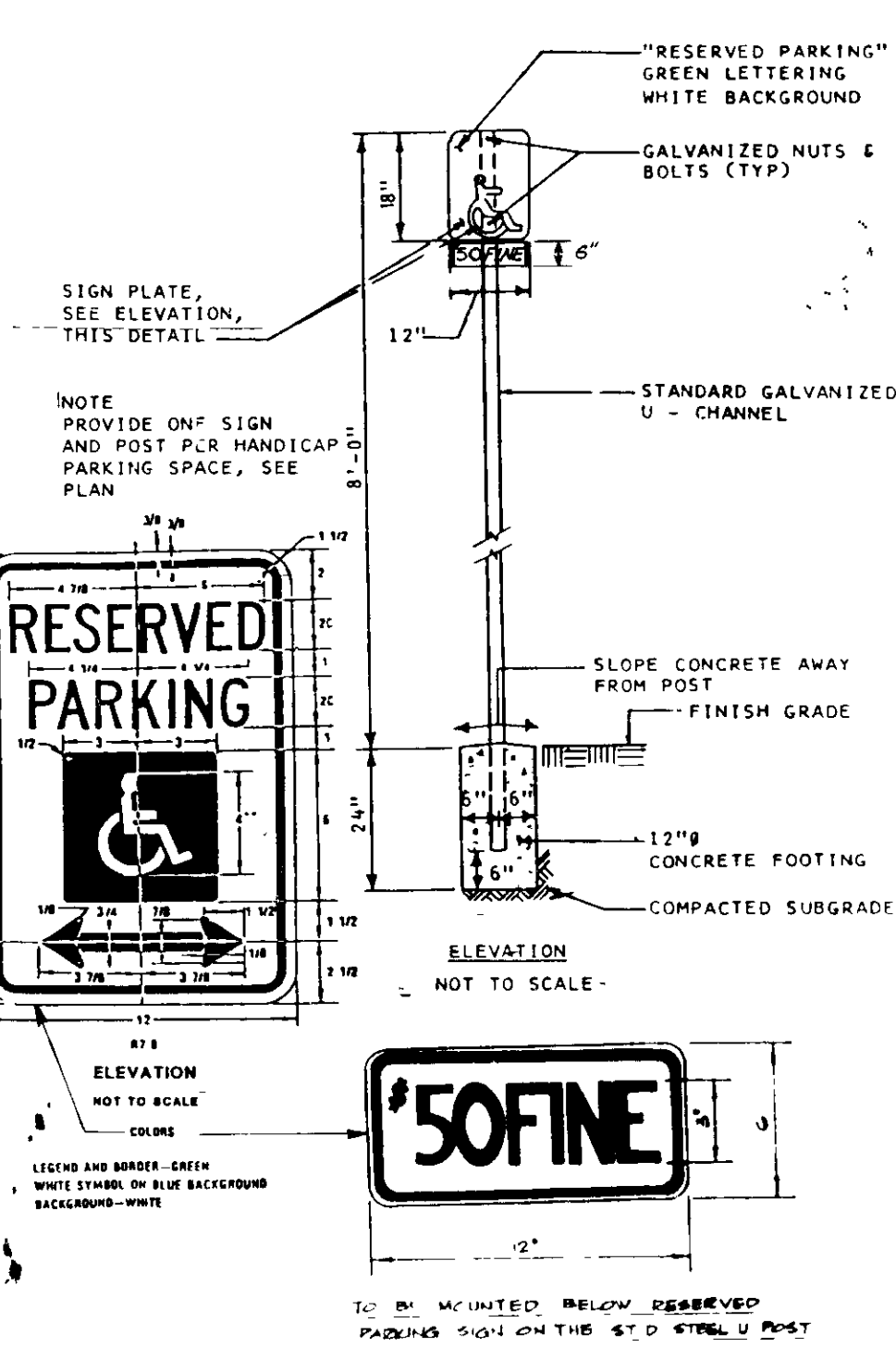
**NORTH BUILDING ELEVATION**



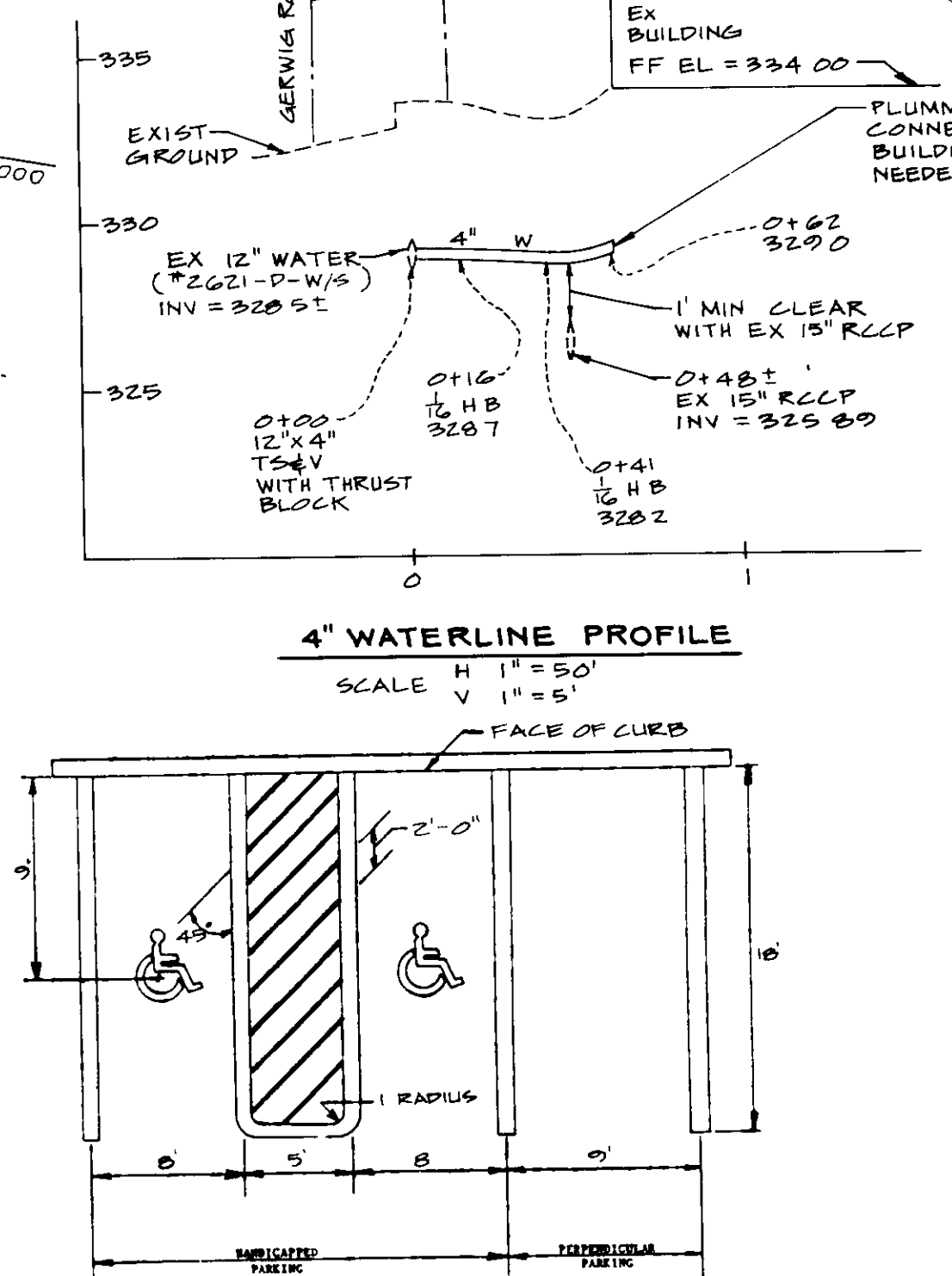
**SITE ANALYSIS**

TOTAL AREA OF PROPERTY	1.9 ACRES, 82,764 SF
TOTAL ROOFPED/PAVED AREA	1.0 ACRES
TOTAL UNPAVED/STABILIZED AREA	0.9 ACRES
AREA DISTURBED THIS SDP	0.53 ACRES
ROOFPED/PAVED AREA TO BE ADDED THIS SDP	0.37 ACRES
EXISTING PAVED AREA TO BE REMOVED THIS SDP	0.08 ACRES
AREA TO BE UNPAVED/STABILIZED THIS SDP	0.71 ACRES
TOTAL CUT THIS SDP	24 CU YDS
TOTAL FILL THIS SDP	1,045 CU YDS

- GENERAL NOTES**
1. CONFORM NEW TOWN EMPLOYMENT CENTER INDUSTRIAL (PDF PHASE 85)
  2. GROSS AREA OF PARCELS: 1.987 ACRES
  3. GROSS AREA OF SUBDIVISION: 1.001 ACRES
  4. BUILDING AREA: 17,647 SF = 80.44%
  5. OPEN SPACE: 0.940 ACRES = 49.67%
  6. PARKING DATA:
    - OFFICE AREA: 4,200 SF + NEW 3,450 SF = 7,650 SF
    - WAREHOUSE: 8,000 SF + NEW 2,037 SF = 10,037 SF OR 25 EMP. @ 1.27 /EMP. = 25 SPACES
  7. TOTAL SPACES REQUIRED: 23 PLUS 4 R/C = 27
  8. NUMBER EXISTING SPACES: 14 PLUS 2 R/C = 16
  9. NUMBER NEW SPACES: 11 PLUS 6 R/C = 17
  10. TOTAL SPACES PROVIDED: 25 PLUS 6 R/C = 31
  11. BOUNDARY AND TOPOGRAPHIC SURVEY BY THE AEA GROUP DATED OCT 1987
  12. THIS SITE IS NOT IN A 100-YEAR FLOOD PLAIN
  13. THIS SITE IS NOT IMPACTED BY SECTION 401 OR SECTION 404 AND THE PERMITS ARE NOT REQUIRED.
  14. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATIONS OF ALL EXISTING UTILITIES TO HIS OWN SATISFACTION PRIOR TO STARTING WORK.
  15. THE CONTRACTOR SHALL VERIFY THE CUT AND FILL QUANTITIES TO HIS OWN SATISFACTION PRIOR TO CONSTRUCTION.
  16. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE "HOWARD COUNTY DESIGN MANUAL VOL. IV"
  17. ANY DAMAGE WITHIN THE RIGHT-OF-WAY OF GERWIG LANE OR TO EXISTING FACILITIES ON THE SITE SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.



**HANDICAPPED SIGN DETAIL**  
NTS



**PAVEMENT MARKING DETAIL**  
NTS



APPROVED For Public Water and Public Sewerage Systems, Howard County Dept of Health and Mental Hygiene  
 County Health Officer: *James W. Jones* 5-24-89 Date  
 APPROVED Howard County Office of Planning and Zoning  
 Planning Director: *W. J. ...* 6.5.89 Date  
 APPROVED For Public Water, Public Sewerage, Storm Drainage Systems and Public Roads, Howard County Dept of Public Works  
 Chief, Division of Community Planning and Land Development: *W. J. ...* 4/19/89 Date  
 APPROVED  
 Director: *James W. Jones* 5/19/89 Date  
 Chief, Dept. of Public Works: *William S. ...* 5-17-89 Date

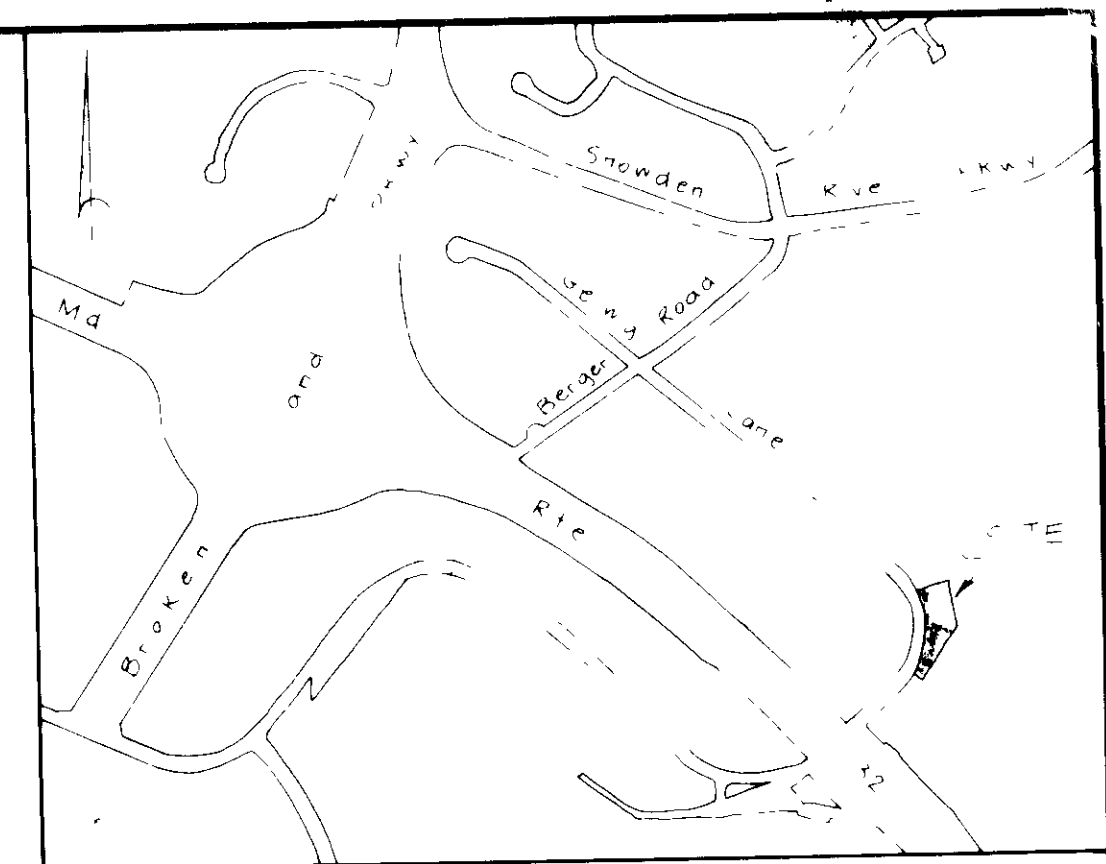
SUBDIVISION NAME		SECTION/AREA	LOT/PARCEL
EGU Subdivision		2	Parcel I
PLAT NO.	BLOCK NO./ZONE	TAX/ZONE MAP	ELECT. DIST.
PS 22 F B	NT	42	CENSUS TR
WATER CODE		SEWER CODE	
EGG		920040	

no.	description	date	prepared by
1	ADDED 4\"/>	9/89	<i>W. J. ...</i>

**RB** ENGINEERS - ARCHITECTS - PLANNERS  
 5485 HARPER'S FARM ROAD, SUITE 200  
 COLUMBIA MARYLAND 21044  
 301/730-7950 621-6050

SITE PLAN		SCALE
HOWARD COUNTY WORKSHOP		1" = 30'
EGU SUBDIVISION PARCEL I		
SECTION 2 AREA 3 PLAT 21-86	DRAWN MK	CHECKED JMC
ELECT. DIST. 6 HOWARD CO., MD.	PROJ NO 9054	DATE 12/28/87
	2	6
	SHEET	OF





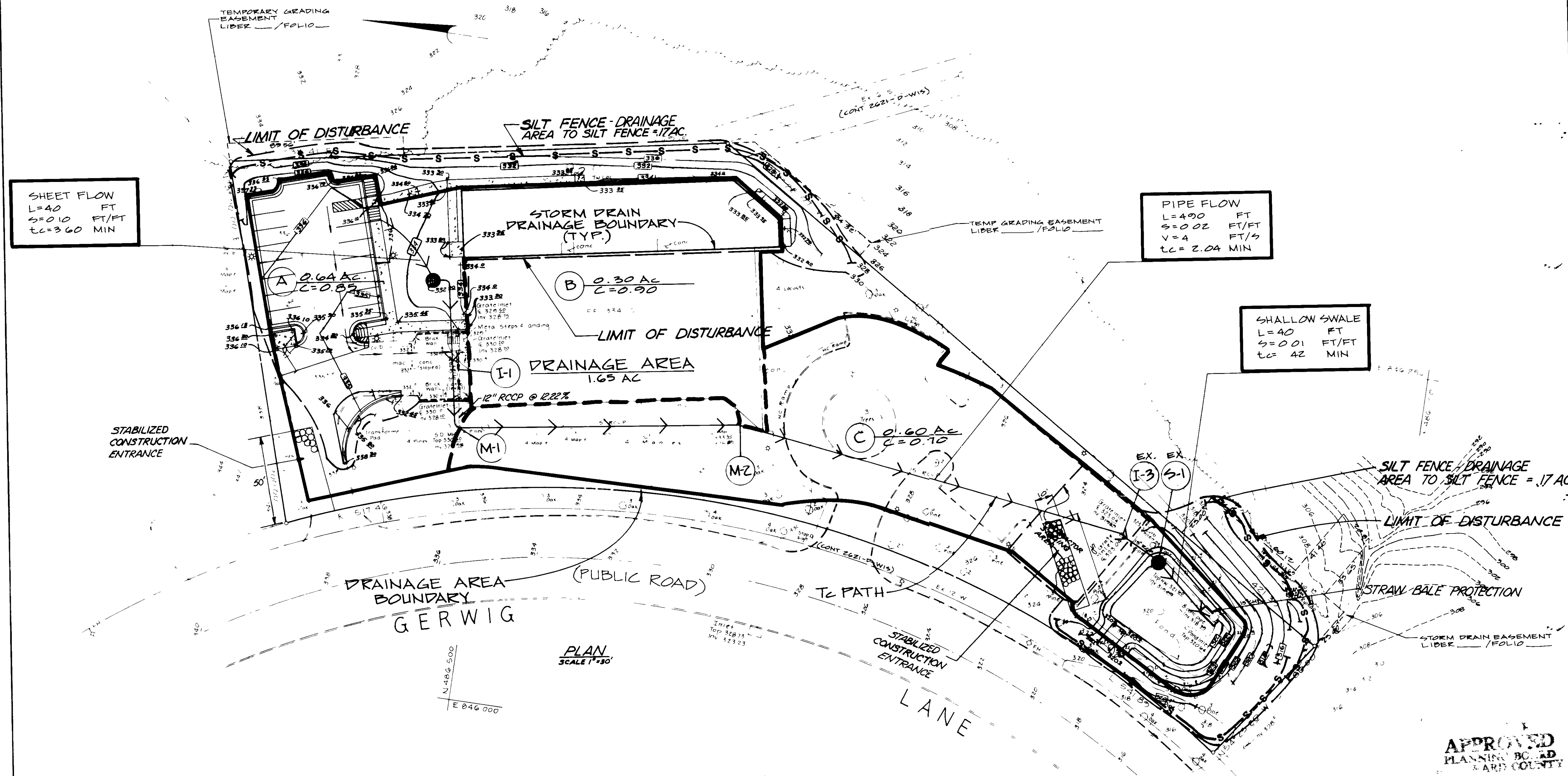
VICINITY MAP  
Scale 1" = 1200'

- SEQUENCE OF CONSTRUCTION**
- OBTAIN GRADING PERMIT.
  - NOTIFY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT AND THE HOWARD COUNTY BUREAU OF LICENSES, INSPECTION AND PERMITS AT LEAST 48 HOURS BEFORE ANY WORK BEGINS.
  - CLEAR AND GRUB FOR SEDIMENT AND EROSION CONTROL MEASURES OR DEVICES ONLY.
  - INSTALL ALL SEDIMENT AND EROSION CONTROL MEASURES AND DEVICES, INCLUDING SPM POND SPILLWAY, CONTROL STRUCTURE AND REGRADING.
  - NOTIFY HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES, SEDIMENT CONTROL DIVISION, UPON COMPLETION OF SEDIMENT CONTROL.
  - WITH THE APPROVAL OF HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES AND THE SEDIMENT CONTROL INSPECTOR, CLEAR AND GRUB REMAINDER OF SITE.
  - MAKE THE APPROPRIATE REMOVALS TO EXISTING SITE CONDITIONS.
  - BEGIN EARTHWORK OPERATIONS BEGINNING WITH TOPSOIL REMOVAL AND STOCKPILING.
  - START SITE GRADING, MAINTAIN POSITIVE DRAINAGE TO SEDIMENT CONTROL STRUCTURES.
  - STABILIZE ROUGH GRADED AREAS.
  - DURING ROAD AND BUILDING CONSTRUCTION, MAINTAIN ALL SEDIMENT CONTROL MEASURES.
  - INSTALL ALL UTILITIES.
  - PLACE BASE STONE ON PAVING SUBGRADED AREAS.
  - STABILIZE ALL REMAINING DISTURBED AREAS OUTSIDE OF PAVED AREAS.
  - COMPLETE PAVING.
  - GRADE TO PROPOSED FINISHED GRADES, STABILIZE WITH PERMANENT SEED MIX.
  - AFTER OBTAINING PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL EROSION CONTROL DEVICES AND STABILIZE THOSE AREAS.

**SHEET FLOW**  
L=40 FT  
S=0.10 FT/FT  
TC=3.60 MIN

**PIPE FLOW**  
L=400 FT  
S=0.02 FT/FT  
V=4 FT/S  
TC=2.04 MIN

**SHALLOW SWALE**  
L=40 FT  
S=0.01 FT/FT  
TC=42 MIN



NOTES EXISTING CONDITIONS AS DETERMINED IN SDP-83-63C

**EXISTING RUNOFF SUMMARY**

FREQ STORM (YRS)	RAINFALL (IN)	RUNOFF (IN)	PEAK DISCHARGE (CFS)	REMARKS
2	3.2	1.04	2.2	TYPE "C" SOIL RCN=74
10	5.1	2.45	5.1	
100	7.2	N/A	N/A	

**DEVELOPED RUNOFF SUMMARY**

FREQ STORM (YRS)	RAINFALL (IN)	RUNOFF (IN)	PEAK DISCHARGE (CFS)	REMARKS
2	3.2	2.08	5	TYPE "C" SOIL RCN=89
10	5.1	3.87	10	
100	7.2	5.90	15	

- LEGEND**
- DEVELOPED DRAINAGE BOUNDARY
  - TC PATH
  - SILT FENCE
  - LIMITS OF DISTURBANCE
  - EXISTING CONTOURS
  - PROPOSED CONTOURS
  - CONCRETE PAVING/SIDEWALK
  - STABILIZED CONSTRUCTION ENTRANCE
  - INLET W/ STRAW BALE PROTECTION

APPROVED  
PLANNING BOARD  
HOWARD COUNTY

PLANNING APPROVAL STAMP  
**APPROVED**  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE 5-11-88

APPROVED For Public Water and Public Sewerage Systems Howard County Dept of Health and Mental Hygiene

County Health Officer Date 5-24-89

APPROVED Howard County Office of Planning and Zoning

Planning Director Date 5/11/88

APPROVED For Public Water, Public Sewerage Storm Drainage Systems and Public Roads Howard County Dept of Public Works

Chief of Public Works Date 5/17/89

OWNER / DEVELOPER

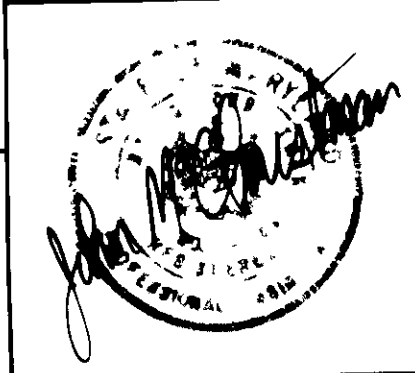
Developmental Services Inc P  
9380 Gerwig Lane  
Columbia, Md 21046  
(301) 281-7171

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT

APPROVED *John R. Rhoton* 4/13/89  
HOWARD S.C.D.

REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS

SIGNATURE DATE



revisions

no	description	date

prepared by  
**RBA**  
ENGINEERS • ARCHITECTS • PLANNERS  
5485 HARPERS FARM ROAD, SUITE 200  
COLUMBIA MARYLAND 21044  
301/730-7950 621-6050

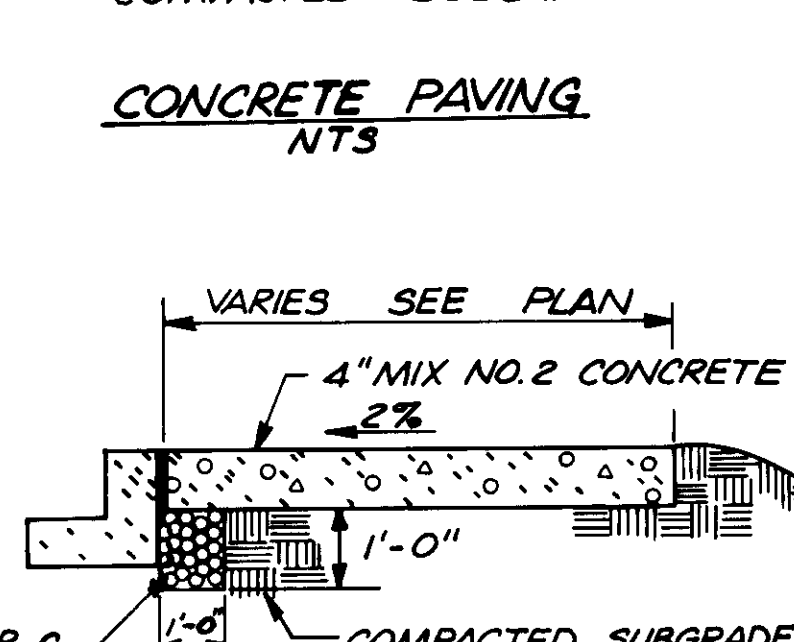
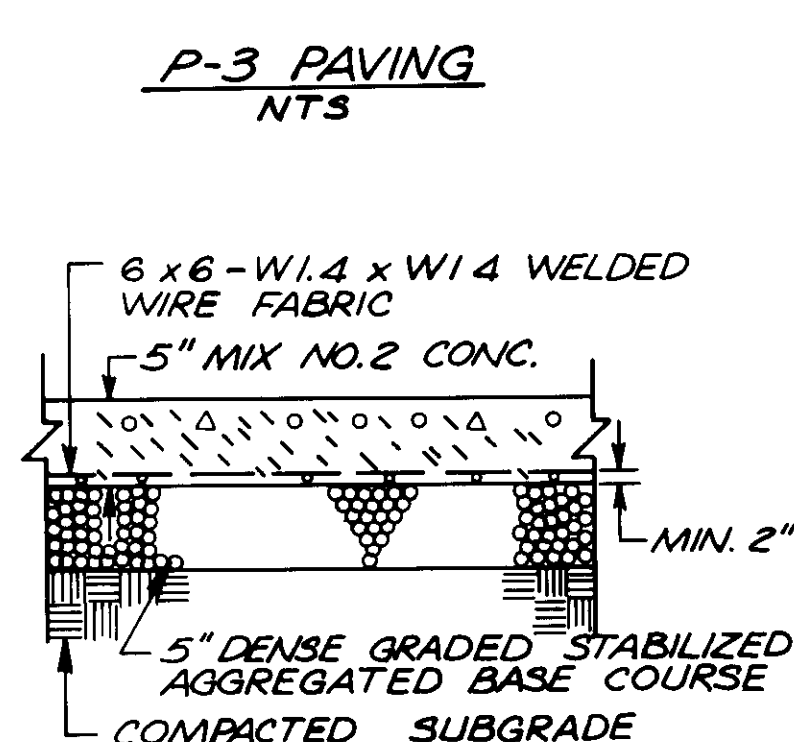
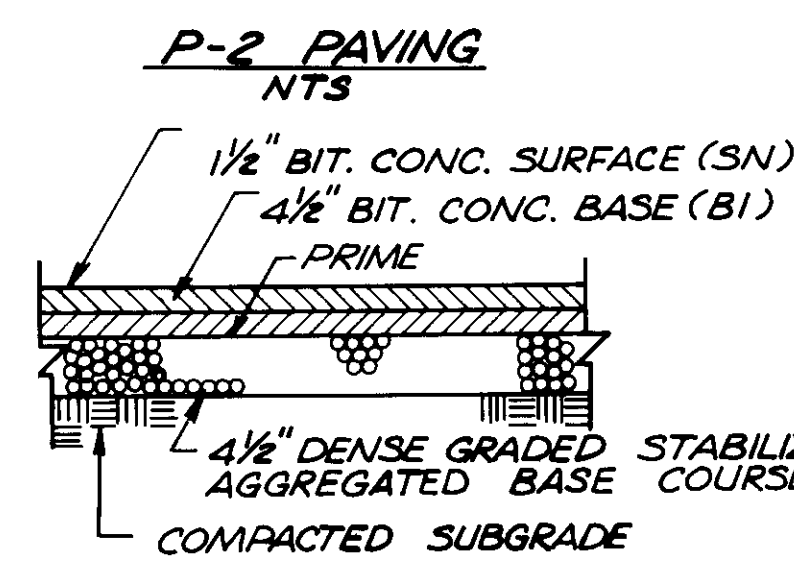
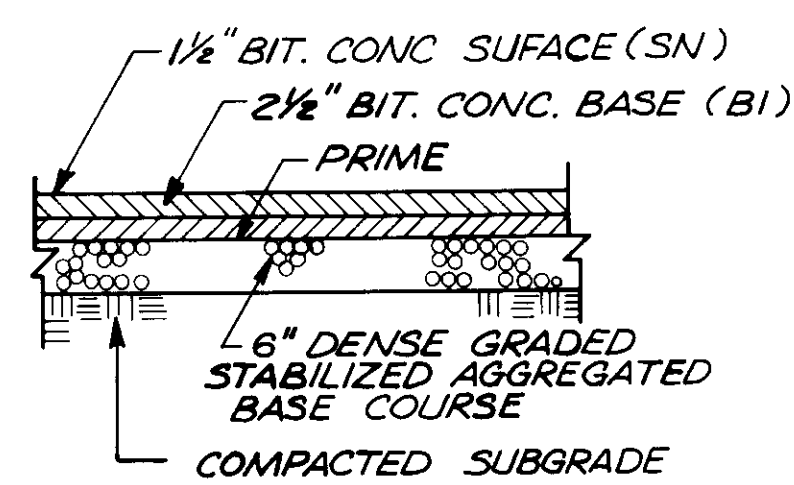
**GRADING AND SEDIMENT CONTROL PLAN**

HOWARD COUNTY WORKSHOP  
EGU SUBDIVISION PARCEL  
SECTION 2 AREA 3 PLAT 21-86  
ELECT. DIST. 6 HOWARD CO., MD.

SCALE	DRAWN	CHECKED
AS SHOWN	M.K.	J.M.C.
	PROJ NO 9054	DATE 12/28/87
	3	6
	SHEET	OF

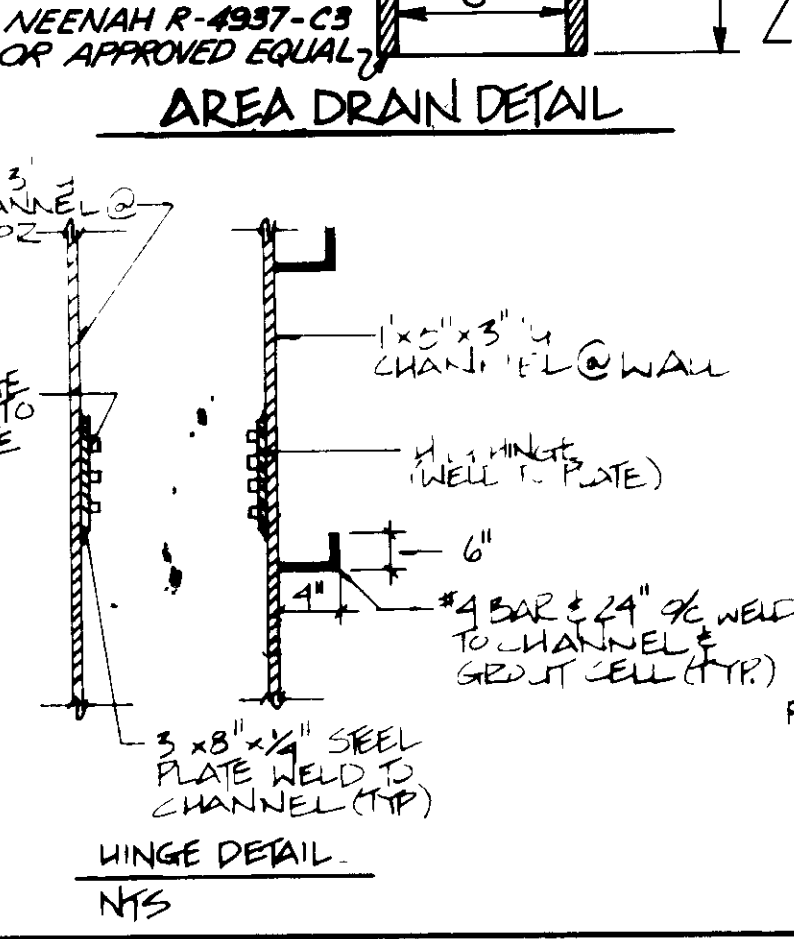
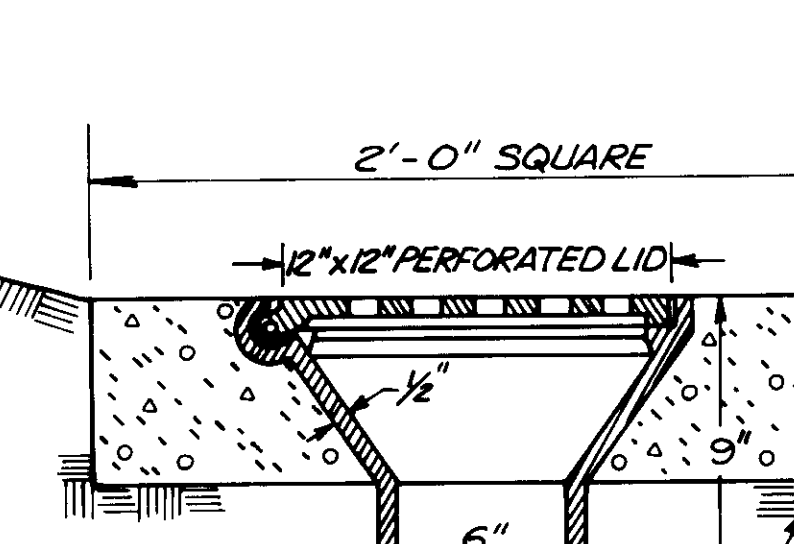


SITE DETAILS

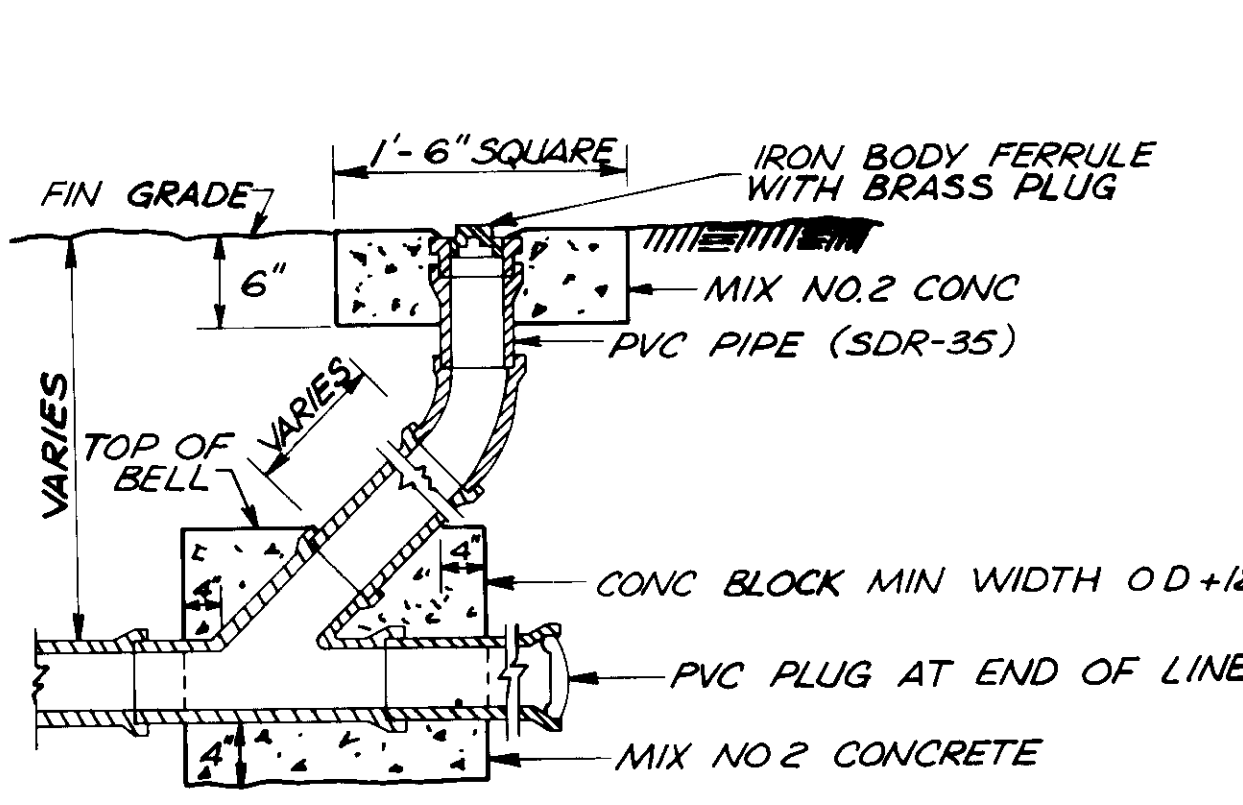


- 1. SIDEWALK TO BE SCRIBED @ 5' INTERVALS.
2. EXPANSION JOINTS AT 15' INTERVALS.
3. 1/2\"/>

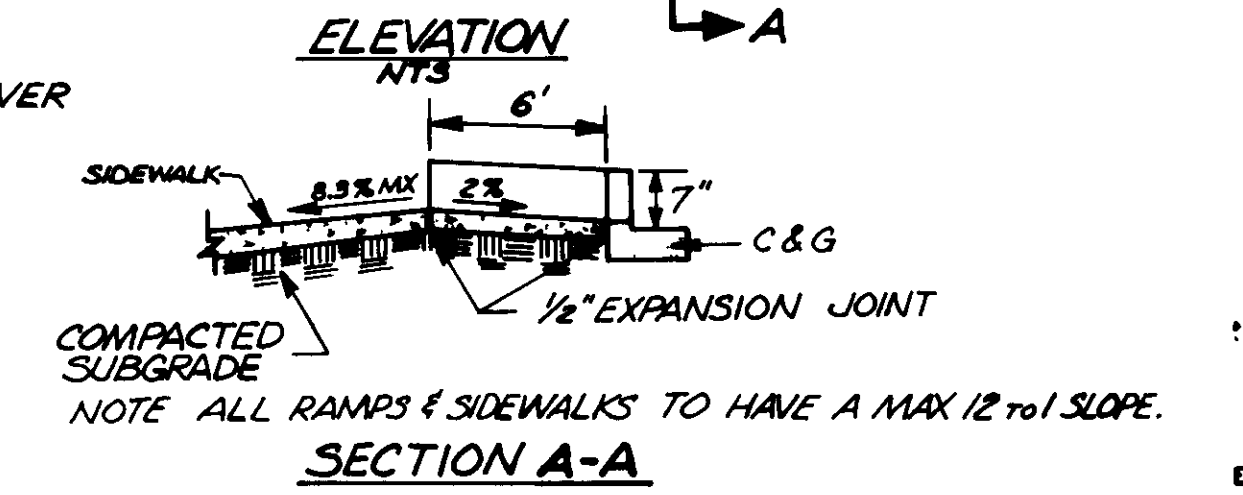
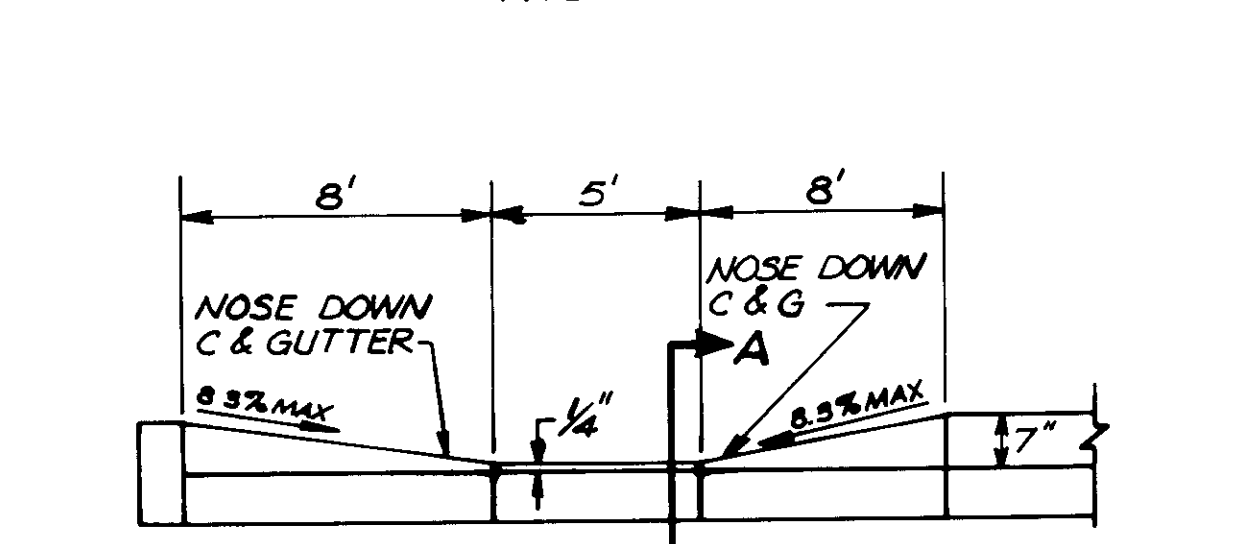
CONCRETE SIDEWALK PAVING NTS



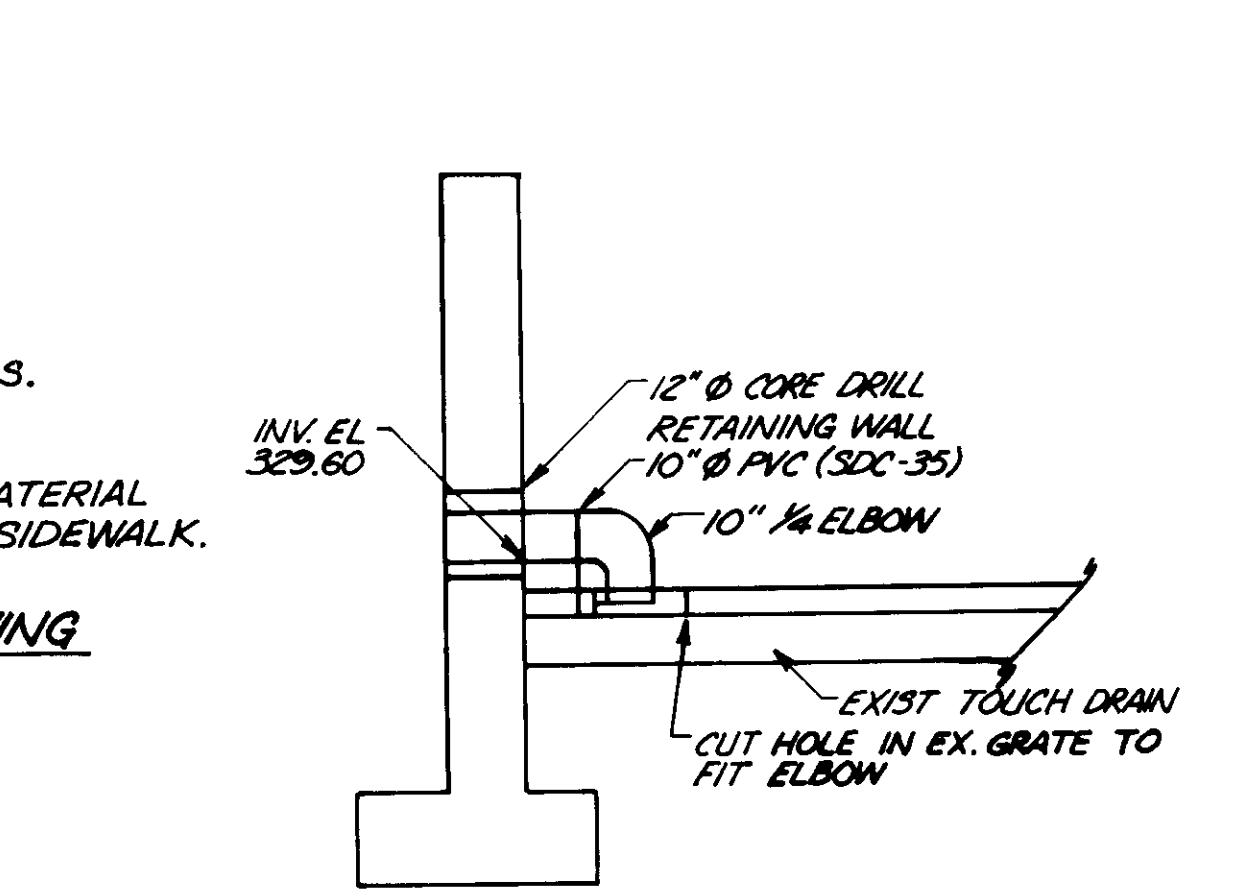
SITE DETAILS



TYPICAL CLEANOUT NTS

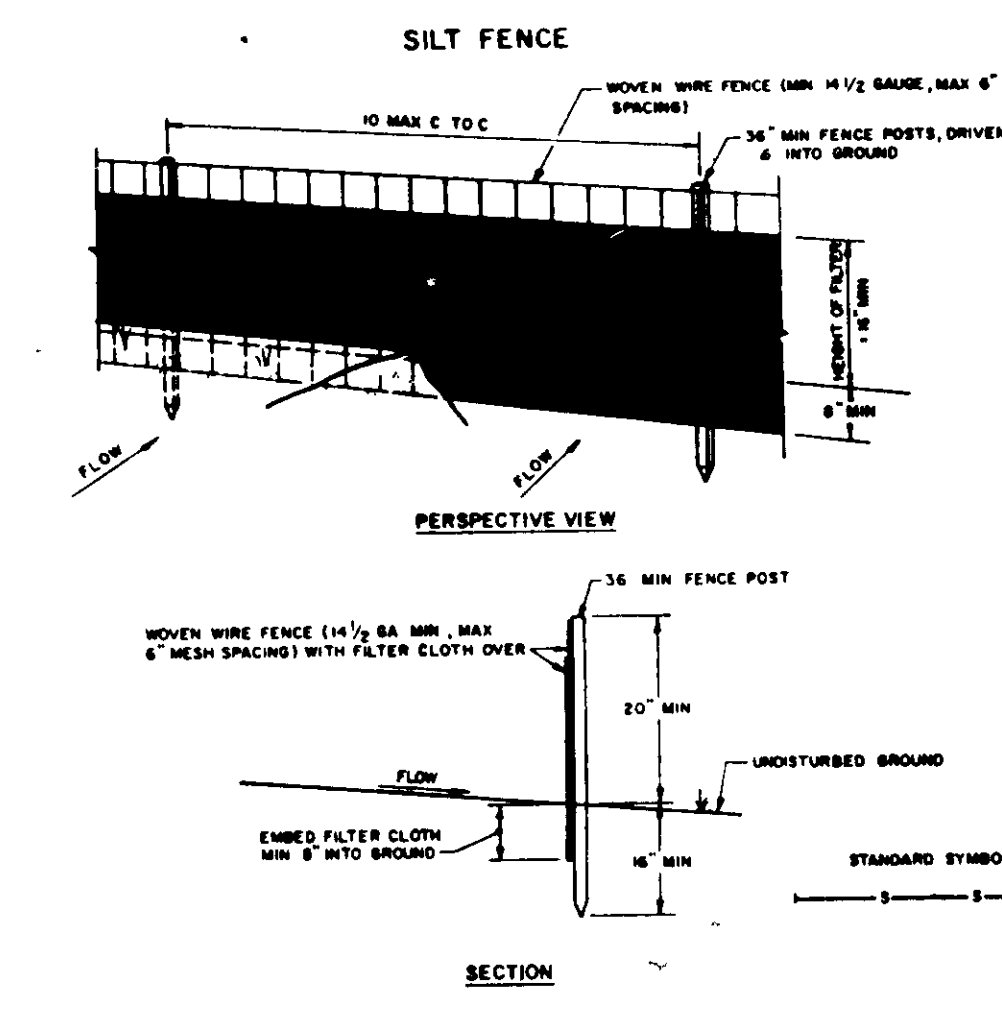


MODIFIED R-4.01 HANDICAPPED RAMP DETAIL NTS



DUMPSTER ENCLOSURE DETAIL NTS

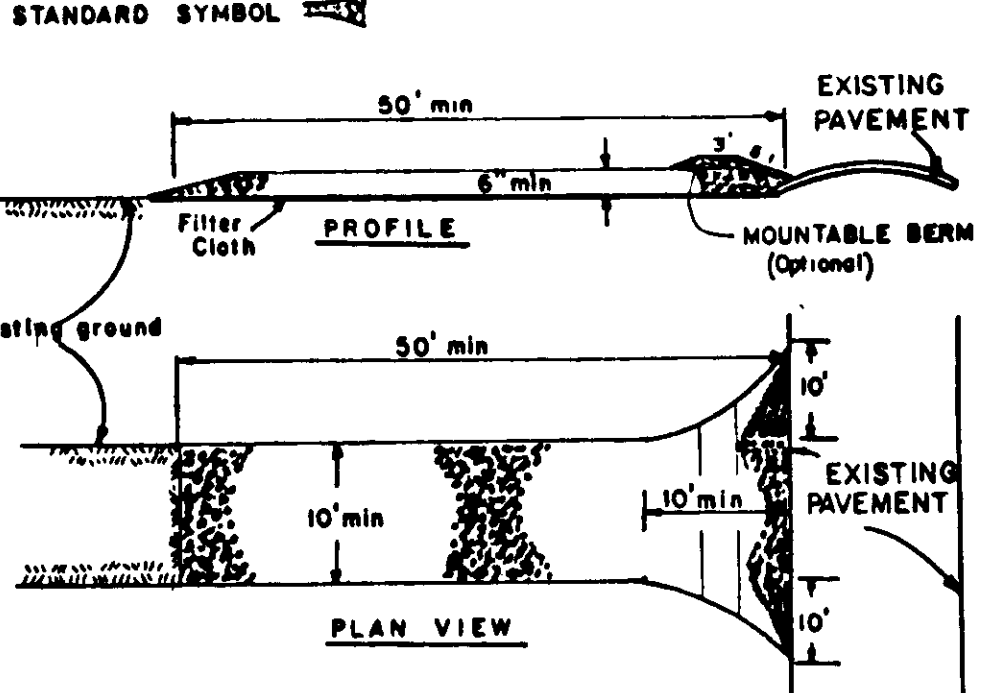
EROSION CONTROL DETAILS



CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

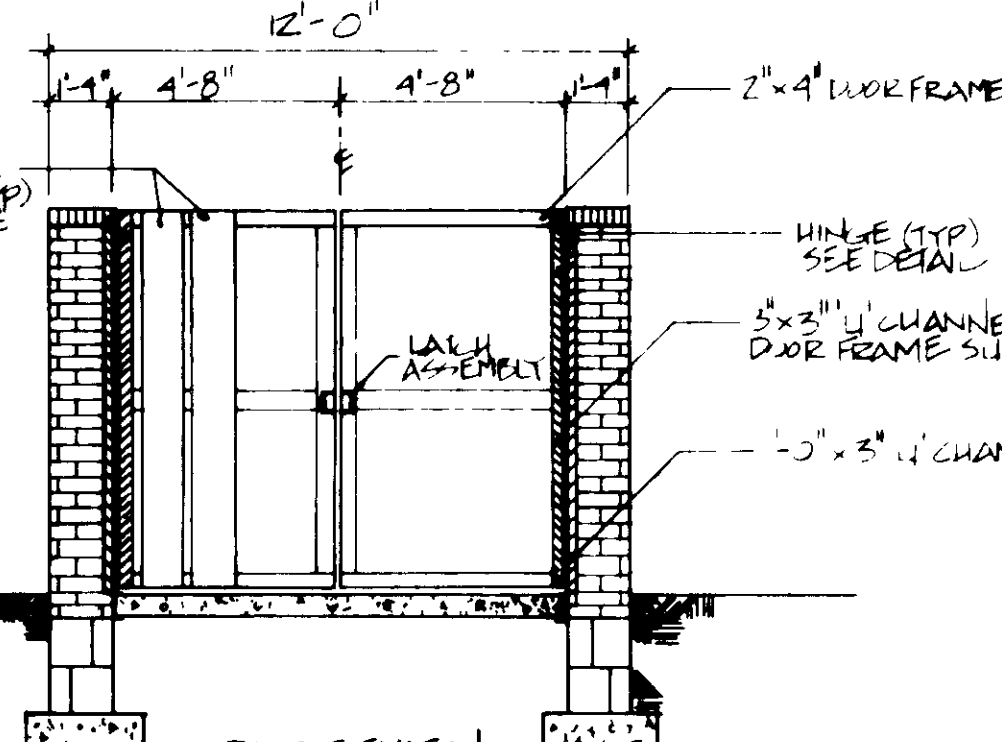
- 1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24\"/>

STABILIZED CONSTRUCTION ENTRANCE not to scale



CONSTRUCTION SPECIFICATIONS

- 1. Stone Size - Use 2\"/>



DOOR ELEVATION NTS

HOWARD COUNTY SEDIMENT CONTROL NOTES

- 1. A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION (992-2417).
2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
3. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETE WITHIN A) SEVEN (7) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DICES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO VERTICAL (3:1) AND B) FOURTEEN (14) DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOLUME 1, CHAPTER 12 OF HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDINGS (SEC. 517), SOIL (SEC. 54), TEMPORARY SEEDING (SEC. 50), AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
7. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING, EROSION, OR OTHER MEANS MUST BE REPAIRED IN THE SAME MANNER AS IT WAS ORIGINAL.
8. ADDITIONAL SEDIMENT CONTROL MEASURES MAY BE REQUIRED BY THE INSPECTOR AND SHALL BE THE RESPONSIBILITY OF THE APPLICANT.
9. ON ALL SITES, DISTURBED AREAS IN EXCESS OF 1/4 ACRE APPROVAL OF THE INSPECTOR AND A WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
10. REFER TO "1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" FOR THE STANDARD DETAILS AND DETAILED SPECIFICATIONS OF EACH PRACTICE SPECIFIED HEREIN.
11. WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, MINOR FIELD ADJUSTMENTS CAN BE MADE TO INSURE THE CONTROL OF ANY SEDIMENT CHANGES IN SEDIMENT CONTROL PRACTICES REQUIRE PRIOR APPROVAL OF THE SEDIMENT CONTROL INSPECTOR AND THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.
12. ANY CHANGE TO THE GRADING PROPOSED ON THIS PLAN REQUIRES RE-SUBMISSION TO HOWARD COUNTY SOIL CONSERVATION DISTRICT FOR APPROVAL.
13. DIST CONTROL WILL BE PROVIDED FOR ALL DISTURBED AREAS. REFER TO "1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" FOR THE STANDARD DETAILS AND DETAILED SPECIFICATIONS OF EACH PRACTICE SPECIFIED HEREIN.
14. ANY VARIATION FROM THE SEQUENCE OF OPERATIONS STATED ON THIS PLAN REQUIRES THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR AND THE HOWARD COUNTY SOIL CONSERVATION DISTRICT PRIOR TO THE INITIATION OF THE CHANGE.
15. ANY DISTURBED EARTH LEFT IDLE FOR PERIODS EXCEEDING 30 DAYS SHALL BE RE-SEEDING ACCORDING TO TEMPORARY SEEDING PRACTICE SPECIFICATIONS.
16. AT THE END OF EACH WORKING DAY, ALL SEDIMENT CONTROL PRACTICES WILL BE INSPECTED AND LEFT IN OPERATIONAL CONDITION.
17. THE DEVELOPER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR THE SEDIMENT AND EROSION CONTROL PRACTICES, STORMWATER MANAGEMENT PRACTICES AND THE DISCHARGE OF STORMWATER ONTO OR ACROSS ADJACENT OR DOWNSTREAM PROPERTIES INCLUDED IN THIS PLAN. HE IS ALSO RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR GRADING AND/OR WORK ON ADJACENT PROPERTIES INCLUDED IN THIS PLAN.
18. THE SEDIMENT CONTROL APPROVALS ON THIS PLAN EXTEND ONLY TO AREAS AND PRACTICES IDENTIFIED AS PROPOSED WORK.
19. THE APPROVAL OF THE PLAN FOR SEDIMENT AND EROSION CONTROL DOES NOT RELIEVE THE DEVELOPER/CONSULTANT FROM COMPLYING WITH ANY FEDERAL, STATE/COUNTY REQUIREMENTS PERTAINING TO "ENVIRONMENTAL" ISSUES.

APPROVED HOWARD S.C.D. DATE
REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS
SIGNATURE U.S. SOIL CONSERVATION SERVICE DATE

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED

SEEDING PREPARATION - LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED

SOIL AMENDMENTS - IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES
1. PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ. FT.) AND 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL AT TIME OF SEEDING. APPLY 400 LB. PER ACRE 30-0-0 UREAFORM FERTILIZER (9 LBS/1000 SQ. FT.)

2. ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL

SEEDING - FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS PER ACRE (1.4 LBS/1000 SQ. FT.) OF KENTUCKY 31 TALL FESCUE AND 40 LBS PER ACRE (0.9 LBS/1000 SQ. FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY OPTION (1) 2 TONS PER ACRE WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) USE SOIL OPTION (3) SEED WITH 60 LBS/ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW

MULCHING - APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ. FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. USE ANCHOR MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS OR 4.0 GALLONS PER ACRE (1.8 GAL/1000 SQ. FT.) FOR ANCHORING

MAINTENANCE - INSPECT ALL SEEDING AREAS AND MAKE NECESSARY REPAIRS, REPLACEMENTS AND RESEEDING

TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED

SEEDING PREPARATION - LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED

SOIL AMENDMENTS - APPLY 60 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ. FT.)

SEEDING - FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU NOVEMBER 15, SEED WITH 2 1/2 TONS PER ACRE OF ANNUAL RYE (3.2 LBS/1000 SQ. FT.). FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS PER ACRE OF WEEPING LOVEGRASS (0.7 LBS/1000 SQ. FT.). FOR THE PERIOD NOVEMBER 16 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOIL.

MULCHING - APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ. FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. USE ANCHOR MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS OR 4.0 GALLONS PER ACRE (1.8 GAL/1000 SQ. FT.) FOR ANCHORING

REFER TO THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED

SIGNATURE FOR SEDIMENT CONTROL & POND CONSTRUCTION

BY THE DEVELOPER: [Signature] DATE 5-11-88
BY THE ENGINEER: [Signature] DATE 5-9-89
BY THE SOIL CONSERVATION DISTRICT: [Signature] DATE 4-13-89

SIGNATURE FOR SEDIMENT CONTROL

BY THE DEVELOPER: [Signature] DATE 5-11-88
BY THE ENGINEER: [Signature] DATE 5-9-89
BY THE SOIL CONSERVATION DISTRICT: [Signature] DATE 4-13-89

PLAN APPROVAL STAMP

APPROVED PLANNING BOARD OF HOWARD COUNTY DATE 5-11-88
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT DATE 5-24-89
APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING PLANNING DIRECTOR DATE 5-11-88
APPROVED FOR PUBLIC WATER PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS DATE 5-11-88
OWNER/DEVELOPER DEVELOPMENTAL SERVICES GROUP 9380 GERWING LANE COLUMBIA, MD 21046 (301) 581-7171

TABULATIONS

Table with 2 columns: SITE ANALYSIS, TABULATIONS. Includes data for TOTAL AREA OF PROPERTY (2.19 ACRES), AREA DISTURBED (1.03 ACRES), AREA TO BE ROOFED OR PAVED (32 ACRES), AREA TO BE VEGETATIVELY STABILIZED (27 ACRES), TOTAL CUT (26 CU YDS), TOTAL FILL (1065 CU YDS), ONSITE BORROW AREA LOCATION.

ADDRESS CHART table with columns: BUILT IN, YEAR, AREA, PARCELS. Includes address: 9380 GERWING LANE, COLUMBIA, MD 21046.

RBA logo and SITE AND SEDIMENT CONTROL NOTES & DETAILS. HOWARD COUNTY WORKSHOP EGU SUBDIVISION PARCEL I SECTION 2 AREA 3 PLAT 21-86 ELECT. DIST. 6 HOWARD CO., MD. PREVIOUS SDP-87-A3 SDP-88-728





