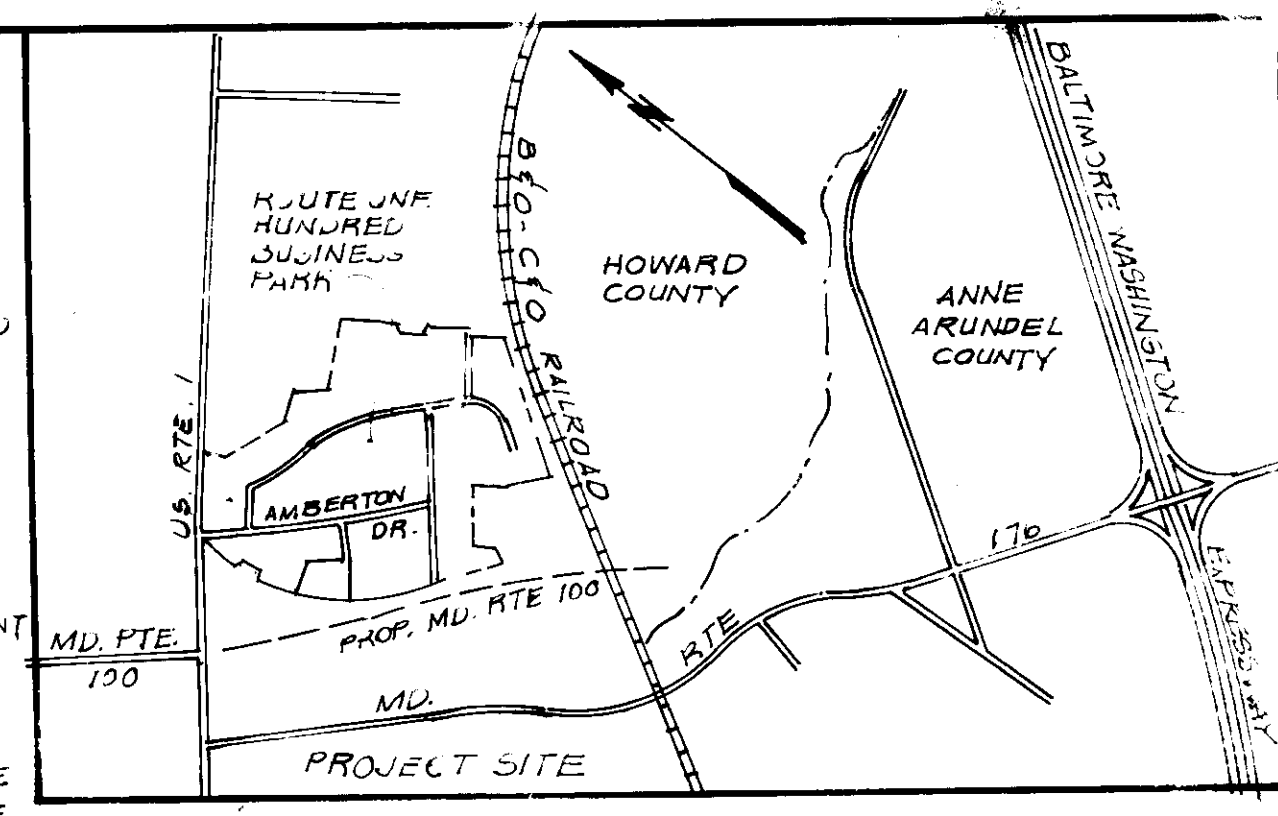


- ### SITE ANALYSIS
1. AREA OF SITE: 256,321 S.F. = 5.886 AC.
  2. EXIST. ZONING: "M2"
  3. FLOOR SPACE: EXIST. 7,608 S.F., PROP. 25,714 S.F.  
TOTAL = 37,322 S.F.
  4. OPEN SPACE: 34% OF TOTAL SITE
  5. GREEN AREA: 2.02 AC.
  6. NUMBER OF EMPLOYEES: 112 + 44 EST. = 156
  7. REQUIRED PARKING:
    - A. EXIST. OFFICE: 10741 (50EMP @ 7/10EMP) = 35
    - B. EXIST. WAREHOUSE: 52990 (2EMP @ 1/2EMP) = 31
    - C. EXIST. MANUFACTURE: 7,877 (0.6EMP @ 7/10EMP) = 6
    - D. PROP. OFFICE: (15%) = 3,857 (1EMP @ 7/10EMP) = 13
    - E. PROP. WAREHOUSE (85%) = 21,857 (2EMP @ 1/2EMP) = 13
    - F. TOTAL PARKING SPACES REQ'D: 82 + 26 = 108
  8. TOTAL PARKING SPACES PROVIDED: 109 (INCL. 7 H.C.)
  9. PARKING LOT AREA = 20,034 + 6110 = 26,144 S.F.
  10. LANDSCAPED ISLAND AREA = 1,368 S.F.  
5.23% OF PARKING LOT AREA
  11. BUILDING COVERAGE OF SITE = 37,322 S.F. AND 38.10%

**NOTE**  
THE OWNER SHALL PROVIDE A SEPARATE AND INDEPENDENT SEWER CONNECTION FOR EACH TENANT OR OCCUPANT OF ANY BUILDING SHOWN ON THIS SITE DEVELOPMENT PLAN, WHO WILL DISCHARGE NON-DOMESTIC WASTE TO THE PUBLIC SEWERAGE SYSTEM IF THIS WASTE IS REGULATED UNDER SECTION 18-22A OF THE HOWARD COUNTY CODE. EACH SEPARATE AND INDEPENDENT SEWER CONNECTION SHALL INCLUDE A STANDARD MANHOLE AND OTHER WASTE PRETREATMENT DEVICES AS REQUIRED AND APPROVED BY HOWARD COUNTY. WASTE LINES ON THE INTERIOR OF THE BUILDING SHALL BE DESIGNED, CONSTRUCTED OR MODIFIED SUCH THAT NON-DOMESTIC WASTE WILL BE DISCHARGED TO THE SEPARATE AND INDEPENDENT SEWER CONNECTION. NO TENANT OR OCCUPANT OF ANY BUILDING SHOWN ON THIS SITE DEVELOPMENT PLAN SHALL DISCHARGE REGULATED NON-DOMESTIC WASTE TO THE PUBLIC SEWERAGE SYSTEM PRIOR TO INSTALLATION OF THE SEPARATE AND INDEPENDENT SEWER CONNECTION AND RELATED INTERIOR WASTE LINES. THE ABOVE REQUIREMENTS SHALL APPLY TO ALL INITIAL AND FUTURE OCCUPANTS OR TENANTS.



**VICINITY MAP**  
SCALE: 1" = 2000'

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

*James M. [Signature]* 9-10-87  
DIRECTOR DATE

*[Signature]* 9-16-87  
CHIEF BUREAU OF ENGINEERING DATE

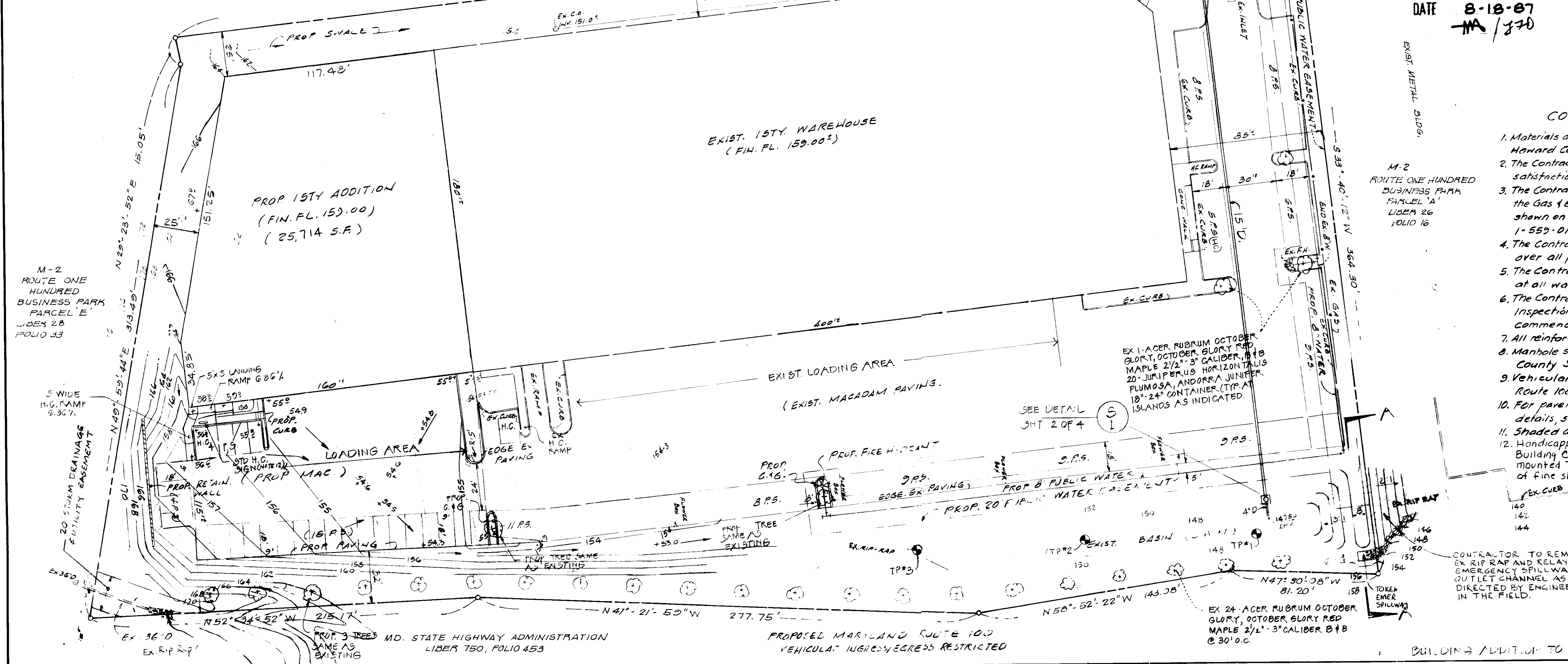
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT

*[Signature]* 9-22-87  
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING

*[Signature]* 9-23-87  
DIRECTOR DATE

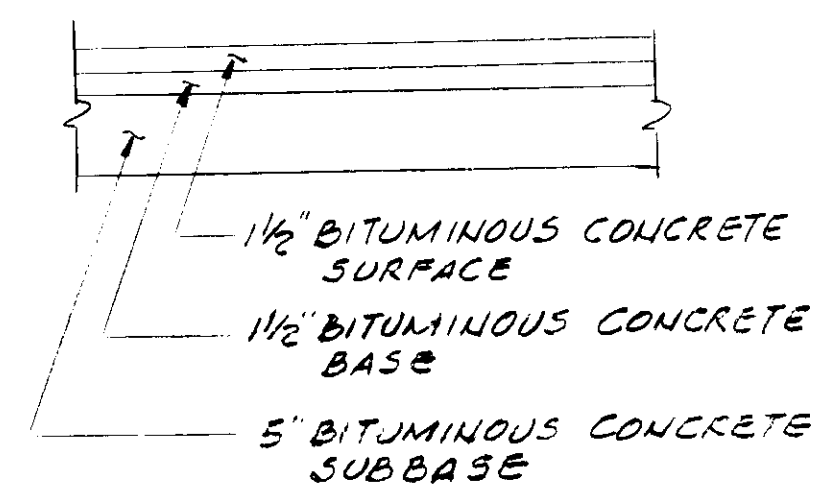
*[Signature]* 9-23-87  
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE



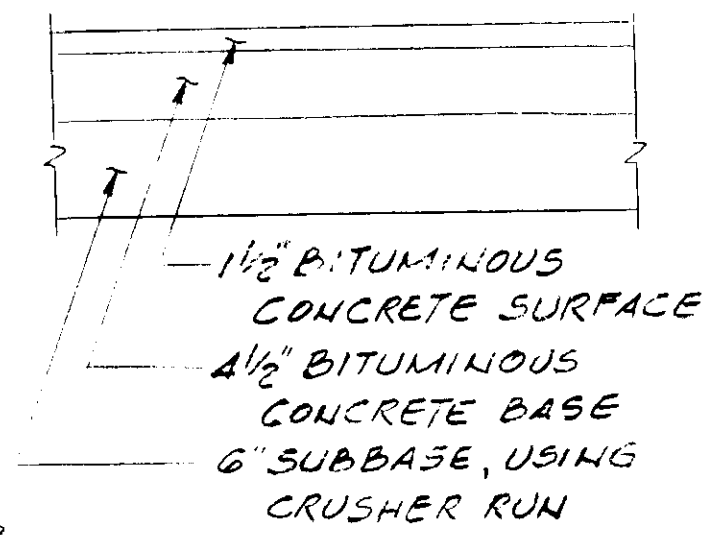
- ### CONSTRUCTION NOTES
1. Materials and construction shall be in accordance with the Howard County Road Construction Code.
  2. The Contractor shall verify all existing utilities to his own satisfaction before starting construction.
  3. The Contractor shall notify the G.P. Telephone Company and the Gas & Electric Company five days prior to starting work shown on these plans by calling "Miss Utility" call collect 1-559-0100.
  4. The Contractor shall maintain a minimum of 3.5' cover over all proposed water lines.
  5. The Contractor shall maintain a minimum of 1.0' clearance at all water, sewer and storm drain crossings.
  6. The Contractor or Developer shall contact the Construction Inspection/Survey Division 24 hours in advance of commencement of work at 992-2417 or 992-2416.
  7. All reinforced concrete pipe shall be Class II.
  8. Manhole shall be precast in accordance with Howard County Standard G-511.
  9. Vehicular ingress/egress along adjoining Mar. land Route 100 shall be restricted.
  10. For pavement, curb, utility profiles and miscellaneous details, see Dwg. #2.
  11. Shaded area denotes pavement.
  12. Handicapped parking sign shall conform to Maryland Building Code for the handicapped, bottom edge of sign mounted 7'-6" min. above grade. Additional sign displaying amount of fine shall be mounted no lower than 7'-0" above grade.

ADDRESS CHART	
LOT NO.	STREET ADDRESS
D-2	6630 AMBERTON DRIVE

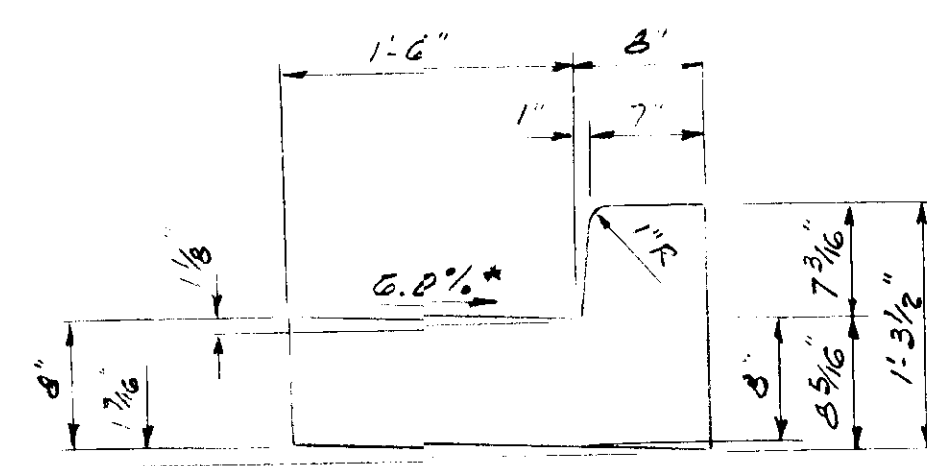
Drafting	DATE	REVISIONS	OWNER:	ENGINEER:	SUBDIVISION NAME:	SECT. TARE:	DATE	JOB NUMBER
Check	3-22-88	REV. Prop. Addition Bldg. Area, Setback and Site Analysis	AMBERTON BUREAU LIMITED PARTNERSHIP 34 S. W. 100 ROAD TOWSON, MARYLAND 21093	PAUL LEE ENGINEERING, INC 304 W. PENNSYLVANIA AVENUE TOWSON, MD. 21204-TEL. 841-5941	ROUTE 100 BUSINESS PARK BLK. "D"	LOT 10	DEC. 3, 86	86-029
Design							SCALE 1" = 30'	
Check							ROUTE ONE HUNDRED BUSINESS PARK 6630 AMBERTON DRIVE ADDITION 1ST FLOOR DIST.	SDP-87-104



PAVEMENT SECTION  
NO SCALE

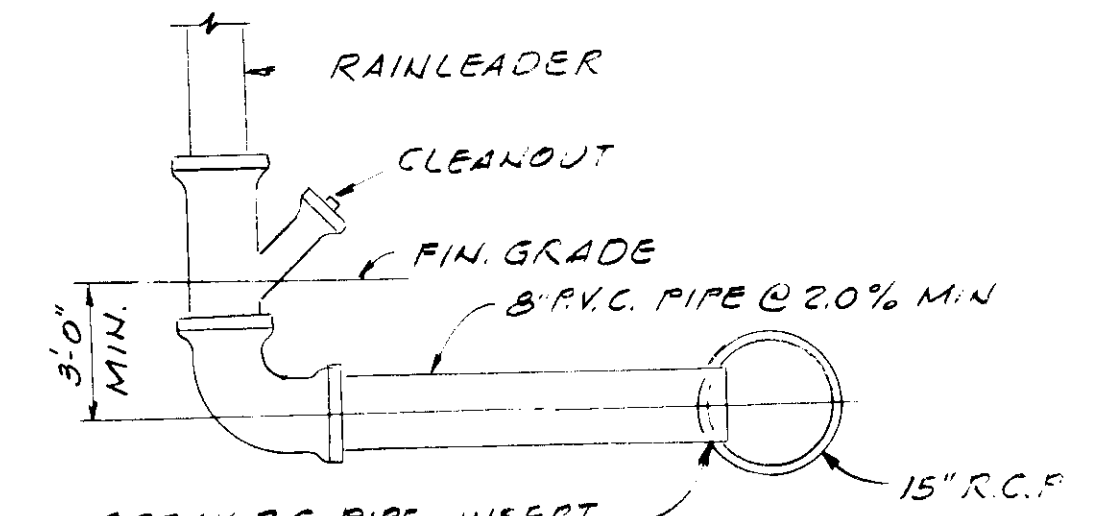


PAVEMENT SECTION  
(ALTERNATE)  
NO SCALE

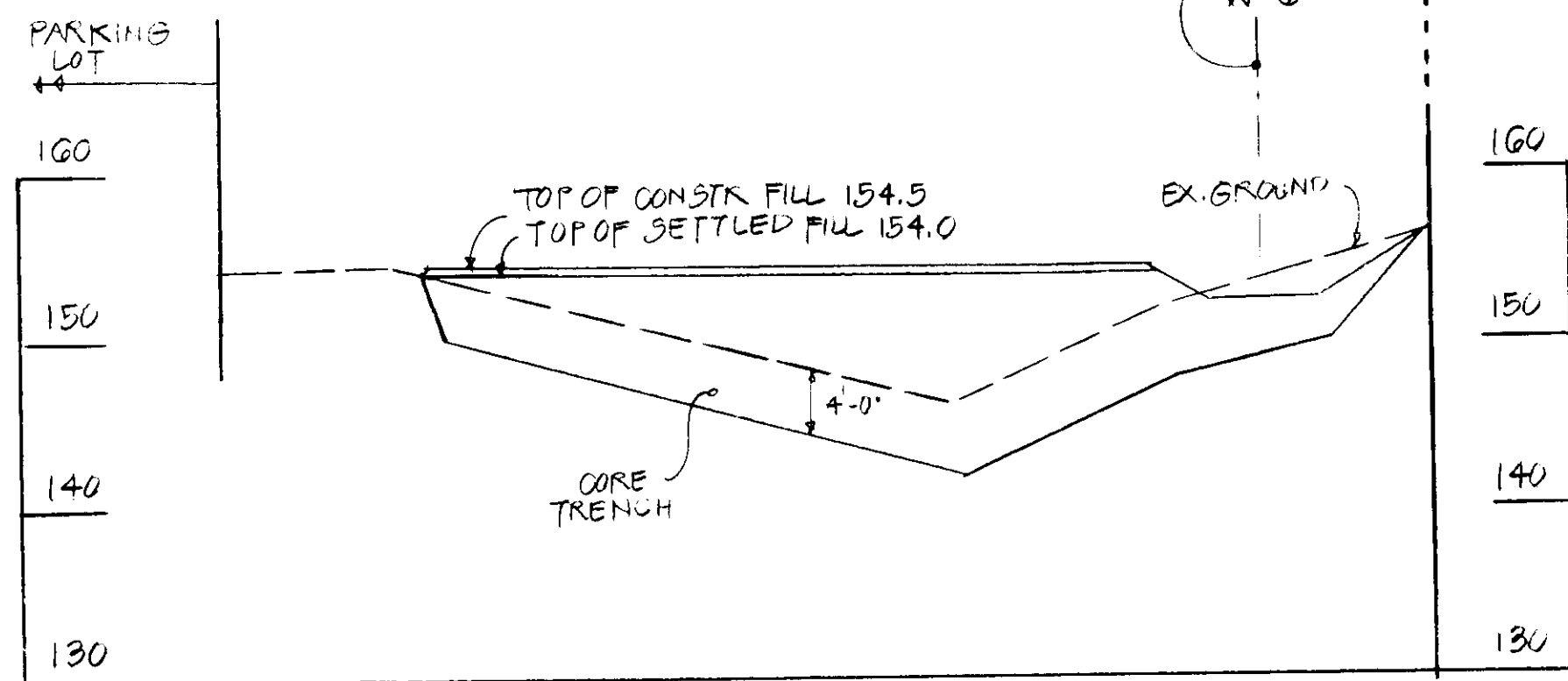


COMBINATION CURB & GUTTER  
SCALE: 1"=1'-0"

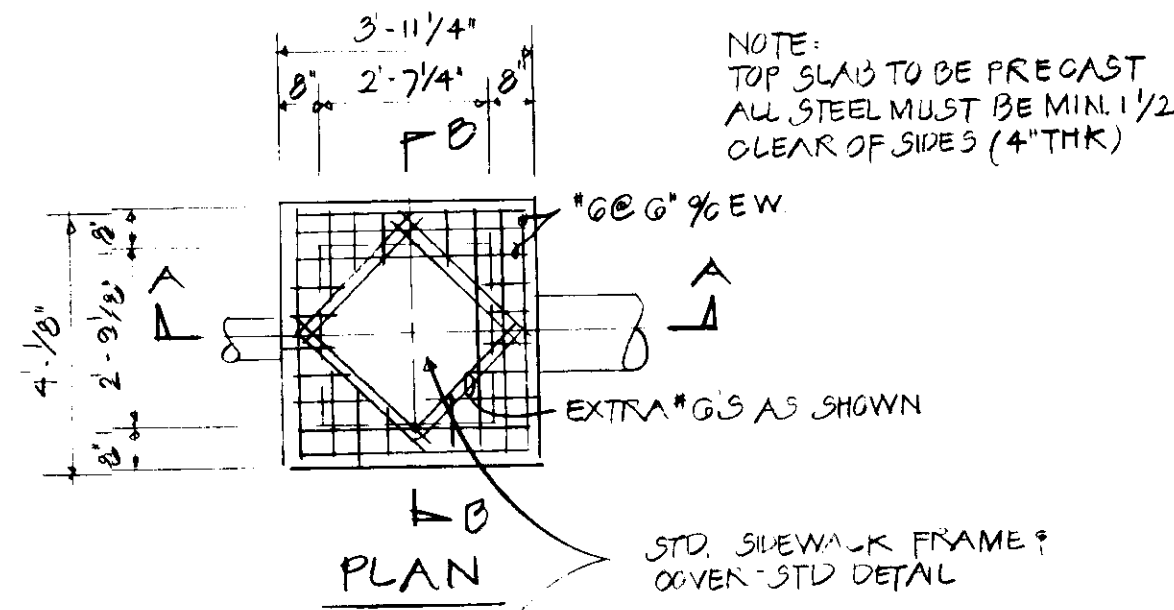
\* SLOPE AT THE SAME RATE AND IN THE SAME DIRECTION AS THE PAVEMENT ON THE HIGH SIDE OF SUPERELEVATED SECTIONS.



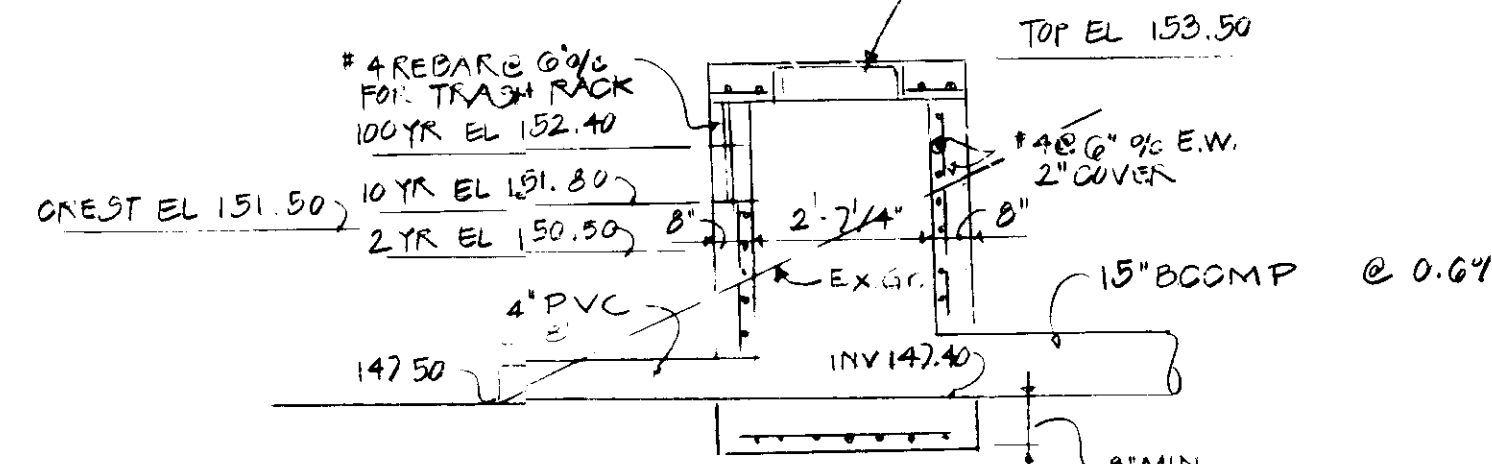
BREAK R.C. PIPE, INSERT R.V.C. PIPE 1" INTO R.C.P. & PATCH WITH MASONRY MORTAR  
TYPICAL RAINLEADER DETAIL  
NO SCALE



SECTION 'A-A'  
SCALE: 1"=10' HORIZ., 1"=10' VERT.

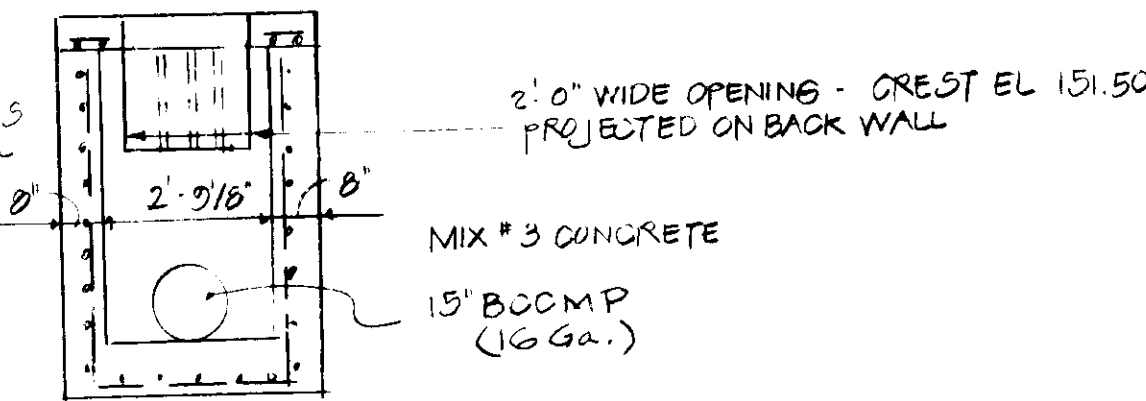


PLAN  
STD. SIDEWALK FRAME OVER STD. DETAIL



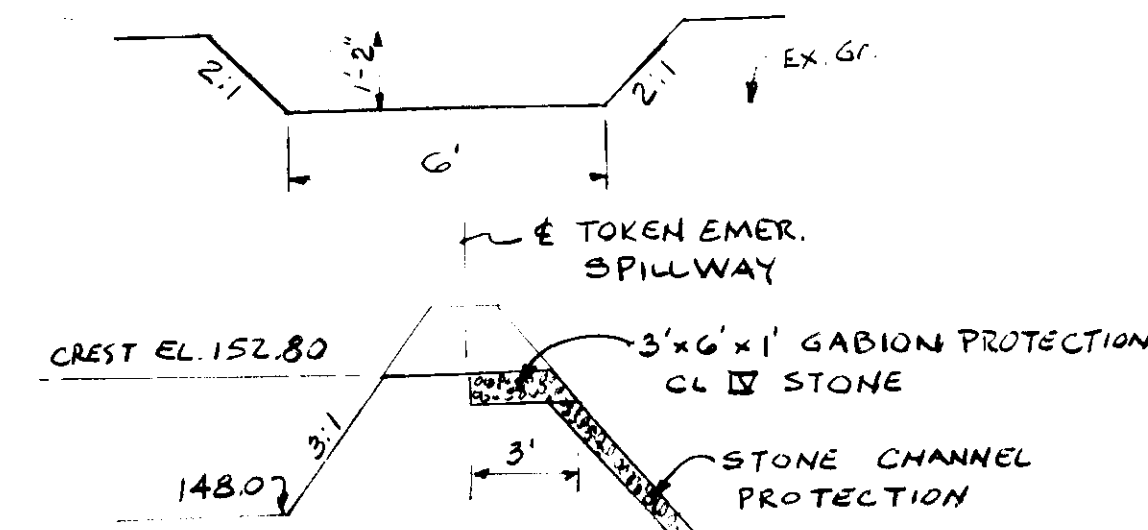
SECTION A-A

NOTE: OTHER THAN MODIFICATIONS AS SHOWN, THE INLET SHALL BE CONSTRUCTED IN ACCORDANCE WITH STD. DETAIL

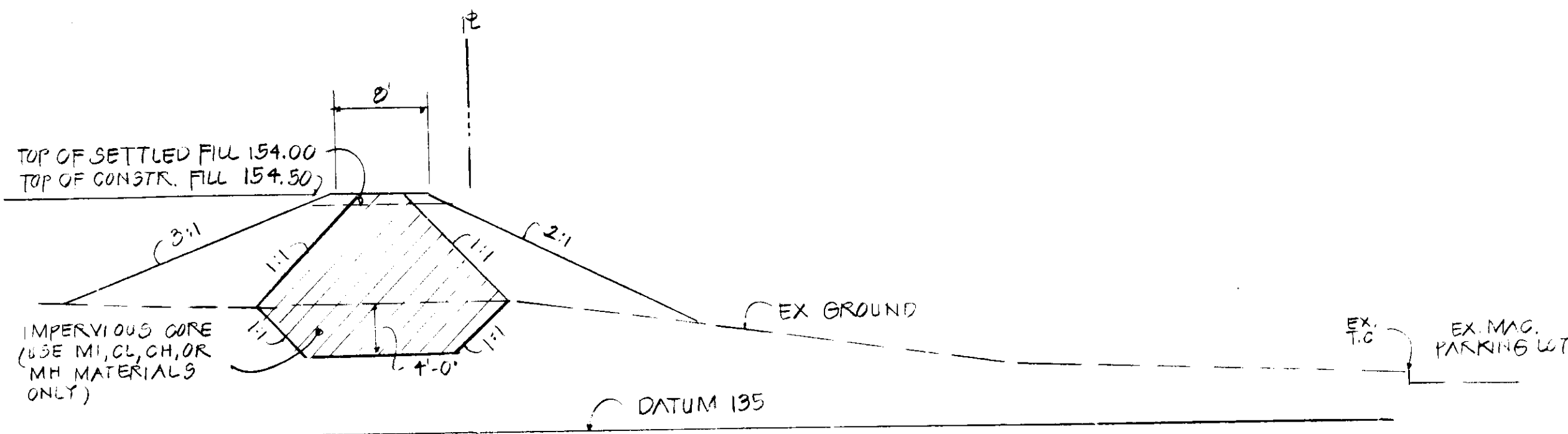


SECTION B-B

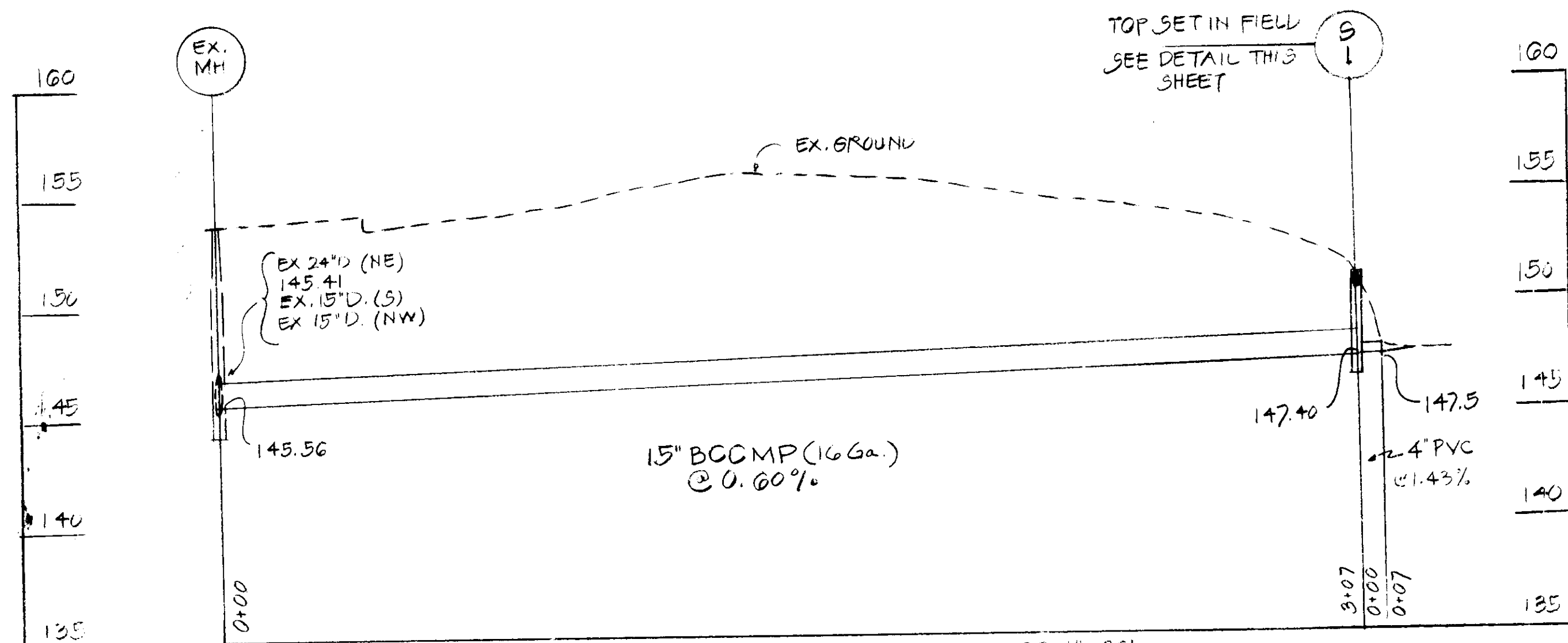
MODIFIED SINGLE WR INLET DETAIL  
NO SCALE



TOKEN EMERGENCY SPILLWAY DETAILS  
NO SCALE



SECTION THRU RE-CONSTRUCTED EMBANKMENT  
SCALE: 1"=10' HORIZ., 1"=10' VERT.



STORM DRAIN PROFILE SCALE: HORIZ. 1"=30', VERT. 1"=10'

APPROVED: FOR PUBLIC WATER, AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

DIRECTOR DATE

7-16-87  
CHIEF, BUREAU OF ENGINEERING DATE

APPROVED: FOR PUBLIC WATER SYSTEM PUBLIC SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT

9-22-87  
COUNTY HEALTH DEPT. DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING

DIRECTOR DATE

9-23-87  
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE

OWNER: AMBERTON O'BRECHT LIMITED PARTNERSHIP 2475 DEERCO ROAD BALTIMORE, MARYLAND 21093 PHONE: 561-5858

PROJECT: ROUTE ONE HUNDRED BUSINESS PARK BLOCK B PARCEL D-2 HOWARD COUNTY, MARYLAND 1ST ELECTION DIST.

SITE PLAN DETAILS

PAUL LEE ENGINEERING, INC. 304 W. PENNSYLVANIA AVENUE TOWSON, MARYLAND 21204 PHONE: 821-5941

SCALE: AS NOTED DATE: NOV. '86 DWG. NO. 2 OF 4

SDP-87-104

APPROVED  
DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION  
HOWARD COUNTY  
DATE 8-18-87  
MS (JTD)

BUILDING ADDITION TO SDP-86-128

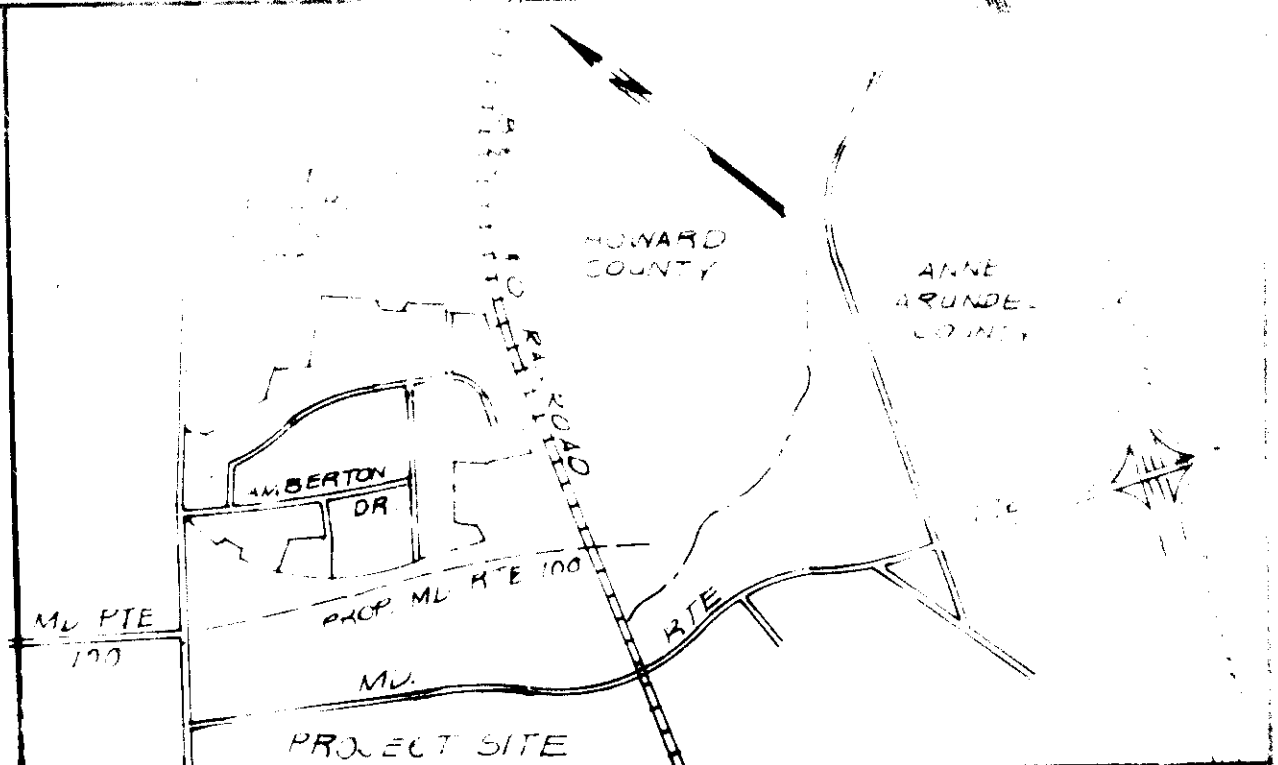


**SEQUENCE OF OPERATIONS**

1. NOTIFY HOWARD CO. DEPT. OF PERMITS AND LICENSES SEDIMENT CONTROL DIVISION, AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
2. CLEAR AND GRUB FOR SEDIMENT & EROSION CONTROL MEASURES OR DEVICES ONLY.
3. INSTALL ALL SEDIMENT & EROSION CONTROL MEASURES AND DEVICES, REBUILD EX. SWM STRUCTURE EMBANKMENT, INSTALL STONE DRAIN OUTFALL, 5:1 Dewatering Device.
3. INSTALL ALL SEDIMENT & EROSION CONTROL MEASURES AND DEVICES.
4. NOTIFY HOWARD CO. DEPT. OF PERMITS AND LICENSES, SEDIMENT CONTROL DIVISION, UPON COMPLETION OF SAID INSTALLATION.
5. WITH THE APPROVAL OF HOWARD CO. DEPT. OF PERMITS & LICENSES AND THE SEDIMENT CONTROL INSPECTOR, CLEAR AND GRUB REMAINDER OF SITE.
6. ROUGH GRADE SITE.
7. BUILDING CONSTRUCTION PHASE.
8. FINE GRADE & STABILIZE ALL AREAS DISTURBED BY CONSTRUCTION.
9. WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED BY PAVING BUILDINGS & WALK, OR BY METHODS PRESCRIBED IN "STANDARDS & SPECIFICATIONS FOR EROSION & SEDIMENT CONTROL IN DEVELOPING AREAS" ALL TEMPORARY SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITH PERMISSION OF SEDIMENT CONTROL INSPECTOR. STABILIZE ALL REMAINING AREAS AFTER SEDIMENT CONTROL MEASURES ARE REMOVED.

**LEGEND**

- - - - - 150 - - - - - EXIST. CONTOUR
- - - - - 150 - - - - - PROPOSED CONTOUR
- ===== LIMIT OF DISTURBANCE
- ===== STRAW BALE DIKE
- ===== EARTH DIKE
- ===== STONE BERM



SEDIMENT CONTROL & POND CONSTRUCTION

**VICINITY MAP**  
SCALE: 1" = 200'

By the Developer:

"I/We certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project. I will provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District."

Tam F. Olt 8/25/87  
Signature of Developer Date  
Print name below signature

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.

Robert Zichner 9-15-87  
U.S. Soil Conservation Service Date

These plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.

Robert Zichner 9-15-87  
Howard Soil Conservation District Date

By the Engineer:

"I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he must provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion."

Paul Lee Aug 24, 1987  
Signature of Engineer Date  
Print name below signature

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

James J. Lee 9/16/87  
DIRECTOR DATE

James J. Lee 9-16-87  
CHIEF BUREAU OF ENGINEERING DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT

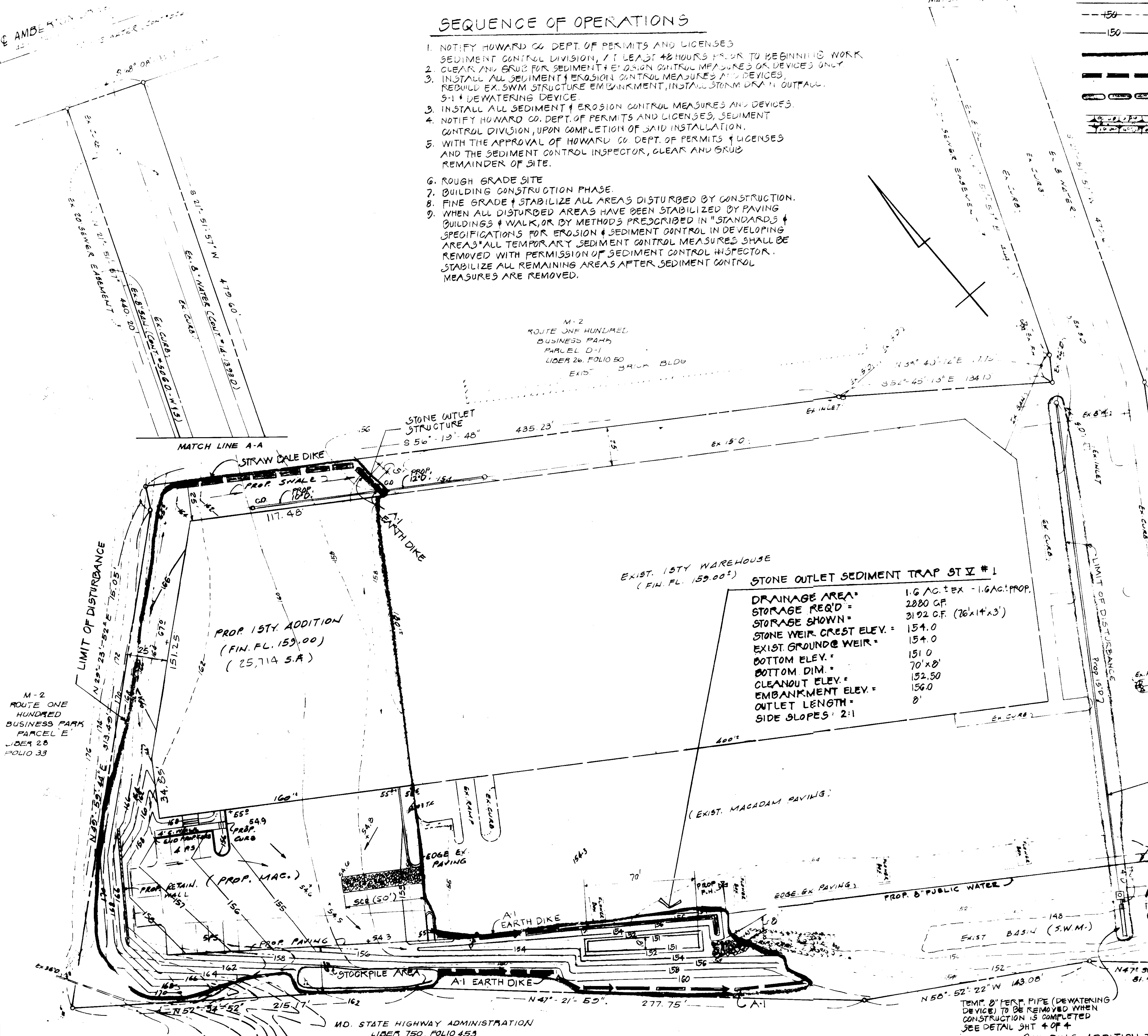
James J. Lee 9-22-87  
COUNTY HEALTH OFFICER DATE

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING

Donald Small 9-23-87  
Acting DIRECTOR DATE

James J. Lee 9-23-87  
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE

APPROVED  
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE 8-18-87



**STONE OUTLET SEDIMENT TRAP ST V #1**

DRAINAGE AREA*	1.6 AC. ± EX - 1.6 AC. ± PROP.
STORAGE REQ'D*	2880 CF.
STORAGE SHOWN*	3192 CF. (76'x14'x3')
STONE WEIR CREST ELEV. =	154.0
EXIST. GROUND @ WEIR =	154.0
BOTTOM ELEV. =	151.0
BOTTOM DIM. =	70'x8'
CLEANOUT ELEV. =	152.50
EMBANKMENT ELEV. =	156.0
OUTLET LENGTH =	0'
SIDE SLOPES =	2:1

NOTE:  
CONTRACTOR SHALL DISTURB ONLY THAT LENGTH OF TRENCH THAT CAN BE STABILIZED AT THE END OF EACH WORKING DAY SO AS TO PREVENT SEDIMENT AND WATER FROM ENTERING TRENCH EXCAVATION.

**SITE ANALYSIS**

CUT: 4580 C.Y.  
FILL: 211 C.Y.  
AREA OF DISTURBANCE: 60,000 S.F. ±  
EXCESS CUT (4369 C.Y.) TO BE HAULED TO AN APPROVED SEDIMENT SITE.

Drafting	DATE	REVISIONS
H.J.	8-22-87	REV. Prop. Addition Bldg. Area and setback
Check P.L.		
Design P.L.		
Check P.L.		

**OWNER:**  
AMBERTON OBRECHT LIMITED PARTNERSHIP  
9475 DEBERCO ROAD  
TIMONIUM, MARYLAND 21093 - TEL. 561-5858

**ENGINEER:**  
PAUL LEE ENGINEERING, INC.  
304 W. PENNSYLVANIA AVENUE  
TOWSON, MD. 21286 - TEL. 881-8421

SUBDIVISION NAME: ROUTE 100 BUSINESS PARK  
PLAT NO. 4398 BLOCK NO. 24 ZONE M-2  
TAX/ZONE MAP: 37 ELECT. DIST. 1 CENSUS TR. 6012

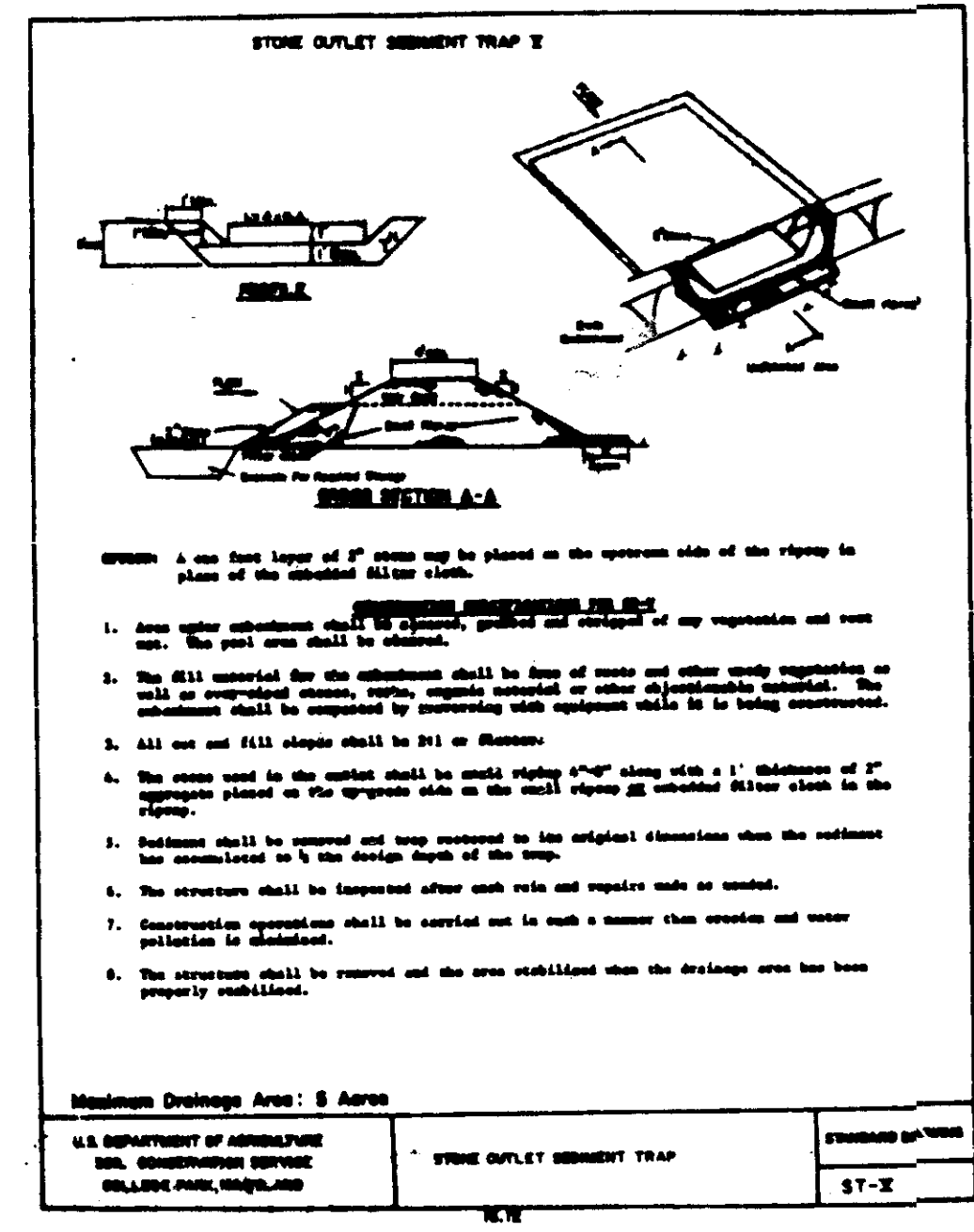
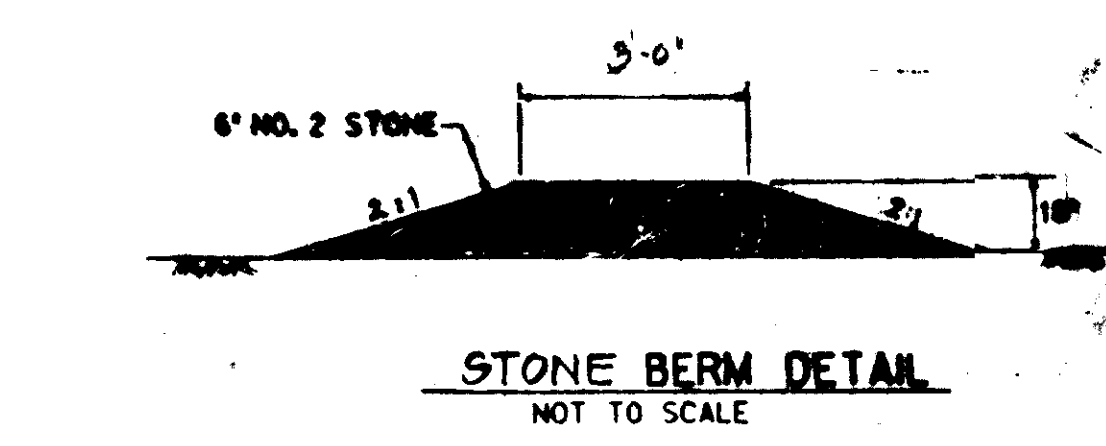
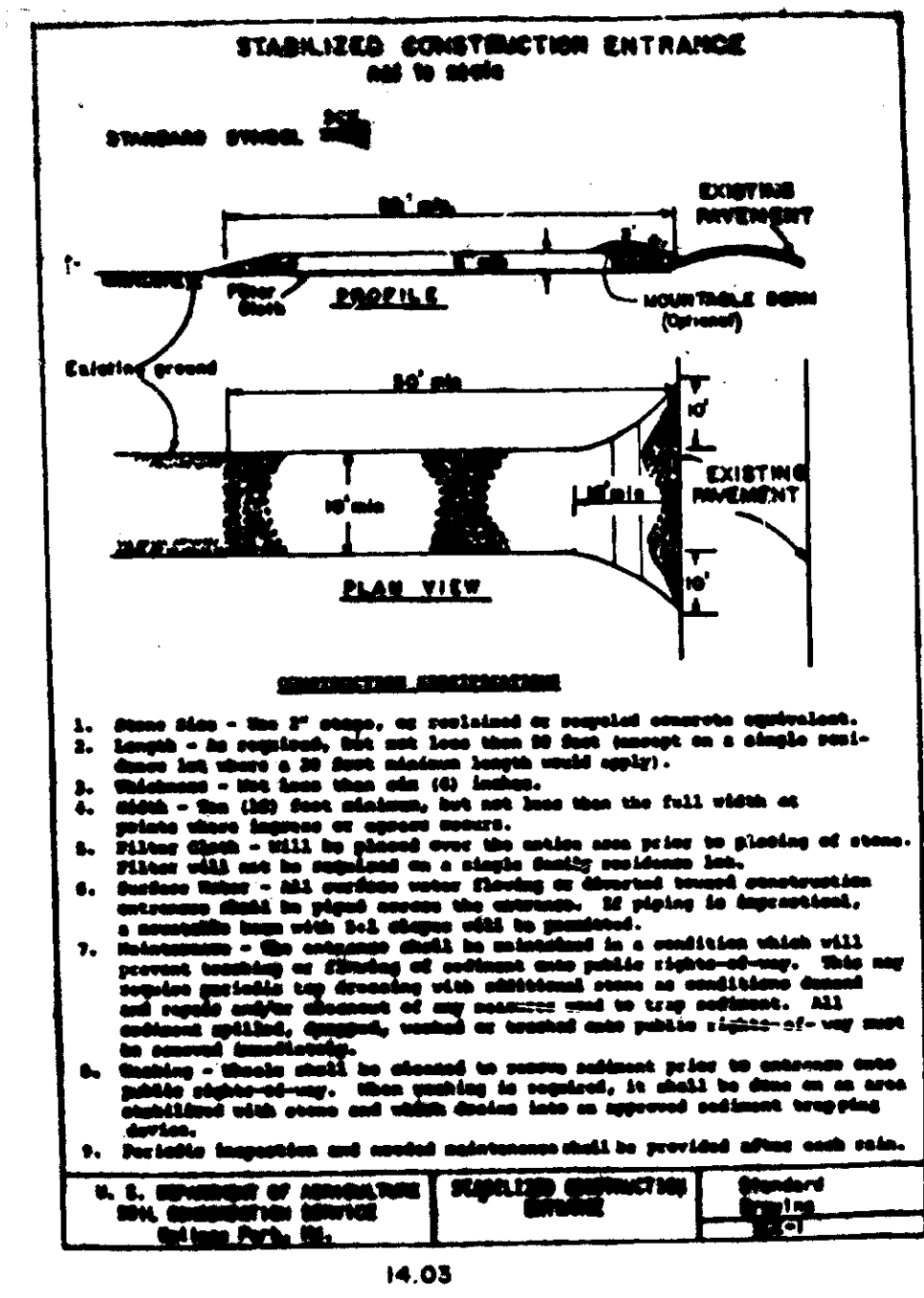
**SEDIMENT AND EROSION CONTROL PLAN**  
ROUTE ONE HUNDRED BUSINESS PARK  
6630 AMBERTON DRIVE ADDITION  
1 1/2 ELBCT. DIST.

SHEET 3 OF 4	DATE DEC. 3, 86	JOB NUMBER 06-089
SCALE 1" = 30'		
SDP-87-104		



**STABILIZED CONSTRUCTION ENTRANCE**  
 1. **STANDARD OVERLAY**  
 2. **PROFILE**  
 3. **PLAN VIEW**

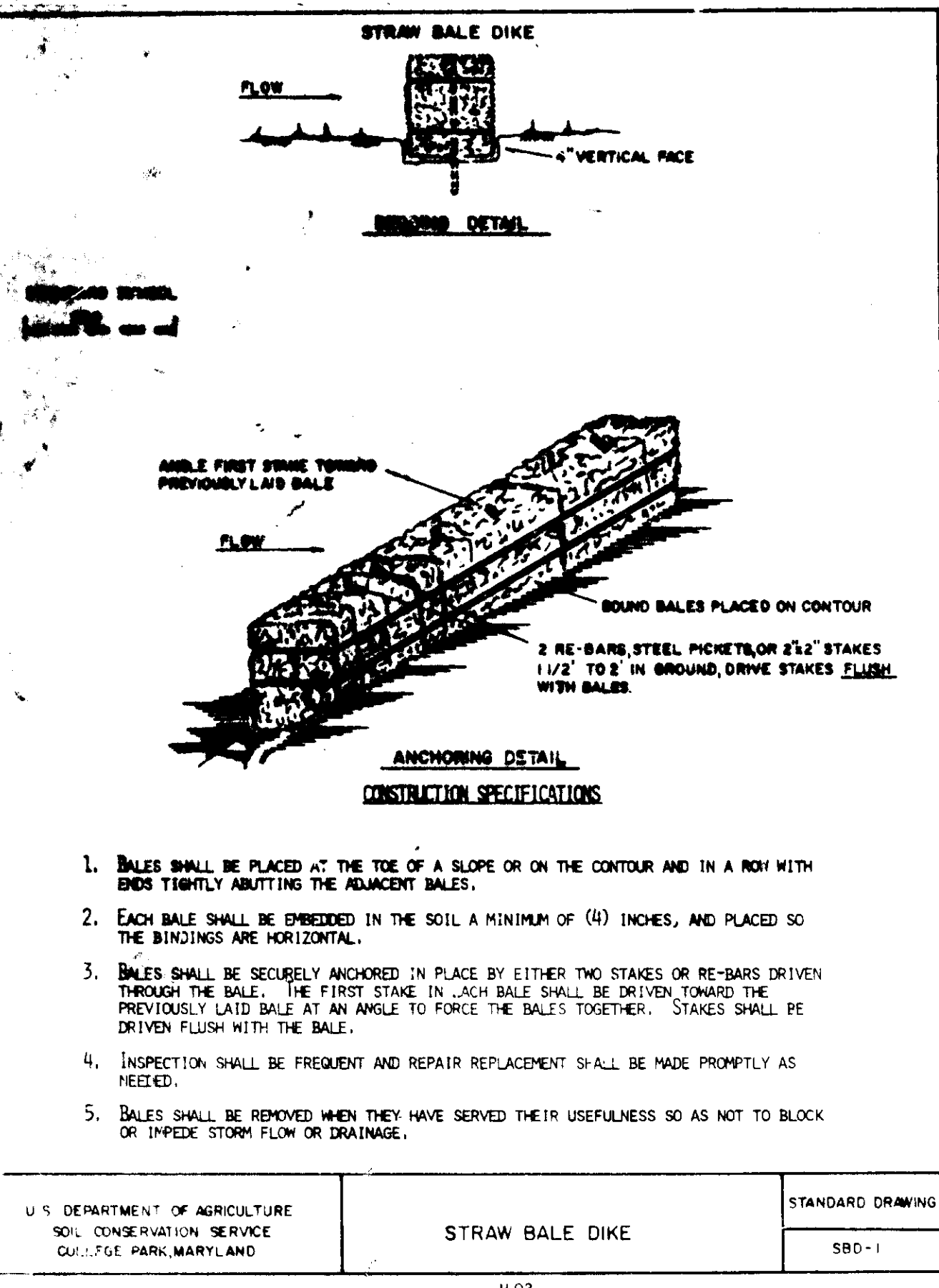
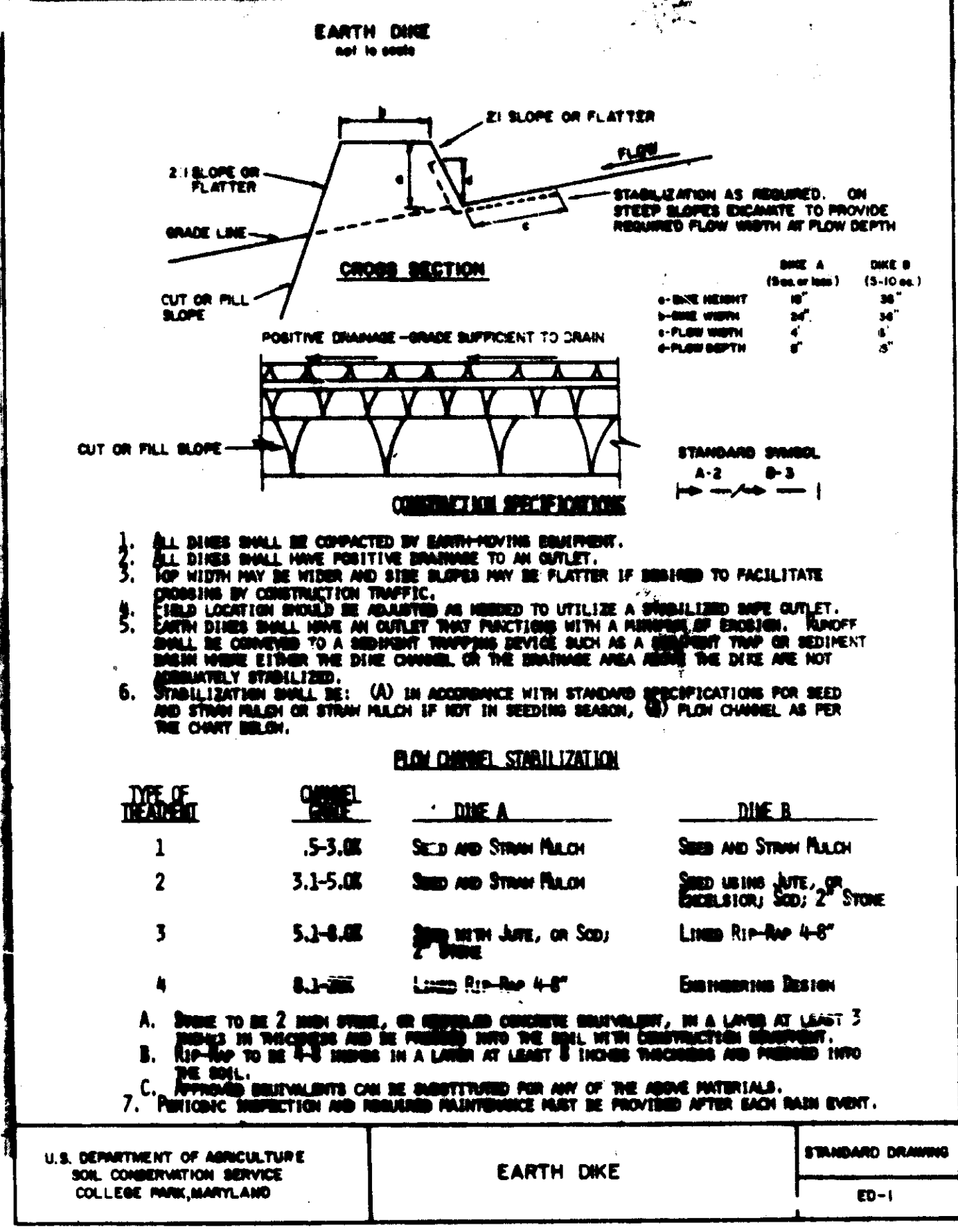
1. **STANDARD OVERLAY** - The 2" overlay, as shown, is required wherever application is made on a single rest-  
 2. **PROFILE** - The 2" overlay, as shown, is required wherever application is made on a single rest-  
 3. **PLAN VIEW** - The 2" overlay, as shown, is required wherever application is made on a single rest-



**STONE BERM DETAIL**  
 NOT TO SCALE

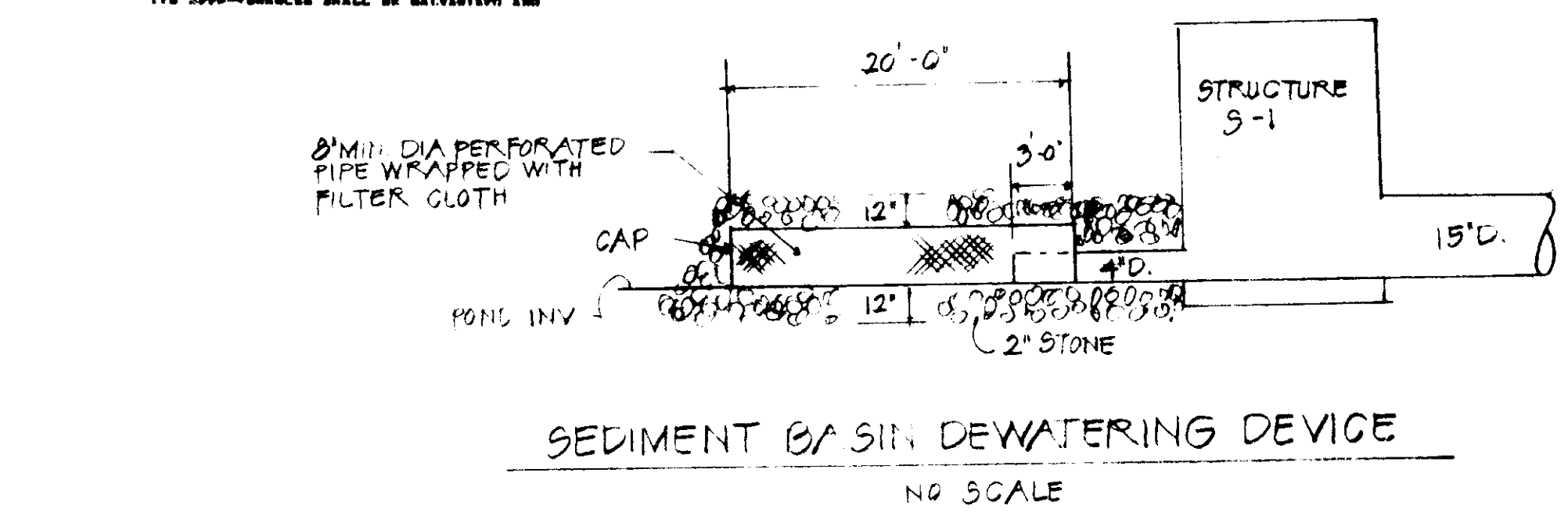
**STONE OUTLET SEDIMENT TRAP**

1. **STANDARD OVERLAY** - The 2" overlay, as shown, is required wherever application is made on a single rest-  
 2. **PROFILE** - The 2" overlay, as shown, is required wherever application is made on a single rest-  
 3. **PLAN VIEW** - The 2" overlay, as shown, is required wherever application is made on a single rest-



**SEDIMENT CONTROL NOTES**

- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (992-3437)
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 51) sod (Sec. 54), temporary seeding (Sec. 50) and mulching (Sec. 52.) Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:  
 Total Area of Site: 5.89 Acres  
 Area Disturbed: 1.60 Acres  
 Area to be roofed or paved: 3.82 Acres  
 Area to be vegetatively stabilized: 2.07 Acres  
 Total Cut: \_\_\_\_\_ Cu. yds  
 Total Fill: \_\_\_\_\_ Cu. yds  
 Offsite waste/borrow area location: \_\_\_\_\_
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment controls must be provided, if deemed necessary by the Howard County DFW sediment control inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.



**APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS**  
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
 Director: [Signature] DATE: 9-11-87  
 CHIEF BUREAU OFFICER: [Signature] DATE: 9-21-87  
**APPROVED FOR PUBLIC WATER SYSTEM PUBLIC SEWERAGE SYSTEMS**  
 HOWARD COUNTY HEALTH DEPARTMENT  
 COUNTY HEALTH OFFICER: [Signature] DATE: 9-21-87  
**APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING**  
 Acting Director: [Signature] DATE: 9-23-87  
 Acting Zoning Administrator: [Signature] DATE: 9-23-87  
 DATE: 8-18-87  
 DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
 HOWARD COUNTY, MARYLAND  
 OWNER: AMBERTON OBRECHT LIMITED PARTNERSHIP  
 2475 DEERCO ROAD  
 BALTIMORE, MARYLAND  
 PHONE: 561-8858  
 PROJECT: ROUTE ONE HUNDRED BUSINESS PARK  
 BLOCK B  
 HOWARD COUNTY  
**SEDIMENT CONTROL DETAILS**  
 PAUL LEE ENGINEER & ARCHITECT  
 304 W. PENNSYLVANIA AVE. #100  
 TOWSON, MARYLAND 21284  
 PHONE: 821-5041

Paul Lee