

GENERAL NOTES:

- The land included is zoned RA15 as per B-2-85 Comprehensive Zoning.
- All coordinates are based upon the Maryland State Grid System.
- The area shown is located on Tax Map 38, Parcel 823.
- All roadways are Private & Existing.
- Any damage to county owned rights-of-way shall be corrected at the Developer's expense.
- Total Area - **0.518** Acres.
- Total number of Units: **4**
- Number of Parking Spaces: **Required: 8, Provided: 8**
- Lot Coverage: 20% Max for A-1.
- Storm Water Management for this project provided in central facility under Rockburn Commons Section I.
- Topography Provided by The Riemer Group, Inc. S.D.P. 84-287

Building No 1	8 Units	2 Bdrm Unit @ 15 spaces = 12
Building No 2	12 Units	2 Bdrm Unit @ 15 spaces = 18
Building No 4	4 Units	4 Units @ 2 spaces = 8
Building No 3	4 Units	4 Units @ 2 spaces = 8
Total 28 Units		Total Spaces 46 Required
		46 Provided

LEGEND:

- Contour Interval: 2 Ft
- Existing Contour: 210
- Proposed Contour: +10.5
- Spot Elevation
- Direction of Drainage
- Walk-Out Basement
- Adaptable Accessible Units

LOT NR	ADDRESS
BLDG #3 5715	ROWANBERRY DRIVE
BLDG #3 5717	"
BLDG #3 5719	"
BLDG #3 5721	"

NOTE:
BUILDING REVISIONS TO S.D.P. 84-287
ALL PAVING, CURB & GUTTER & UTILITIES ARE EXISTING.

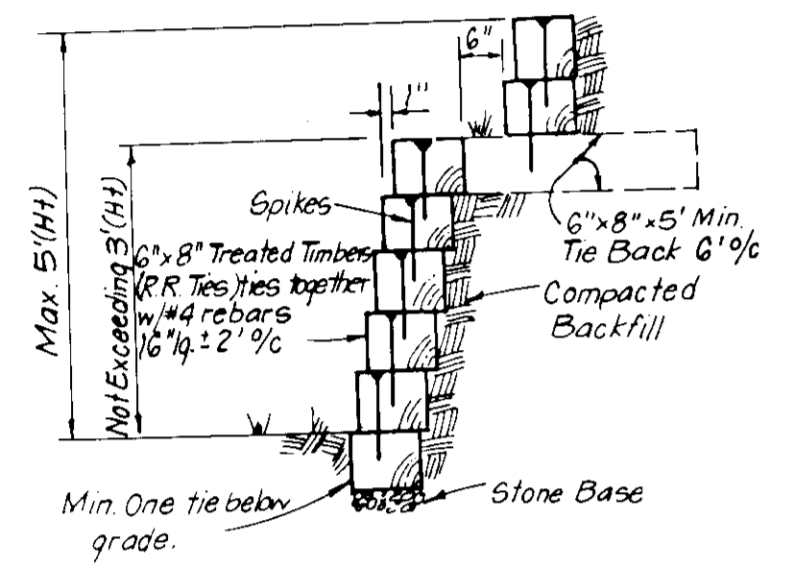
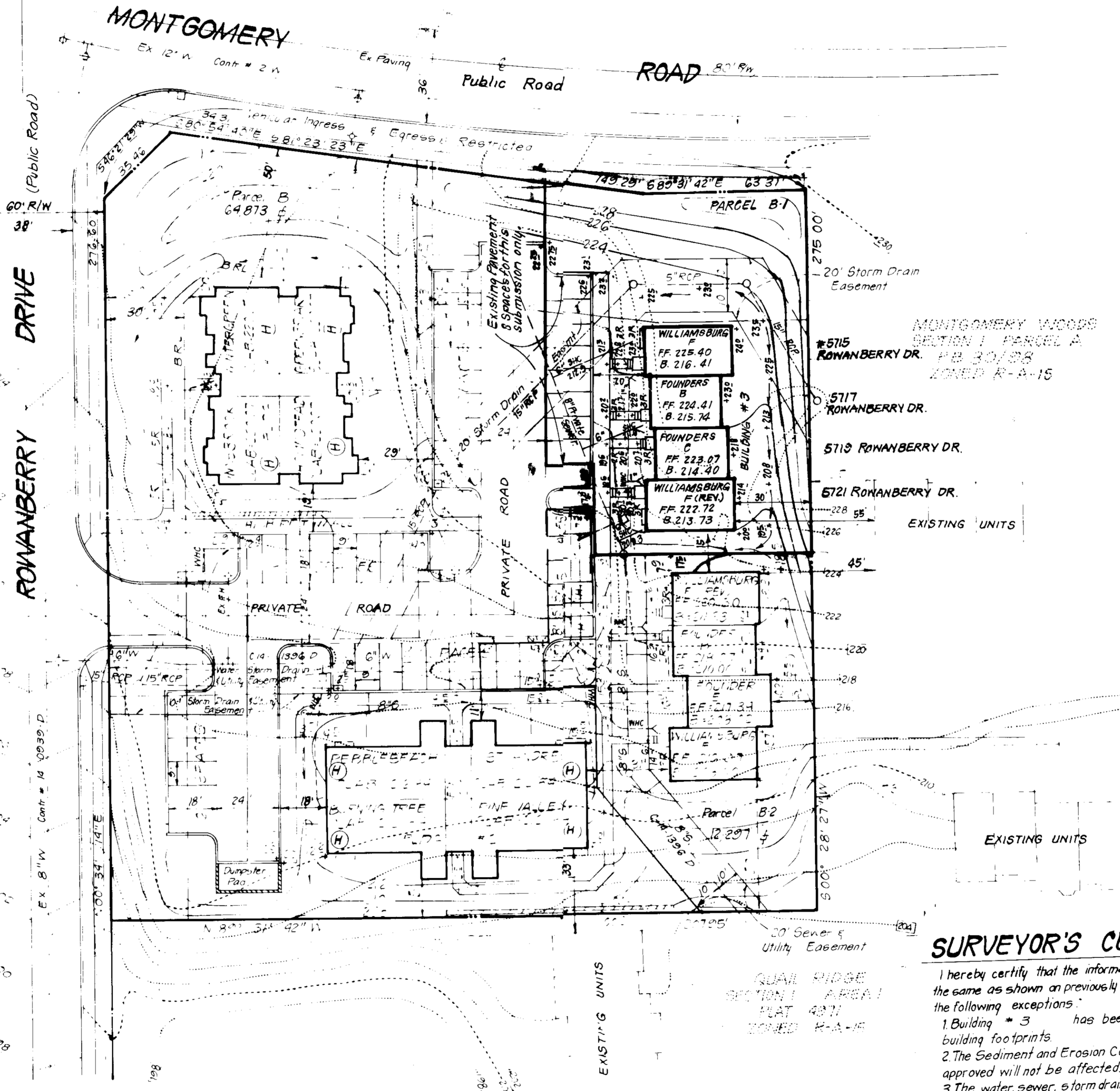
SUBDIVISION NAME	SECT./AREA	LOTS/PARCEL
ROCKBURN COMMONS	1	BLDG #3, PARCEL B-1
FLAT #	BLOCK #	ZONE
6666	1	RA15
WATER CODE	D-02	SEWER CODE
		2150549

SURVEYOR'S CERTIFICATE

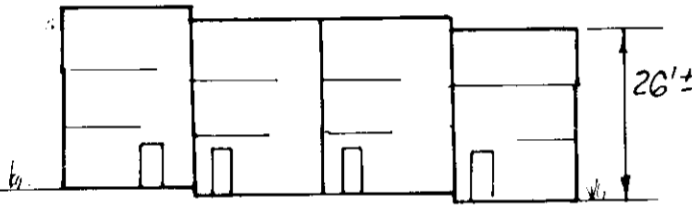
I hereby certify that the information contained hereon is the same as shown on previously approved S.D.P. 84-287 with the following exceptions:

- Building # 3 has been revised to show current building footprints.
- The Sediment and Erosion Control Measures as previously approved will not be affected.
- The water, sewer, storm drainage and paving are the same as previously approved.
- The grading is substantially the same as previously approved.
- The Lot has the same geometric configuration as shown on the subdivision plat.

Signature: *Donald B. Sackett*
DONALD B. SACKETT
Aug. 19 1986
DATE



TYPICAL RETAINING WALL
No Scale



BLDG #	AREA	FOOTPRINT
WILLIAMSBURG F	24.00	20.00
FOUNDERS B	28.00	24.00
FOUNDERS C	28.00	24.00
WILLIAMSBURG F (REV)	24.00	20.00

All Units have 1.0 foot overhang in front & rear.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER: _____ DATE: _____

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING

PLANNING DIRECTOR: *John W. ...* DATE: 10-3-86

CHIEF DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

DIRECTOR: _____ DATE: 9-12-86

CHIEF BUREAU OF ENGINEERING: _____ DATE: 9-12-86

DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION

9-12-86

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Reviewed for: HOWARD S.C.D. Name
and meets Technical Requirements
Signature: *John M. ...* Date: 9-25-86
U.S. Soil Conservation Service

CLARK · FINEFROCK & SACKETT
ENGINEERS · PLANNERS · SURVEYORS

11315 LOCKWOOD DRIVE · SILVER SPRING, MARYLAND 20904 · (301) 593-3400

DESIGNED JME	REVISED SITE DEVELOPMENT PLAN BUILDING 3, PARCEL B-1	SCALE 1" = 30'
DRAWN VHL	ROCKBURN COMMONS	DRAWING 1 of 1
CHECKED JME	SECTION 1 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND	JOB NO. 86-071
DATE 8-18-86	FOR THE RYLAND GROUP, INC. 7130 Minnifield Way, Suite 215 Columbia, Md. 21045	FILE NO. 86-071 X

SDP-87-37