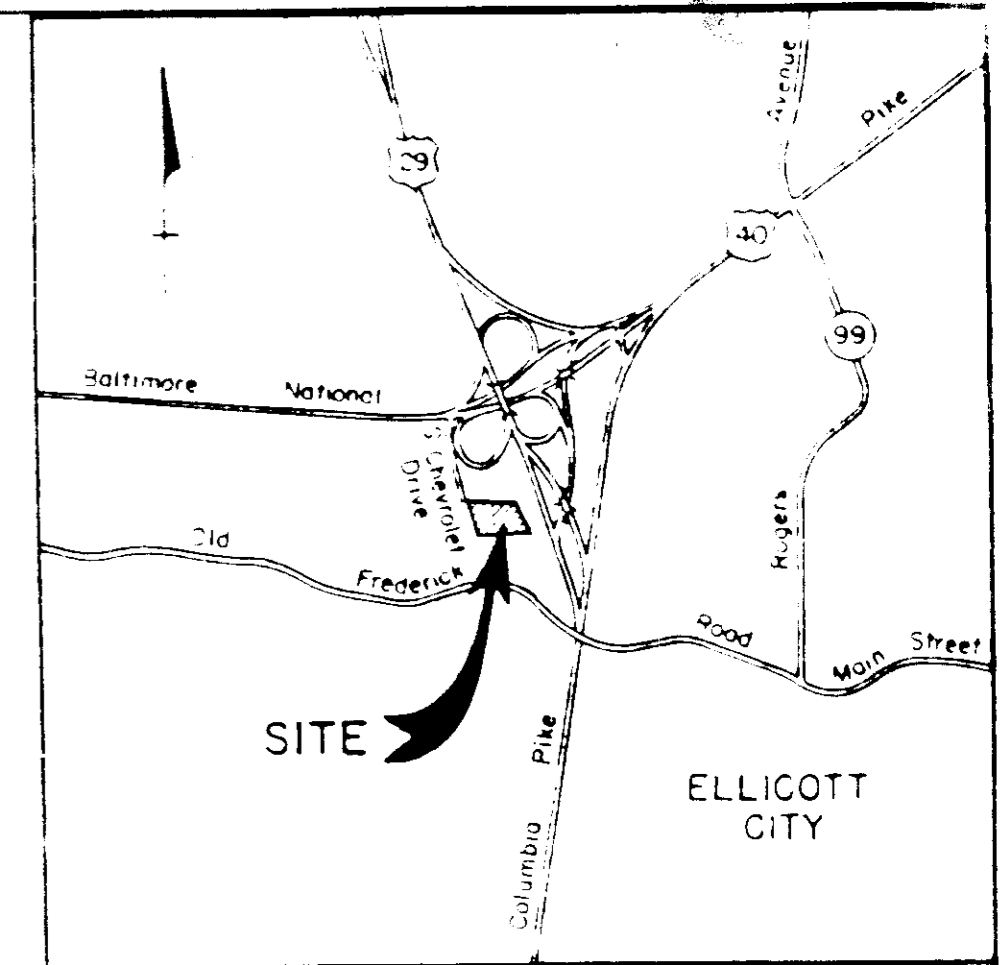


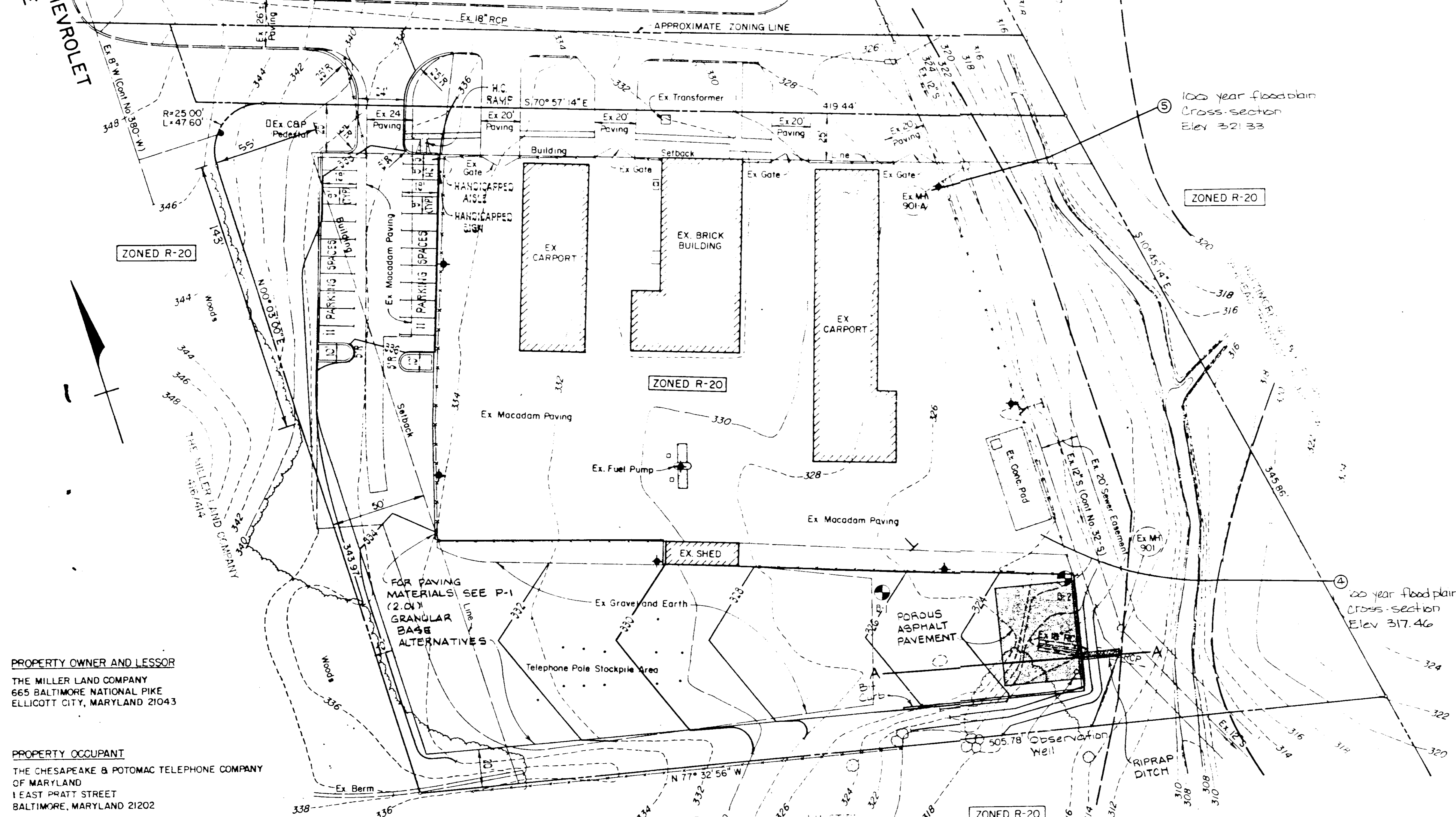
SOUTH CHEVROLET

ZONED B-2

ACCESS ROAD (PRIVATE)



VICINITY MAP
SCALE 1" = 2000'



- GENERAL NOTES
- The location of existing utilities shown hereon are based on the latest available information. The contractor shall however, determine the exact location before doing any construction.
 - All work shown on these plans shall be constructed in accordance with the latest revision of Volume IV of the Howard County Design Manual "Standard Specification and Details for Construction."
 - All new paving on site shall be Howard County Standard #P-1.
 - The stormwater management site shall be paving with porous asphalt pavement as shown in the typical detail.
 - Construct Std. 7" bituminous curb for the limits shown (Std. Detail R-303).

PROPERTY OWNER AND LESSOR
THE MILLER LAND COMPANY
665 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21043

PROPERTY OCCUPANT
THE CHESAPEAKE & POTOMAC TELEPHONE COMPANY
OF MARYLAND
1 EAST PRATT STREET
BALTIMORE, MARYLAND 21202

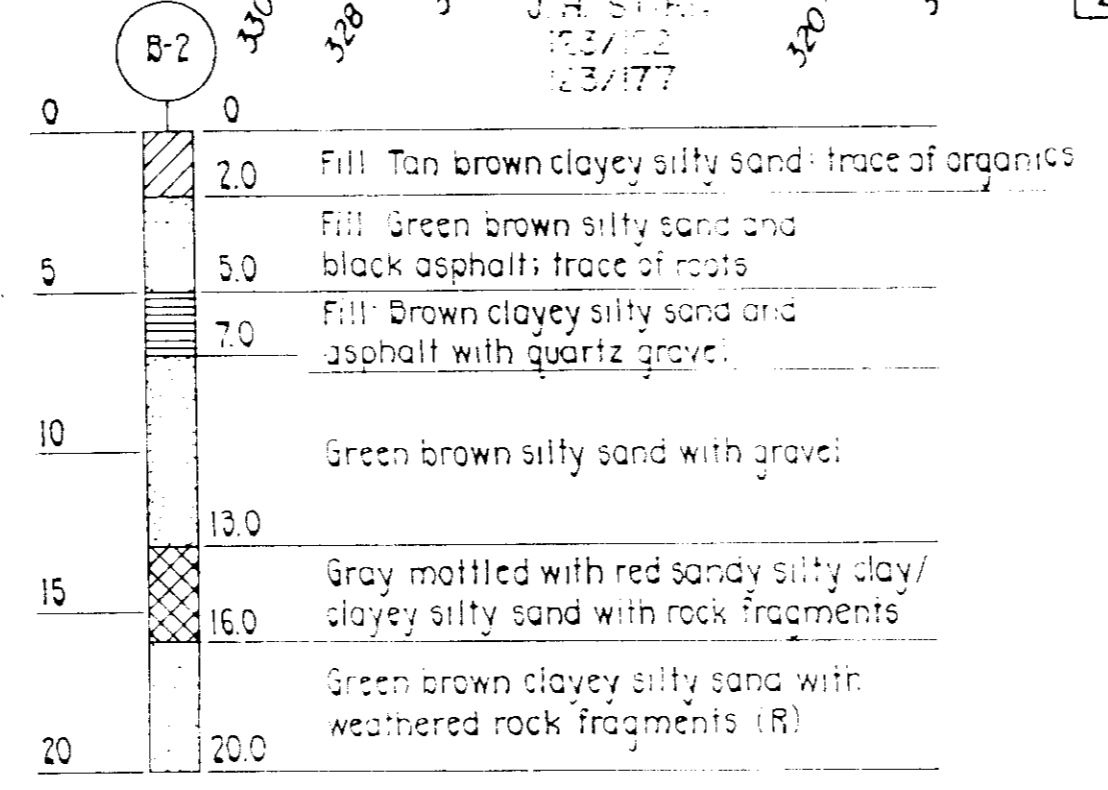
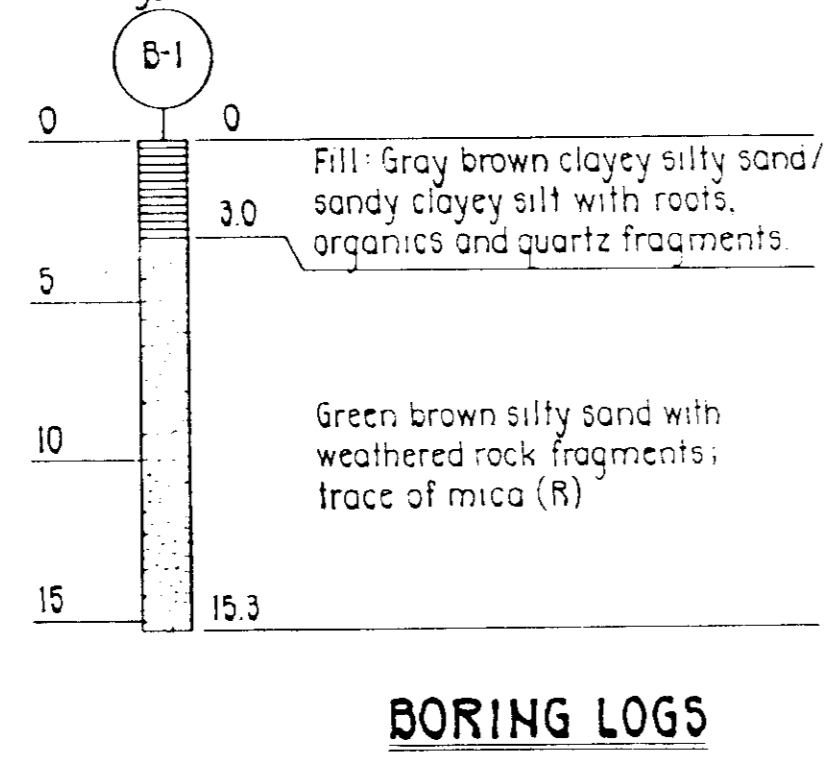
SITE ANALYSIS

Area of Parcel: 3.72 Ac. ±, 162,043 S.F.
Proposed Development: Parking lot and stockpile area
Present Zoning: R-20
Building Floor Area: 2800 S.F.
Number of parking spaces required: 2800/20 = 140
Number of parking spaces provided: 22
Area of parking lot: 6,540 S.F.
Area and percentage of landscaped islands within parking lot: 338.5, 5.2%
Open Space to remain: 1.42 Ac. ±, 38%

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
DATE: 7-31-87

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING
DATE: 8-3-87

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DATE: 7-27-87



ADDRESS CHART

PARCEL NO.	STREET ADDRESS	WATER CODE	SEWER CODE
D	3525 S CHEVROLET DRIVE	F07	1402800

SUBDIVISION NAME	SECT./AREA	LOT/PARCEL #
MILLER LAND COMPANY		D
PLAT #	CORNER	BLOCK
8/22		1
		ZONE
		R-20
		TAX ZONE
		24
		ELECT. DIST.
		2
		CENSUS
		6023 01

Reviewed for Howard Soil Conservation District and meets technical requirements.

James M. Helm 7-23-87
U.S. Soil Conservation Service

Stephen L. Helm 7/23/87
Howard Soil Conservation District

PURDUM & JESCHKE
CONSULTING ENGINEERS AND
LAND SURVEYORS
1029 North Calvert Street
Baltimore, Maryland 21202 (301)837-0194

DEVELOPER'S CERTIFICATION
I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT THE DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF ANY SEDIMENT EROSION BEFORE BEING ALLOWED TO ENTER THE PROJECT SITE. I WILL MAINTAIN A REGISTERED ENGINEER ON SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

Edward J. Lewis 6/23/87

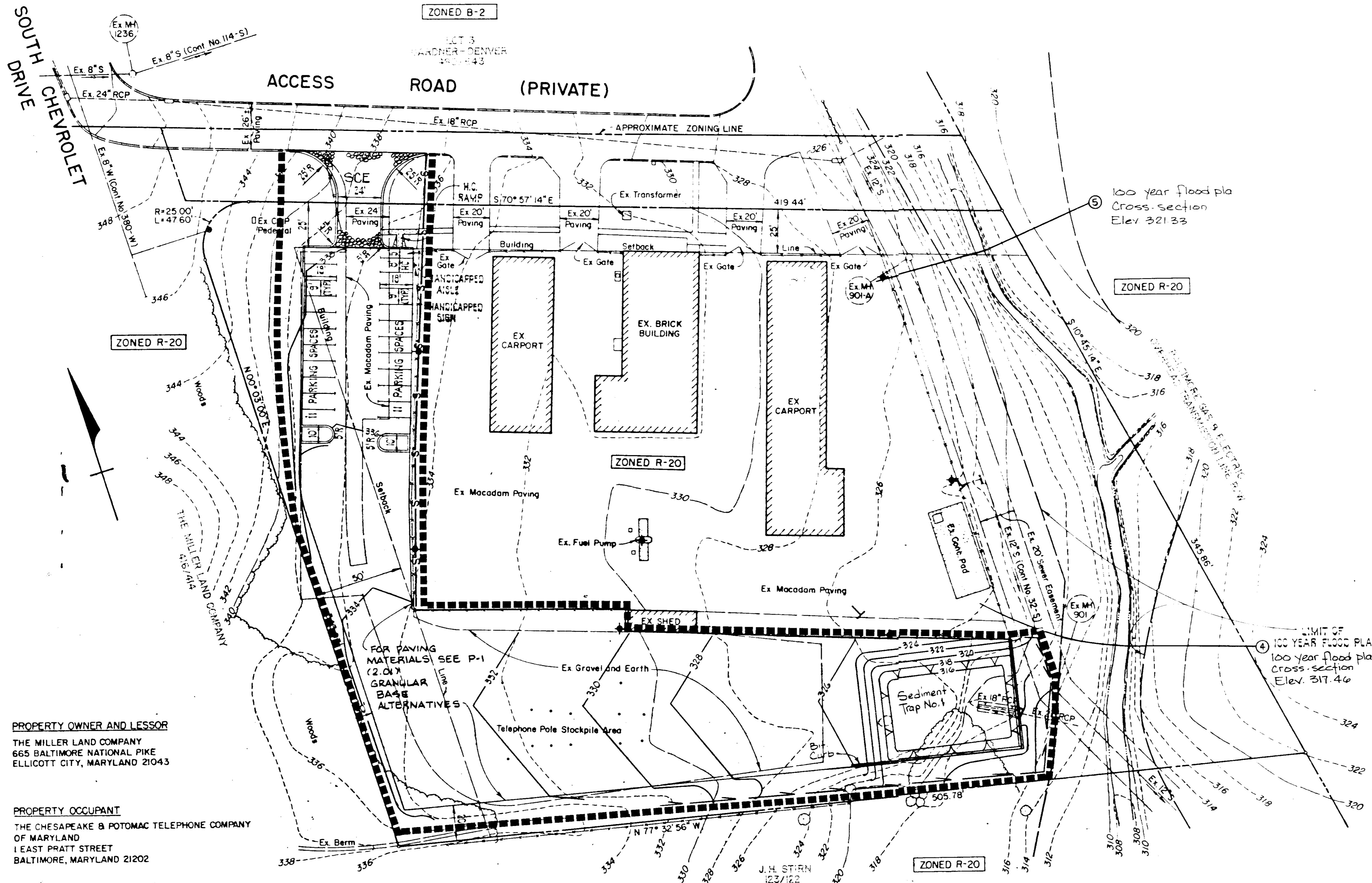
ENGINEER'S CERTIFICATION
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Richard H. Smith 6/23/87

CHESAPEAKE & POTOMAC TELEPHONE COMPANY
OF MARYLAND
MILLER LAND CO. SUBDIVISION, PARCEL D
SITE PLAN

2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
TAX MAP NO. 24 PARCEL 1033
DATE: JULY 10, 1987 SCALE 1" = 30'

SHEET 5 OF 5
DES: JAK
DRAWN: BRW
CHK: RHB



- SEDIMENT CONTROL LEGEND**
- LIMIT OF DISTURBANCE
 - SILT FENCE
 - STABILIZED CONSTRUCTION ENTRANCE (SCE)
 - SEDIMENT TRAP
 - PERIMETER DIKE/SWALE

SEDIMENT TRAP No. 1
 Drainage Area 1.17 ac.
 Volume Required 18,000 x 1.17 = 2106 cf.
 Volume Provided 2596 cf.
 Trap Dimensions 42' x 66'
 Length of outlet 4 x 1.17 = 4.68'
 Bottom elev. 316.00
 Crest elev. 317.00
 Cleanout elev. 316.50
 Top Embankment 318.00

PROPERTY OWNER AND LESSOR
 THE MILLER LAND COMPANY
 665 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21043

PROPERTY OCCUPANT
 THE CHESAPEAKE & POTOMAC TELEPHONE COMPANY
 OF MARYLAND
 1 EAST PRATT STREET
 BALTIMORE, MARYLAND 21202

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT
Joyce Bayler 7-31-87
 COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING
Unlabeled 8-7-87
 DIRECTOR DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE
 STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Unlabeled 7-27-87
 DIRECTOR DATE

CHIEF BUREAU OF ENGINEERING *Unlabeled* 7/27/87 DATE

APPROVED:
 DIVISION OF LAND DEVELOPMENT
 ZONING ADMINISTRATION
 HOWARD COUNTY
 DATE 6-2-87
MA 6/1/87

Reviewed for Howard Soil Conservation District and meets technical requirements.
Unlabeled 7-23-87
 U.S. Soil Conservation Service Date

This Development Plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.
Stephen L. Phelan 7/23/87
 Howard Soil Conservation District Date

ADDRESS CHART					
PARCEL NO.	STREET ADDRESS	WATER CODE	SEWER CODE		
D	3525 S. CHEVROLET DRIVE	FOT	1402800		

SUBDIVISION NAME	SECT./AREA	LOT/PARCEL #
MILLER LAND COMPANY		D
PLAT # ORL/F	BLOCK	ZONE TAX ZONE ELECT. DIST. CENSUS
18/22	11	R-20 24 2 6023 01

PURDUM & JESCHKE
 CONSULTING ENGINEERS AND
 LAND SURVEYORS
 1029 North Calvert Street
 Baltimore, Maryland 21202 (301) 937-0194

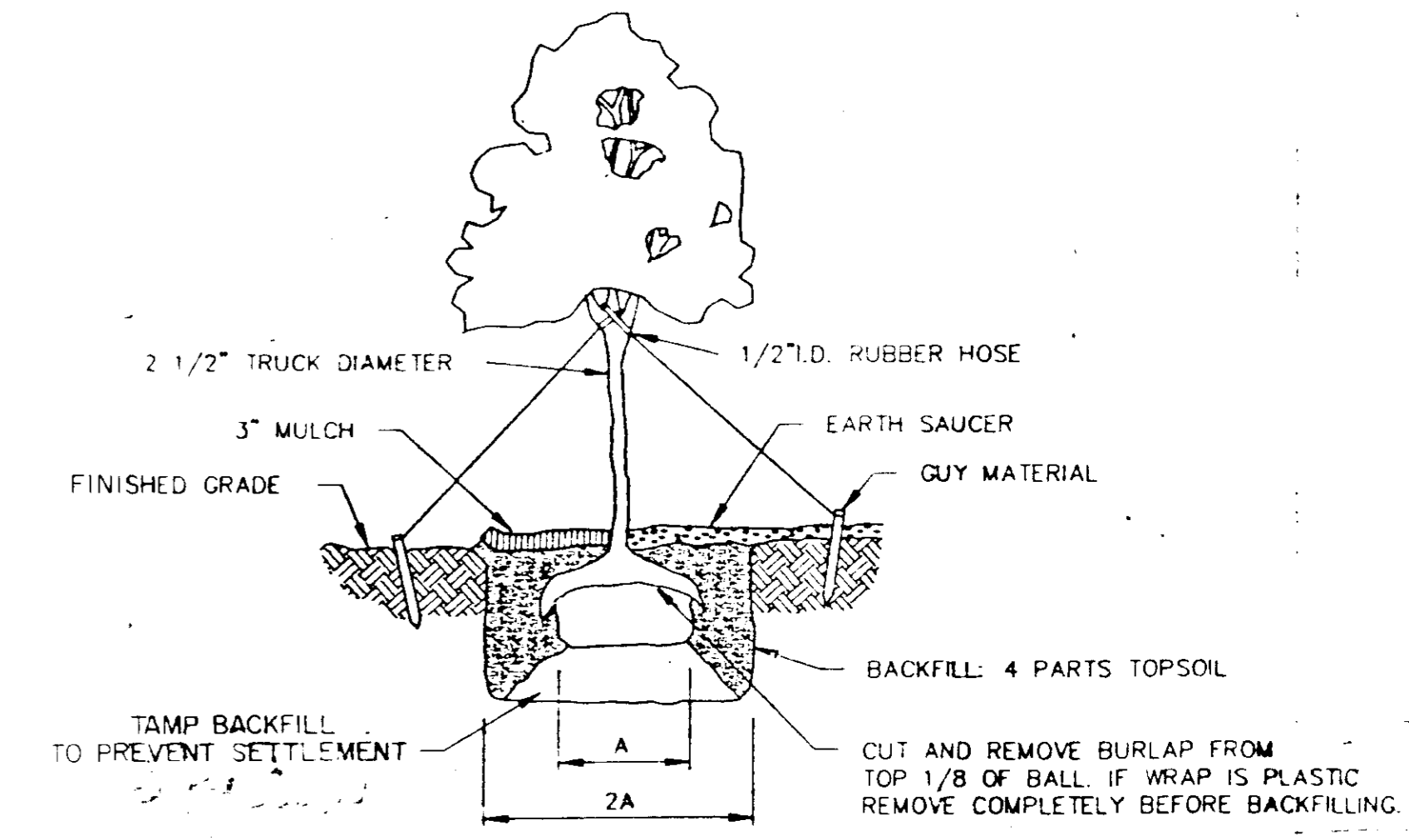
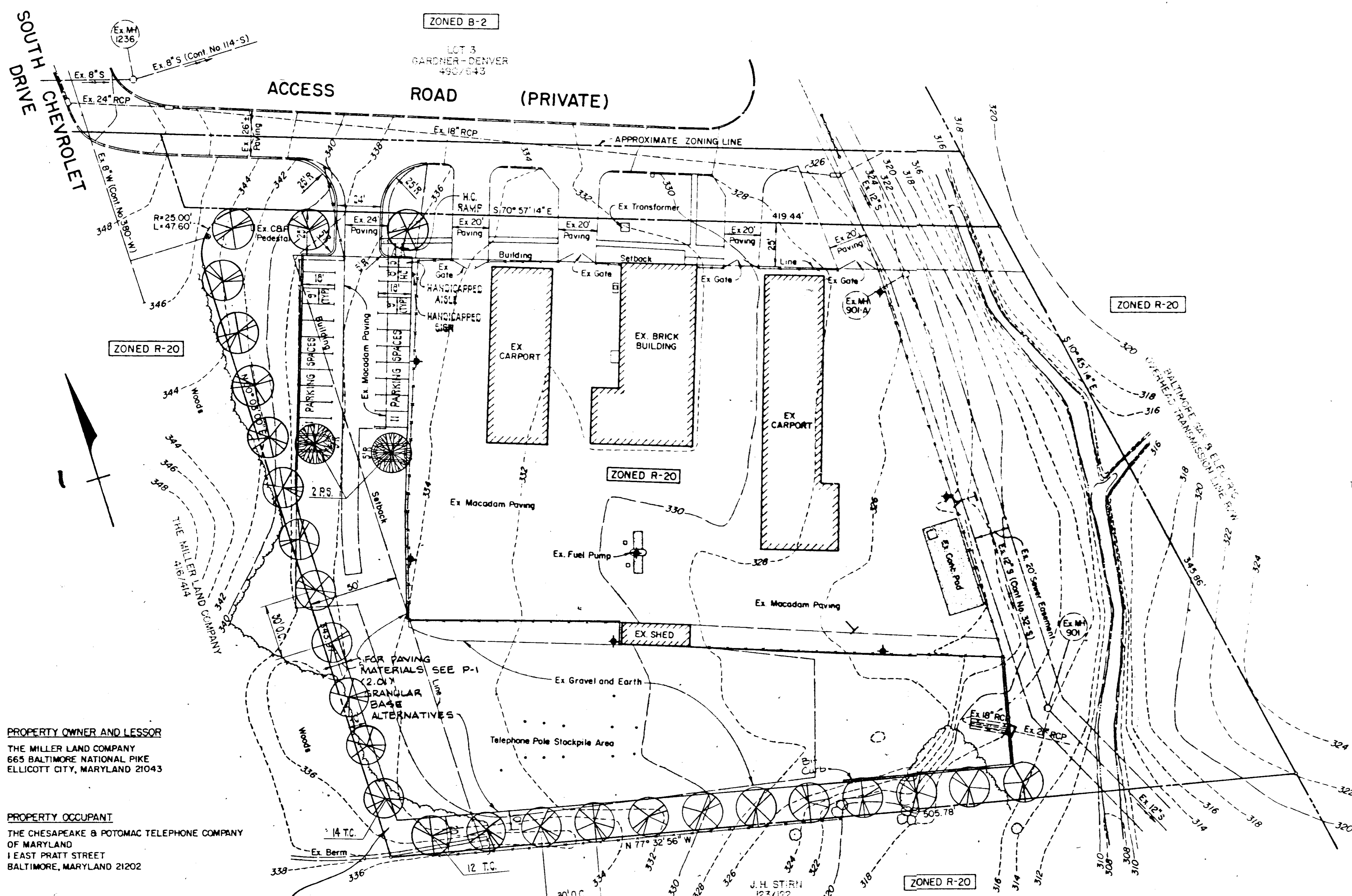
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Edgar J. Lauer 4/15/87
 DATE

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Richard H. Surich 6/15/87
 DATE

Richard H. Surich

CHESAPEAKE & POTOMAC TELEPHONE COMPANY
 OF MARYLAND
 MILLER LAND CO. SUBDIVISION, PARCEL D
SEDIMENT AND EROSION CONTROL PLAN
 2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 TAX MAP NO. 24 PARCEL 1033
 DATE: JULY 10, 1987 SCALE: 1"=30'

SHEET 2 OF 5
 DES: JJK
 DRAWN: ARW
 CHK: RHB



TREE PLANTING DETAIL
NOT TO SCALE

TREE SCHEDULE				
QUANTITY	SYMBOL	NAME	SIZE	SPACING
26		Tsuga Canadensis Canadian Hemlock	2-2 1/2" Cal. BFB	30' O.C. As Shown
2		Prunus Sargentii Sargent's Cherry	2-2 1/2" Cal. 5FB	As Shown

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665 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21043

PROPERTY OCCUPANT
THE CHESAPEAKE & POTOMAC TELEPHONE COMPANY
OF MARYLAND
1 EAST PRATT STREET
BALTIMORE, MARYLAND 21202

Remove existing woods
within property limits
as required to plant proposed
trees.

APPROVED
DIVISION OF LAND DEVELOPMENT
ZONING ADMINISTRATION
HOWARD COUNTY
DATE 6-2-87

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
DATE 7-27-87

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING
DATE 8-3-87

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT
DATE 7-31-87

Reviewed for Howard Soil Conservation District and meets
technical requirements.
DATE 7-23-87
U.S. Soil Conservation Service

This Development Plan is approved for soil erosion and sediment
control by the Howard Soil Conservation District.
DATE 7/23/87

ADDRESS CHART				
PARCEL NO.	STREET ADDRESS	WATER CODE	SEWER CODE	
D	3525 S. CHEVROLET DRIVE	F07	1402800	

SUBDIVISION NAME	SECT./AREA	LOT/PARCEL #
MILLER LAND COMPANY		D
PLAT # ORL/F	BLOCK	ZONE
18/22	11	R-20
TAX ZONE	ELECT. DIST.	CENSUS
24	2	6023.01

PURDUM & JESCHKE
CONSULTING ENGINEERS AND
LAND SURVEYORS
1029 North Calvert Street
Baltimore, Maryland 21202 (301)837-0194

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NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE
CONTROL OF ANY SEDIMENT EROSION BEFORE BEGINNING THE
PROJECT. ALSO AUTHORIZED TO DISPOSE WASTE
BY THE HOWARD SOIL CONSERVATION DISTRICT.

Edgar O. Lavelle 6-15-87

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THAT I WAS PREPARED IN ALL RESPECTS WITH THE REQUIRE-
MENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Richard H. Benich 6/15/87

CHESAPEAKE & POTOMAC TELEPHONE COMPANY
OF MARYLAND
MILLER LAND CO. SUBDIVISION, PARCEL D
LANDSCAPING PLAN
2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
TAX MAP NO 24 PARCEL 1033
DATE: JULY 10, 1987 SCALE: 1"=30'

SHEET 3 OF 5
DES: PAS
DRAW: ARW
CHK: RHB
SDP-87-148

PURDUM'S ASPHALT PAVEMENT CONSTRUCTION SPECIFICATION

Subgrade Preparation

- Alter and refine the grades as necessary to bring subgrade to required grades and sections as shown in the drawings.
- The type of equipment used in subgrade preparation construction shall not cause undue subgrade compaction. Use tracked equipment or oversized rubber tire equipment - DO NOT use standard rubber tired equipment. Traffic over subgrade shall be kept at a minimum. Where fill is required, it shall be compacted to a density equal to the undisturbed subgrade, and inherent soft spots corrected.

Aggregate Base Course

- All stone used shall be clean, washed, crushed stone meeting MSHA Specifications.
- Aggregate shall be of two sizes: the reservoir base course shall be to a depth as noted on drawings of aggregate (maximum of 2", minimum of 1 1/2") and a 2-inch deep top course of 1/2" aggregate (maximum of 5/8", minimum 3/8").
- Aggregate base course shall be laid over a dry subgrade covered with engineering filter fabric to a depth show in drawings, in lifts to lay naturally compacted. The stone base course shall be compacted tightly. Keep the base course clean from debris, and sediment.

Purdu's Asphalt Surface Course

- The surface course shall be laid directly over the 1/2" aggregate base course and shall be laid in one lift.
- The laying temperature shall be between 230 and 260, with minimum air temperature of 50 F, to make sure that the surface has not cool prior to compaction.
- Compaction of surface course shall be done while the surface is cool enough to resist a 10-ton roller. One or two passes by the roller is all that is required for proper compaction. More rolling could cause a reduction in the surface course porosity.
- Mixing plant shall certify the aggregate mix and abrasion loss factor and the asphalt content in the mix. The asphaltic mix shall be tested for its resistance to stripping by water using ASTM D 1664. If the estimated coating area is not above 95 percent, anti-stripping agents shall be added to the asphalt.
- Transporting of mix to site shall be in clean vehicle with smooth dump beds that have been sprayed with a non-petroleum release agent. The mix shall be covered during transportation to control cooling.
- Mix of asphalt shall be 5.5 to 6 percent of weight dry aggregate.
- Asphalt grade shall meet AASHTO Specification M-20 for 65 to 80 penetration road asphalt as a binder.
- Aggregate grading shall be as follows:

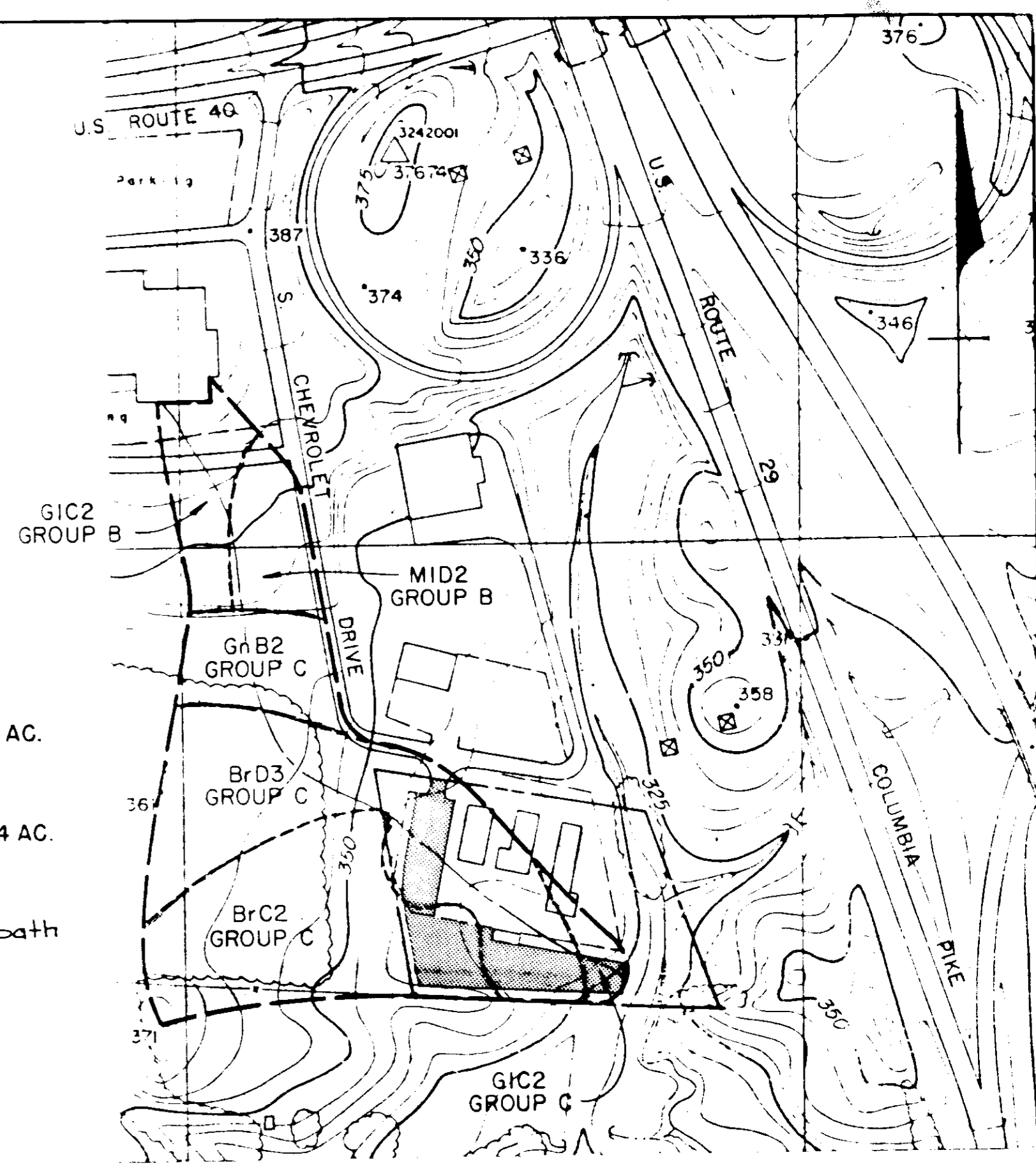
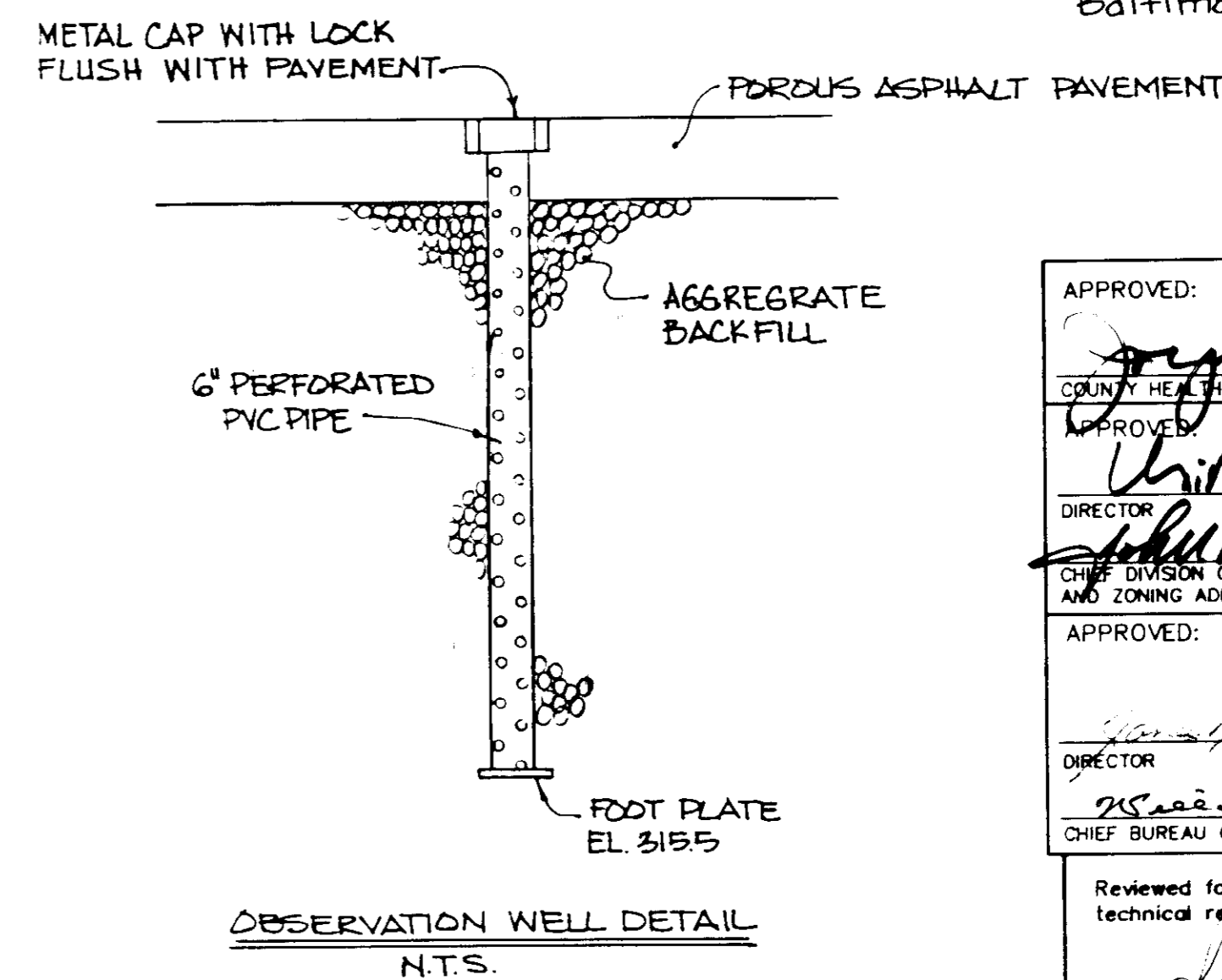
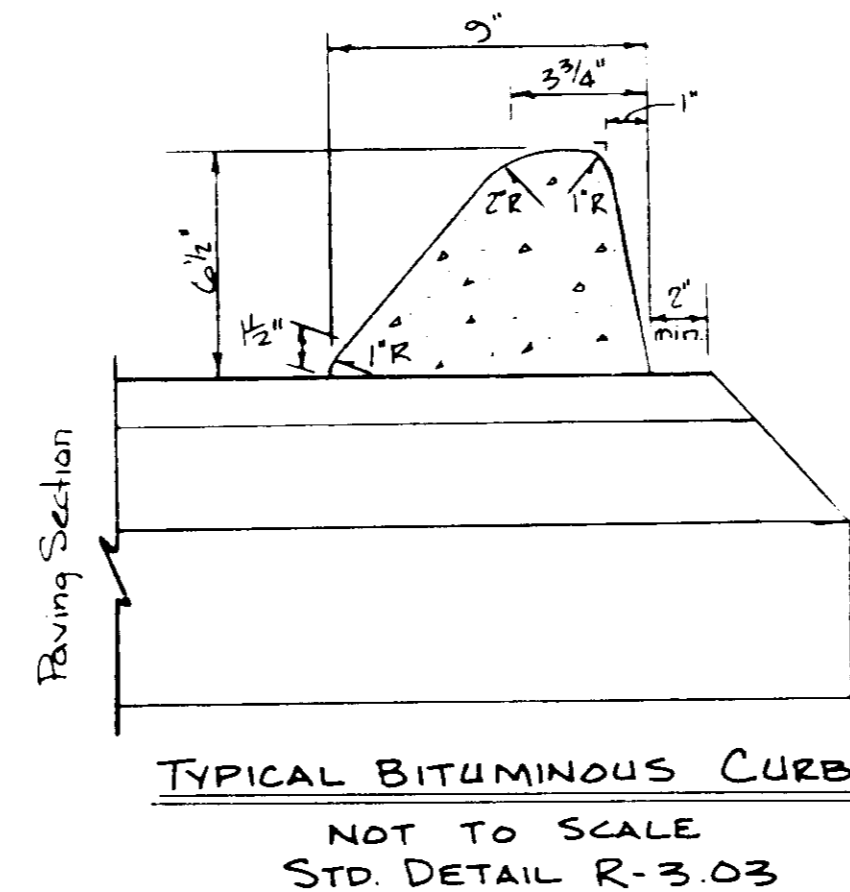
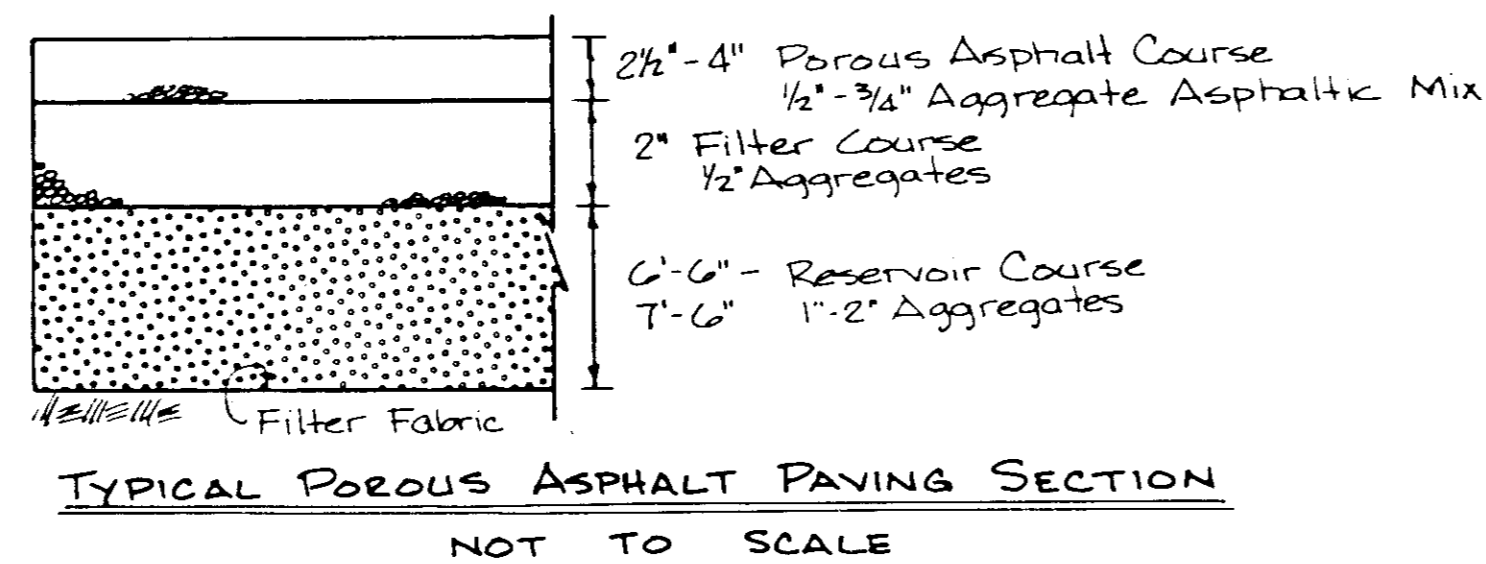
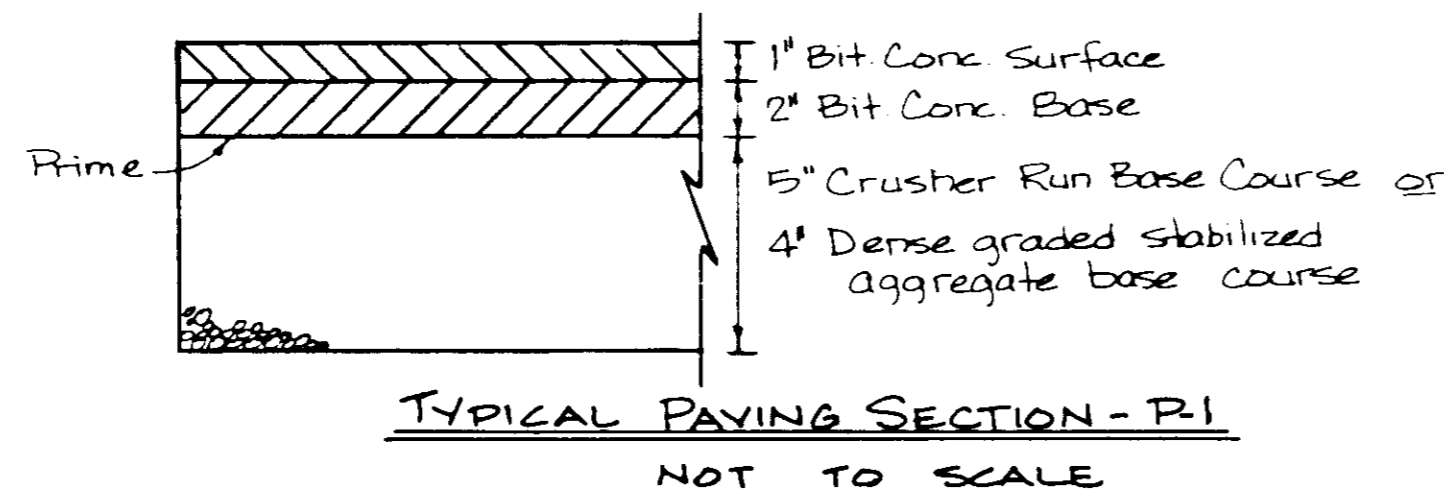
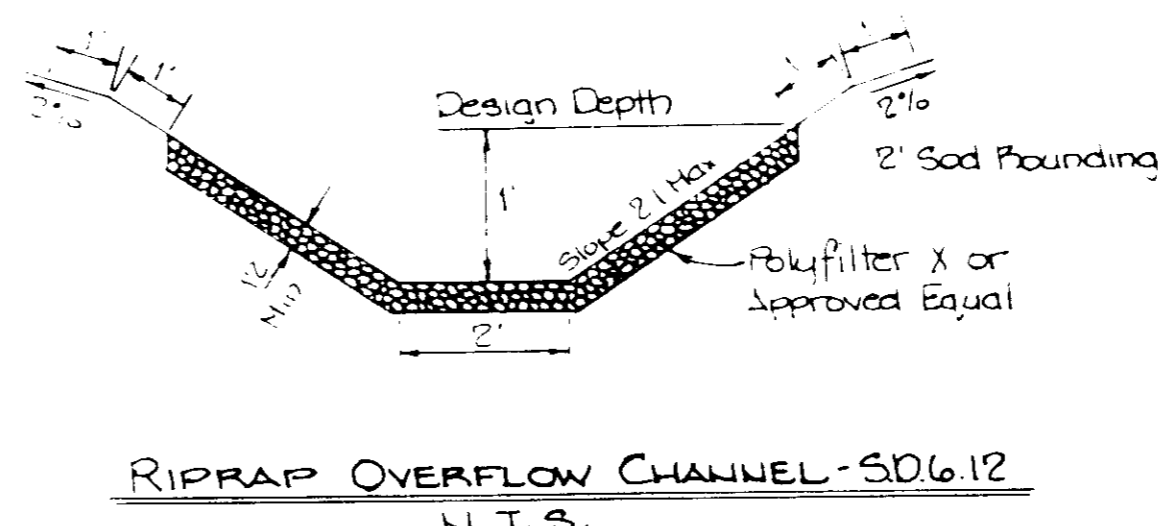
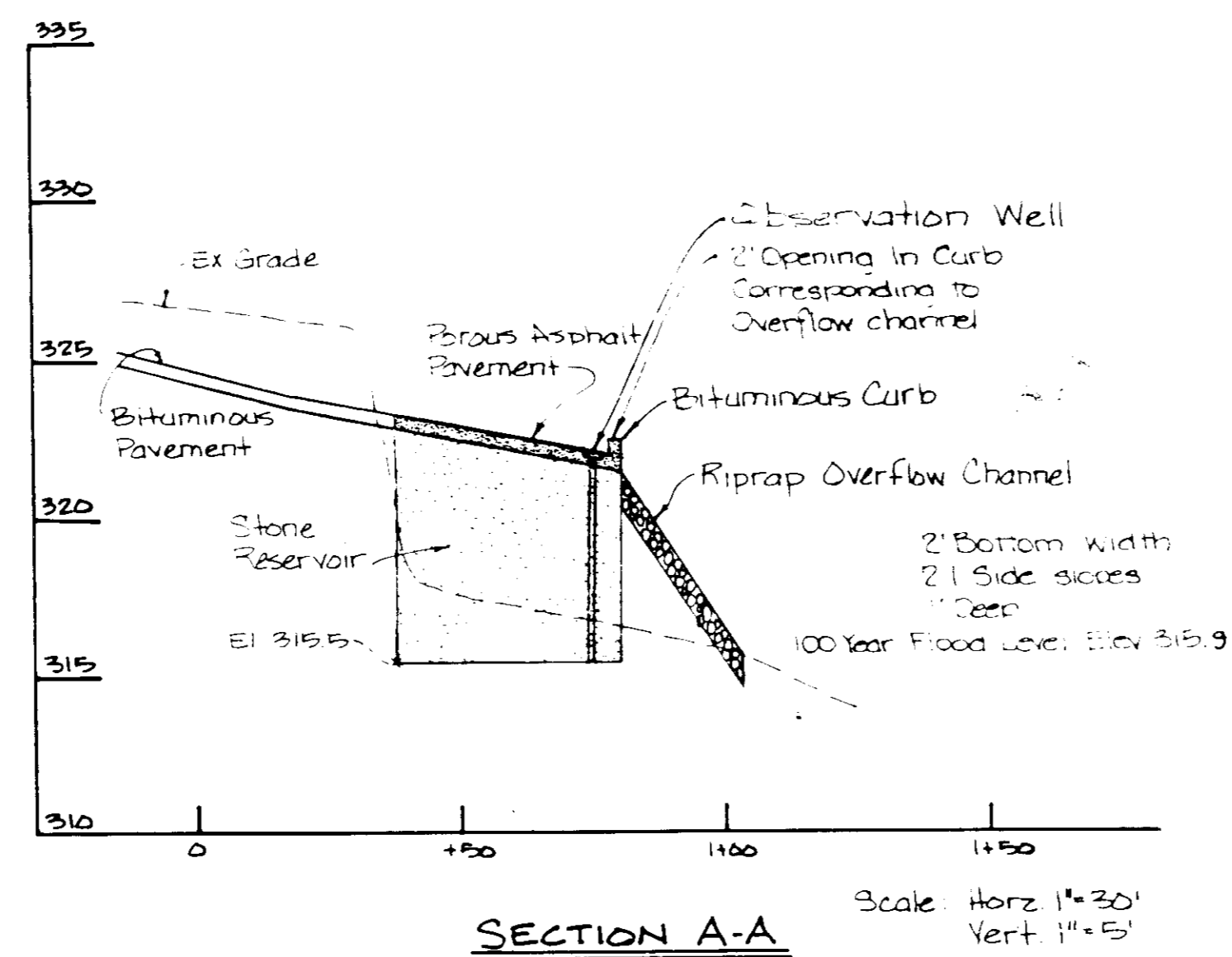
Sieve Sizes	Percent Passing by Weight
12.5 mm (1/2 in.)	27-100
9.5 mm (3/8 in.)	40-50
4.75 mm (No. 4)	25-35
2.36 mm (No. 8)	20-30
1.18 mm (No. 16)	2-10
0.075 mm (No. 200)	0-2

Protection

After final rolling, no vehicular traffic of any kind shall be permitted on the pavement until cooling and hardening has taken place, and in no case less than 6 hours (preferably a day or two).

Workmanship

- Work shall be done expertly throughout and without staining or damage to other permanent work.
- Make transition between existing and new paving work neat and flush.
- Finished paving shall be even, without pockets, and graded to elevations shown.
- Iron smoothly to grade, all minor surface projections and edges adjoining other materials.



EXISTING D.A. = 7.94 AC.
RCN = 70
Tc = 0.11 HRS.

DEVELOPED D.A. = 7.94 AC.
RCN = 72
Tc = 0.11 HRS.

--- Tc Flowpath

DRAINAGE AREA MAP
SCALE: 1"=200'

APPROVED
DIVISION OF LAND DEVELOPMENT &
ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
6-2-87
[Signature]

PROPERTY OWNER AND LESSOR
The Miller Land Company
665 Baltimore National Pike
Ellicott City, Md. 21043

PROPERTY OCCUPANT
The Chesapeake and Potomac
Telephone Company of Maryland
1 East Pratt Street
Baltimore, Md. 21202

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT <i>[Signature]</i> 7-31-87 COUNTY HEALTH OFFICER DATE
APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING <i>[Signature]</i> 8-3-87 DIRECTOR DATE
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE STORM DRAINAGE SYSTEMS AND PUBLIC WORKS HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS <i>[Signature]</i> 7-23-87 DIRECTOR DATE
CHIEF BUREAU OF ENGINEERING <i>[Signature]</i> 7-23-87 DATE

Reviewed for Howard Soil Conservation District and meets technical requirements.
[Signature] 7-23-87
U.S. Soil Conservation Service Date

This Development Plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.
[Signature] 7/23/87
Howard Soil Conservation District Date

ADDRESS CHART		SUBDIVISION NAME		SECT./AREA		LOT/PARCEL #	
PARCEL NO.	STREET ADDRESS	MILLER LAND COMPANY				D	
D	3525 S. CHEVROLET DRIVE	PLAT # ORL/F	BLOCK	ZONE	TAX ZONE	ELECT. DIST.	CENSUS
		18/22	11	R-20	24	2	6023.01
		WATER CODE		SEWER CODE			
		F07		1402800			

PURDUM & JESCHKE
CONSULTING ENGINEERS AND
LAND SURVEYORS
1029 North Calvert Street
Baltimore, Maryland 21202 (301)837-0194

DEVELOPER'S CERTIFICATION
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[Signature] 6/15/87

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[Signature] 6/15/87

CHESAPEAKE & POTOMAC TELEPHONE COMPANY OF MARYLAND
MILLER LAND CO. SUBDIVISION, PARCEL D
STORMWATER MANAGEMENT
PROFILES AND DETAILS
2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
TAX MAP NO. 24 PARCEL 1033
DATE: JULY 10, 1987 SCALE: AS SHOWN

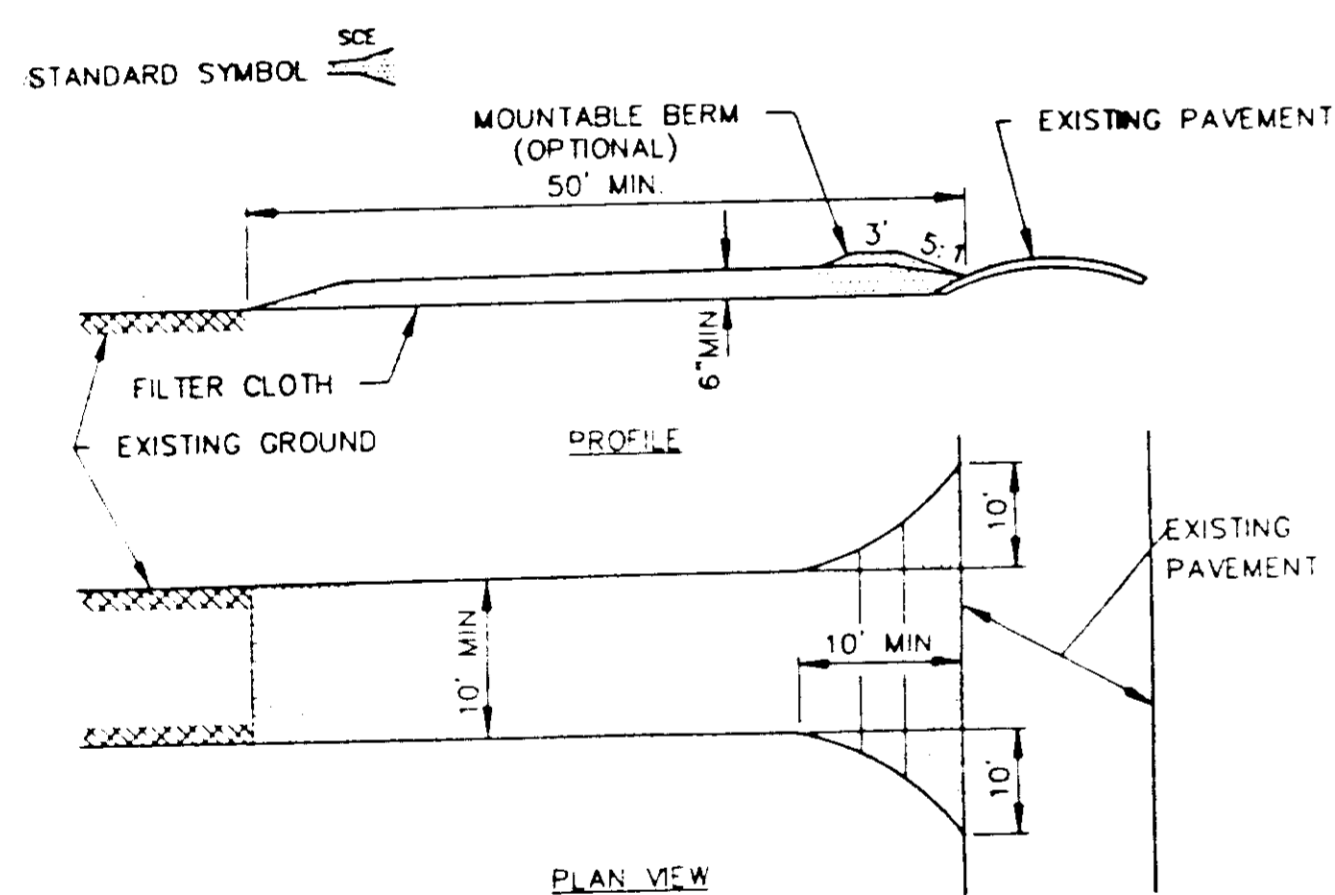
SHEET 4 OF 5
DES: JJK
DRAWN: PS
CHK: RHB

SEDIMENT CONTROL NOTES

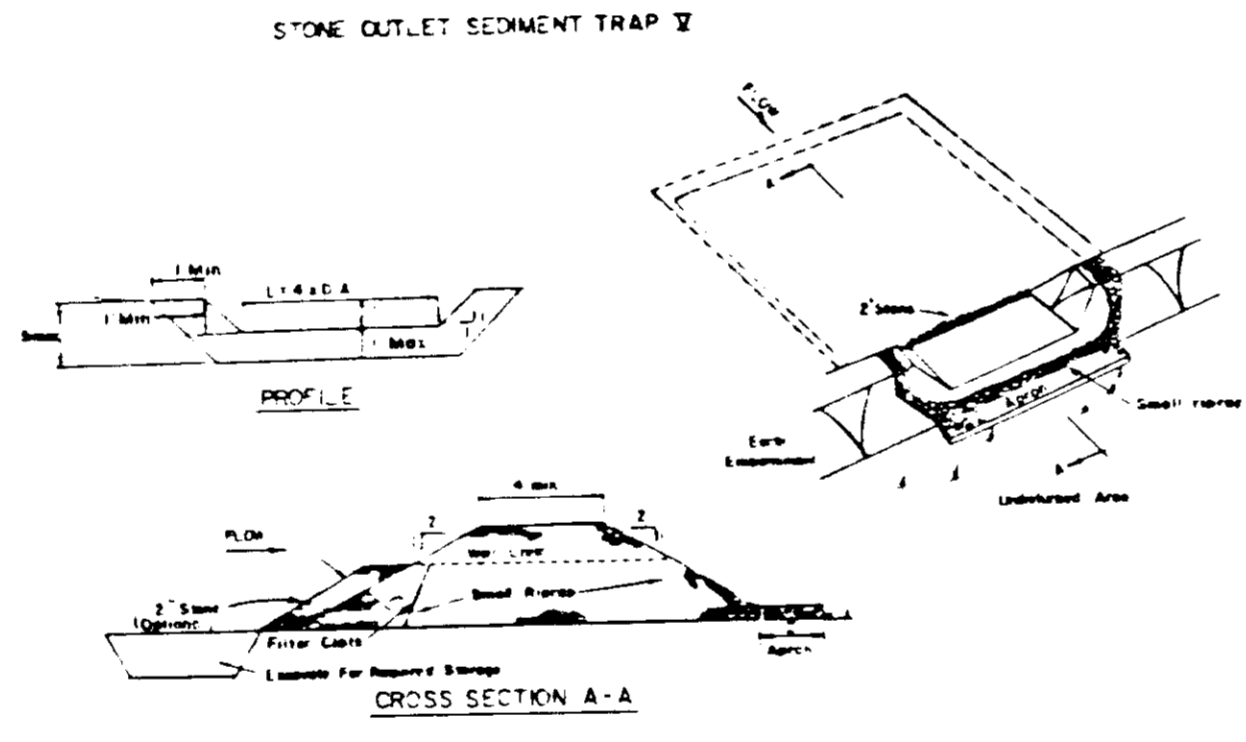
- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction (992-2437).
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance or redisturbance, permanent or temporary stabilization shall be completed within: (a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes, and all slopes greater than 3:1; (b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, Storm Drainage, of the HOWARD COUNTY DESIGN MANUAL.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding (Sec. 51), sod (Sec. 54), temporary seeding (Sec. 50), and mulching (Sec. 52). Temporary stabilization with mulch along can only be done when recommended seeding dates do not allow proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:

Total area of site	2.72 acres
Area disturbed	1.17 acres
Area to be roofed or paved	1.17 acres
Area to be vegetatively stabilized	N/A acres
Total cut	1207 cu.yds.
Total fill	809 cu.yds.
Office waste/borrow area location	N/A
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment controls must be provided, if deemed necessary by the Howard County DPW Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.

STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

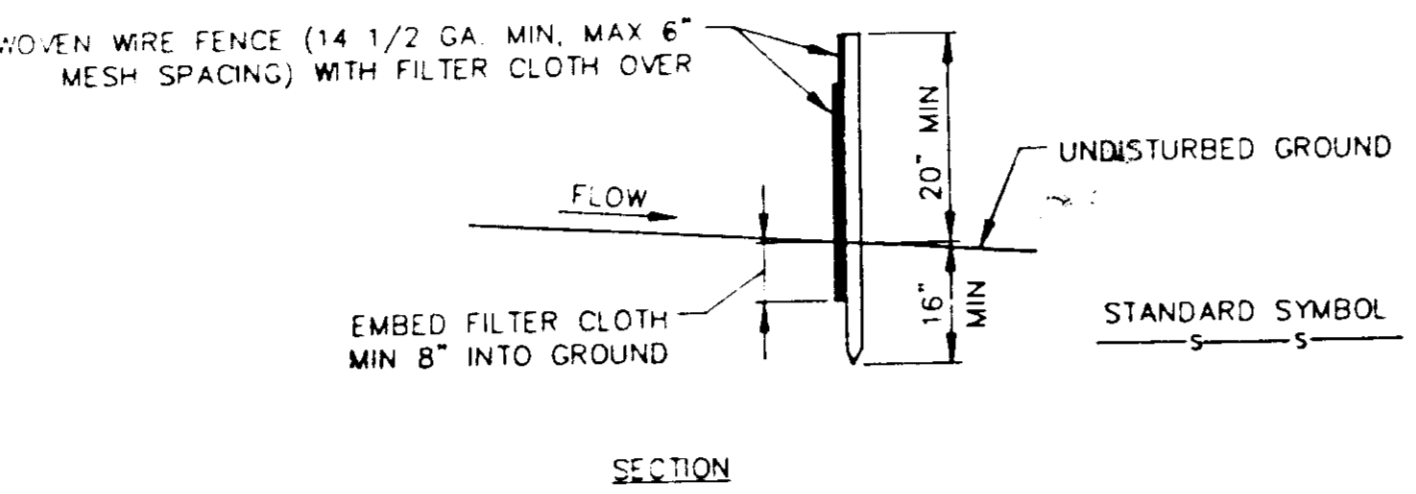
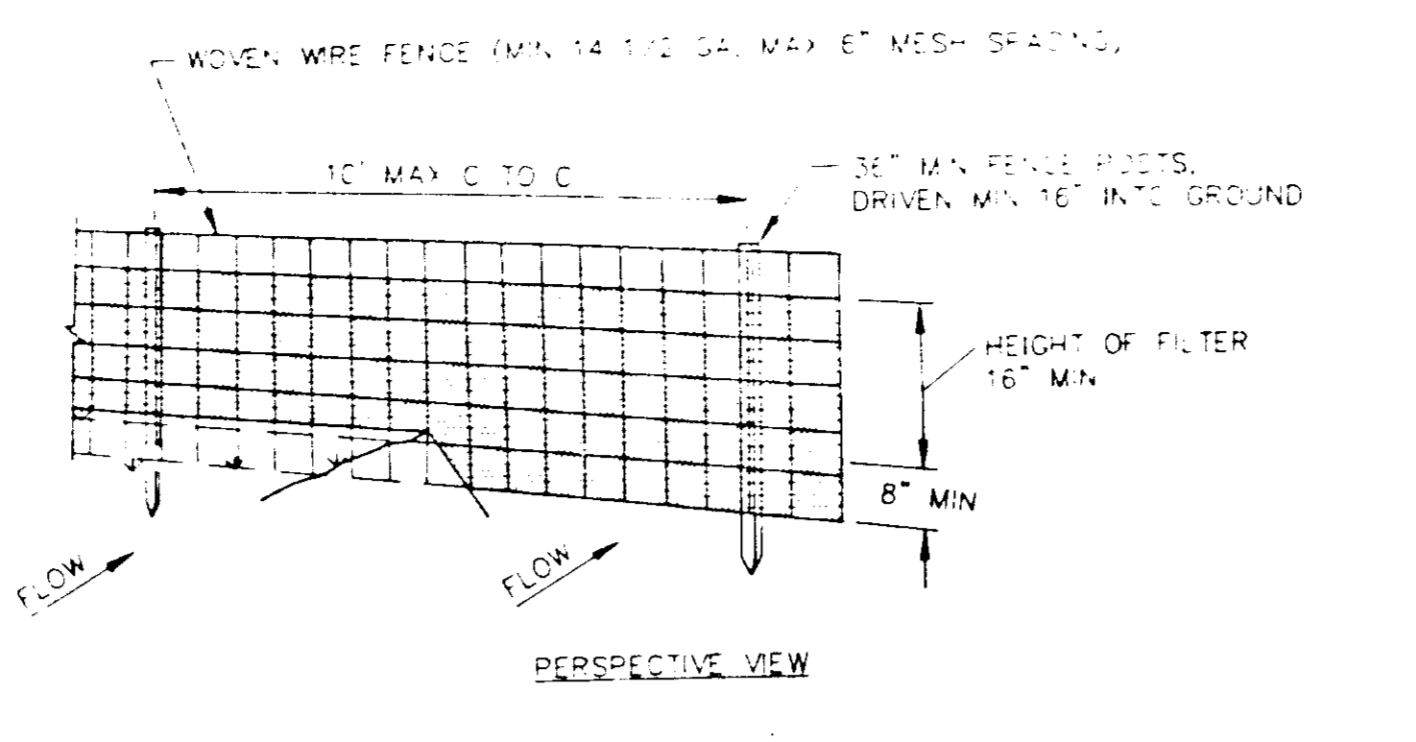


Stone size - Use 2" stone, or reclaimed or recycled concrete equivalent.
 Length - As required, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would apply).
 Thickness - Not less than (6) inches.
 Width - Ten (10) foot minimum, but not less than the full width at points where ingress or egress occurs.
 Filter Cloth - Will be placed over the entire area prior to placing of stone.
 Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted.
 Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way; this may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
 Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
 Periodic inspection and needed maintenance shall be provided after each rain.



- OPTION: A one foot layer of 2" stone may be placed on the upstream side of the riprap to place of the embedded filter cloth.
- CONSTRUCTION SPECIFICATIONS FOR ST-1**
- Area under embankment shall be cleared, grubbed and topped of any vegetation and root mat. The pool area shall be cleared.
 - The fill material for the embankment shall be free of roots and other woody vegetation as well as oversized stones, rocks, organic material, or other objectionable material. The embankment shall be compacted by traversing with equipment while it is being constructed.
 - All cut and fill slopes shall be 2:1 or flatter.
 - The stone used in the outlet shall be small riprap 4"-8" along with a 1" thickness of 2" aggregate placed on the upgrade side on the small riprap on embedded filter cloth in the riprap.
 - Sediment shall be removed and trap restored to its original dimensions when the sediment has accumulated to 1/2 the design depth of the trap.
 - The structure shall be inspected after each rain and repairs made as needed.
 - Construction operations shall be carried out in such a manner that erosion and water pollution is minimized.
 - The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.

Maximum Drainage Area: 5 Acres



CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

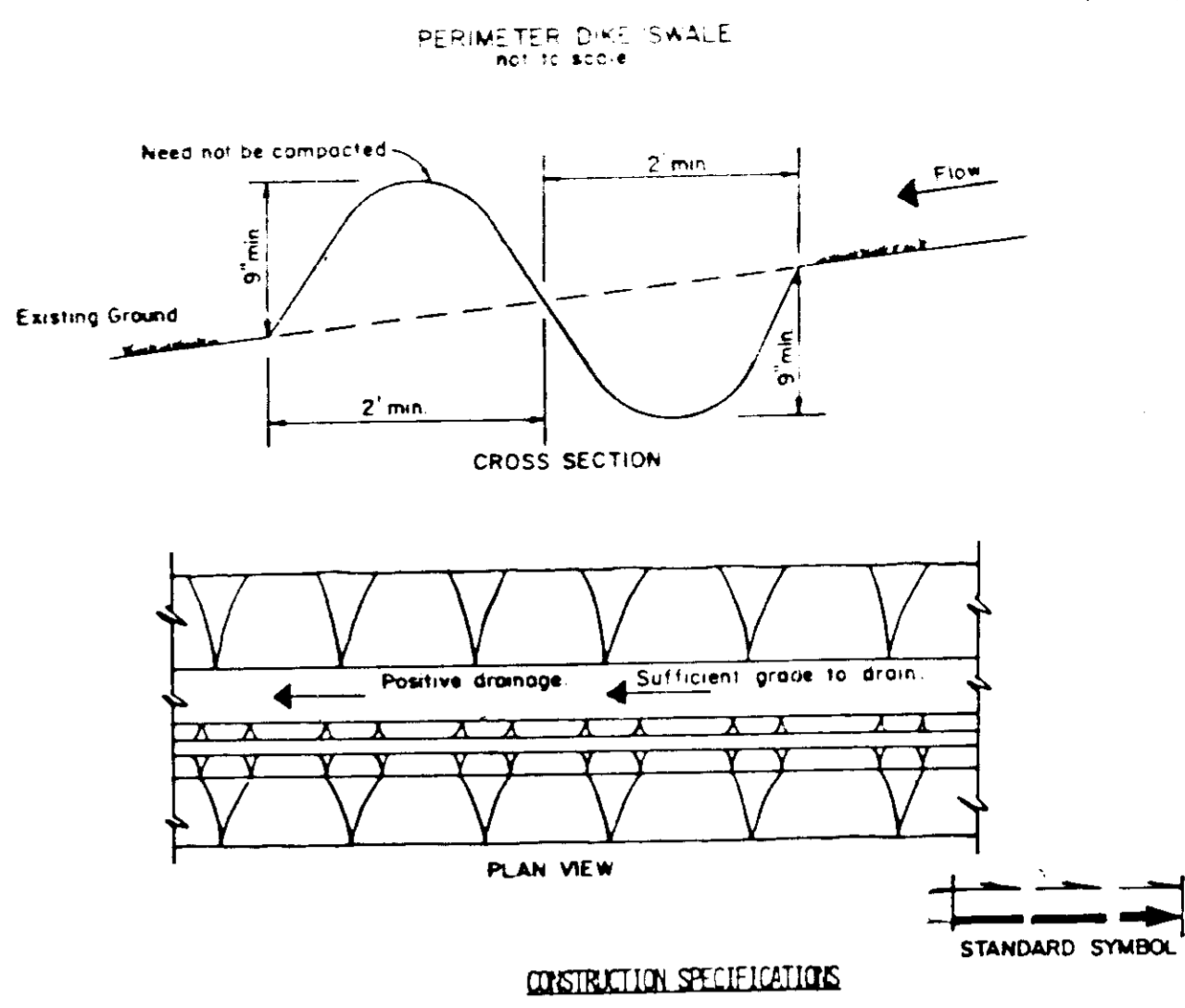
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
- POSTS: STEEL EITHER T OR U TYPE OR 2" HARDWOOD
- FENCE: WOVEN WIRE, 14 GA. 6" MAX MESH OPENING
- FILTER CLOTH: FILTER X, MIRAFI 100X, STABILINKA T140N OR APPROVED EQUAL
- PREFABRICATED UNIT: GEOFAB, ENVROFENCE, OR APPROVED EQUAL
- CONSTRUCTION NOTES:
 FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

PERMANENT SEEDING NOTES

- Apply to graded or cleared areas not subject to immediate further disturbance where a permanent, long-lived vegetative cover is needed.
- Seeded Preparation: Loosen upper 3 inches of soil by raking, discing, or other accepted means before seeding.
- Soil Amendments: Use on the following schedules:
- Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq.ft.) and 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (9 lbs./1000 sq.ft.)
 - Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq.ft.) and 1000 lbs. per acre 10-10-10 fertilizer (23 lbs./1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil.
- Seeding: For the periods March 1 thru April 30 and August 1 thru October 15, seed with 60 lbs. per acre (1.4 lbs./1000 sq.ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. of Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs./1000 sq.ft.) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option 1 - 2 tons per acre of well-anchored straw mulch, and seed as soon as possible in the spring. Option 2 - Use sod. Option 3 - Seed with 60 lbs. per acre Kentucky 31 Tall Fescue, and mulch with 2 tons per acre well-anchored straw.
- Mulching: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq.ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal./1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal./1000 sq.ft.) for anchoring.
- Maintenance: Inspect all seeded areas, and make needed repairs, replacements, and reseedings.

TEMPORARY SEEDING NOTES

- Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.
- Seeded Preparation: Loosen upper three inches of soil by raking, discing, or other accepted means before seeding.
- Soil Amendments: Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq.ft.)
- Seeding: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2 1/2 bushel per area of annual rye (3.2 lbs./1000 sq.ft.). For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (.07 lbs./1000 sq.ft.). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well-anchored straw mulch, and seed as soon as possible in the spring, or use sod.
- Mulching: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq.ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal./1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gal. per acre (8 gal./1000 sq.ft.) for anchoring.
- Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.



- All PERIMETER DIKE/SWALE SHALL HAVE UNINTERRUPTED POSITIVE GRADE TO AN OUTLET.
- DIVERTED RUNOFF FROM A DISTURBED AREA SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE.
- DIVERTED RUNOFF FROM AN UNDISTURBED AREA SHALL OUTLET INTO AN UNDISTURBED STABILIZED AREA AT NON-EROSION VELOCITY.
- THE SWALE SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE, AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED IN THE STANDARD.
- STABILIZATION OF THE AREA DISTURBED BY THE DIKE AND SWALE SHALL BE DONE IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SEED AND STRAW MULCH, AND SHALL BE DONE WITHIN 10 DAYS.
- PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.

CONSTRUCTION SEQUENCE

- Obtain grading permit.
- Designate contractor's staging and stockpile areas.
- Clear and grub for the installation of perimeter sediment controls and sediment trap.
- Remove existing 18" R.C.P. and 21" R.C.P.
- Install silt fence and earth dike.
- Construct sediment trap.
- Complete site clearing and grubbing.
- Complete site grading from access road to elevation 326.
- Construct bituminous pavement from access road to elevation 326.
- Excavate sediment trap to elevation 315.5.
- Construct sediment trap into infiltration stormwater management facility by filling with No. 2 stone.
- Construct porous asphalt pavement.
- Complete bituminous curbs and pavement.
- Reinstall all curbs and fine grade site.
- Plant site in accordance with landscaping plan.
- When site is stabilized, remove silt fence and stabilize disturbed areas.

6-2-87
 [Signature]

PROPERTY OWNER AND LESSOR
 The Miller Land Company
 665 Baltimore National Pike
 Ellicott City, Md. 21043

PROPERTY OCCUPANT
 The Chesapeake and Potomac Telephone Company of Maryland
 1 East Pratt Street
 Baltimore, Md. 21202

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICE
 [Signature] 7-31-87
 DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING
 [Signature] 8-3-87
 DATE

DIRECTOR: [Signature] 8-3-87
 CHIEF DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE
 STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 [Signature] 7-27-87
 DATE

DIRECTOR: [Signature] 7-27-87
 CHIEF BUREAU OF ENGINEERING

Reviewed for Howard Soil Conservation District and meets technical requirements.
 [Signature] 7-23-87
 U.S. Soil Conservation Service Date

This Development Plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.
 [Signature] 7/23/87
 Howard Soil Conservation District Date

SUBDIVISION NAME		SECT./AREA		LOT/PARCEL #	
MILLER LAND COMPANY		-		D	
PLAT # ORL/F	BLOCK	ZONE	TAX ZONE	ELECT. DIST.	CENSUS
18/22	11	R-20	24	2	6023.01
PARCEL NO.			STREET ADDRESS		
D			3525 S. CHEVROLET DRIVE		
WATER CODE			SEWER CODE		
F07			1402800		

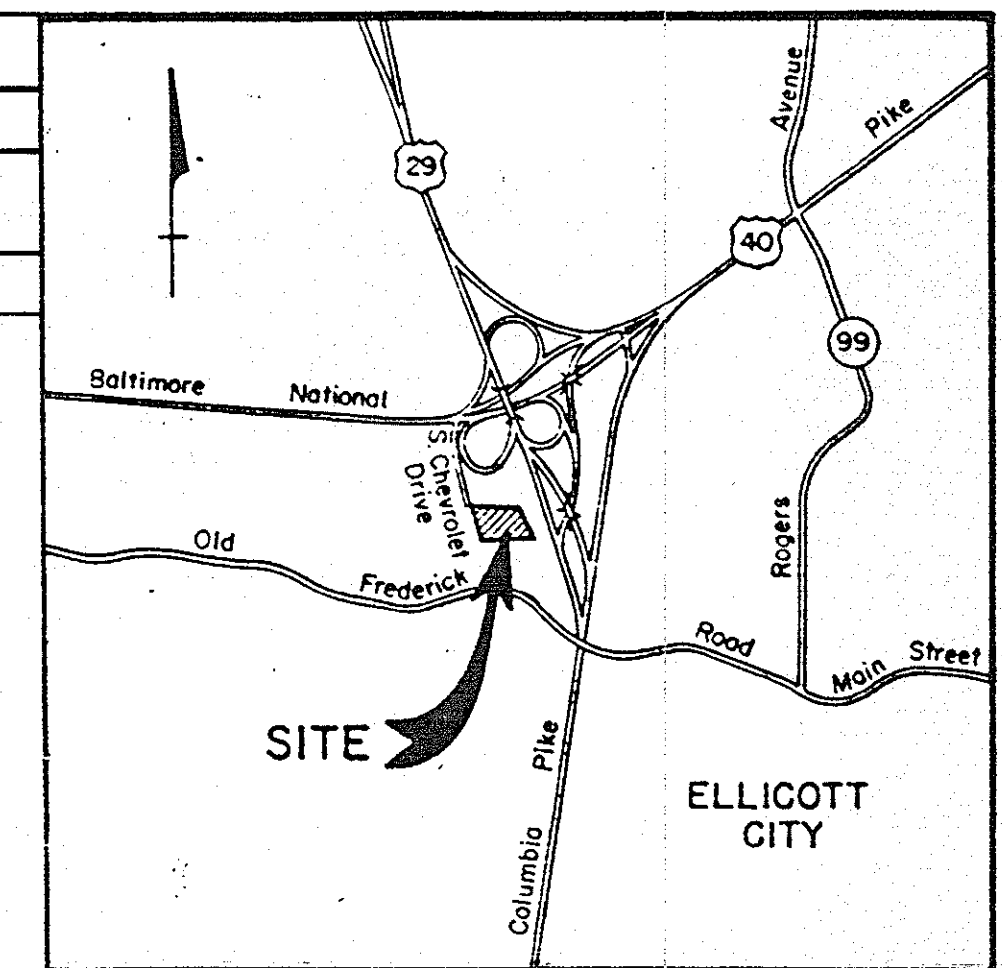
PURDUM & JESCHKE
 CONSULTING ENGINEERS AND LAND SURVEYORS
 1029 North Calvert Street
 Baltimore, Maryland 21202 (301)837-0194

DEVELOPER'S CERTIFICATION
 I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT THE DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF ANY SEDIMENT EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature] 6/15/87
 DATE

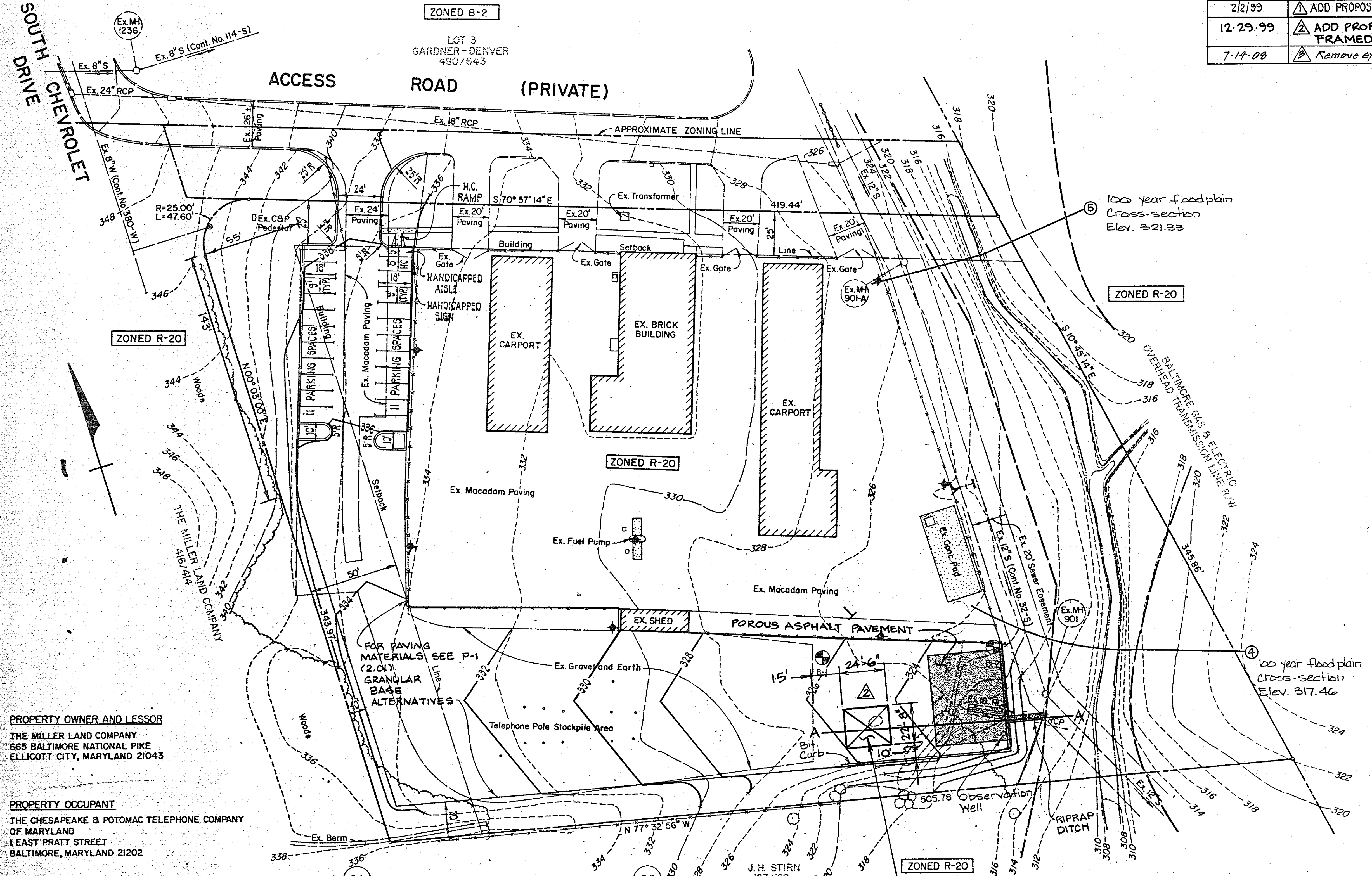
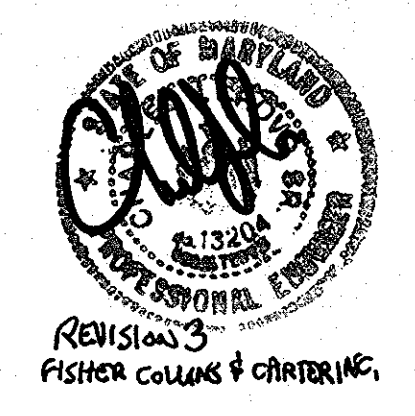
ENGINEER'S CERTIFICATION
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature] 6/15/87
 DATE

CHESAPEAKE & POTOMAC TELEPHONE COMPANY OF MARYLAND
 MILLER LAND CO. SUBDIVISION, PARCEL D
 SEDIMENT AND EROSION CONTROL DETAILS AND NOTES
 2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 TAX MAP NO. 24 PARCEL 1033
 DA E JULY 10, 1987 SCALE: 1"=30'

DATE	REVISION
2/2/99	ADD PROPOSED TRAILER BUILDING
12-29-99	ADD PROPOSED 2 STORY WOOD FRAMED TRAINING STRUCTURE
7-14-08	Remove ex. trailer & appurtenances.



VICINITY MAP
SCALE: 1" = 2000'



- GENERAL NOTES
- The location of existing utilities shown hereon are based on the latest available information. The contractor shall however, determine the exact location before doing any construction.
 - All work shown on these plans shall be constructed in accordance with the latest revision of Volume IV of the Howard County Design Manual "Standard Specification and Details for Construction."
 - All new paving on site shall be Howard County Standard #P-1.
 - The stormwater management site shall be paving with porous asphalt pavement as shown in the typical detail.
 - Construct Std. 7" bituminous curb for the limits shown (Std. Detail R-303).

PROPERTY OWNER AND LESSOR
THE MILLER LAND COMPANY
665 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21043

PROPERTY OCCUPANT
THE CHESAPEAKE & POTOMAC TELEPHONE COMPANY
OF MARYLAND
1 EAST PRATT STREET
BALTIMORE, MARYLAND 21202

SITE ANALYSIS

Area of Parcel: 3.72 Ac.±, 162,043 S.F.
Proposed Development: Parking lot and stockpile area.
Present Zoning: R-20
Building Floor Area: 2800 S.F.
Number of parking spaces required: 2800/200=14
Number of parking spaces provided: 22
Area of parking lot: 6,540 S.F.
Area and percentage of landscaped islands within parking lot:
338.5, 5.2%
Open Space to remain: 1.42 Ac.±, 38%

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
Joseph Boyle 7-31-87
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING
Unlabeled 8-3-87
DIRECTOR DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Unlabeled 7-27-87
DIRECTOR DATE

APPROVED: CHIEF BUREAU OF ENGINEERING
Unlabeled 7-27-87
DATE

BORING LOGS

Boring No.	Depth (ft)	Soil Description
B-1	0 - 3.0	Fill: Gray brown clayey silty sand/sandy clayey silt with roots, organics and quartz fragments.
	3.0 - 10.0	Green brown silty sand with weathered rock fragments; trace of mica (R)
	10.0 - 15.3	
B-2	0 - 2.0	Fill: Tan brown clayey silty sand; trace of organics
	2.0 - 5.0	Fill: Green brown silty sand and black asphalt; trace of roots
	5.0 - 7.0	Fill: Brown clayey silty sand and asphalt with quartz gravel
	7.0 - 10.0	Green brown silty sand with gravel
	10.0 - 13.0	Gray mottled with red sandy silty clay/clayey silty sand with rock fragments
13.0 - 15.0		
15.0 - 16.0	Green brown clayey silty sand with weathered rock fragments (R)	
16.0 - 20.0		

PROPOSED 2 STORY WOOD
FRAME TRAINING STRUCTURE
F.F. 326.92
UL 336.19

APPROVED
DIVISION OF LAND DEVELOPMENT &
ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE 6-2-87
Unlabeled

Reviewed for Howard Soil Conservation District and meets technical requirements.
James Mitchell 7-23-87
U.S. Soil Conservation Service Date

This Development Plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.
Stephen T. Gula 7-23-87
Howard Soil Conservation District Date

ADDRESS CHART

PARCEL NO.	STREET ADDRESS	WATER CODE	SEWER CODE
D	3525 S. CHEVROLET DRIVE	F07	1402800

PURDUM & JESCHKE
CONSULTING ENGINEERS AND
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Edgar A. Law 6/15/87
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Richard H. Berish 6/15/87
DATE

CHESAPEAKE & POTOMAC TELEPHONE COMPANY
OF MARYLAND
MILLER LAND CO. SUBDIVISION, PARCEL D
SITE PLAN
2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
TAX MAP NO. 24 PARCEL 1033
DATE: JULY 10, 1987 SCALE: 1" = 30'

SHEET 1 OF 5
DES: JJK
DRAWN: ARW
CHK: RHB