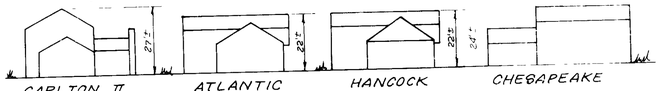
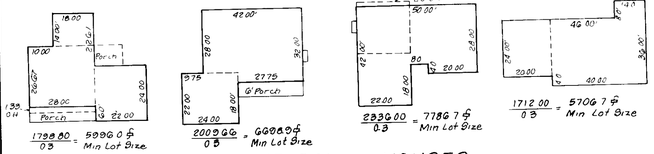
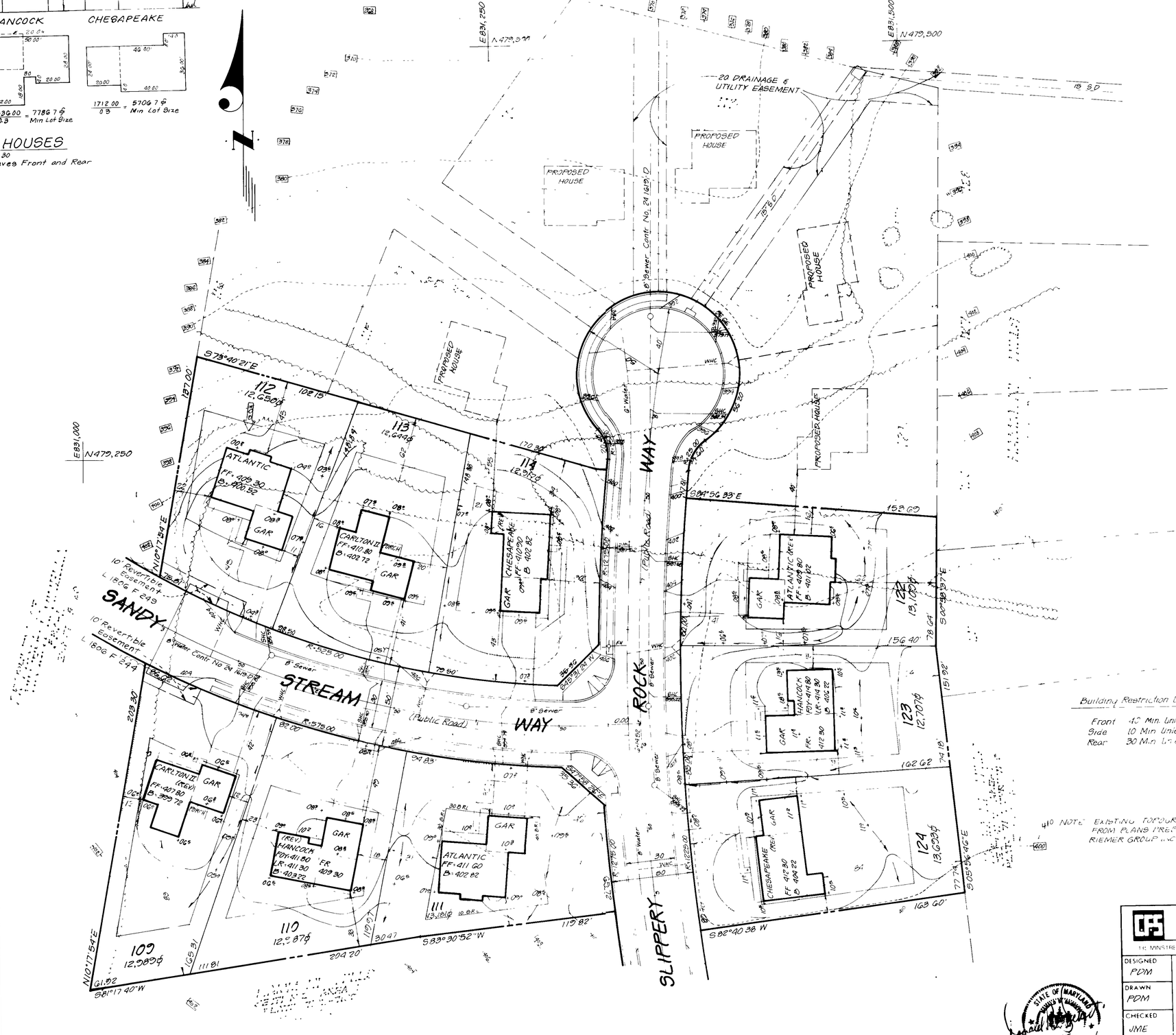


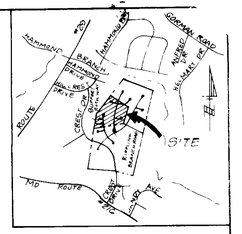


TYPICAL HOUSES

SCALE 1" = 30

NOTE - All Units have 10' Eaves Front and Rear





VICINITY MAP

Scale 1" = 2000'

GENERAL NOTES

1. All coordinates are based on the Maryland State Grid System
2. Total number of Lots 20
3. The total area included in this plan is 6.19 Ac
4. All roadways are public and existing
5. Any damage to county owned rights of way shall be corrected at the developer's expense
6. The contractor or developer shall contact the Construction Inspection / Survey Division, 24 hours in advance of commencement of work at 792-2630
7. The property shown heron is zoned R-20 Maximum building coverage is 30% per lot

SPECIAL NOTES

1. Approved road construction plans shall be used for all Public utilities
2. Public water & sewer shown for reference only For more detailed information - see water and sewer plans Contract N° 24 1619 D
3. The water & sewer house connections not included in a "Developers Agreement" shall conform to Howard Co Plumbing Code The on site W H C shall be 1" copper and the S H C shall be 4" iron
4. Stormwater Management provided for in the Riemer Group Hammond Hills Section 2 Area 2, preliminary plans F-87 176

LEGEND

1	Contour Interval	2 ft
2	Existing Contour	320
3	Proposed Contour	320
4	Spot Elevation	+20.5
5	Direction of Drainage	
6	Existing trees to be retained	
7	Walk Out basement	WOB
8	Existing spot elevation	310.5

Building Restriction Lines

Front	40 Min. Unless Otherwise Noted
Side	10 Min Unless Otherwise Noted
Rear	30 Min. Unless Otherwise Noted

410 NOTE: EXISTING TOPOGRAPHY TAKEN FROM PLANS PREPARED BY THE RIEMER GROUP INC

ADDRESS CHART

LOT	STREET ADDRESS
163	8204 Darting Minnow
164	8200 " "
109	8209 Sandy Stream Way
110	8205 " " "
111	8201 " " "
112	8208 " " "
113	8204 " " "
114	8200 " " "
122	8230 Slippery Rock Way
123	8226 " "
124	8222 " "
125	8225 Rippling Branch Road
126	8229 " "
127	8223 " "
128	8237 " "
158	8201 Darting Minnow
159	8205 " "
160	8209 " "
161	8213 " "
162	8208 " "

SUBDIVISION NAME			SECT/AREA	LOT/PARCEL #
HAMMOND HILLS			2/2	Lots 114 122 128 L 158-162
PLAT #	BLOCK #	ZONE	TAX/ZONE MAP	ELEC DIST	CENSUS TR
7561-7557	5	R-20	4G	6TH	6062
WATER CODE			SEWER CODE	
7440000			7-18	

10-19-87

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER — DATE 2/1/88

APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING

PLANNING DIRECTOR — DATE 4.18.88

CHIEF DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT — DATE 2/2/88

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

DIRECTOR — DATE

CHIEF BUREAU OF ENGINEERING — DATE 1.27.88

STATE OF MARYLAND — JAMES M. ... — REGISTERED LAND SURVEYOR

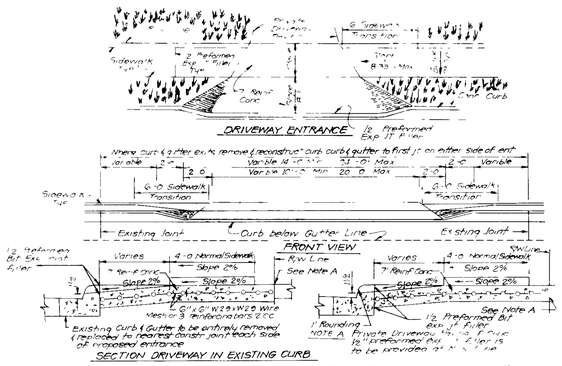
CLARK • FINEFROCK & SACKETT, INC

ENGINEERS • PLANNERS • SURVEYORS

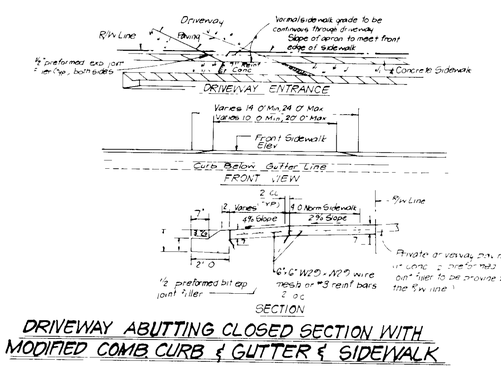
16 MINSTREL WAY • ELLICOTT CITY, MD

DESIGNED PDM	SITE DEVELOPMENT PLAN LOTS 109-114, 122 123, & 158-164	SCALE 1" = 30'
DRAWN PDM	HAMMOND HILLS SECTION 2 AREA 2 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND	DRAWING 1 of 1
CHECKED JME		JOB NO 86 126
DATE August, 1987	DIVERSIFIED HOMES M.L.P. OF MARYLAND 10705 CHARTER DRIVE SUITE 100 COLUMBIA, MARYLAND 21044	

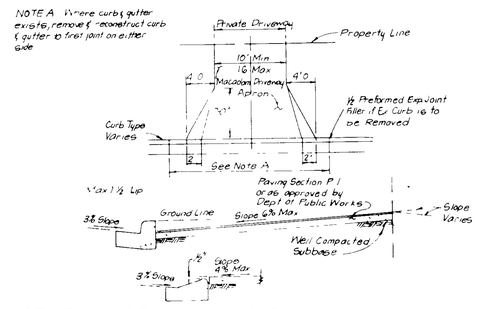
SDP-88-54



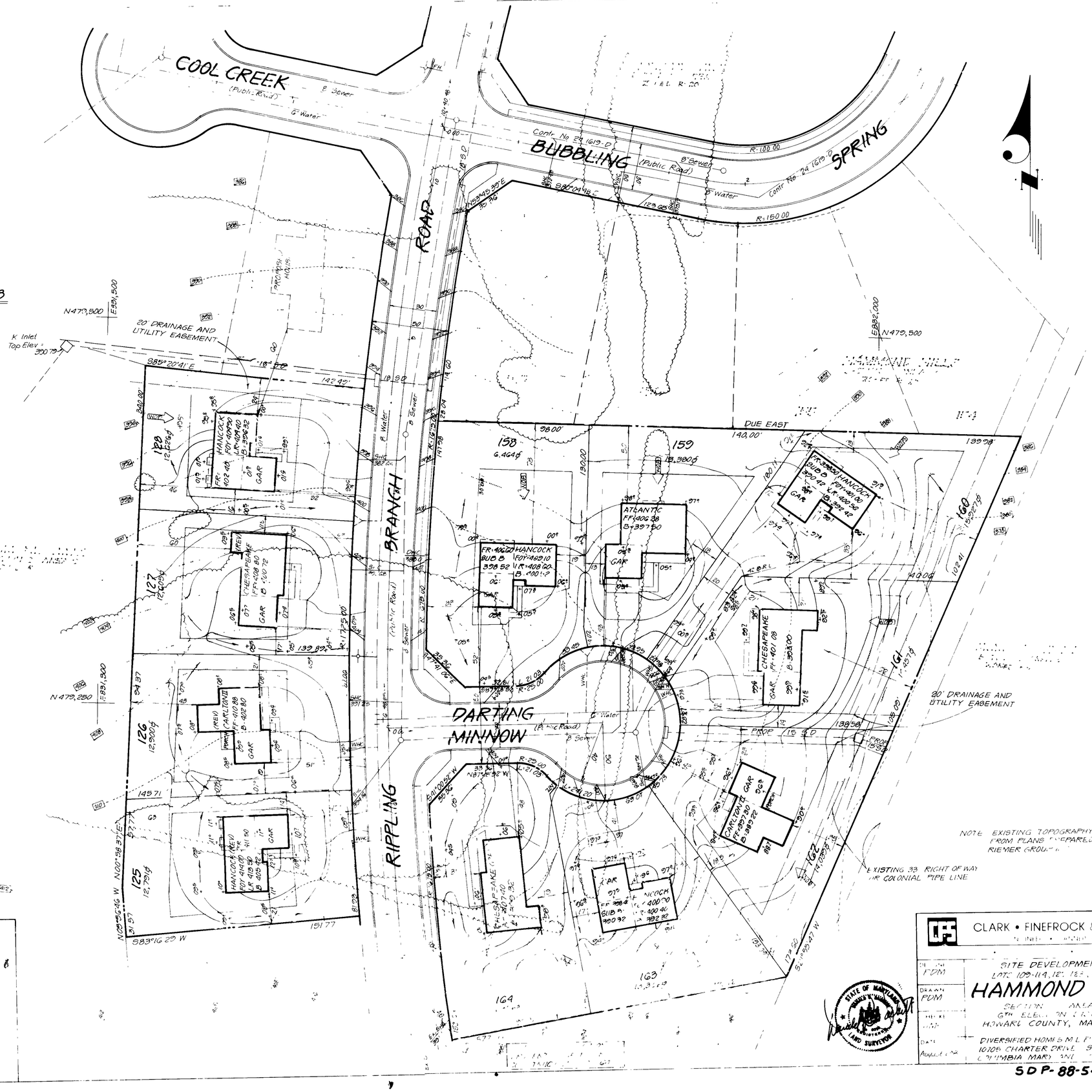
DRIVEWAY ABUTTING CLOSED SECTION WITH STD 7" COMB CURB & GUTTER & SIDEWALK SET BACK FROM CURB



DRIVEWAY ABUTTING CLOSED SECTION WITH MODIFIED COMB CURB & GUTTER & SIDEWALK



DRIVEWAY ABUTTING CLOSED SECTION WITHOUT CONCRETE SIDEWALK



APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER	DATE 2/1/88

APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING

PLANNING DIRECTOR	DATE 4.18.88
CHIEF DIVISION OF DEVELOPMENT PLAN REVIEW	DATE 2/2/88

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

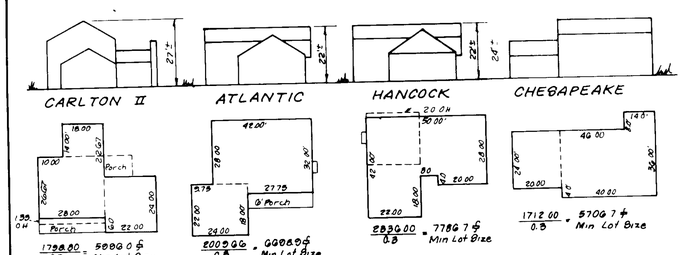
DIRECTOR	DATE 1/27/88
CHIEF BUREAU OF ENGINEERING	DATE 1-27-88

APPROVED
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE 10-19-87

CLARK • FINEFROCK & SACKETT INC

DESIGN FDM	SITE DEVELOPMENT PLAN LOTS 109-114, 121-123, & 125-16
DRAWN FDM	HAMMOND HILLS
CHECKED	SECTION AREA 5 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
DATE AUGUST 1987	DIVERSIFIED HOMES M.L.P. OF MARYLAND 10105 CHARTER DRIVE SUITE 420 COLUMBIA MARYLAND

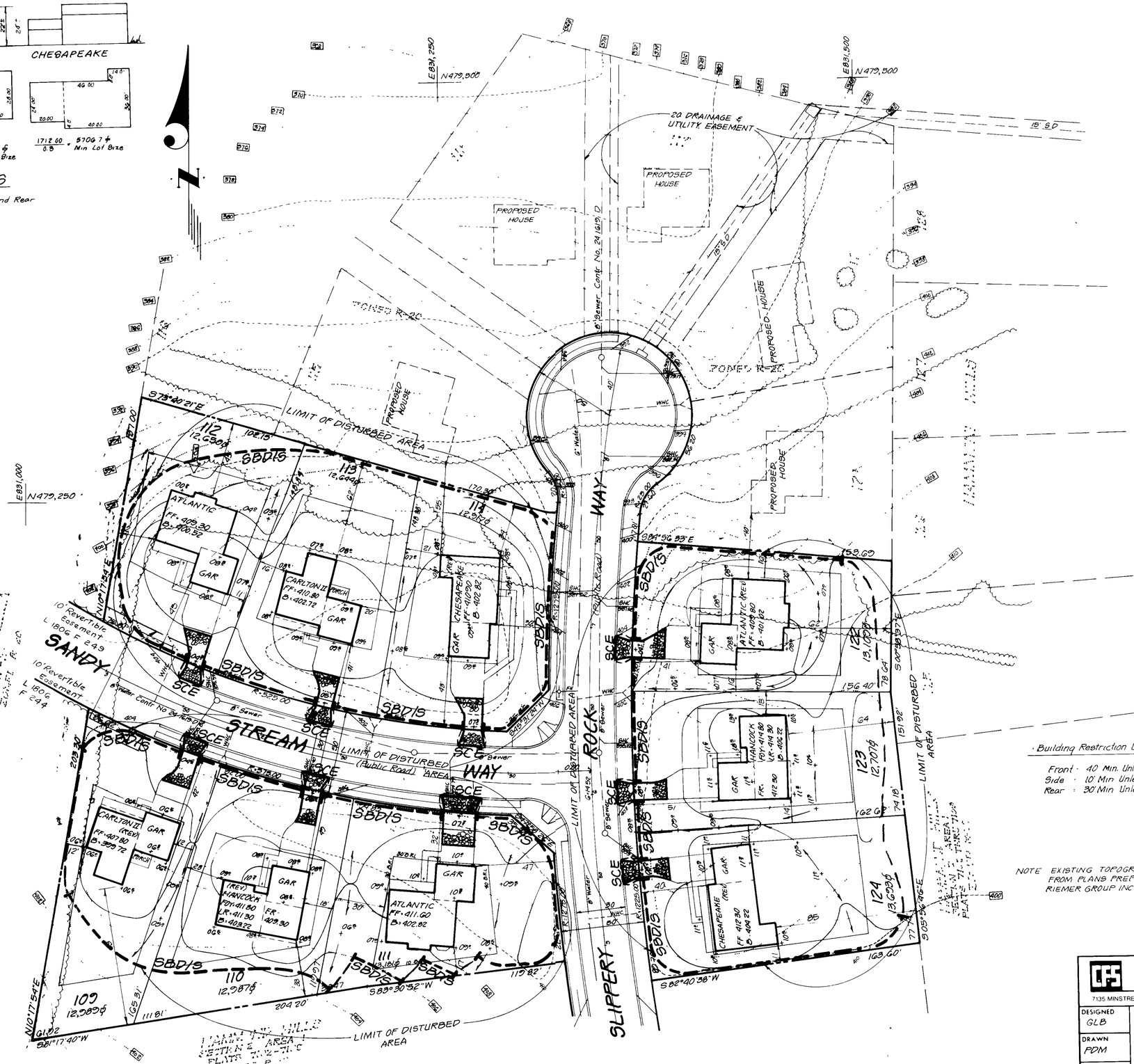
SDP-88-54

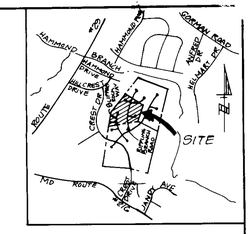


TYPICAL HOUSES

SCALE 1" = 30'

NOTE - All Units have 10 Eaves Front and Rear





VICINITY MAP

Scale 1" = 2000'

GENERAL NOTES

1. All coordinates are based on the Maryland State Grid System
2. Total number of Lots - 18
3. The total area included in this plan is
4. All roadways are public and existing
5. Any damage to county owned rights of way shall be corrected at the developer's expense
6. The contractor or developer shall contact the Construction Inspection / Survey Division, 24 hours in advance of commencement of work at 792-2630
7. The property shown heron is zoned R-20 Maximum building coverage is 30% per lot

SPECIAL NOTES

1. Approved road construction plans shall be used for all Public utilities
2. Public water & sewer shown for reference only For more detailed information - see water and sewer plans Contract N° 24 (619) D
3. The water & sewer house connections not included in a "Developer's Agreement" shall conform to Howard Co Plumbing Code The on site W H C shall be 1" copper and the S H C shall be 4" iron
4. Stormwater Management provided for in the Riemer Group Hammond Hills Section 2 Area 2, preliminary plans F-87 176

LEGEND

1. Contour Interval — 2ft
2. Existing Contour — 320
3. Proposed Contour — 320
4. Spot Elevation — +20
5. Direction of Drainage
6. Existing trees to be retained
7. Walk-Out basement — WOB
8. Existing spot elevation — 310.5

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan of development and plan for erosion and sediment control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Dept of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

D S Meachan — Signature of Developer/Builder — 9-15-87 Date

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

G Nelson Clark — Date 9-15-87

Reviewed for Howard SCD (Name) and meets Technical Requirements — Signature — Date 1-21-88 — U.S. Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Approved — Date

APPROVED
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
HOWARD COUNTY MARYLAND
DATE 10-19-87

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT
COUNTY HEALTH OFFICER — DATE 2/1/88

APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING
PLANNING DIRECTOR — DATE 4.18.88
CHIEF DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT — DATE 2/3/88

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DIRECTOR — DATE 2-7-88
CHIEF BUREAU OF ENGINEERING — DATE 1-27-88

- Building Restriction Lines

Front : 40' Min. Unless Otherwise Noted
Side : 10' Min Unless Otherwise Noted
Rear : 30' Min Unless Otherwise Noted

NOTE EXISTING TOPOGRAPHY TAKEN FROM PLANS PREPARED BY THE RIEMER GROUP INC

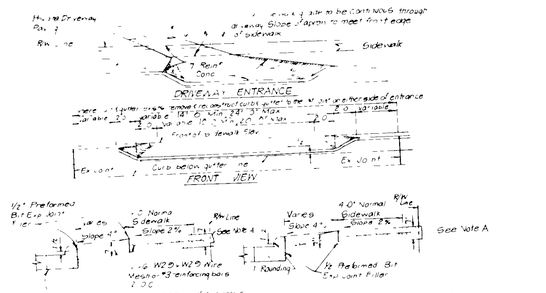
ADDRESS CHART	
LOT	STREET ADDRESS

SUBDIVISION NAME: HAMMOND HILLS				SECT/AREA 2/2	LOT/PARCEL # 109-114, 122-128 & 158-164
PLAT # 7551-7557	BLOCK # 5	ZONE R-20	TAX/ZONE MAP 4G	ELEC DIST 6TH	CENSUS TR 6062
WATER CODE 7640000			SEWER CODE E-18		

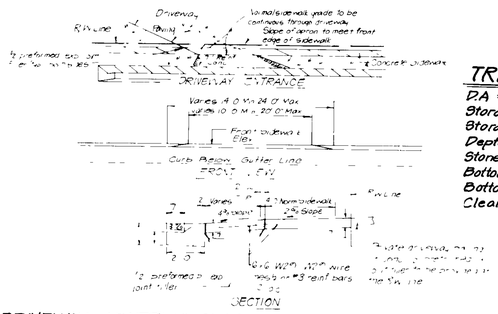
CLARK • FINEFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS
7135 MINSTREL WAY • COLUMBIA MD 21045 • (301) 381-7200 – BALTO • (301) 621-8100 – WASH

DESIGNED GLB	SEDIMENT AND EROSION CONTROL PLAN LOTS 109-114, 122-128, & 158-164	SCALE 1" = 50'
DRAWN PDM	HAMMOND HILLS SECTION 2 AREA 2 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND	DRAWING 3 of 5
CHECKED GLB		JOB NO 86-126
DATE August, 1987	DIVERSIFIED HOMES M L P OF MARYLAND 10705 CHARTER DRIVE SUITE 420 COLUMBIA, MARYLAND 21044	FILE NO 86-126SE

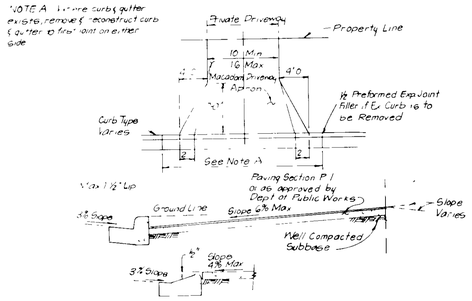
SDP 88 54



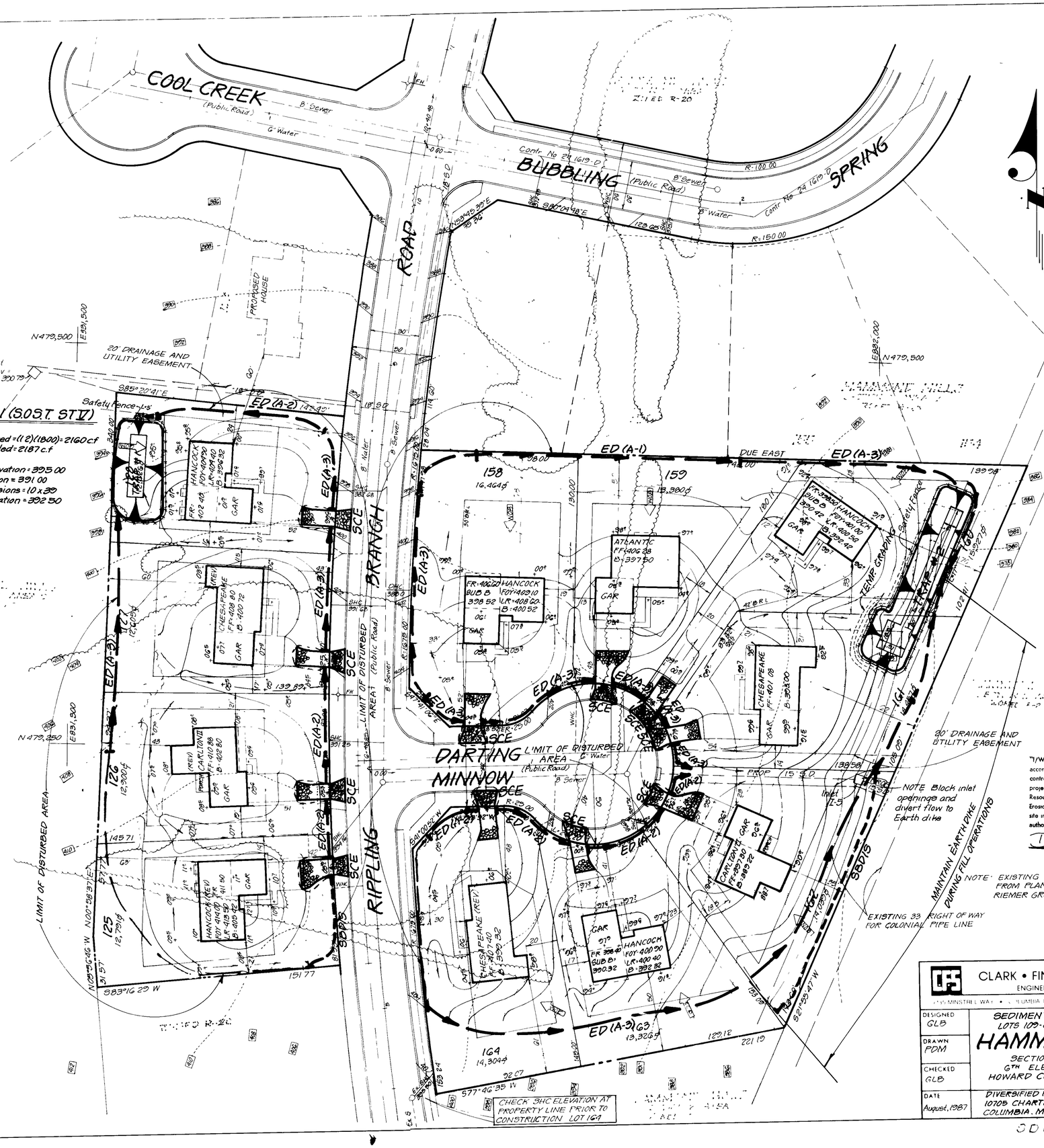
DRIVEWAY ABUTTING CLOSED SECTION WITH STD. 7" COMB CURB & GUTTER & SIDEWALK SET BACK FROM CURB



DRIVEWAY ABUTTING CLOSED SECTION WITH MODIFIED COMB CURB & GUTTER & SIDEWALK



DRIVEWAY ABUTTING CLOSED SECTION WITHOUT CONCRETE SIDEWALK



TRAP No 1 (S.O.S.T. STD V)

D.A. = 1.2 Ac.
Storage Required = (1.2)(1800) = 2160 c.f
Storage Provided = 2187 c.f
Depth = 3'
Stone Crest Elevation = 395.00
Bottom Elevation = 391.00
Bottom Dimensions = 10 x 39
Cleanout Elevation = 392.50

TRAP No 2 (S.O.S.T. STD V)*

D.A. = 2.2 Ac.
Storage Required = (2.2)(1800) = 3960 c.f
Storage Provided = 3965 c.f
Depth = 3'
Stone Crest Elevation = 378.00
Bottom Elevation = 374.00
Bottom Dimensions = See plan
Cleanout Elevation = 375.50
* 1:1 Slopes

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

G NELSON CLARK — DATE 9-15-87

STATE OF MARYLAND — G. NELSON CLARK — No. 7139 — REGISTERED PROFESSIONAL ENGINEER

Reviewed for Howard SCD
Name
and meets Technical Requirements
Signature — Date
US Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Approved — Date

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan of development and plan for erosion and sediment control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Dept of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

D S Meacham — 9-15-87
Signature of Developer/Builder — Date

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT
COUNTY HEALTH OFFICER — DATE 2/11/88

APPROVED HOWARD COUNTY OFFICE OF PLANNING & ZONING
PLANNING DIRECTOR — DATE 4.18.88
CHIEF DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT — DATE 2/2/88

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DIRECTOR — DATE 1/27/88
CHIEF BUREAU OF ENGINEERING — DATE 1-27-88

APPROVED
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
HOWARD COUNTY MARYLAND
DATE 10-19-87

CLARK • FINEFROCK & SACKETT, INC
ENGINEERS • PLANNERS • SURVEYORS
7115 MINSTRELL WAY • COLUMBIA MD 21044 • BALTIMORE • WASHINGTON

DESIGNED GLB	SEDIMENT AND EROSION CONTROL PLAN LOTS 109-114, 122-128, & 158-164	SCALE 1"=30'
DRAWN PDM	HAMMOND HILLS	DRAWING 4 of 5
CHECKED GLB	SECTION 2 AREA 2 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND	JOB NO 86-126
DATE August, 1987	DIVERSIFIED HOMES M.L.P. OF MARYLAND 10705 CHARTER DRIVE SUITE 420 COLUMBIA, MARYLAND 21044	FILE NO 86-126SE

SDP 88-54

SEDIMENT CONTROL NOTES

1) A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction (992-2437)
2) All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
3) Following initial soil disturbance or redisturbance, permanent or temporary stabilization shall be completed within a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3 1, b) 14 days as to all other disturbed or graded areas on the project site.
4) All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol 1, Chaper 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage
5) All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec 51) sod (Sec 54), temporary seeding (Sec. 50) and mulching (Sec 52) Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
6) All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector
7) Site Analysis
   - Total Area of Site 6.19 Acres
   - Area Disturbed 5.93 Acres
   - Area to be roofed or paved 1.47 Acres
   - Area to be vegetatively stabilized 4.46 Acres
   - Total Cut ______ Cu yds
   - Total Fill ______ Cu. yds
   - Offsite waste/borrow area location N/A
8) Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
9) Additional sediment control must be provided, if deemed necessary by the Howard County DPW sediment control inspector.
10) On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
11) If houses are to be constructed on an "As-Sold" basis, at random, Single Lot Sediment Control as shown below shall be implemented.
12) All pipes to be blocked at the end of each day (see detail below). N/A
13) The total amount of straw bale dikes/silt fence equals 1925 L.F.

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed

Seedbed Preparation Loosen upper three inches of soil by raking, discing or other acceptable means before seeding

Soil Amendments In lieu of soil test recommendations, use one of the following schedules

1) Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 square ft) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq ft).
2) Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding Harrow or disc into upper three inches of soil.

Seeding - For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs/1000 sq ft) of weeping lovegrass During the period of October 16 thru February 28, protect site by: Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching - Apply 1½ to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring

______ - Inspect all seeded areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed

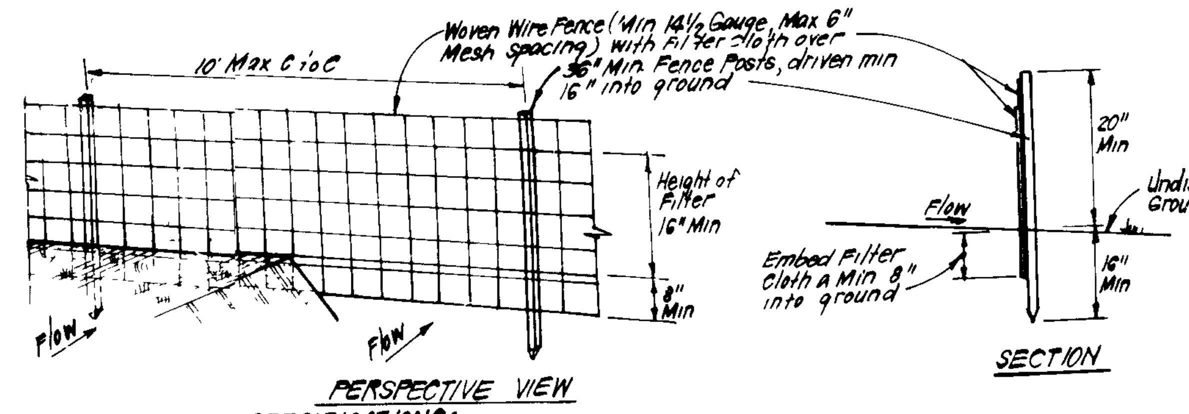
Seedbed Preparation. Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, *if not previously loosened*

Soil Amendments Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft)

Seeding For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2½ bushel per acre of annual rye (3.2 lbs/1000 sq ft). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (.07 lbs/1000 sq ft) For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod

Mulching: Apply 1½ to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes, 8 ft or higher, use 348 gal per acre (8 gal/1000 sq ft) for anchoring.

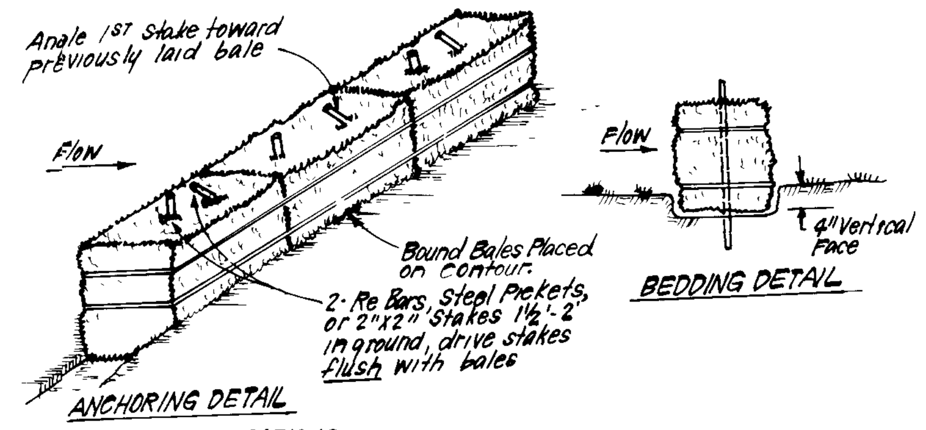
Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.



CONSTRUCTION SPECIFICATIONS:
1. Woven wire fence to be fastened securely to fence posts with wire ties or staples
2. Filter Cloth to be fastened securely to woven wire fence with ties spaced every 24" at top and mid section
3. When 2 sections of filter cloth adjoin each other they shall be overlapped by 6" and folded
4. Maintenance shall be performed as needed and material removed when "Bulges" develop in Silt Fence

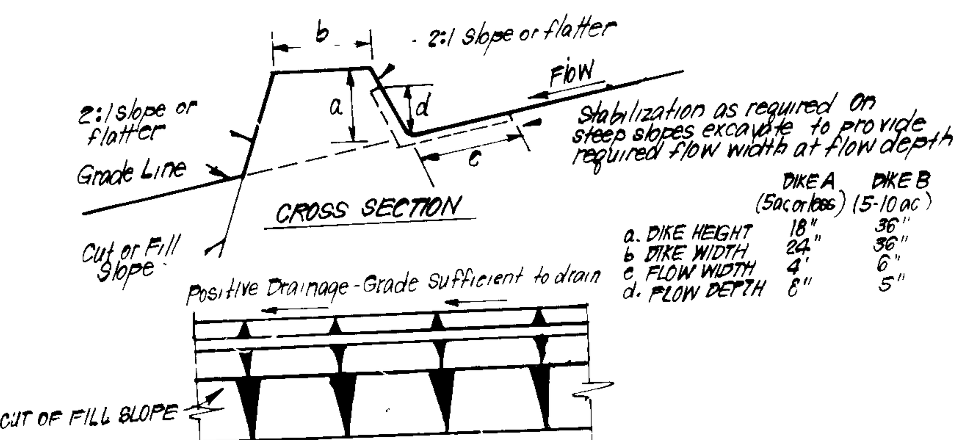
POSTS: Steel either T or U Type or 2" Hardwood
FENCE: Woven Wire, 14½ Gage 6" Max Mesh Opening
FILTER CLOTH: Filter X, Mirafi 100X, Stablinka, T140N or Approv. equ.
PREFABRICATED UNIT: Geofab, Envirofence, or Approv. equal

SILT FENCE DETAIL (S)
NO SCALE



CONSTRUCTION SPECIFICATIONS:
1. Bales shall be placed at the Top of a Slope or on the contour and in a row with ends tightly abutting the adjacent bales
2. Each bale shall be embedded in the soil a min of 4" and placed so the bindings are horizontal
3. Bales shall be securely anchored in place by either 2 stakes or re bars driven thru the bale. The 1st stake in each bale shall be driven toward the previously laid bale at an angle to force the bales together. Stakes shall be driven flush with the bale
4. Inspection shall be frequent and repair replacement shall be made promptly as needed
5. Bales shall be removed when they have served their usefulness so as not to block or impede storm flow or drainage

STRAW BALE DIKE DETAIL (SBD)
NO SCALE



	DIKE A (5ac or less)	DIKE B (5-10 ac)
a. DIKE HEIGHT	18"	36"
b. DIKE WIDTH	24"	36"
c. FLOW WIDTH	4'	6'
d. FLOW DEPTH	8"	5"

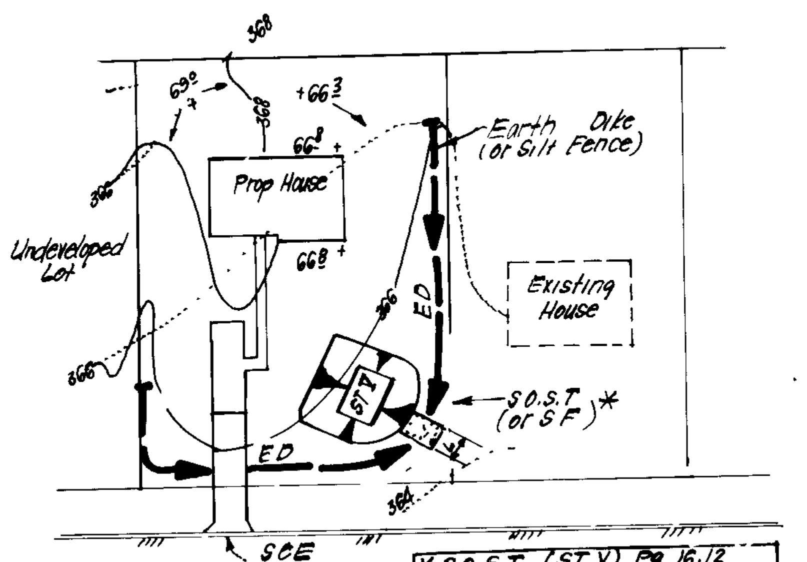
CONSTRUCTION SPECIFICATIONS:
1. All dikes shall be compacted by earth-moving equipment
2. All dikes shall have positive drainage to an outlet
3. Top width may be wider and side slopes may be flatter if desired, to facilitate crossing by construction traffic.
4. Field location should be adjusted as needed to utilize a stabilized safe outlet
5. Earth dikes shall have an outlet that functions with a minimum of erosion. Runoff shall be conveyed to a sediment trapping device such as a sediment trap or sediment basin where either the dike channel or the drainage area above the dike are not adequately stabilized
6. Stabilization shall be: (A) In accordance with standard specifications for seed and straw mulch or straw mulch if not in seeding season, (B) flow channel as per chart below.

FLOW CHANNEL STABILIZATION

TYPE OF TREATMENT	CHANNEL GRADE	DIKE A	DIKE B
1.	0.5-3.0%	Seed & Straw Mulch	Seed or Straw Mulch
2	3.1-5.0%	Seed & Straw Mulch	Seed w/Jute, or Excelsior, Sod, 2"Stone
3	5.1-8.0%	Seed w/Jute, or Sod; 2"Stone	Lined Rip Rap 4"-8"Stone
4	8.1-20.0%	Lined Rip Rap 4-8"Stone	Engineering Design

A Stone to be 2" Stone, or recycled concrete equivilent, in a layer at least 3" thick and be pressed into soil with construction equipment
B Rip Rap to be 4"-8" in a layer at least 8" thick, pressed into soil.
C Approved equivalents can be substituted for any of the above materials
7 Periodic Inspection and Required Maintenance must be provided after each rain

EARTH DIKE DETAIL (E.D.)
NO SCALE



* NOTE: Single lot detail can not be utilized if any two lots sharing common property lines are to be disturbed at the same time or on any lots showing a sediment trap

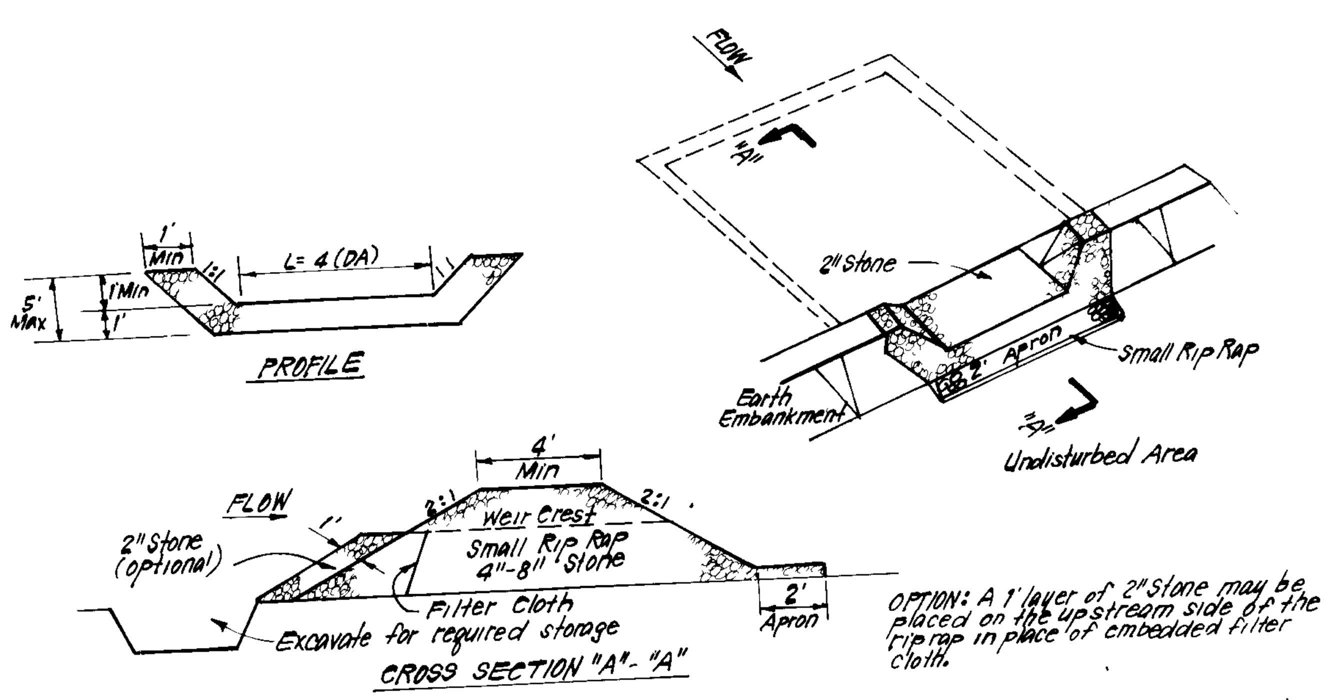
*S O S T (ST V) Pg 16.12			
LOT SIZE	¼ Ac	½ Ac	1 Ac
L	2	3'	6'
Depth	2'	2	2'
+ Bot Length	11'	26	26'
+ Bot Width	11	11'	26
Bot Area	121⌀	286⌀	676⌀

+ can be adjusted in field, but bottom area must be as given or greater

SINGLE LOT SEDIMENT CONTROL PLAN
NO SCALE

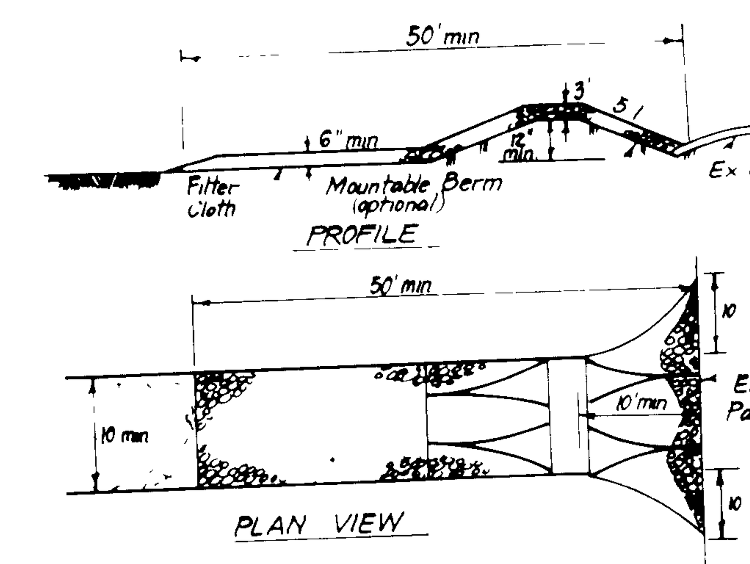
CONSTRUCTION SEQUENCE:

		NUMBER OF DAYS
A.	Obtain Grading Permit and Install Sediment and Erosion Control Devices and Stabilize.	10
B.	Excavate for foundations and Rough Grade & Temporarily Stabilize	50
C.	Construct Structures, Sidewalks and Driveways.	225
D.	Final Grade and stabilize in accordance with Stds. & Specs.	15
E.	Upon approval of the sediment control inspector remove sediment and erosion controls and stabilize	10



CONSTRUCTION SPECIFICATIONS:
1. Area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat. The pool area shall be cleared
2. The fill material for the embankment shall be free of roots and other woody vegetation as well as over sized stones, rocks, organic material or other objectionable material. The embankment shall be compacted by traversing with equipment while it is being constructed
3. All cut and fill slopes shall be 2:1 or flatter
4. The stone used in the outlet shall be small rip rap 4"-8" along with 1' thickness of 2" aggregate placed on the up-grade side on the small rip rap or embedded filter cloth in the rip rap
5. Sediment shall be removed and trap restored to its orginal dimensions when the sediment has accumulated to ½ the design depth of the trap
6. The structure shall be inspected after each rain and repairs made as needed
7. Construction operations shall be carried out in such a manner than erosion and water pollution is minimized
8. The structure shall be removed and the area stabilized when the drainage area has been properly stabilized

STONE OUTLET SEDIMENT TRAP (S.O.S.T.) ST.V.
NO SCALE



CONSTRUCTION SPECIFICATIONS
1. Stone size - Use 2" stone, or reclaimed or recycled concrete equivalent
2. Length - As required, but not less than 50 feet, except on a single residence lot where a 30 foot minimum length would apply
3. Thickness - Not less than six (6) inches
4. Width - Ten (10) foot minimum, but not less than the full width at points where ingress or egress occurs
5. Filter Cloth - Will be placed over the entire area prior to placing of stone Filter will not be required on a single family residence lot
6. Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance If piping is impractical, a mountable berm with 5 1 slopes will be permitted
7. Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way This may require periodic top dressing with additional stone as conditions demand and repair and or cleanout of any measures used to trap sediment All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately
8. Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device
9. Periodic inspection and needed maintenance shall be provided after each rain

STABILIZED CONSTRUCTION ENTRANCE (SCE)
NO SCALE

APPROVED
DIVISION OF LAND DEVELOPMENT &
ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE 10-19-87

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
COUNTY HEALTH OFFICER — DATE 2/1/88

APPROVED. HOWARD COUNTY OFFICE OF PLANNING & ZONING
PLANNING DIRECTOR — DATE 4.18.88
CHIEF DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT — DATE 2/2/88

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DIRECTOR — DATE
CHIEF BUREAU OF ENGINEERING — DATE 1-27-88

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan of development and plan for erosion and sediment control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Dept of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

Signature of Developer/Builder — Date 9-15-87

Reviewed for Howard S.C.D
and meets Technical Requirements
Signature — Date
U S Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Approved — Date

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District

G Nelson Clark — Date 9-15-87

CLARK • FINEFROCK & SACKETT, INC — ENGINEERS • PLANNERS • SURVEYORS — 7135 MINSTREL WAY • COLUMBIA MD 21045 • (301) 381-7500 - BALTO • (301) 621-8100 WASH		
DESIGNED GLB	SEDIMENT AND EROSION CONTROL PLAN LOTS 109-112, 120-126, & 156-162	SCALE 1"=30
DRAWN PDM	HAMMOND HILLS SECTION 2 AREA 2	DRAWING 5 of 5
CHECKED GLB	6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND	JOB NO 86-126
DATE August, 1987	DIVERSIFIED HOMES M L P OF MARYLAND 10705 CHARTER DRIVE SUITE 420 COLUMBIA, MARYLAND 21044	FILE NO 86-126SE

SDP 88 54