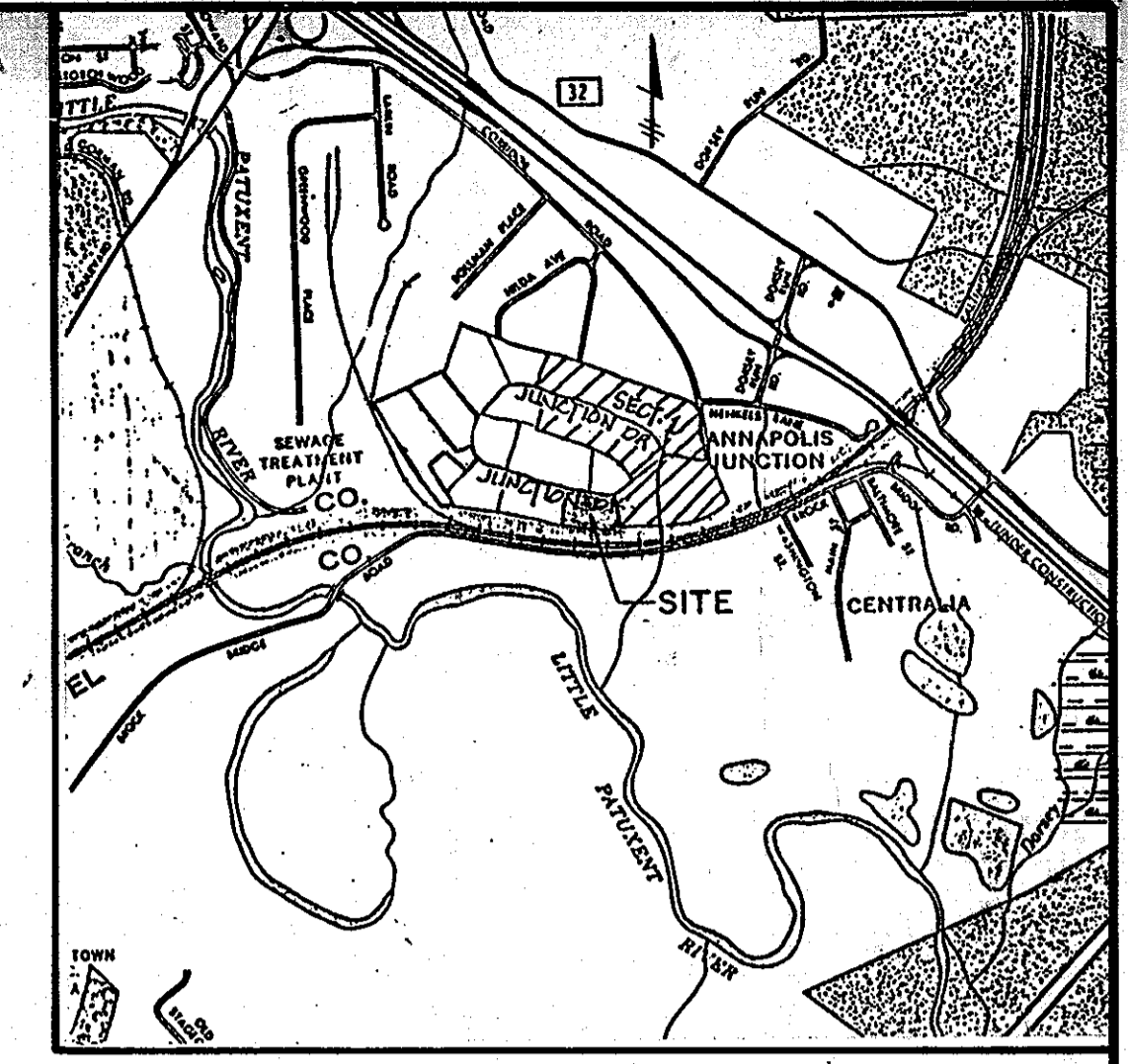


CONSTRUCTION NOTES

- C-1 HANDICAP PARKING SIGN.
- C-2 6' WIDE CONCRETE SIDEWALK.
- C-3 PROPOSED COMBINATION CURB AND GUTTER.
- C-5 REMOVE EXISTING CURB AND GUTTER.
- C-6 REBUILD INLET TO TYPE DBL S INLET WITH RETICULAR GRATE.
- C-7 20' WIDE WATER MAIN AND UTILITY EASEMENT.
- C-8 FOR CONTINUATION SEE MECH. DRAWINGS.
- C-9 HANDICAP RAMP.
- C-10 HANDICAP COMMON AISLE.
- C-11 PROPOSED 12' WALK.
- C-12 EXISTING MANHOLE TO BE RAISED TO ELEVATION 188.0.
- C-13 5' WIDE RIP-RAP OVER FILTER CLOTH.
- C-14 INSTALL BITUMINOUS CURB.
- C-15 INSTALL HEAVY DUTY PAVING.
- C-16 INSTALL LIGHT DUTY PAVING.



VICINITY MAP
SCALE: 1"=200'

GENERAL NOTES:

1. AREA OF PROPERTY TO BE DEVELOPED - 4.786 AC.
2. PUBLIC WATER AND PUBLIC SEWER WILL BE UTILIZED
3. NUMBER OF EMPLOYEES - BLDG. A = 26, BLDG. B = 18
4. ZONING - M-2, ELECTION DISTRICT NO. 6
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DEPT. OF PUBLIC WORKS STANDARD AND SPECIFICATIONS
6. STORMWATER MANAGEMENT PROVIDED ON F-86-126.
7. OFFICE USE - 28,909 SF
WAREHOUSE USE - 10,491 SF
RELIGIOUS USE - 2,930 SF (1,050 SF IN MAIN SEATING AREA)
PARKING REQUIRED FOR WAREHOUSE USE = 10,491 SF/500 SF = 21 SPACES
PARKING REQUIRED FOR RELIGIOUS USE = 10 SPACES / 1,000 SF (NO FIXED SEATING) = 10 X 10.50 = 11 SPACES
TOTAL 63 SPACES
PARKING PROVIDED = 101 SPACES
8. TOTAL AREA OF PARKING LOT = 15, 876 SF
9. OPEN SPACE:
REQUIRED = 20% = (0.2 X 4.7862) = 0.96 AC.
PROVIDED = 2.07 AC. (PERCENTAGE = 43.2%)
10. TAX MAP NO. 48

HAZARDOUS MATERIAL NOTE

The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building, shown on this site development plan, who will discharge non-domestic waste to the public sewerage system if this waste is regulated under Section 16.122A of the Howard County Code. Each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above requirements shall apply to all initial and future occupants or tenants.

LEGEND

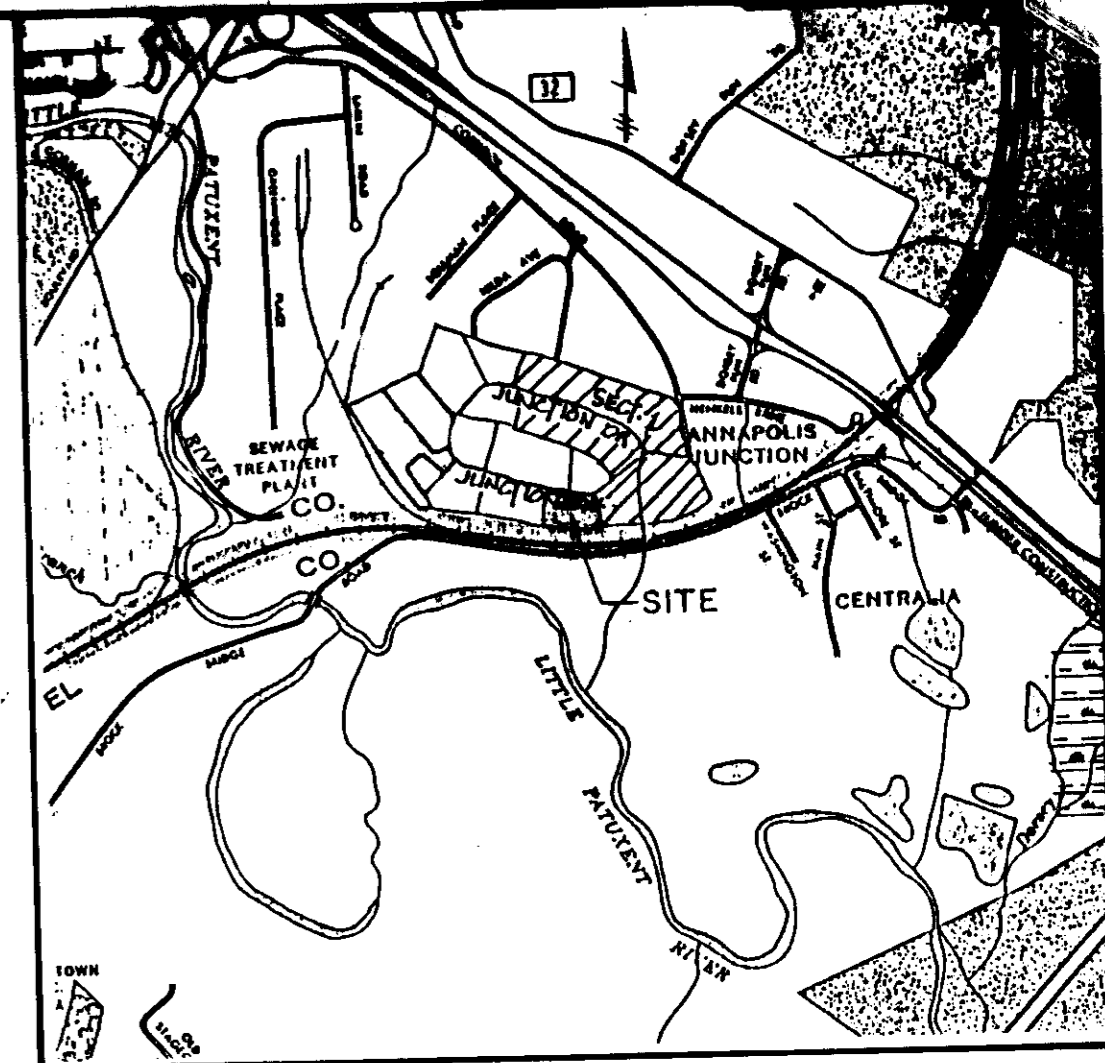
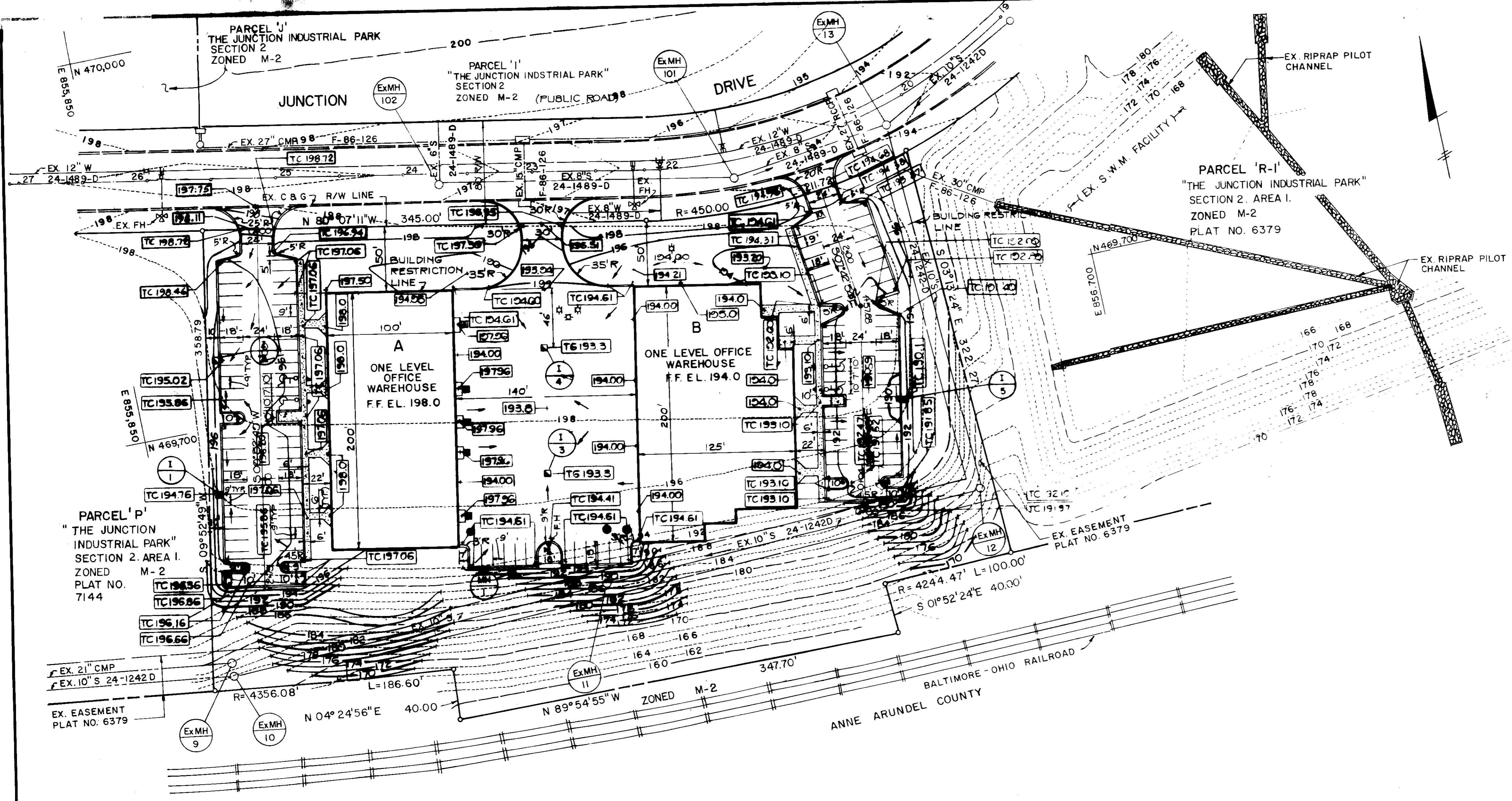
	EXISTING	NEW
BUILDING	[Solid rectangle]	[Solid rectangle]
HEAVY DUTY PAVING	[Dotted pattern]	[Dotted pattern]
LIGHT DUTY PAVING	[Horizontal lines]	[Horizontal lines]
CONCRETE WALK	[Dotted pattern]	[Dotted pattern]
CURB	[Double line]	[Double line]
INLET	[Square]	[Square]
MANHOLE	[Circle]	[Circle]
FIRE HYDRANT	[Circle with cross]	[Circle with cross]
WATER	EX. 12" W. 7	4" W 7
STORM DRAIN	EX. 15" CMP 7	21" CMP 7
SANITARY SEWER	EX. 8" S. 7	8" S 7
CONSTRUCTION NOTE	[C-2 symbol]	[C-2 symbol]
CONTOURS	-----178-----	178
PARKING SPACE	[Circle with 6]	[Circle with 6]
BIT.CONC. CURB	[Double line]	[Double line]
SPOT ELEVATION	[Box with 194.01]	[Box with 194.01]

APPROVED
DIVISION OF LAND DEVELOPMENT &
ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE 6-10-87
[Signature]

ADDRESS CHART					
LOT	ADDRESS				
BLDG. A	8088 JUNCTION DRIVE				
BLDG. B	8000 JUNCTION DRIVE				
SUBDIVISION NAME	THE JUNCTION INDUSTRIAL PARK				
SECT./AREA	2/1				
LOT/PARCEL #	PARCEL Q				
PLAT #	BLOCK #	ZONE	TAX/ZONE MAP	ELEC. DIST.	CENSUS TR.
7146	19	M-2	48	6	6064
WATER CODE	SEWER CODE				
CO4	4020000				
APPROVED: FOR STORM DRAINAGE SYSTEMS AND ROADS, AND PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS					
[Signature]			8/28/87		
DIRECTOR			DATE		
[Signature]			8-27-87		
CHIEF, BUREAU OF ENGINEERING			DATE		
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT					
[Signature]			9-3-87		
COUNTY HEALTH OFFICER			DATE		
APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING					
[Signature]			9-8-87		
PLANNING DIRECTOR			DATE		
[Signature]			9-4-87		
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION			DATE		

9/14/11	[Symbol]	REVISE GENERAL NOTES FOR NEW USE
DATE	NO.	REVISION
PROJECT:		
THE JUNCTION INDUSTRIAL PARK		
6th ELECTION DISTRICT HOWARD CO., MARYLAND SECTION 2 AREA I PARCEL Q		
TITLE:		
LAYOUT AND UTILITY PLAN		
OWNER: EMORY, HILL & MCCONNELL 7240 PARKWAY DRIVE SUITE 170 HANOVER, MARYLAND 21076		
ENGINEERS: WHITNEY, BAILEY, COX & MAGNANI CONSULTING ENGINEERS 1850 YORK ROAD TIMONIUM, MARYLAND 21093 301-252-6060		
DATE:	7-7-87	DESIGNED: A.R.
		DRAWN: G.S./Y.Q.
		CHECKED: P.D.
		PROJECT NO: 87-064-51
		DATE: 4-28-87
		SCALE: 1"=50'
		DRAWING NO. 1 of 7

PROFESSIONAL ENGR. NO. 6375



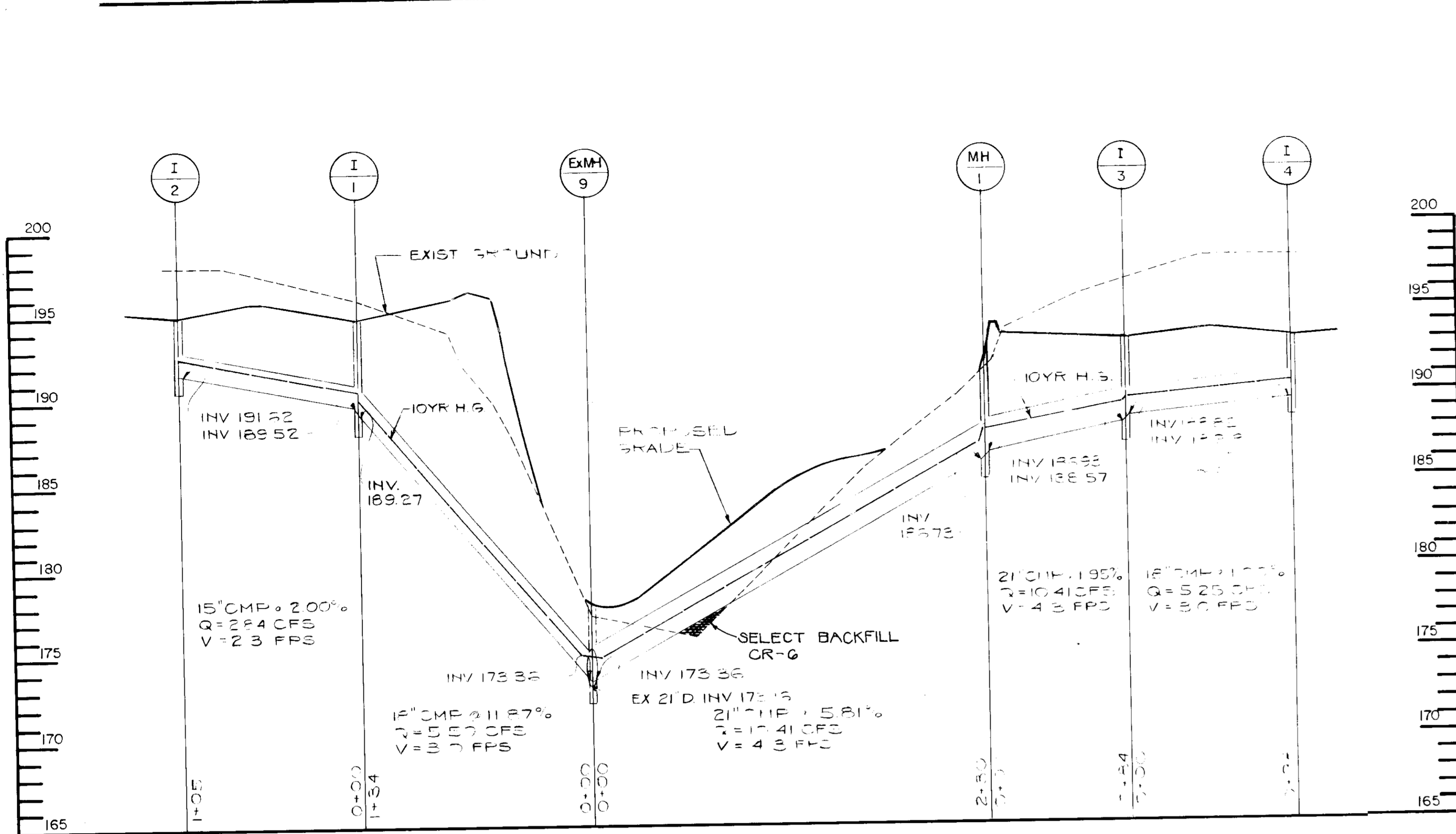
VICINITY MAP
SCALE: 1"=2000'

NOTE FIVE (5) LONG LEVEL LANDINGS SHALL BE PROVIDED
OUTSIDE ALL TENANT ENTRANCE DOOR-

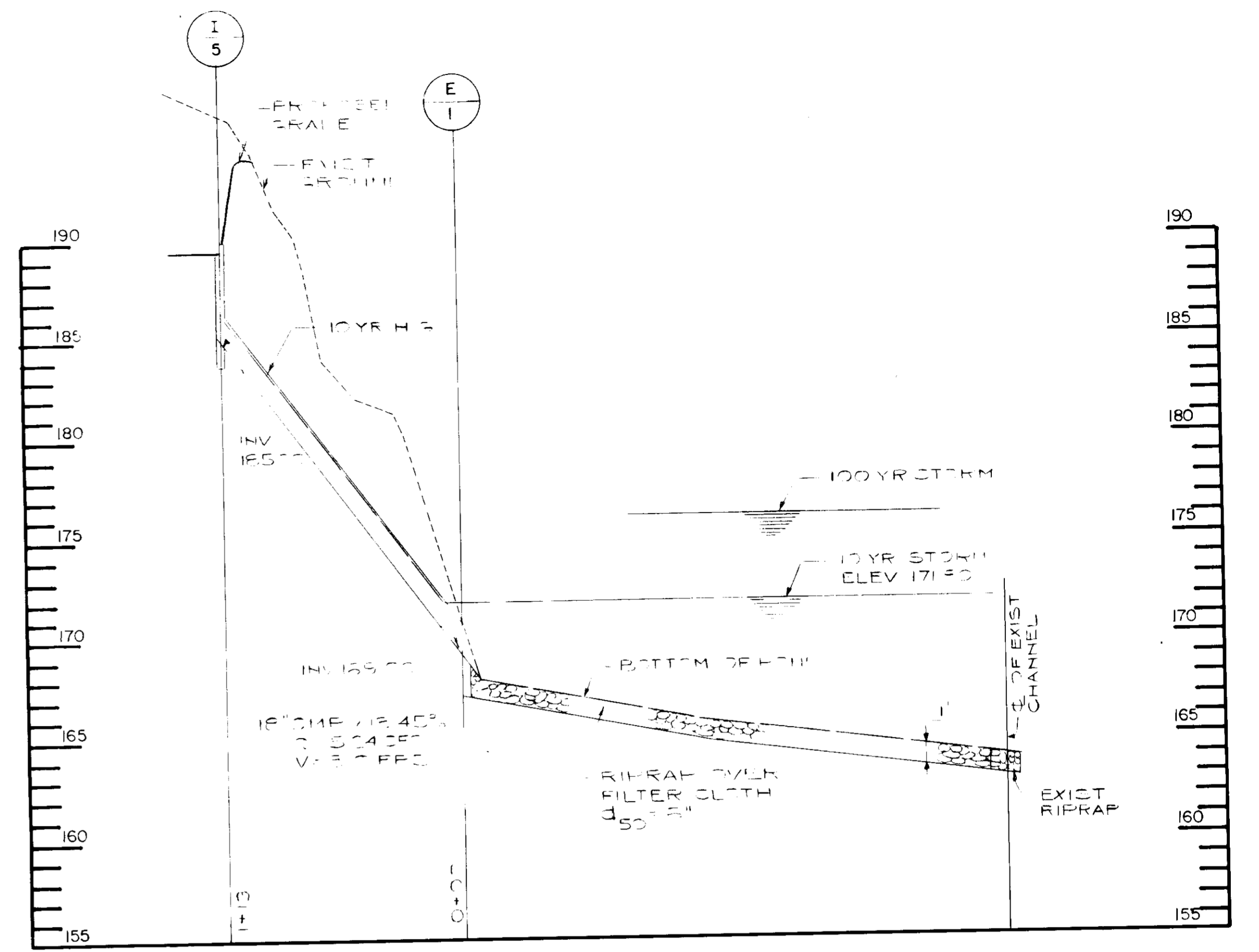
ADDRESS CHART		DATE	NO.	REVISION
LOT	ADDRESS			
BLDG A	2088 JUNCTION DRIVE			
BLDG B	2000 JUNCTION DRIVE			
SUBDIVISION NAME		SECT./AREA	LOT/PARCEL #	
THE JUNCTION INDUSTRIAL PARK		2/1	PARCEL Q	
PLAT #	BLOCK #	ZONE	TAX/ZONE MAP	ELEC. DIST.
7146	19	M-2	48	6
CENSUS TR.		606.4		
WATER CODE		SEWER CODE		
C04		4020000		
APPROVED: FOR STORM DRAINAGE SYSTEMS AND ROADS, AND PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS				
DIRECTOR		DATE		
<i>[Signature]</i>		8/29/87		
CHIEF, BUREAU OF ENGINEERING		DATE		
<i>[Signature]</i>		8-27-87		
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS				
HOWARD COUNTY HEALTH DEPARTMENT		DATE		
COUNTY HEALTH OFFICER		7-3-87		
APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING				
PLANNING DIRECTOR		DATE		
<i>[Signature]</i>		9-2-87		
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION		DATE		
<i>[Signature]</i>		9-4-87		
PROFESSIONAL ENGR. NO.		DATE		
6515		7-7-87		
DESIGNED: A.R.		DRAWN: G.G./Y.Q.		
CHECKED: P.D.		PROJECT NO: 87-064-51		
DATE: 4-28-87		SCALE: 1"=50'		
DRAWING NO. 2017		SDP-87-227		

APPROVED:
DIVISION OF PLANNING AND ZONING
HOWARD COUNTY
DATE: 6-10-87
[Signature]

ABC E O

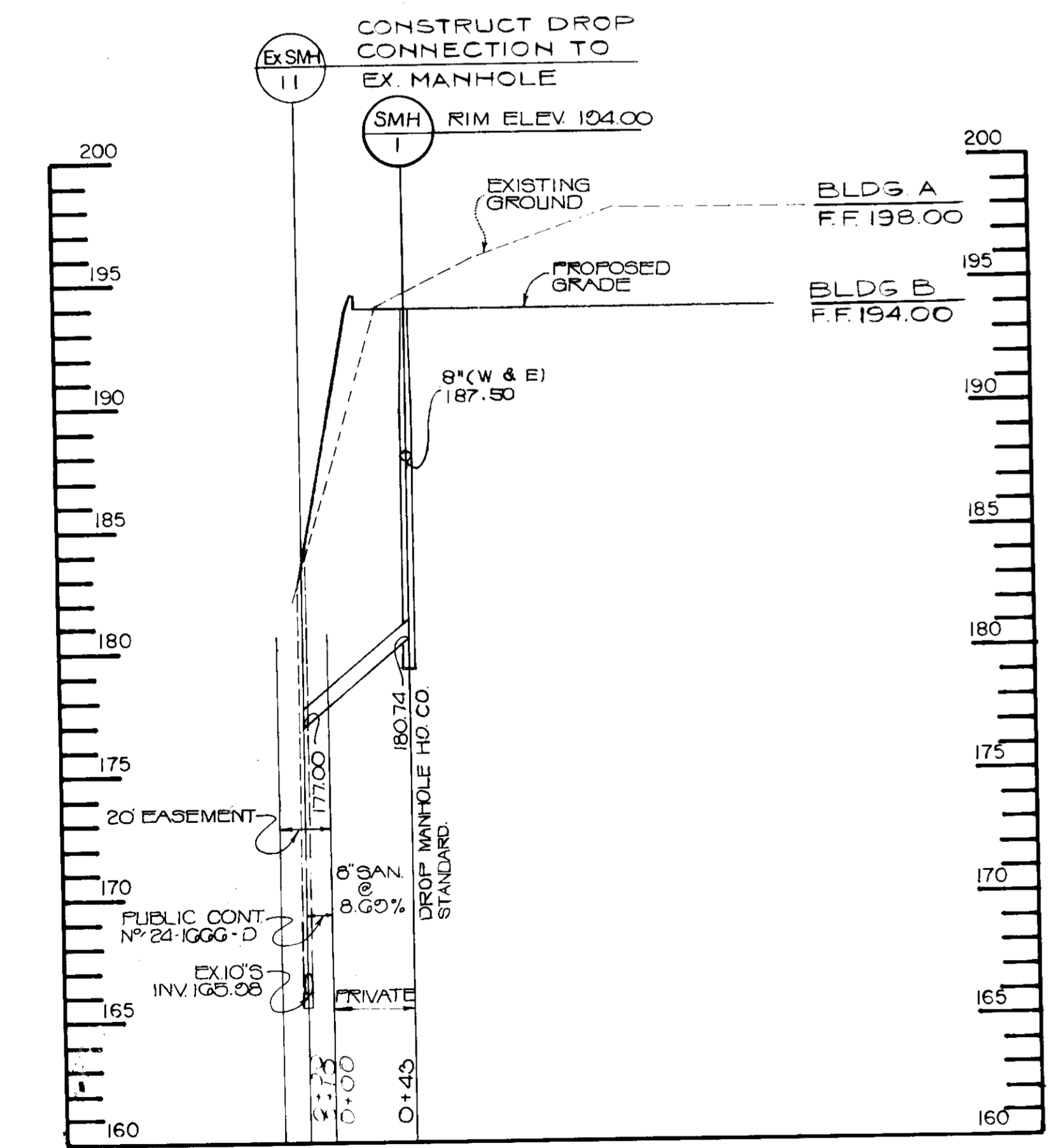


STORM DRAIN PROFILE
SCALE: HORZ. 1" = 50'
VERT. 1" = 5'

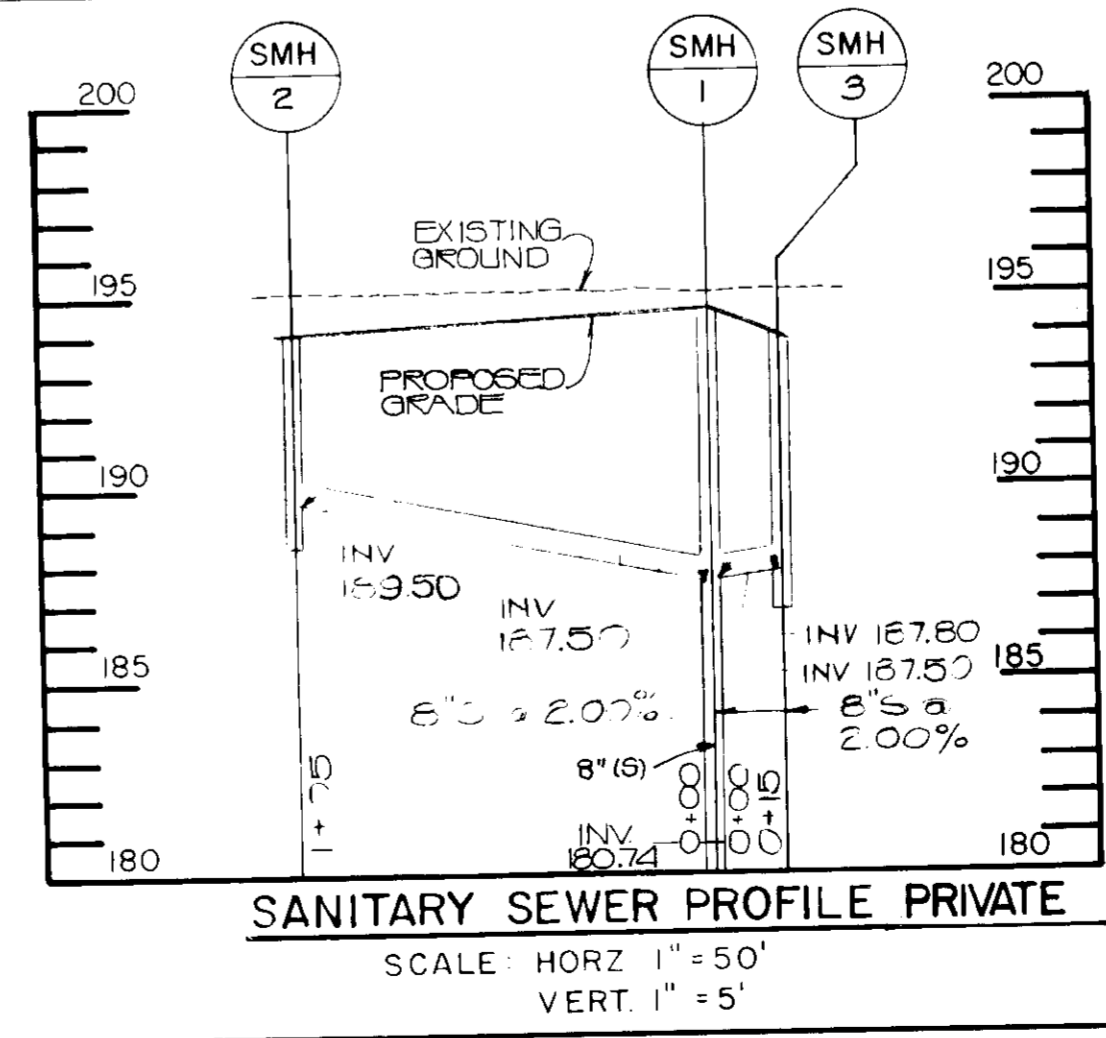
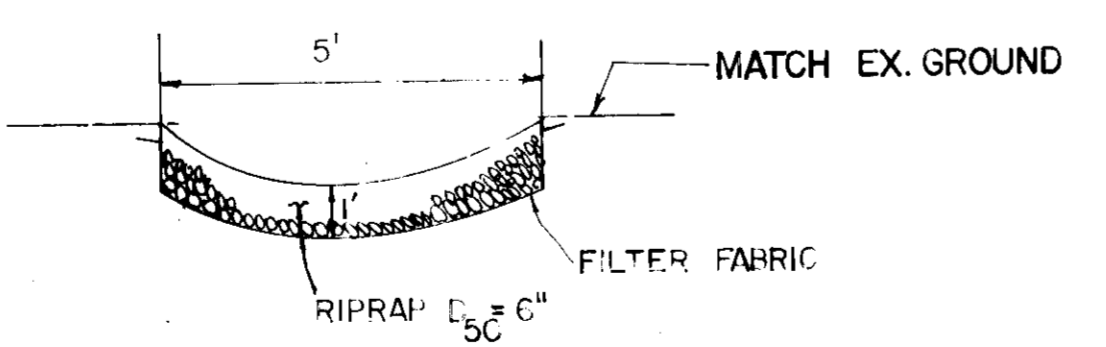
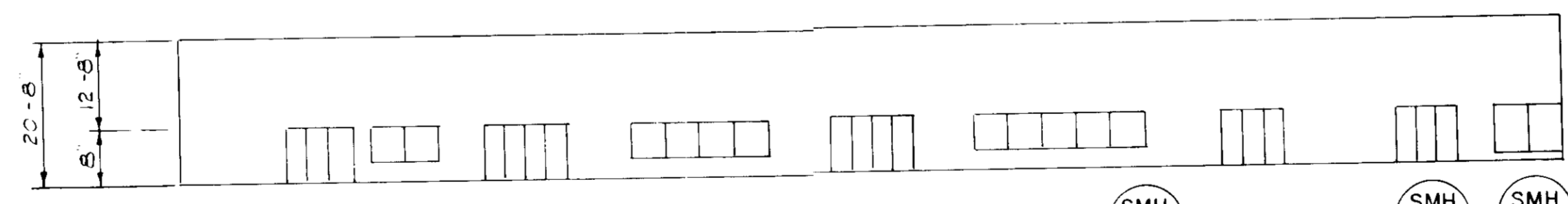
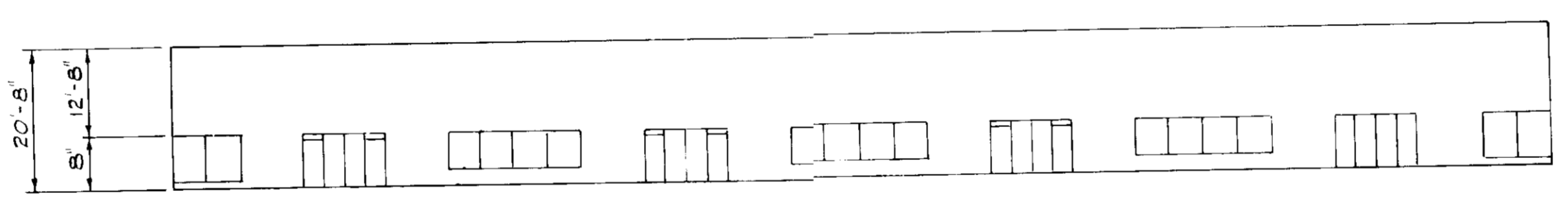


STORM DRAIN PROFILE
SCALE: HORZ. 1" = 50'
VERT. 1" = 5'

STRUCTURE SCHEDULE					
NO.	TYPE	TOP ELEV.	INV. IN	INV. OUT	REMARKS
I-1	A-S	194.76	189.52	189.27	HOOD STD. SD 4.71
I-2	A-S	195.02	-	191.60	HOOD STD. SD 4.71
I-3	CEL-C	193.37	188.80	126.57	HOOD STD. SD 4.23
I-4	CEL-C	193.37	-	189.82	HOOD STD. SD 4.23
I-5	A-S	191.12	-	185.00	HOOD STD. SD 4.21
E-1	METAL END SECTION	-	-	183.00	HOOD STD. SD 5.31
MH-1	MANHOLE	-	184.93	183.75	HOOD STD. SD 5.12



SANITARY SEWER PROFILE
SCALE: HORZ. 1" = 50'
VERT. 1" = 5'



APPROVED
DIVISION OF LAND DEVELOPMENT
ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE: 6-10-87

ADDRESS CHART	
LOT NO.	ADDRESS
Q	

NO.	DATE	BY
1	8/29/87	J. J. [Signature]
2	8-27-87	M. [Signature]
3	2-3-87	A. [Signature]
4	9-2-87	U. [Signature]
5	9-4-87	J. [Signature]

DATE	NO.	REVISION

PROJECT: **THE JUNCTION INDUSTRIAL PARK**
6th ELECTION DISTRICT HOWARD CO., MARYLAND
SECTION 2 AREA 1 PARCEL Q

TITLE: **PROFILES**

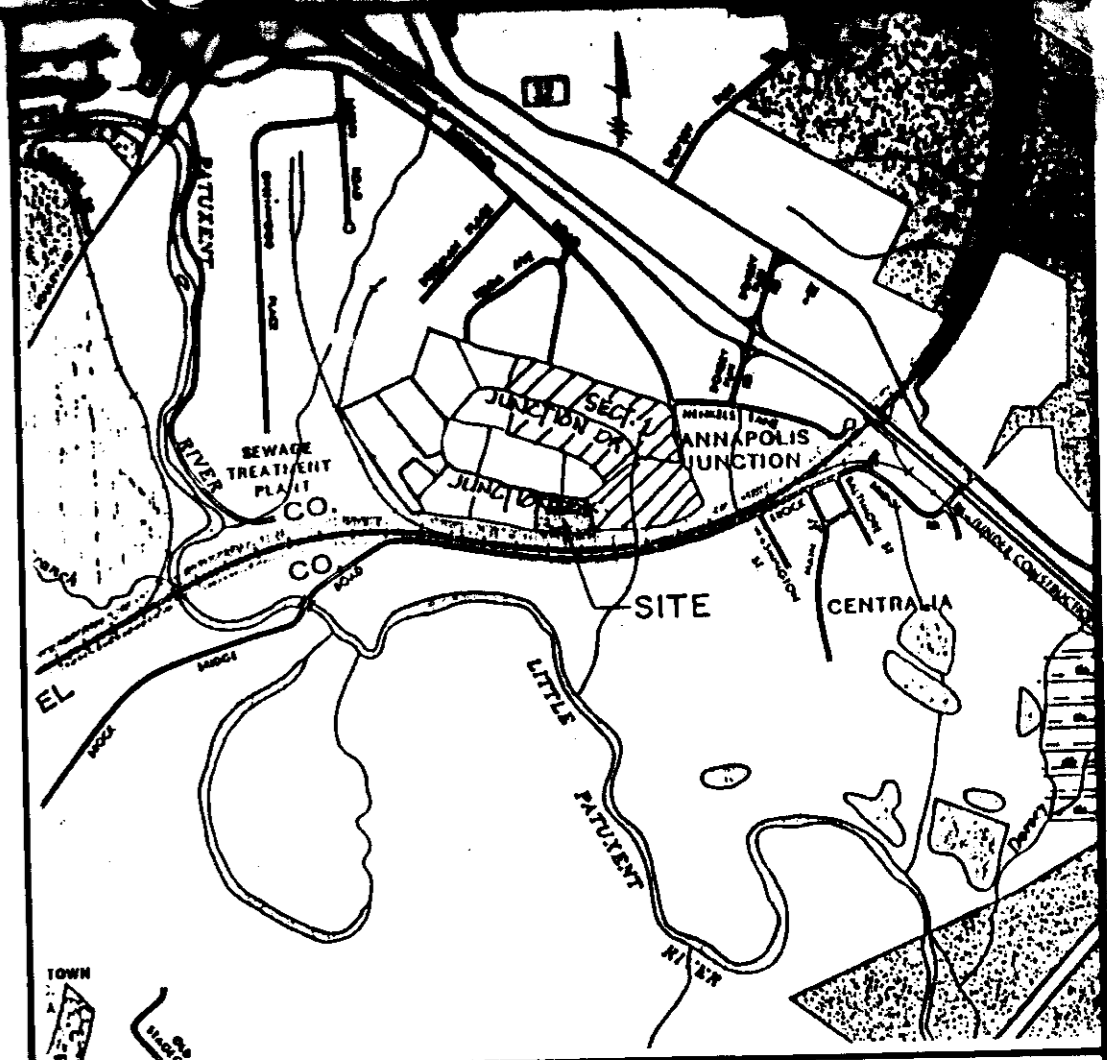
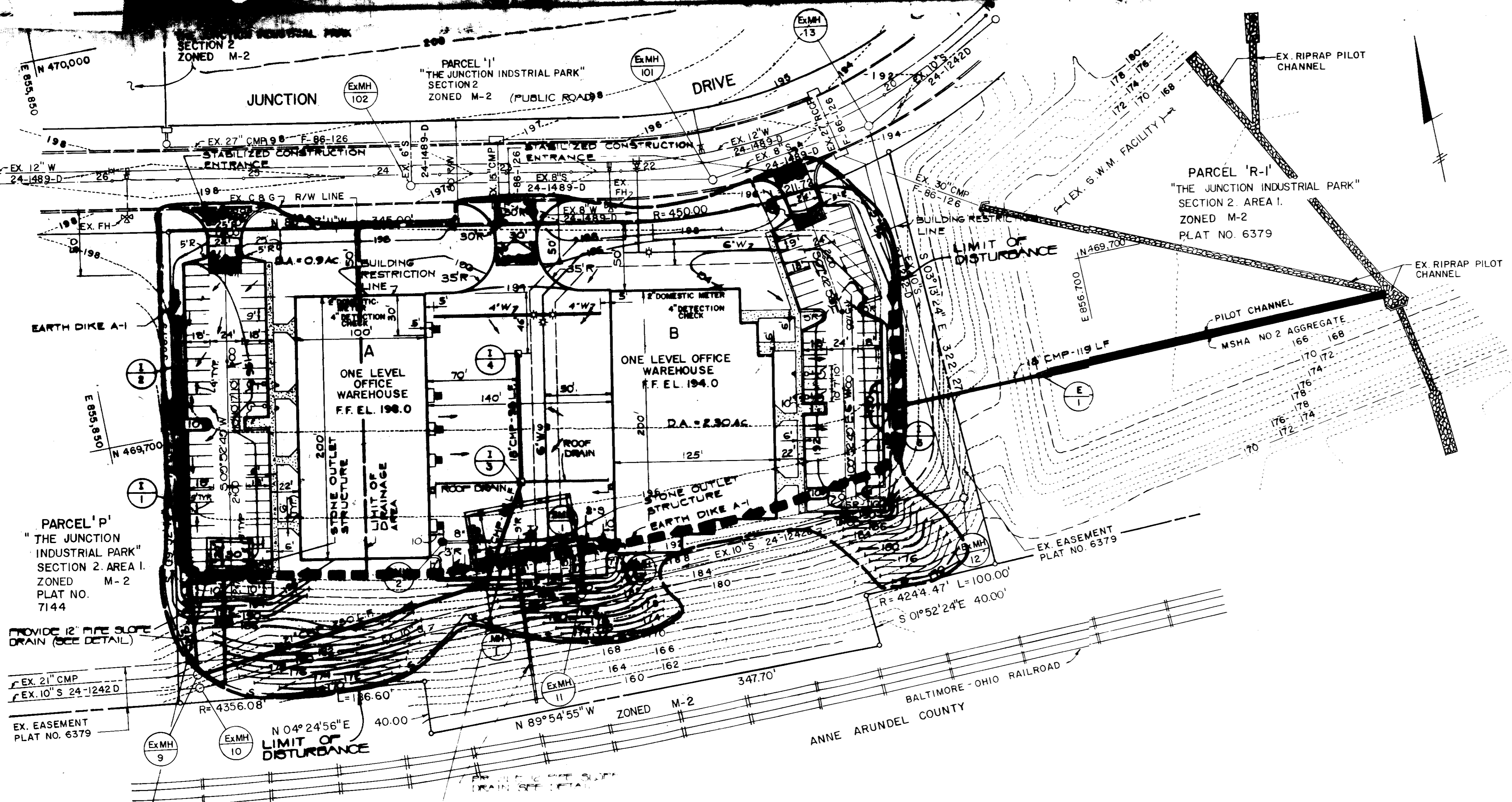
OWNER: EMORY, HILL & MCCONNELL
7240 PARKWAY DRIVE SUITE 170
HANOVER, MARYLAND 21076

ENGINEERS: WHITNEY, BAILEY, COX & MAGNANI
CONSULTING ENGINEERS
850 YORK ROAD
TIMONIUM, MARYLAND 21053
301-252-6060

DATE: 5/7/87

DESIGNED A.R.
DRAWN G.G.
CHECKED [Signature]
PROJECT NO. 87-064-51
DATE: 4-28-87
SCALE: AS SHOWN
DRAWING NO. 3 of 7

PROFESSIONAL ENGR. NO. 9972



VICINITY MAP
SCALE: 1"=2000'

PARCEL 'P'
"THE JUNCTION INDUSTRIAL PARK"
SECTION 2, AREA I.
ZONED M-2
PLAT NO. 7144

PARCEL 'R-1'
"THE JUNCTION INDUSTRIAL PARK"
SECTION 2, AREA I.
ZONED M-2
PLAT NO. 6379

STONE OUTLET SEDIMENT TRAP NO. 1
DRAINAGE AREA = 0.90 AC.
STORAGE REQUIRED = 1800 X 0.90 = 1620 CF.
STORAGE PROVIDED = 2250 CF.
OUTLET LENGTH = 4 X 0.90 = 3.6 FT.
CLEANOUT ELEV. = 192.75
BOTTOM ELEV. = 191.50
EMBANKMENT ELEV. = 196.0

STONE OUTLET SEDIMENT TRAP NO. 2
DRAINAGE AREA = 2.30 AC.
STORAGE REQUIRED = 1800 X 2.30 = 4140 CF.
STORAGE PROVIDED = 4460 CF.
OUTLET LENGTH = 4 X 2.3 = 9.2 FT.
CLEANOUT ELEV. = 192.5
BOTTOM ELEV. = 192.5
EMBANKMENT ELEV. = 196.0

- CONSTRUCTION SEQUENCE**
- OBTAIN GRADING PERMITS - 2 WEEKS
 - CLEARING AND GRUBBING FOR THE INSTALLATION OF PERIMETER CONTROL - 1 WEEK
 - INSTALL SEDIMENT CONTROL DEVICES - 2 WEEKS
 - CLEARING AND GRUBBING OF SITE - 2 WEEKS
 - START GRADING TO SUBGRADE AND EXCAVATION FOR BUILDING CONSTRUCTION - 3 WEEKS
 - START BUILDING CONSTRUCTION - 4 MONTHS
 - START INSTALLATION OF STORM DRAIN, WATER AND SEWER - 2 MONTHS
 - INSTALL INLET PROTECTION TO AN INLET
 - START INSTALLATION OF CURB AND GUTTER
 - STABILIZE DISTURBED AREA NOT TO BE PAVED - 4 MONTHS
 - START PAVING PARKING AREAS - 2 WEEKS
 - REMOVE SEDIMENT TRAPS AND GRADE PARKING AREA AND STABILIZE SLOPE - 4 MONTHS
 - COMPLETION OF REMAINING ACTIVITIES - 2 MONTHS
 - REMOVAL OF REMAINING SEDIMENT CONTROL DEVICES - 1 WEEK
- NOTE: ALL TIMES ARE APPROXIMATE AND SUBJECT TO CHANGE

- LEGEND**
- EARTH DIKE A
 - SILT FENCE
 - STABILIZED CONSTRUCTION ENTRANCE

APPROVED:
DIVISION OF LAND DEVELOPMENT &
ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
6-10-87
HUM

BY THE DEVELOPER:
"I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT."
David J. Sills July 7, 1987
SIGNATURE OF DEVELOPER DATE

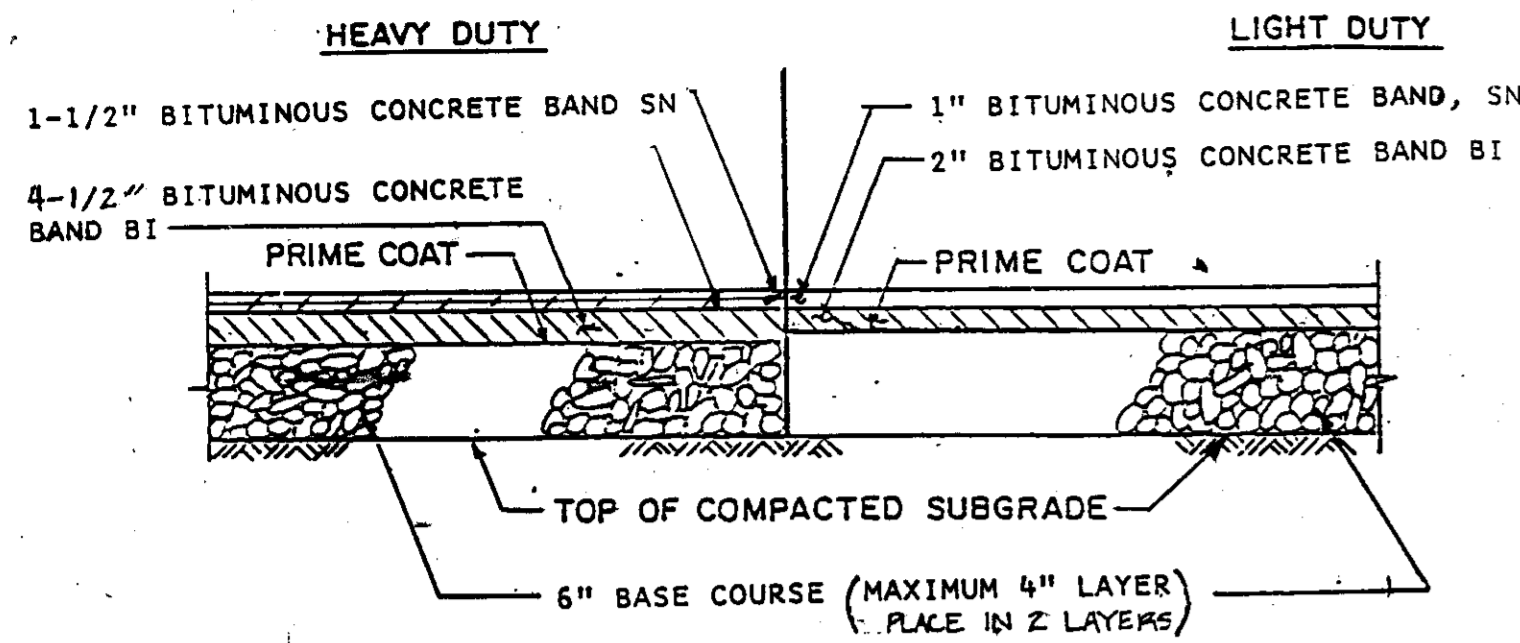
BY THE ENGINEER:
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."
Philip 7/2/87
SIGNATURE OF ENGINEER DATE

REVIEWED FOR HOWARD COUNTY S.C.D. AND MEETS TECHNICAL REQUIREMENTS.
James M. Nash 8-27-87
HOWARD COUNTY SOIL CONSERVATION SERVICE DATE
"THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."
HOWARD S.C.D. DATE

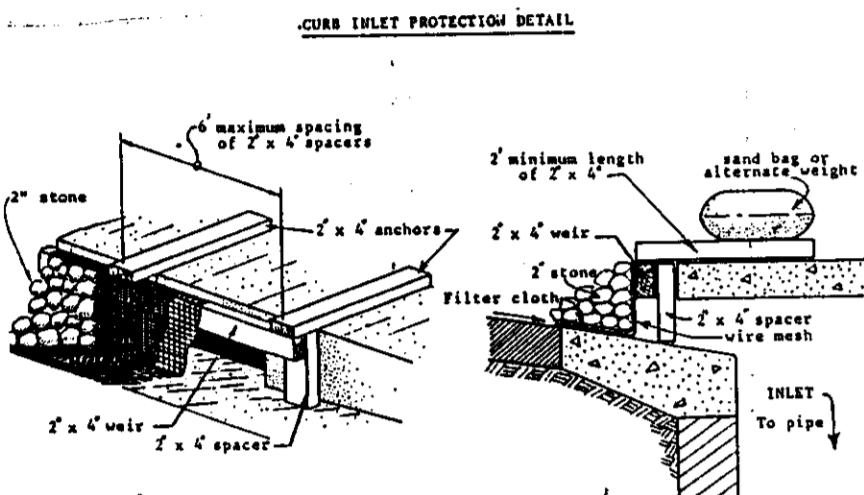
ADDRESS CHART					
LOT	ADDRESS				
BLDG A	6086 JUNCTION DRIVE				
BLDG B	6000 JUNCTION DRIVE				
SUBDIVISION NAME		SECT./AREA	LOT/PARCEL #		
THE JUNCTION INDUSTRIAL PARK		2/1	PARCEL Q		
PLAT #	BLOCK #	ZONE	TAX/ZONE MAP	ELEC. DIST.	CENSUS TR.
7146	19	M-2	48	6	6064
WATER CODE		SEWER CODE			
C04		4020000			
APPROVED: FOR STORM DRAINAGE SYSTEMS AND ROADS, AND PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS <i>James M. Nash</i> 8/25/87 DIRECTOR DATE					
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT <i>James M. Nash</i> 8-27-87 COUNTY HEALTH OFFICER DATE					
APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING <i>John M. Macdonald</i> 9-3-87 PLANNING DIRECTOR DATE					
APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING <i>John M. Macdonald</i> 9-4-87 CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE					

DATE	NO.	REVISION
PROJECT: THE JUNCTION INDUSTRIAL PARK		
6th ELECTION DISTRICT HOWARD CO., MARYLAND SECTION 2 AREA I PARCEL Q		
TITLE: EROSION AND SEDIMENT CONTROL PLAN		
OWNER: EMORY, HILL & MCCONNELL 7240 PARKWAY DRIVE SUITE 170 HANOVER, MARYLAND 21076		
ENGINEERS: WHITNEY, BAILEY, COX & MAGNANI CONSULTING ENGINEERS 1850 YORK ROAD TIMONIUM, MARYLAND 21093 301-252-6060		
DATE: 7-7-87	DESIGNED: A.R.	
DRAWN: G.G./Y.Q.		CHECKED: P.D.
PROJECT NO: 87-064-51		DATE: 4-28-87
SCALE: 1"=50'		DRAWING NO. 4 of 7

SDP-87-227



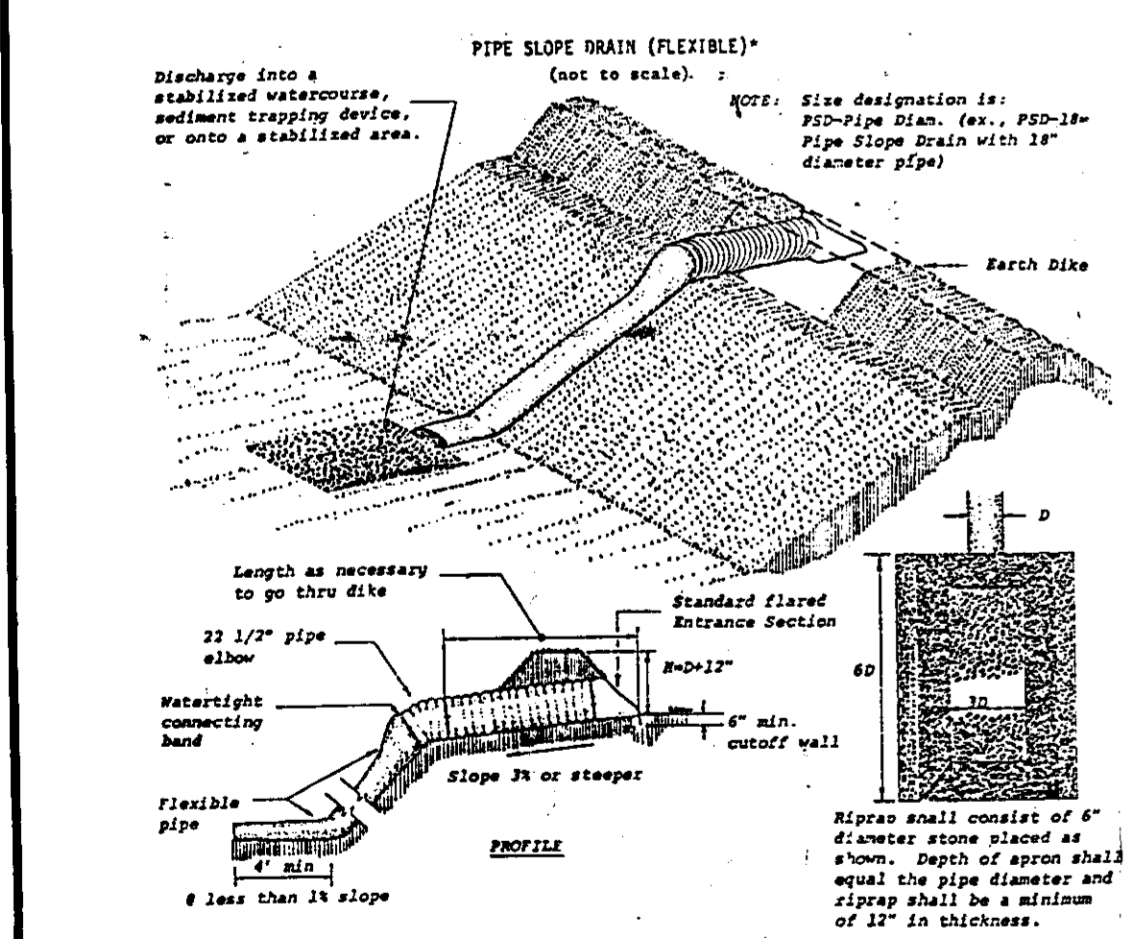
1. BITUMINOUS PAVING SECTION



- II. Procedure**
1. Excavate completely around inlet to a depth of 18" below notch elevation.
 2. Drive 2 x 4 post 1' into ground at four corners of inlet. Place nail strips between posts on ends of inlet. Assemble top portion of 2 x 4 frame using overlap joint shown. Top of frame (nail) must be 6" below edge of roadway adjacent to inlet.
 3. Stretch wire mesh tightly around frame and fasten securely. Ends must meet at post.
 4. Stretch filter cloth tightly over wire mesh, the cloth must extend from top of frame to 18" below inlet notch elev. Fasten securely to frame. Ends must meet at post, be overlapped and folded, then fastened down.
 5. Backfill around inlet in compacted 6" layers until layer of earth is even with notch elevation on ends and top elevation on sides.
 6. If the inlet is not in a low point, construct a compacted earth dike in the ditchline below it. The top of this dike is to be at least 4" higher than the top of frame (nail).
 7. This structure must be inspected frequently and the filter fabric replaced when clogged.

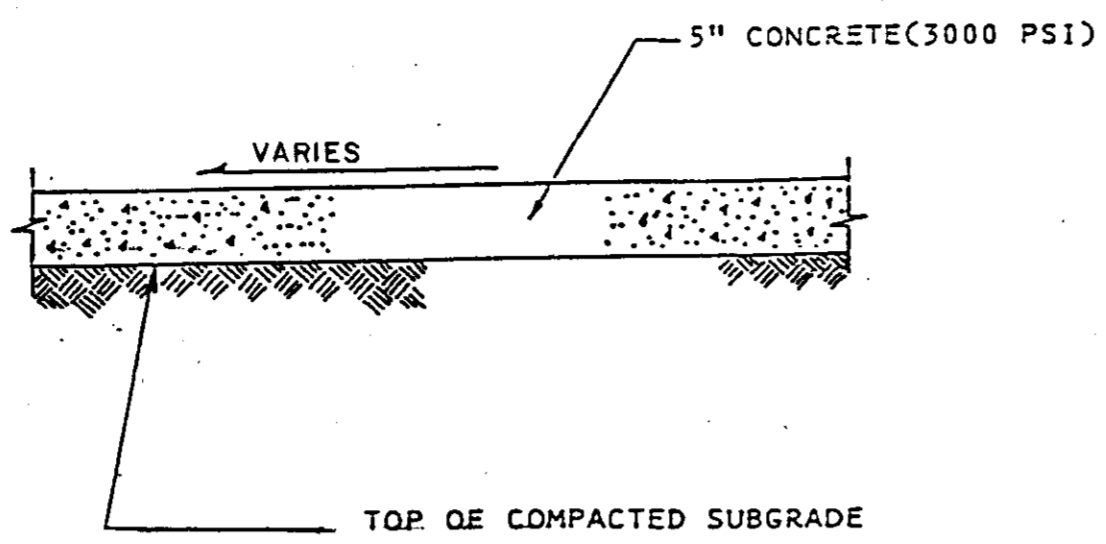
- Construction Specifications**
1. Attach a continuous piece of wire mesh (30" min. width by throat length plus 4") to the 2" x 4" weir (measuring throat length plus 2") as shown on the standard drawing.
 2. Place a piece of approved filter cloth (40-85 sieve) of the same dimensions as the wire mesh over the wire mesh and securely attach to the 2" x 4" weir.
 3. Securely nail the 2" x 4" weir on 2" long vertical spacers to be located between the weir and inlet face (max. 6" apart).
 4. Place the assembly against the inlet throat and nail (minimum 2" lengths of 2" x 4" to the top of the weir at spacer locations. These 2" x 4" members shall extend across the inlet top and be held in place by sandbags or alternate weight.
 5. The assembly shall be placed so that the end spacers are a minimum 1' beyond both ends of the throat opening.
 6. Form the wire mesh and filter cloth to the concrete gutter and against the face of curb on both sides of the inlet. Place 2x4's on top of the wire mesh and filter fabric to seal a banner as to prevent water from entering the inlet under or around the filter cloth.
 7. This type of protection must be inspected frequently and the filter cloth and stone replaced when clogged with sediment.
 8. Assure that storm flow does not bypass inlet by installing temporary earth or asphalt dikes directing flow into inlet.

6. INLET PROTECTION



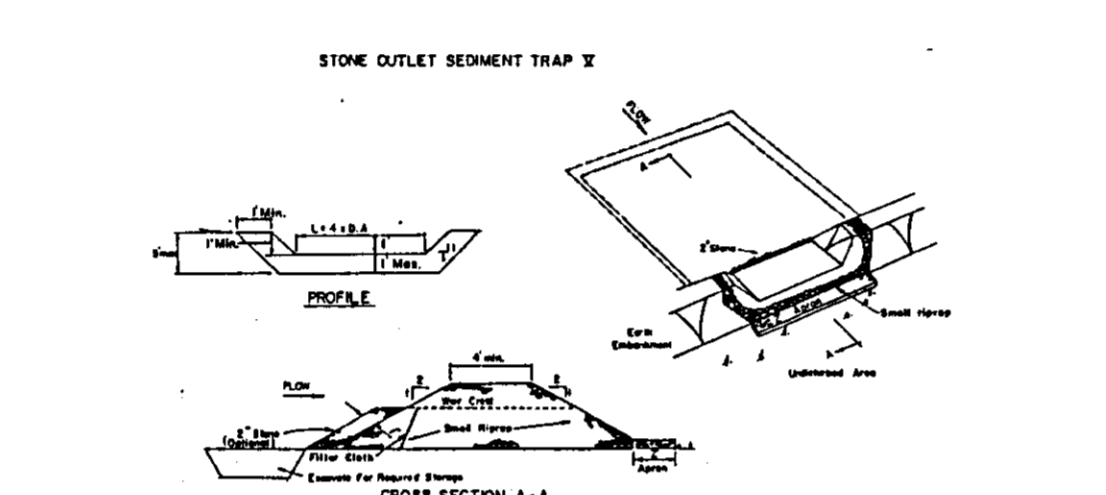
- Construction Specifications**
1. The inlet pipe shall have a slope of 2% or steeper.
 2. The top of the earth dike over the inlet pipe and those dikes carrying water to the pipe shall be at least 1' higher at all points than the top of the inlet pipe.
 3. The inlet pipe shall be corrugated metal pipe with watertight connecting bands.
 4. The flexible tubing shall be the same diameter as the inlet pipe and shall be constructed of a durable material with hold-down elements spaced 12" on centers.
 5. The flexible tubing shall be securely fastened to the corrugated metal pipe with metal straps or watertight connecting collars.
 6. The flexible tubing shall be securely anchored to the slope by staking at the grommets provided.
 7. A sign shall be provided at the outlet. This shall consist of 6" diameter stone placed on top of Standard Drawing 583-3.
 8. The soil around and under the inlet pipe and entrance section shall be hand tamped in 1" lifts to the top of the earth dike.
 9. Follow-up inspection and any needed maintenance shall be performed after each storm.

11. GRADE STABILIZATION STRUCTURE



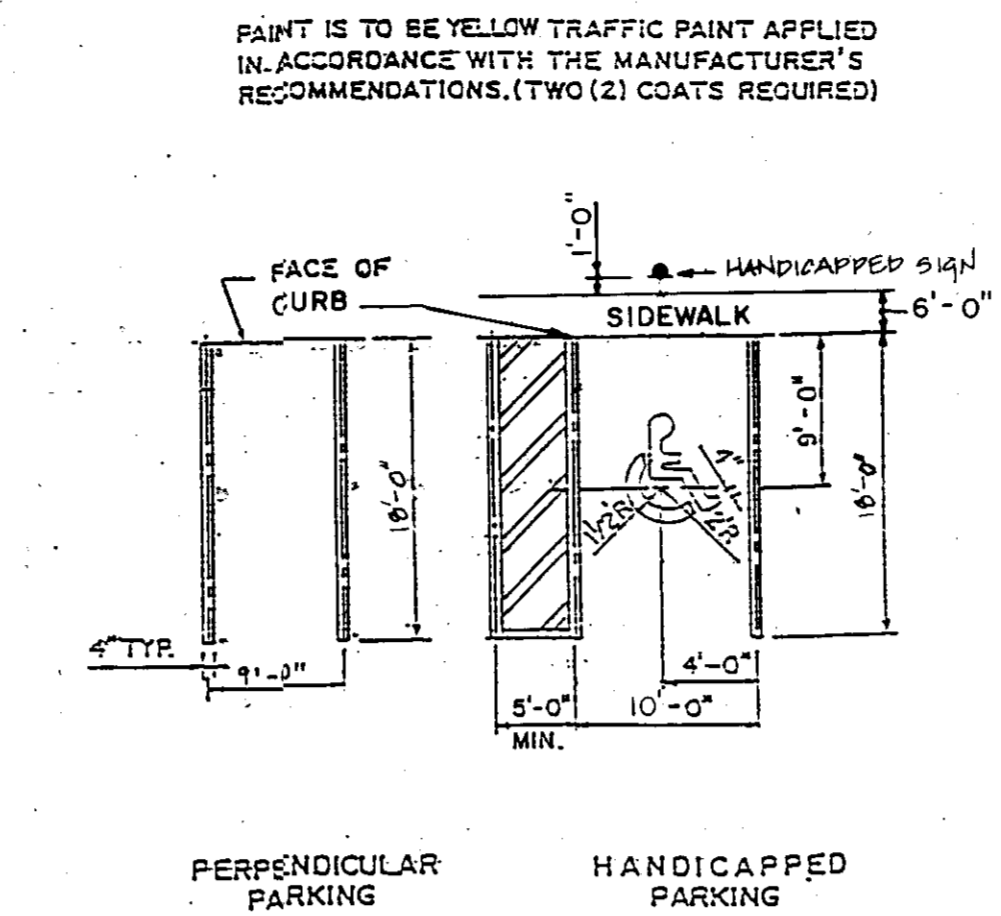
APPROVED
DIVISION OF LAND DEVELOPMENT &
ZONING ADMINISTRATION
HOWARD COUNTY MARYLAND
DATE 6-10-87

2. CONCRETE WALK

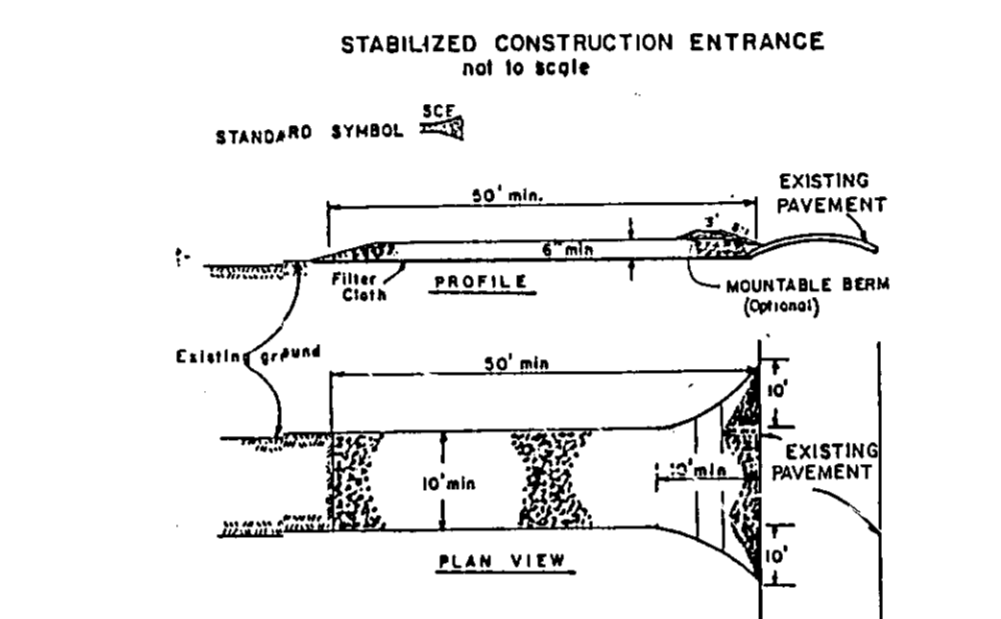


- CONSTRUCTION SPECIFICATIONS FOR SILT FENCE**
1. Area under sedimentation shall be fenced, graded and stabilized of any vegetation and rock mat.
 2. The silt fence shall be constructed with 1/2 inch of concrete or other sturdy vegetation or soil or approved stone, rock, gravel material or other appropriate material. The construction shall be completed by installing with sedimentation mat to be in concrete.
 3. All soil and fill slopes shall be 2:1 or flatter.
 4. The stone used in the mat shall be small stones 3/4" to 1 1/2" in diameter with a maximum of 2" diameter stones in the upper 1/3 of the mat. The mat shall be placed on the upper 1/3 of the mat.
 5. Sediment shall be removed and rock returned to its original elevation when the sediment has accumulated to the design depth of the trap.
 6. The structure shall be inspected after each rain and repairs made as needed.
 7. Construction operations shall be carried out in such a manner that erosion and water pollution is minimized.
 8. The structure shall be removed and the area restabilized when the drainage area has been properly stabilized.

7. STONE OUTLET SEDIMENT TRAP

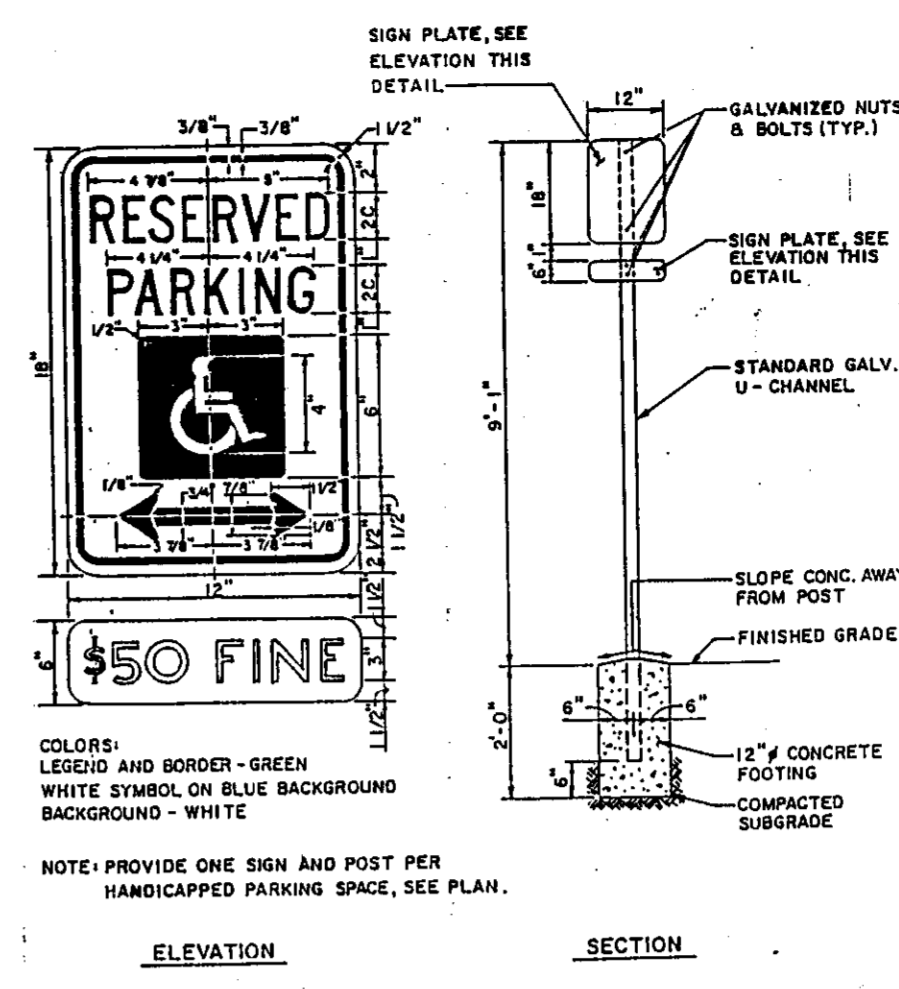


3. PAVEMENT MARKINGS

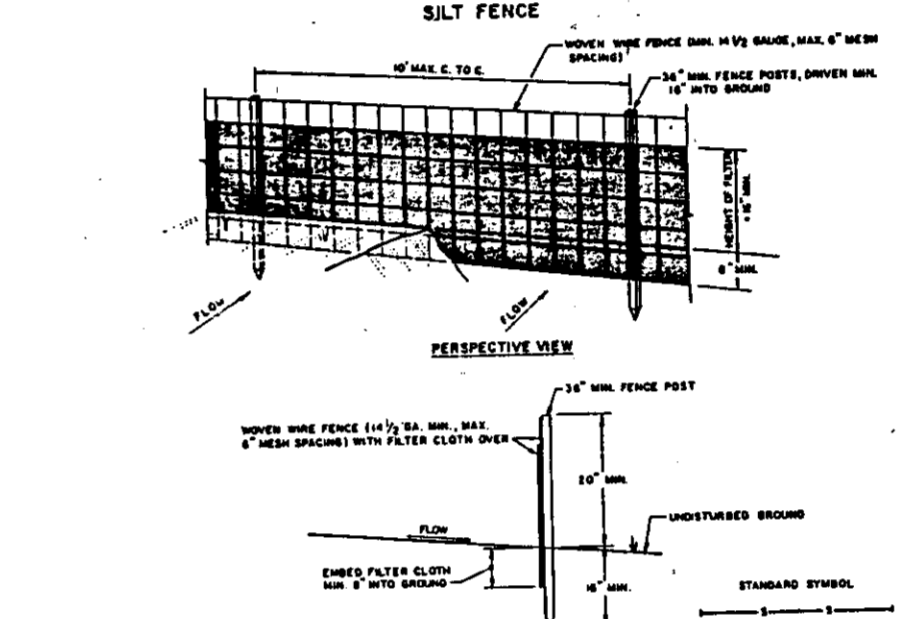


- CONSTRUCTION SPECIFICATIONS**
1. Stone pile - use 1/2" stone, or recycled or recycled concrete equivalent.
 2. Length - As required, but not less than 10 feet (except on a single residence - length not less than 20 feet minimum length would apply).
 3. Thickness - Not less than six (6) inches.
 4. Width - The silt fence shall not be less than the full width at the top.
 5. Filter Cloth - All surface water flowing or directed toward construction activities shall be filtered through the entrance. If piping is impractical, a portable berm with 3:1 slope will be provided.
 6. Filter Cloth - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stones as conditions demand and repair and/or cleaning of any measures used in this entrance. All debris shall be removed and the area restabilized when the drainage area has been properly stabilized.
 7. Periodic inspection and needed maintenance shall be provided after each rain.

8. CONSTRUCTION ENTRANCE

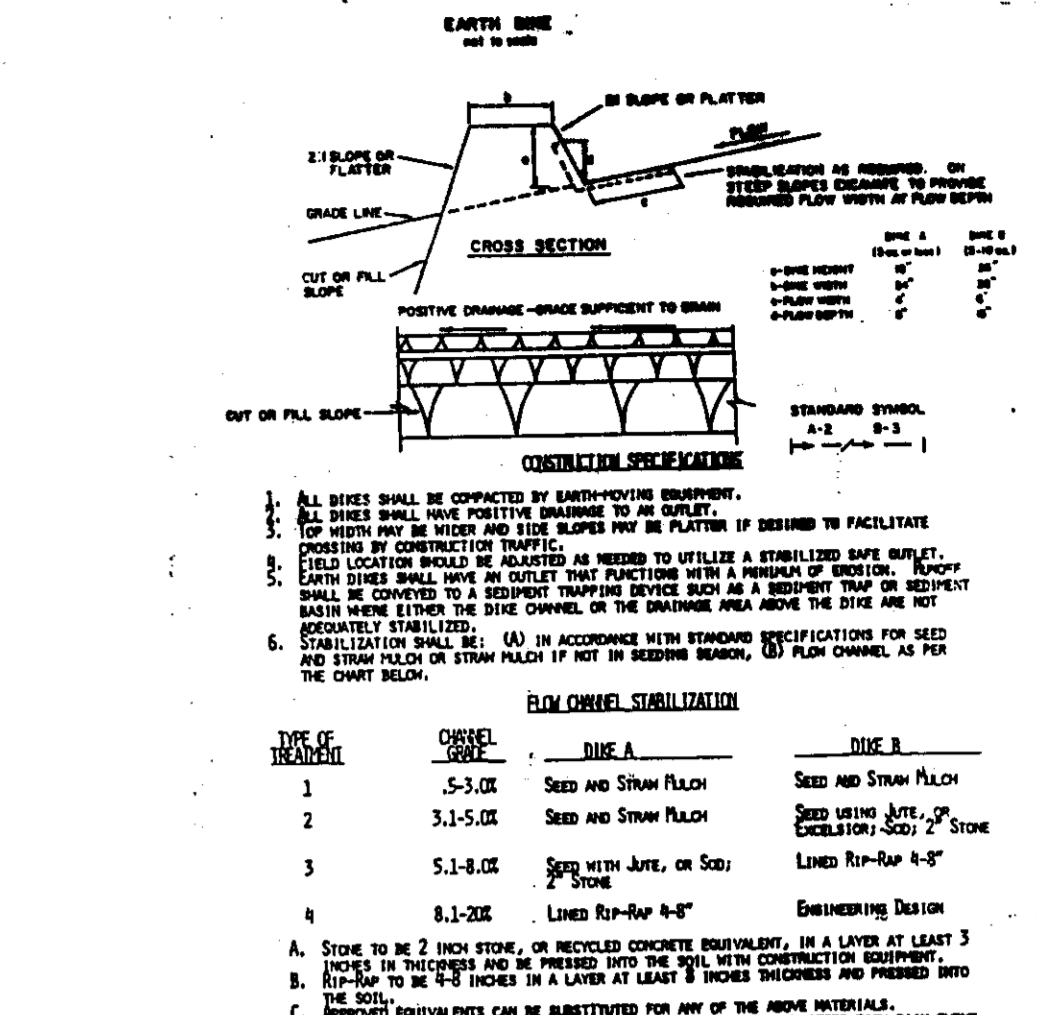


4. HANDICAP SIGN AND POST

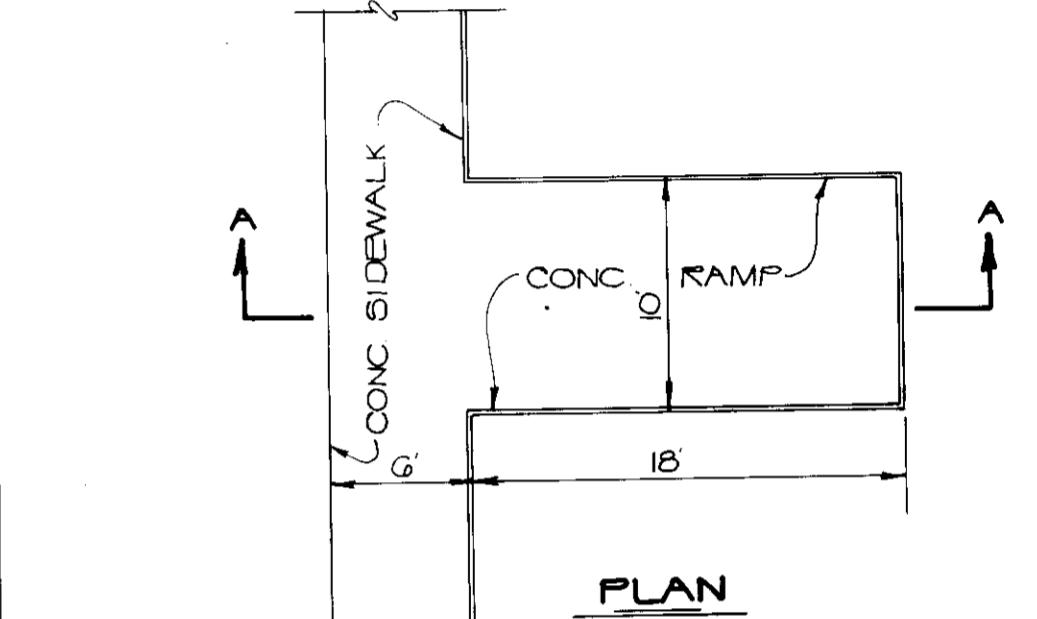


- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**
1. Where silt fence is to be installed, it shall be placed on a firm, level surface.
 2. Filter cloth to be fastened securely to wooden frame with ties spaced every 4' at top and bottom.
 3. When the sections of filter cloth are joined, they shall be overlapped by six inches and sealed.
 4. Maintenance shall be provided as needed to remove sediment from the silt fence.

9. SILT FENCE

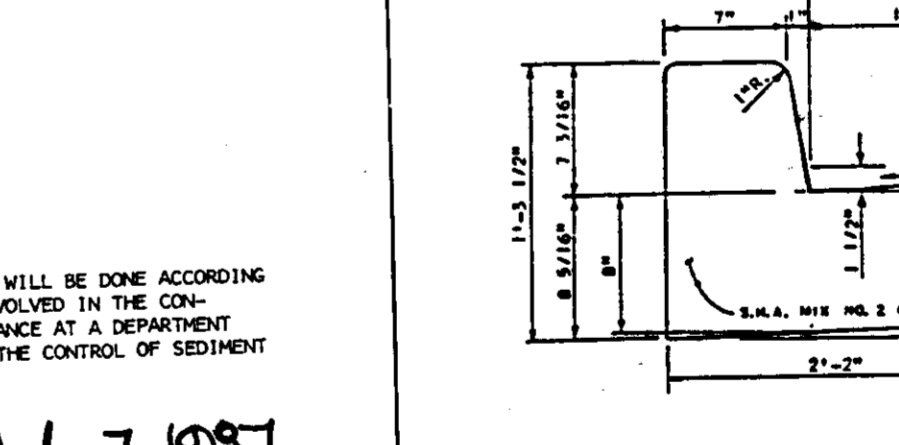


5. EARTH DIKE



10. HANDICAP RAMP DETAIL

- SEEDING CONTROL NOTES**
1. A minimum of 24 hours notice must be given to the Carroll County Office of Inspection and Permit prior to the start of any construction.
 2. All vegetative and structural practices are to be installed according to the provisions of this plan and approved by the Carroll County Office of Inspection and Permit.
 3. Following initial soil disturbance or vegetation, permanent or temporary stabilization shall be completed within:
 - a) 7 calendar days for all permanent sediment control structures.
 - b) 14 calendar days for all temporary sediment control structures.
 4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter.
 5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, for permanent seedings (Sec. 31) and (Sec. 34), temporary stabilization (Sec. 30) and mulching (Sec. 32). Temporary stabilization dates do not allow for proper germination and establishment of grasses.
 6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Carroll County Sediment Control Inspector.
 7. Site Analysis:
 - Total Area of Site: 4.705 Acres
 - Area to be roofed or paved: 1.115 Acres
 - Area to be vegetatively stabilized: 3.590 Acres
 - Total Cut: 11,000 Cu. Yds.
 - Total Fill: 11,000 Cu. Yds.
 - Off-site water/borrow area location: NOT KNOWN
 8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
 9. Additional sediment controls must be provided, if deemed necessary by the Carroll County Sediment Control Inspector.
 10. On all sites with disturbed areas in excess of 2 acres, approval of the Inspection agency shall be requested upon completion of installation of permanent erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the Inspection agency is made.
 11. On all sites with disturbed areas in excess of 2 acres, approval of the Inspection agency shall be requested upon completion of installation of permanent erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the Inspection agency is made.



12. 7" COMBINATION CURB AND GUTTER

BY THE DEVELOPER:
Doris J. Silb... July 7, 1987

BY THE ENGINEER:
James M. Helms... 7/21/87

REVIEWED FOR HOWARD COUNTY S.C.D. AND MEETS TECHNICAL REQUIREMENTS.
James M. Helms... 8-27-87

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS AND ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DIRECTOR: James M. Helms... 8/27/87

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
COUNTY HEALTH OFFICER: James M. Helms... 9-3-87

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
PLANNING DIRECTOR: James M. Helms... 9-8-87

DATE NO REVISION

PROJECT: THE JUNCTION INDUSTRIAL PARK

6th ELECTION DISTRICT HOWARD CO., MARYLAND SECTION 2 AREA 1 PARCEL 'Q'

TITLE: DETAILS

OWNER: 7240 PARKWAY DRIVE SUITE 170 HANOVER, MARYLAND 21076

WHITNEY, BAILEY, COX & MAGNANI CONSULTING ENGINEERS
1850 YORK ROAD TIMONUM, MARYLAND 21093 301-252-6060

DATE 7-7-87 DESIGNED: A.R.

DRAWN: G.G.

CHECKED: P.D.

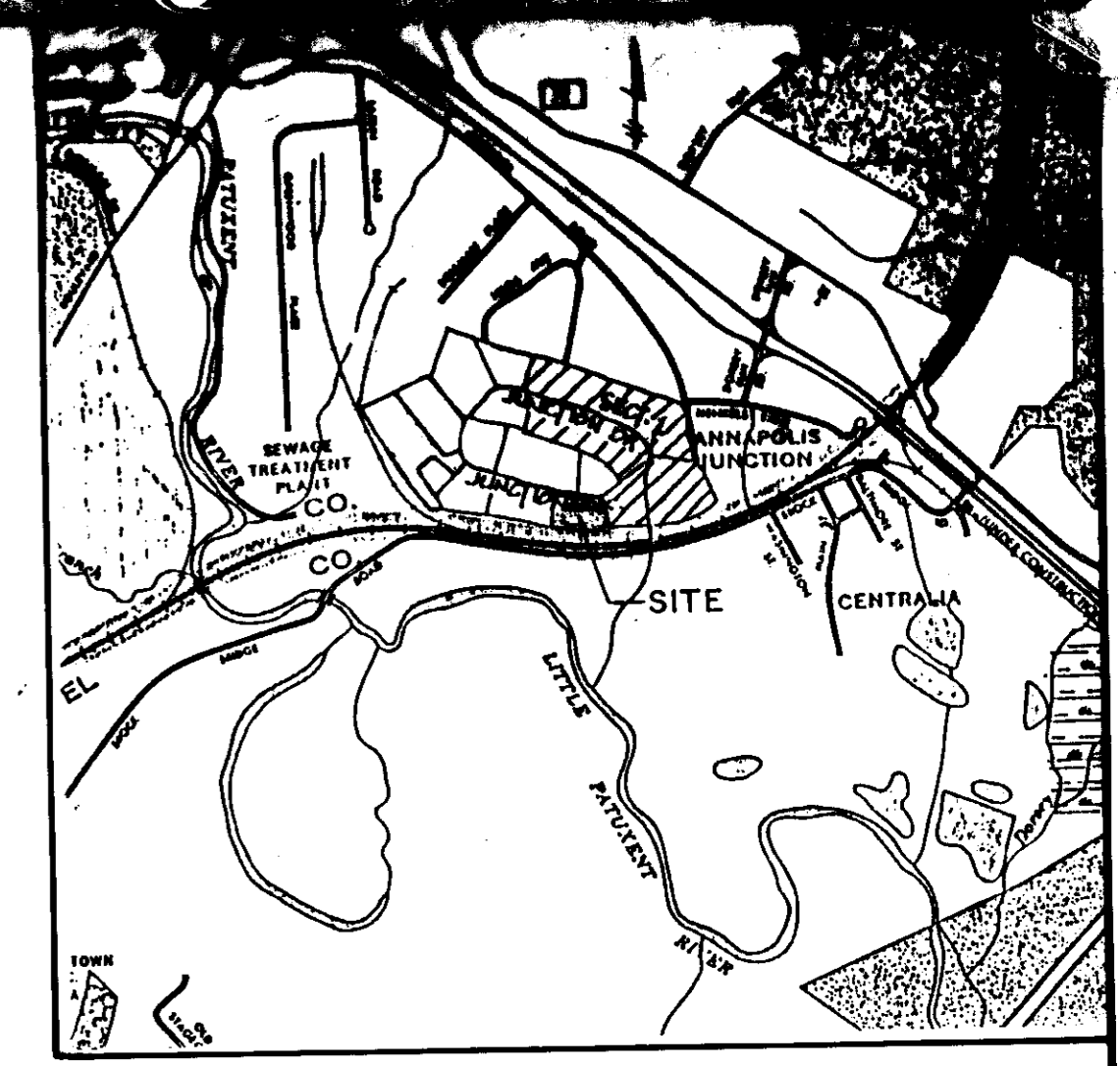
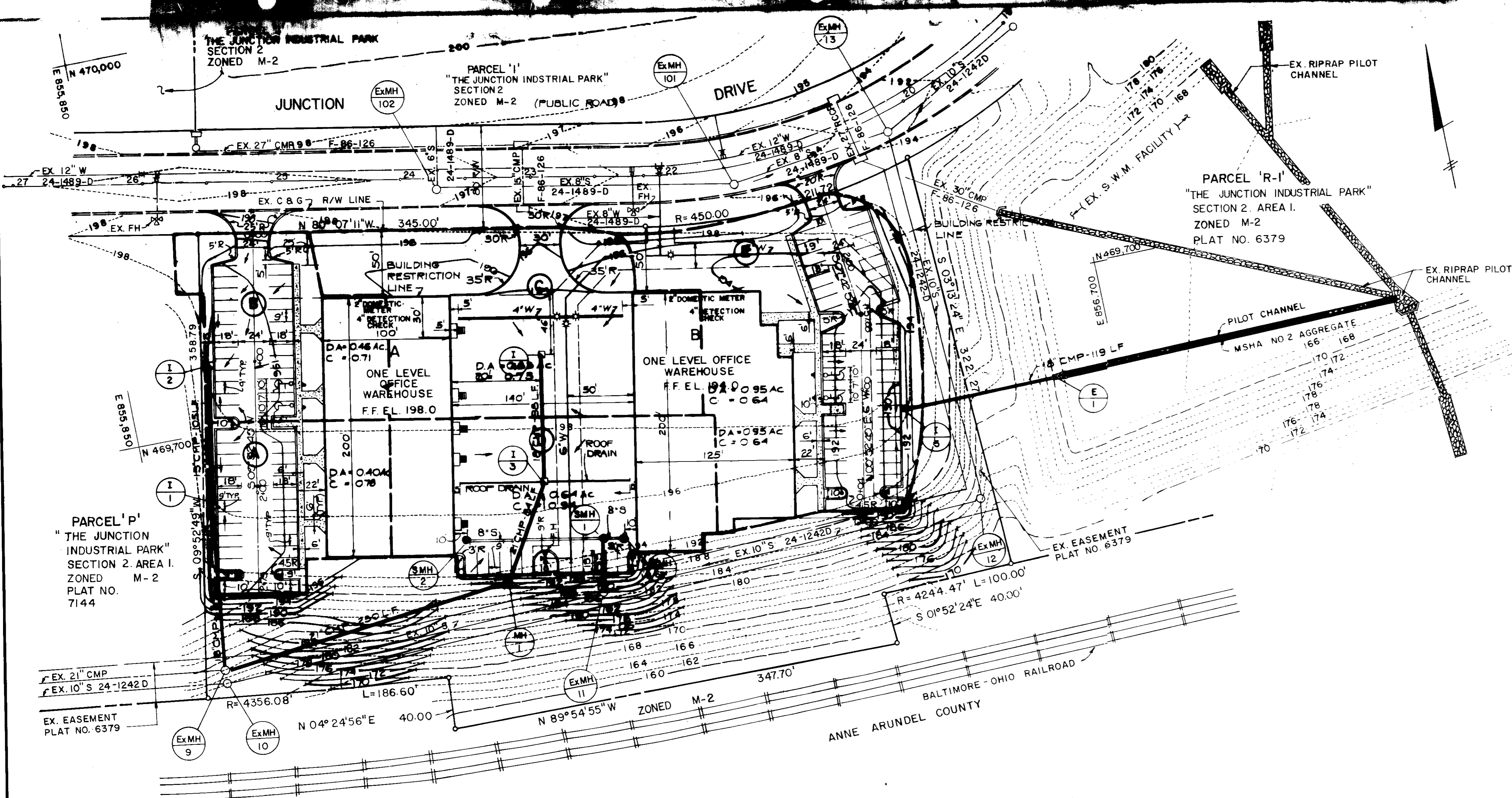
PROJECT NO. 87-064-51

DATE: 4-28-87

SCALE: NOT TO SCALE

DRAWING NO. 5 of 7

PROFESSIONAL ENGR. NO. SDP-87-227



VICINITY MAP
SCALE: 1"=2000'

PARCEL 'P'
"THE JUNCTION INDUSTRIAL PARK"
SECTION 2, AREA I.
ZONED M-2
PLAT NO. 7144

PARCEL 'R-1'
"THE JUNCTION INDUSTRIAL PARK"
SECTION 2, AREA I.
ZONED M-2
PLAT NO. 6379

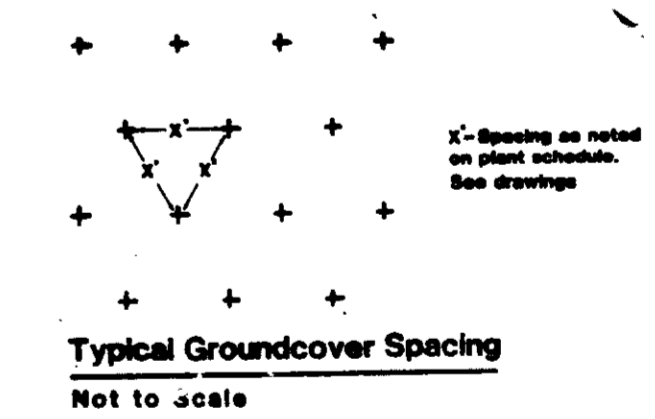
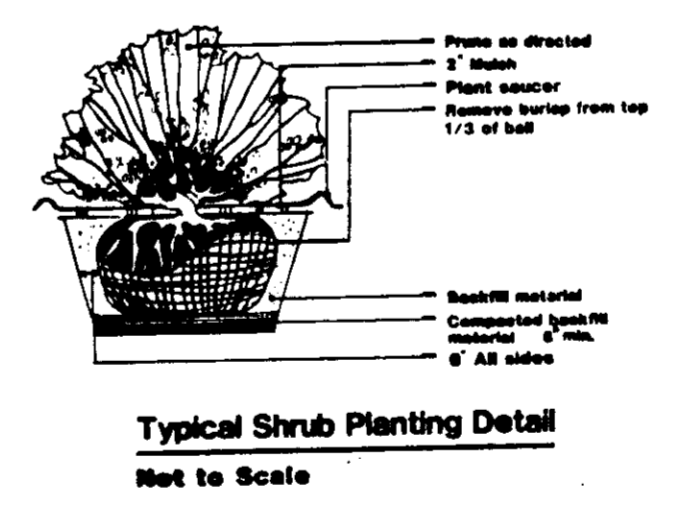
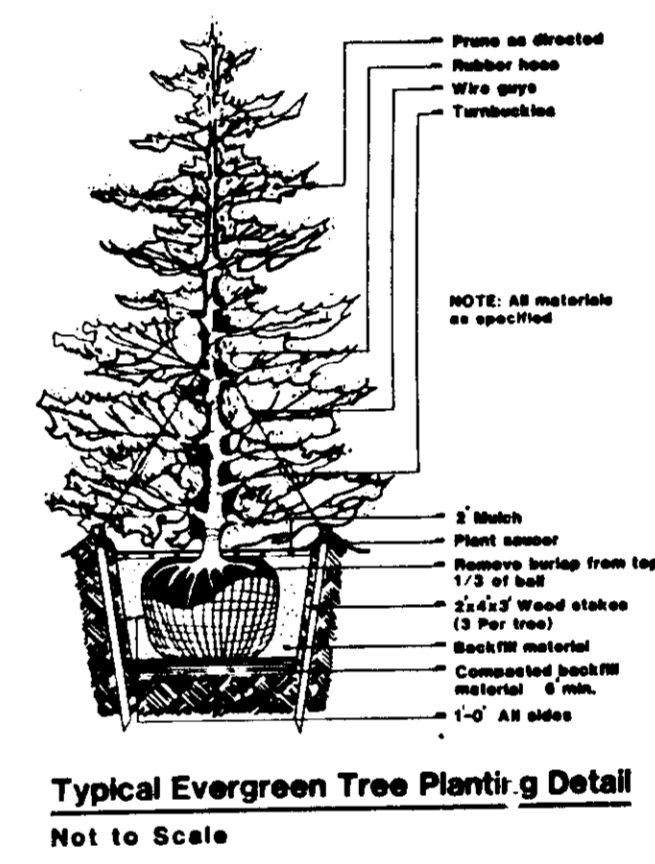
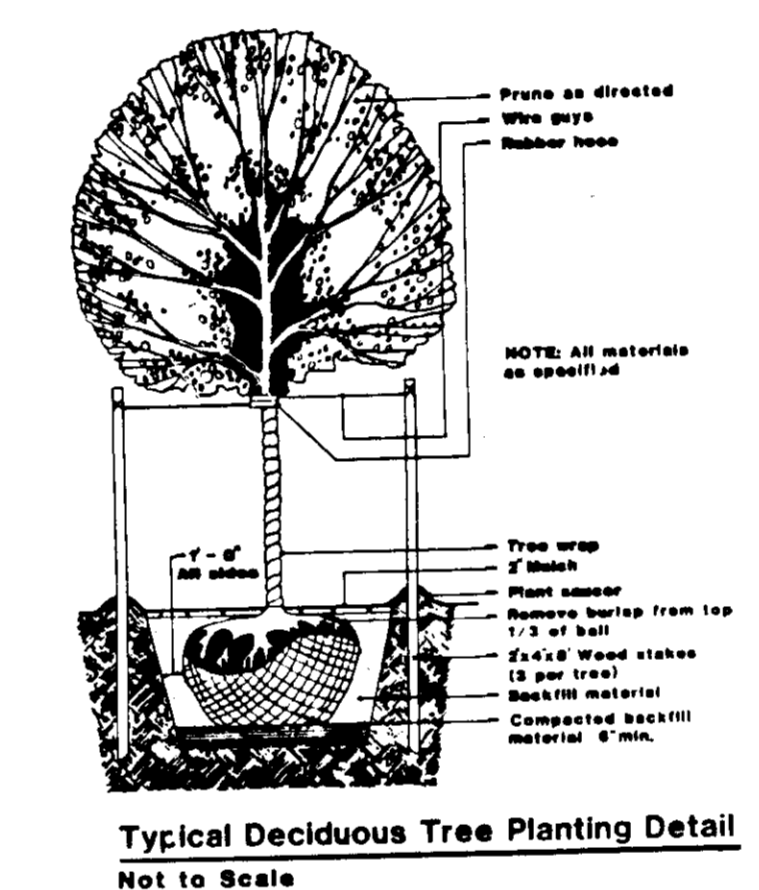
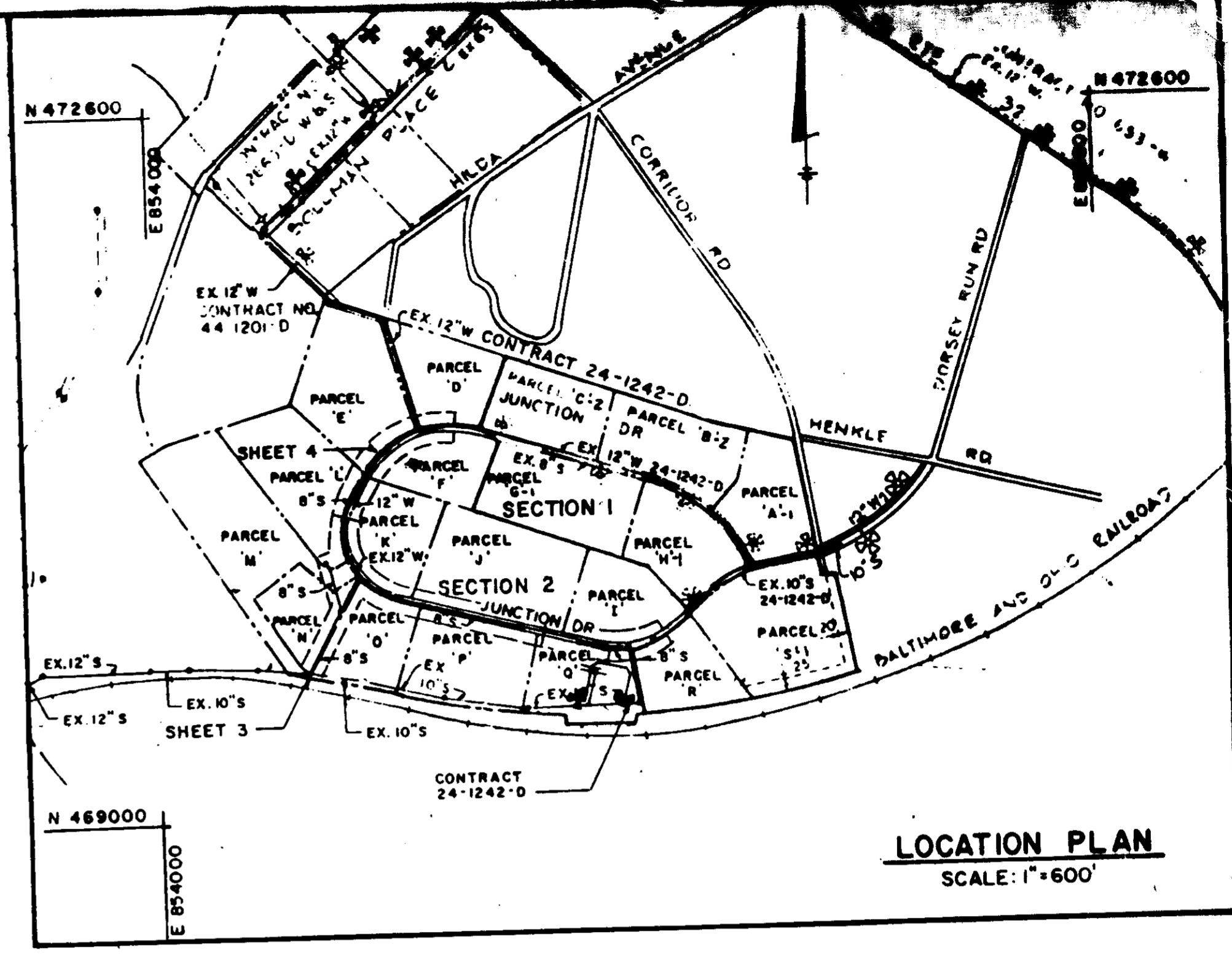
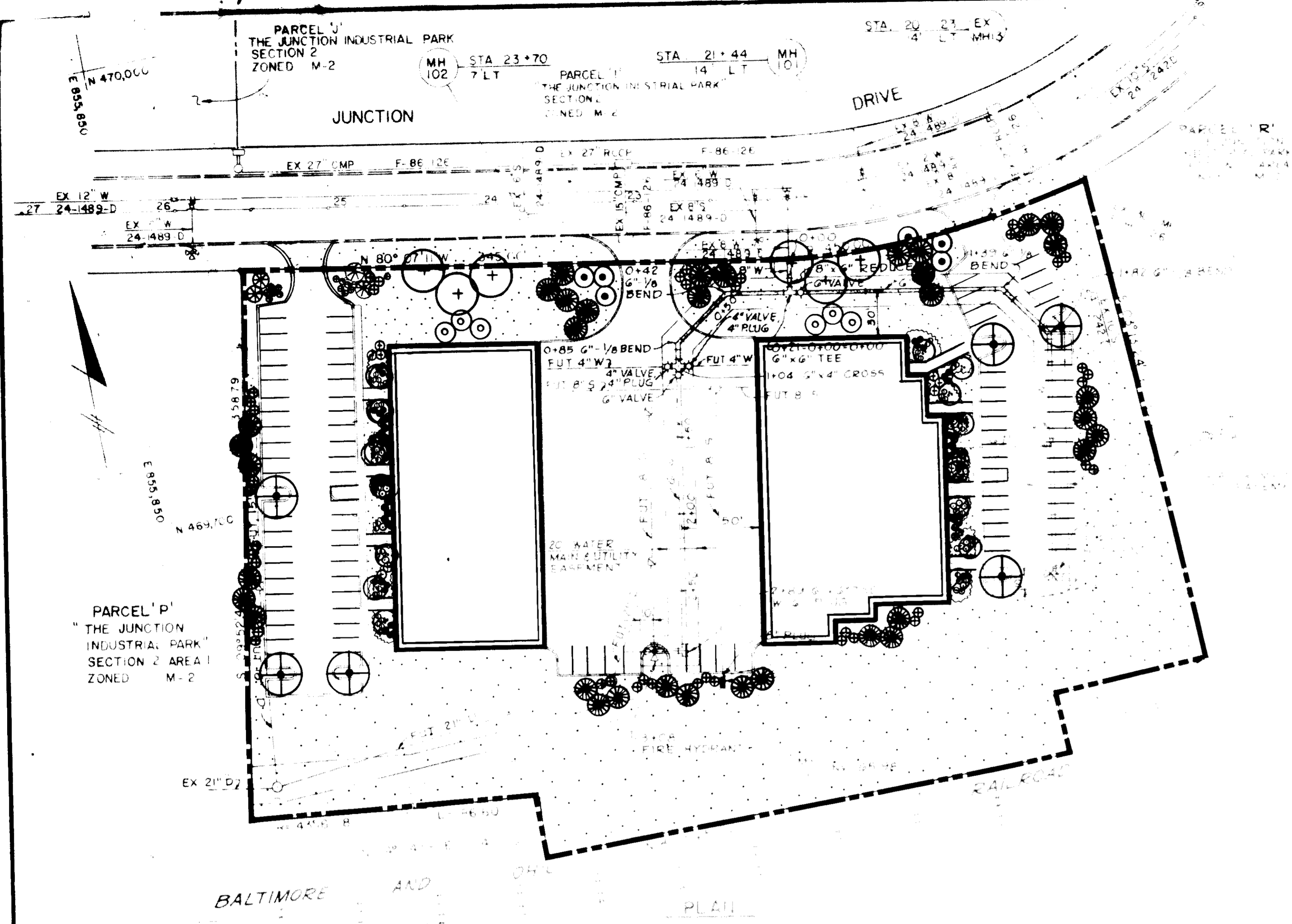
APPROVED
DIVISION OF LAND DEVELOPMENT
ZONING ADMINISTRATION
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DATE: 6-10-87
M. H. H. H. H. H.

ADDRESS CHART					
LOT	ADDRESS				
BLDG A	5088 JUNCTION DRIVE				
BLDG B	5000 JUNCTION DRIVE				
SUBDIVISION NAME		SECT./AREA	LOT/PARCEL #		
THE JUNCTION INDUSTRIAL PARK		2/1	PARCEL Q		
PLAT #	BLOCK #	ZONE	TAX/ZONE MAP	ELEC. DIST.	CENSUS TR.
7146	19	M-2	48	6	6064
WATER CODE			SEWER CODE		
C04			4020000		
APPROVED: FOR STORM DRAINAGE SYSTEMS AND ROADS, AND PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS					
<i>James H. ...</i>		8-2-87			
DIRECTOR		DATE			
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT					
<i>James W. ...</i>		9-3-87			
CHIEF, BUREAU OF ENGINEERING		DATE			
APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING					
<i>...</i>		9.8.87			
PLANNING DIRECTOR		DATE			
<i>...</i>		9-4-87			
CITY ENGINEER, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION		DATE			

DATE	NO.	REVISION
PROJECT:		
THE JUNCTION INDUSTRIAL PARK		
6th ELECTION DISTRICT HOWARD CO., MARYLAND SECTION 2 AREA I PARCEL Q		
TITLE:		
DRAINAGE AREA MAP		
OWNER:		
EMORY, HILL & McCONNELL 7240 PARKWAY DRIVE SUITE 170 HANOVER, MARYLAND 21076		
ENGINEERS:		
WHITNEY, BAILEY, COX & MAGNANI CONSULTING ENGINEERS 1850 YORK ROAD TIMONIUM, MARYLAND 21093 301-252-6060		
DATE:	7-7-87	DESIGNED: A.R.
		DRAWN: G.G./Y.Q.
		CHECKED: P.D.
		PROJECT NO: 87-064-51
		DATE: 4-28-87
		SCALE: 1"=50'
PROFESSIONAL ENGR. NO.	6515	DRAWING NO. 6 OF 7

ABCODE I

SDP-87-227



PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANT.	HEIGHT	SPREAD	CALIPER	B&B	GENERAL COMMENTS
+	ABIES RUBRA 'NORWAY' COLORADO	COLORADO RED PINE	10	10'-12'	6'-8'	2 1/2"-3"	YES	SPECIMEN
+	PRUNUS CALIFORNIANA	CALIFORNIA PEACH	15	10'-12'	6'-8'	2 1/2"-3"	YES	SPECIMEN
●	PINUS NIGRA	MONTEZUMA PINE	10	12'-15'	4'-5'	2"	YES	SPECIMEN
●	PINUS STROBILATUS	WHITE PINE	10	12'-15'	4'-5'	2"	YES	SPECIMEN
○	MALUS RADICATA	RADIANT CRABAPPLE	10	6'-8'	4'-5'	2-2 1/2"	YES	SPECIMEN
○	MALUS BACCATA	SIBERIAN CRABAPPLE	10	6'-8'	4'-5'	2-2 1/2"	YES	SPECIMEN
○	QUERCUS ALBA	CLAMP BIRCH	7	6'-10'	4'-5'	2"	YES	SPECIMEN
○	MAGNOLIA GULANDBERGA	BRUCEA MAGNOLIA	4	5'-7'	3'-4'	2"	YES	SPECIMEN
○	ROSA ROSEA	ROSA DOGWOOD	4	6'-8'	4'-5'	2"	YES	SPECIMEN
●	TAXUS CANADENSIS	DENSE YEW	10	10'-12'	10'-12'	2"	NO	SPECIMEN
●	BURNING BUSH	DENSE WINGED BURNING BUSH	15	6'-8'	7'-10'	2"	NO	SPECIMEN
+	NYCTAGINUS ACUTIFOLIUS	DESPERDO	10	2'-2 1/2'	2'-2 1/2'	2"	NO	SPECIMEN
●	IBERIS AMARA	TRIPLE BERRY HOLY	10	2'-2 1/2'	2'-2 1/2'	2"	NO	SPECIMEN
●	REDOLENDICUM HYBRID	REDOLENDICUM HYBRID	10	2'-2 1/2'	2'-2 1/2'	2"	NO	SPECIMEN
●	AZALEA HYBRID	DEL. WHITE AZALEA	30	10'-12'	10'-12'	2"	NO	SPECIMEN
●	LORENA	BRUGGELMANN'S LORENA	15	15'-18'	15'-18'	2"	NO	SPECIMEN
●	JUNIPERUS DECAISNEANA	YEM JUNIPER	100	15'-18'	15'-18'	2"	NO	SPECIMEN
●	SEEDS	SEEDS	1000000					

APPROVED
 DIVISION OF LAND DEVELOPMENT
 ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE 6-10-87
 [Signature]

5/1/87
 [Signature]
 9972

MCKENNA ENTERPRISES
 FULL SERVICE LANDSCAPING AND MATERIALS
 734 E. Lancaster Avenue Exton, PA. 19341

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS AND ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 [Signature] 6/29/87
 DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT
 [Signature] 9-3-87
 DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
 PLANNING COMMISSION
 [Signature] 9-3-87
 DATE

OWNER: EMORY, HILL & MCCONNELL
 7240 PARKWAY DRIVE SUITE 170
 HANOVER, MARYLAND 21076

ENGINEERS: WHITNEY, BAILEY, COX & MAGNANI
 CONSULTING ENGINEERS
 1850 YORK ROAD
 TIMONUM, MARYLAND 21093
 301-833-8880

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

APPROVED: SIGNATURE DATE
 HOWARD COUNTY SOIL CONSERVATION DISTRICT

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

APPROVED: SIGNATURE DATE
 U.S. SOIL CONSERVATION SERVICE

LANDSCAPE PLAN
 JUNCTION INDUSTRIAL PARK SECTION 2
 PARCEL Q
 ELECTION DISTRICT GUILFORD NO. 6
 HOWARD COUNTY, MARYLAND

SCALE AS SHOWN
 SHEET 7 OF 7