

GENERAL NOTES

- Area: 3.9731 Acres
- Zoning: RSC
- Number of Units Shown: 43
- Muskingum Coverage:

Unit Type	Subtype	Man. Lota. Sals. Coverage
A	16 x 20 x 760 Sq. Ft.	1,950 Sq. Ft.
B	16 x 18 x 448 Sq. Ft.	1,440 Sq. Ft.
C	16 x 20 x 720 Sq. Ft.	1,800 Sq. Ft.
- Number of parking spaces provided: 89; Required: 86.
- Parking Tabulations:

Garage Parking:	11 Spaces
Driveway Parking:	17 Spaces
Surface Lot Parking:	61 Spaces
Total:	89 Spaces
- *Garage shall be used for parking purposes only in accordance with Section 127 B.2.b (18) of the Zoning Regulations.
- Sediment control for this project is to be provided by Approved Road Construction Plan P-87-88.
- Stormwater Management: provided in Central Facility in Dorsey Hall Section 2, Area 1, P-85-86.
- Contour interval is 2 feet.
- All steps shown shall have 6 inch risers and 12 inch tread with a positive wash of 1/8 inch per foot.
- All steps shall have a positive wash of 1/8 inch per foot.
- In accordance with Section 108.B.1, 1021 and Section 109.A.20 of the Zoning Regulations, a "NO PARKING - FIRE LANE" sign shall be placed at each end of the designated fire lane.
- Where a proposed curb is along a Designated Fire Lane (shown on utility maps and aerial photo, see legend), common "Red Traffic Paint" shall be used to paint the entire top and vertical surface of the curb. The painted surface shall extend the full length of the Designated Fire Lane. This type of paint is readily obtainable from the Baltimore Paint and Chemical Company or any similar source dispensing special-use paints. Paint may be applied by either brush or spray. At each end of the Fire Lane, within the red painted area, the phrase, "NO PARKING - FIRE LANE" shall be painted in white letters no less than three (3) inches high on top of the curb. This phrase shall be repeated approximately every twenty foot (20') along the entire painted curb top surface. This phrase shall also be placed approximately every twenty (20) feet on the vertical face of the curb, offset by two (2) feet with respect to the above markings on the top surface. However, in no event, shall there be less than two (2) such markings on the top of curb and one (1) on the vertical face.

LEGEND

- EXISTING CONTOUR
- - - PROPOSED CONTOUR
- ◀ WALK-OUT BASEMENT
- ▭ DRIVEWAY
- OPTIONAL 10'x14' DECK
- ┌ PROPOSED CURB & GUTTER (C&G)
- └ C&G ALONG FREE LANE, SEE NOTE #12 FOR MARKING SPEC.

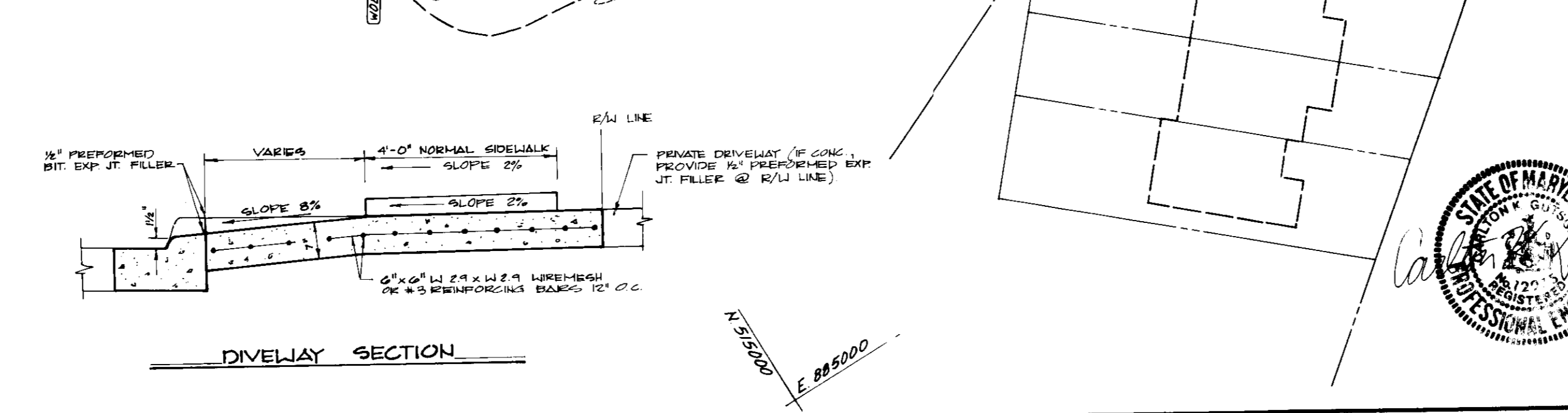
LOT	ADDRESS	LOT	ADDRESS
C-143	4703 RAM'S HORN RD	C-186	COLUMBIA RD
C-144	4705 " " "	C-187	" " "
C-145	4707 " " "	C-188	" " "
C-146	4709 " " "	C-189	" " "
C-147	4711 " " "	C-190	" " "
C-148	4713 " " "	C-191	" " "
C-149	4715 " " "	C-192	" " "
C-150	4717 " " "	C-193	" " "
C-151	4721 " " "	C-194	" " "
C-152	4723 " " "	C-195	" " "
C-153	4725 " " "	C-196	" " "
C-154	4727 " " "	C-197	" " "
C-155	4729 " " "	C-198	" " "
C-156	4731 " " "	C-199	" " "
C-157	4735 " " "	C-200	" " "
C-158	4737 " " "	C-201	" " "
C-159	4739 " " "	C-202	" " "
C-160	4741 " " "	C-203	" " "
C-161	4743 " " "	C-204	" " "
C-162	4745 " " "	C-205	" " "
C-163	4750 " " "	C-206	" " "
C-164	4748 " " "	C-207	" " "
C-165	4746 " " "	C-208	" " "
C-166	4744 " " "	C-209	" " "
C-167	4742 " " "	C-210	" " "
C-168	4740 " " "	C-211	" " "
C-169	4738 " " "	C-212	" " "
C-170	4736 " " "	C-213	" " "
C-171	4732 " " "	C-214	" " "
C-172	4730 " " "	C-215	" " "
C-173	4728 " " "	C-216	" " "
C-174	4726 " " "	C-217	" " "
C-175	4724 " " "	C-218	" " "
C-176	4722 " " "	C-219	" " "
C-177	4720 " " "	C-220	" " "
C-178	4716 " " "	C-221	" " "
C-179	4714 " " "	C-222	" " "
C-180	4712 " " "	C-223	" " "
C-181	4710 " " "	C-224	" " "
C-182	4706 " " "	C-225	" " "
C-183	4704 " " "	C-226	" " "
C-184	4702 " " "	C-227	" " "
C-185	4700 " " "	C-228	" " "

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER: [Signature] 9-3-87
 DATE: 9-3-87

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING
 PLANNING DIRECTOR: [Signature] 9-8-87
 DATE: 9-4-87

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR: [Signature] 9-2-87
 DATE: 9-2-87

APPROVED: PLANNING BOARD OF HOWARD COUNTY
 DATE: 6-24-87



Reviewed for Name: B.C.D.
 and meets Technical Requirements.
 J. Helms, P.E. 9-28-87
 Date: 9-28-87

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 Stephen L. Helms, District Director
 Date: 9/28/87

ENGINEER'S CERTIFICATE
 "I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
 Carlton Z. Julek, P.E. 8-25-87
 Date: 8-25-87

DEVELOPER'S SIGNER'S CERTIFICATE
 "I/we certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a 4-hour course of National Resource Approved Training Program for the Control of Sediment and Erosion before beginning the project."
 Richard Goodman, 8/25/87
 Date: 8/25/87



GW GUTSCHICK LITTLE & WEBER, P.A.
 ENGINEERS, PLANNERS, SURVEYORS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MD. 20866

DES.	DRN.	CHK.	DATE	REVISION	BY	APPR.

OWNER/DEVELOPER:
CAPITAL HOMES, INC.
 8102 ASPENWOOD WAY
 JE55UP, MD 20194

2ND ELECTION DISTRICT

SITE DEVELOPMENT PLAN
DORSEY HALL
 LOTS C-143 THRU C-187
 A RESUBDIVISION OF PARCEL C-1
 SECTION 2, AREA 2

SCALE: 1" = 30'
 CONTOUR INTERVAL: 2 FT.
 G.L.W. FILE NO.: 86-016

DATE: AUG. 21, 1987
 TAX MAP No.: 30
 SHEET: 1 of 3

REGISTERED: F10
 SEWER CODE: 5750000

SDP-87-212

CONSTRUCTION SEQUENCE	# OF DAYS
1. Obtain Grading Permit	4
2. Check placement and maintain existing sediment control measures.	1
3. Excavate for foundations and rough grade & temporarily stabilize	60
4. Construct structures, sidewalks and driveways	250
5. Final grade and stabilize in accordance with Stds. & Specs.	15

SEDIMENT CONTROL NOTES

- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (1992-2437)
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance or redisturbance, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes and perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 51) sod (Sec. 54), temporary seedings (Sec. 50) and mulching (Sec. 52). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:

Total Area of Site:	40	Acres
Area Disturbed:	39	Acres
Area to be roofed or paved:	29	Acres
Area to be vegetatively stabilized:	30	Acres
Total Cut:	Cu. Yds.	BALANCED
Total Fill:	Cu. Yds.	
Offsite waste/borrow area location:		
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the Howard County DPW sediment control inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading, other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- If houses are to be constructed on an "As-Sold" basis, at random, Single Lot Sediment Control as shown below shall be implemented.
- All pipes to be blocked at the end of each day (see detail below).
- The total amount of straw bale dikes/silt fences equals L.F.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

Soil Preparation - Loosen upper three inches of soil by raking, discing or other acceptable means before seeding.
Soil Amendments - Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft).

Seeding - For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2-1/2 bushel per acre of annual ryegrass (3.2 lbs/1000 sq ft). For the period May 1 thru August 14, seed with 3 lbs per acre of creeping lovegrass (.07 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching - Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of untreated small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes, 8 feet or higher, use 348 gal per acre (8 gal/1000 sq ft) for anchoring.

Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Soil Preparation - Loosen upper three inches of soil by raking, discing or other acceptable means before seeding.

Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:

- Preferoid - Apply 2 tons per acre dolomitic lime stone (92 lbs/1000 square feet) and 500 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 100 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq ft).
- Acroprado - Apply 2 tons per acre dolomitic lime stone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.

Seeding - For the periods March 1 thru April 30, and August 1 thru November 15, seed with 60 lbs per acre (1.1 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs/1000 sq ft) of creeping lovegrass. During the period October 16 thru February 28, protect site by: Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching - Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of untreated small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes, 8 feet or higher, use 318 gallons per acre (8 gal/1000 sq ft) for anchoring.

Maintenance - Inspect all seeded areas and make needed repairs, replacements and reseedings.

Reviewed for _____ S.C.D.
Name
and meets Technical Requirements.
J. Holman 8-28-87
Date
S.C.D. Conservation
District
This development plan is approved
FOR SOIL EROSION AND SEDIMENT
CONTROL BY THE HOWARD SOIL
CONSERVATION DISTRICT.
Stephen P. ... 8/28/87
Date
Howard S.C.D.

ENGINEER'S CERTIFICATE

"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

William Z. ... 8-25-87
Date

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/we certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project."

Richard Goodman 8/25/87
Signature of Developer/Builder Date



APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,
HOWARD COUNTY HEALTH DEPARTMENT
James ... 9-8-87
DATE
COUNTY HEALTH OFFICER

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING
... 9-8-87
DATE
PLANNING DIRECTOR

CHIEF DIVISION OF LAND DEVELOPMENT
AND ZONING ADMINISTRATION
... 9-4-87
DATE
DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE,
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
... 9-1-87
DATE
DIRECTOR

CHIEF BUREAU OF ENGINEERING
... 9-3-87
DATE

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE: 6-24-87
...

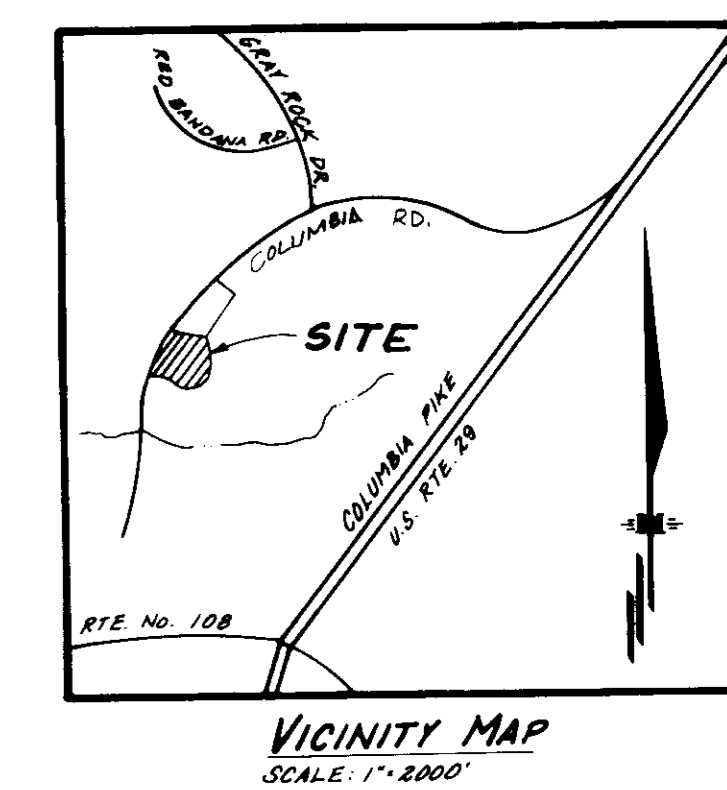
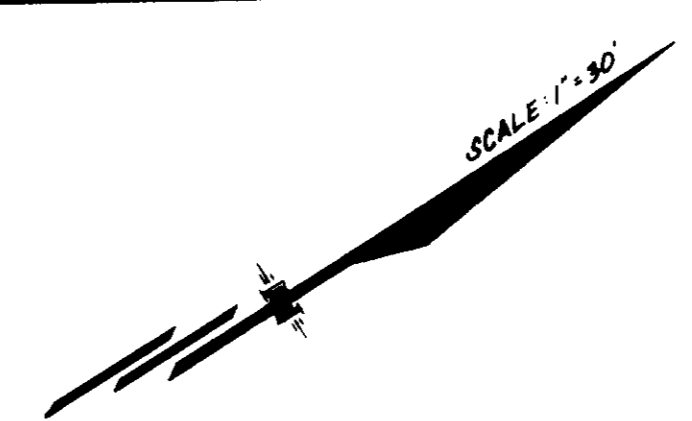
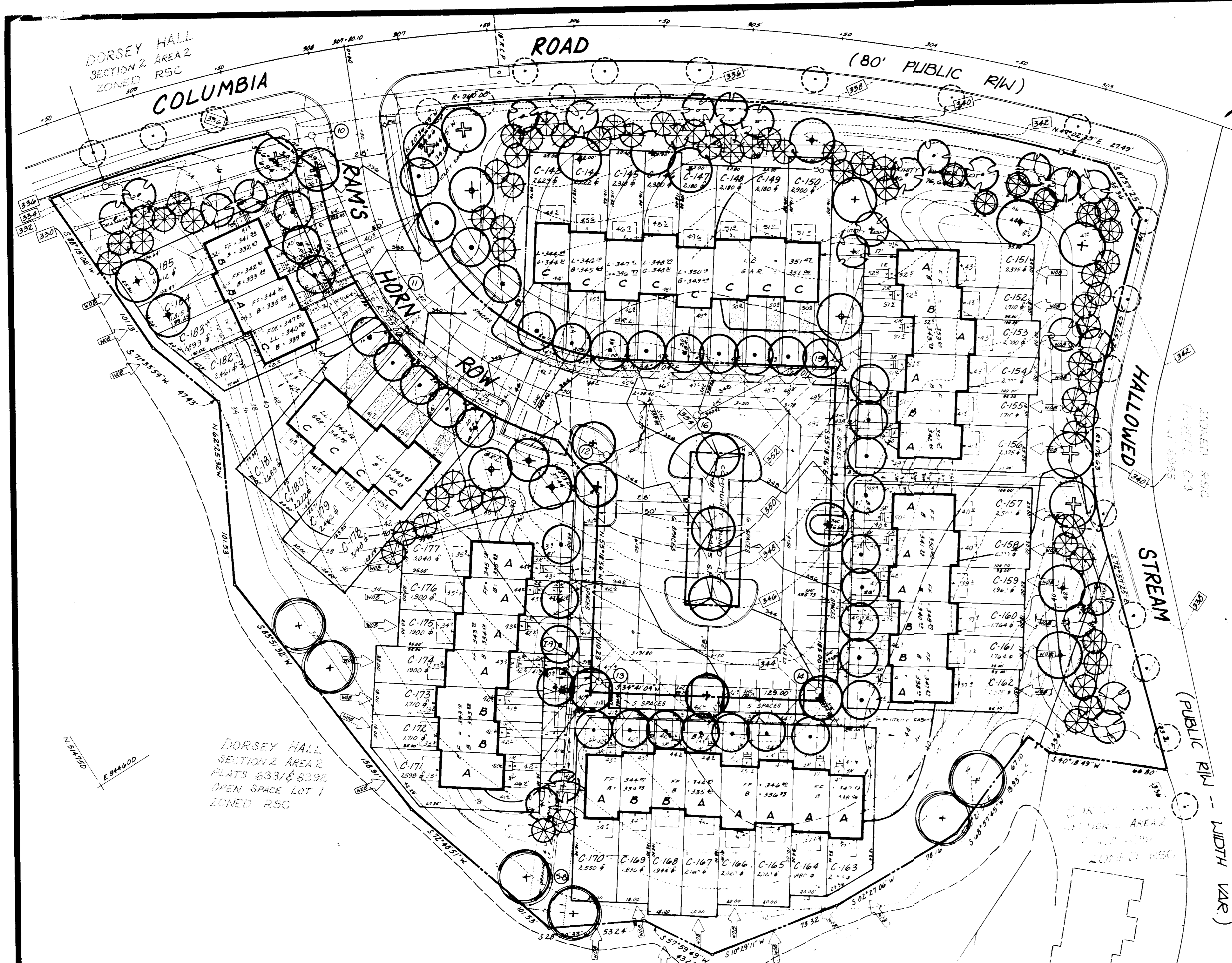
GLW GUTSCHICK LITTLE & WEBER, P.A.
ENGINEERS, PLANNERS, SURVEYORS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MD. 20866
TELEPHONE: (301) 421-4024

DES.	DRN.	CHK.	DATE	REVISION	BY	APP'R.

PREPARED FOR:
CAPITAL HOMES, INC.
8102 ASPENWOOD WAY
JESSUP, MD 20794

SEDIMENT CONTROL NOTES
DORSEY HALL
LOTS C-143 THRU C-157
A RESUBDIVISION OF PARCEL C-1
SECTION 2 AREA 2
2ND ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G.L.W. FILE No.
	RSC	86-016
DATE	TAX MAP No.	SHEET
AUG. 21, 1987	30	2 of 3



DORSEY HALL SECTION 2 AREA 2 PLATS 8331 & 8332 OPEN SPACE LOT 1 ZONED R5C

PLANTING SCHEDULE

SYMBOL	NAME (BOTANICAL / COMMON)	QUAN.	SIZE *	REMARKS
⊕	ACER RUBRUM 'OCTOBER GLORY' / OCTOBER GLORY RED MAPLE	5	2 1/2" CAL.	B#B
⊕	CORNUS FLORIDA RUBRUM / FLOWERING RED DOGWOOD	11	2 1/2" - 3" CAL.	B#B
⊕	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' / SHADEMASTER HONEYLOCUST	3	2 1/2" - 3" CAL.	B#B
⊕	PINUS STROBUS / EASTERN WHITE PINE	51	6-7' HT.	B#B
⊕	PINUS THUNBERGHII / JAPANESE BLACK PINE	7	6-7' HT.	B#B
⊕	PRUNUS THUNDERCLOUD / PURPLE LEAF PLUM	4	2 1/2" - 3" CAL.	B#B
⊕	PRUNUS YEDOENSIS / YOSHINO CHERRY	10	2 1/2" - 3" CAL.	B#B
⊕	PYRUS CALLERYANA 'ARISTOCRAT' / ARISTOCRAT CALLERY PEAR	41	2 1/2" - 3" CAL.	B#B
⊕	QUERCUS PALUSTRIS / PINE OAK	10	2 1/2" - 3" CAL.	B#B
⊕	QUERCUS PHellos / WILLOW OAK	5	2 1/2" - 3" CAL.	B#B
⊕	QUERCUS RUBRUM / RED OAK	7	2 1/2" - 3" CAL.	B#B
⊕	SALIX BABYLONICA / BABYLON WEEPING WILLOW	6	2 1/2" - 3" CAL.	B#B
⊕	TREES ALONG COLUMBIA ROAD AND HALLOWED STREAM. REFER TO F-85-16 AND F-86-219 FOR INFO.			

* TREE SIZE SHALL BE PER ARCHITECTURAL COMMITTEE GUIDELINES FOR RESIDENTIAL CONSTRUCTION IN COLUMBIA.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS. HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER: [Signature] DATE: 8-3-87
 APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING
 PLANNING DIRECTOR: [Signature] DATE: 9-8-87
 CHIEF DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION
 APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS. HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR: [Signature] DATE: 9-2-87
 CHIEF BUREAU OF ENGINEERING: [Signature] DATE: 9-2-87

APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE: 6-24-87



GW GUTSCHICK LITTLE & WEBER, P.A.
 ENGINEERS, PLANNERS, SURVEYORS
 3909 NATIONAL DRIVE SUITE 250 BURTONSVILLE OFFICE PARK BURTONSVILLE, MD 20866

OWNER / DEVELOPER
CAPITAL HOMES, INC.
 8102 ASPENWOOD WAY
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PLANTING PLAN
DORSEY HALL
 LOTS C-143 THRU C-187
 A RESUBDIVISION OF PARCEL C-1
 SECTION 2 AREA 2
 HOWARD COUNTY, MARYLAND

SCALE	CONTOUR INTERVAL	G.L.W. FILE NO.
1" = 30'	2 FT.	86-016
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AUG. 21, 1987	30	3 of 3

DES.	DRN.	CHK.	DATE	REVISION	BY	APP.

SDP-87-212