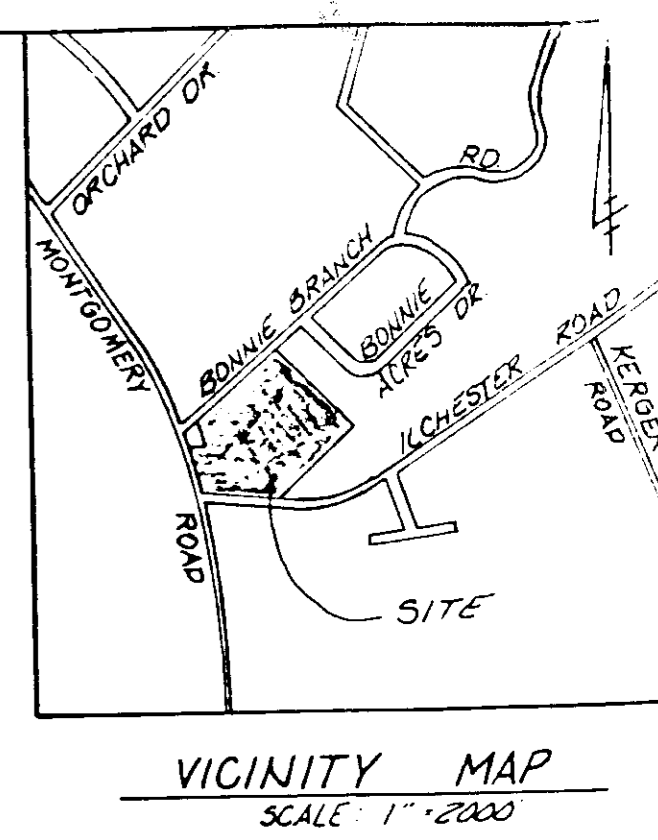
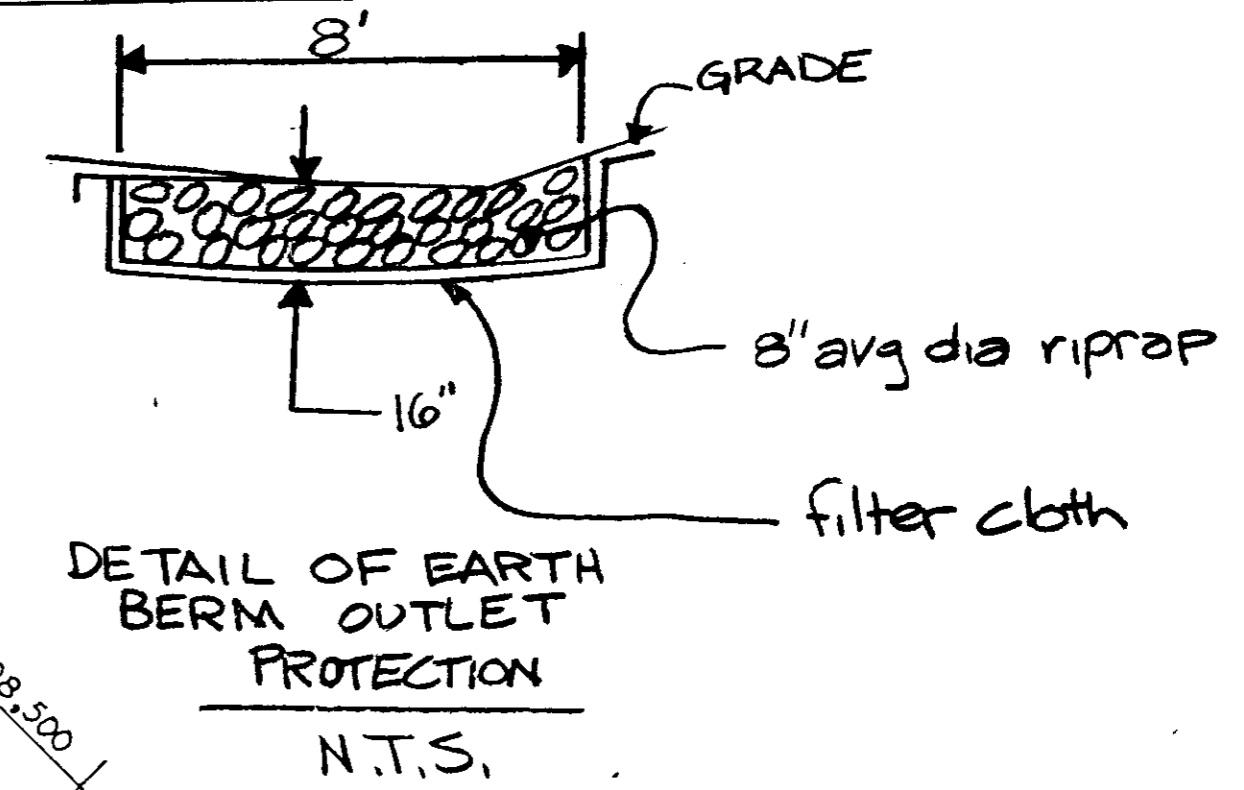
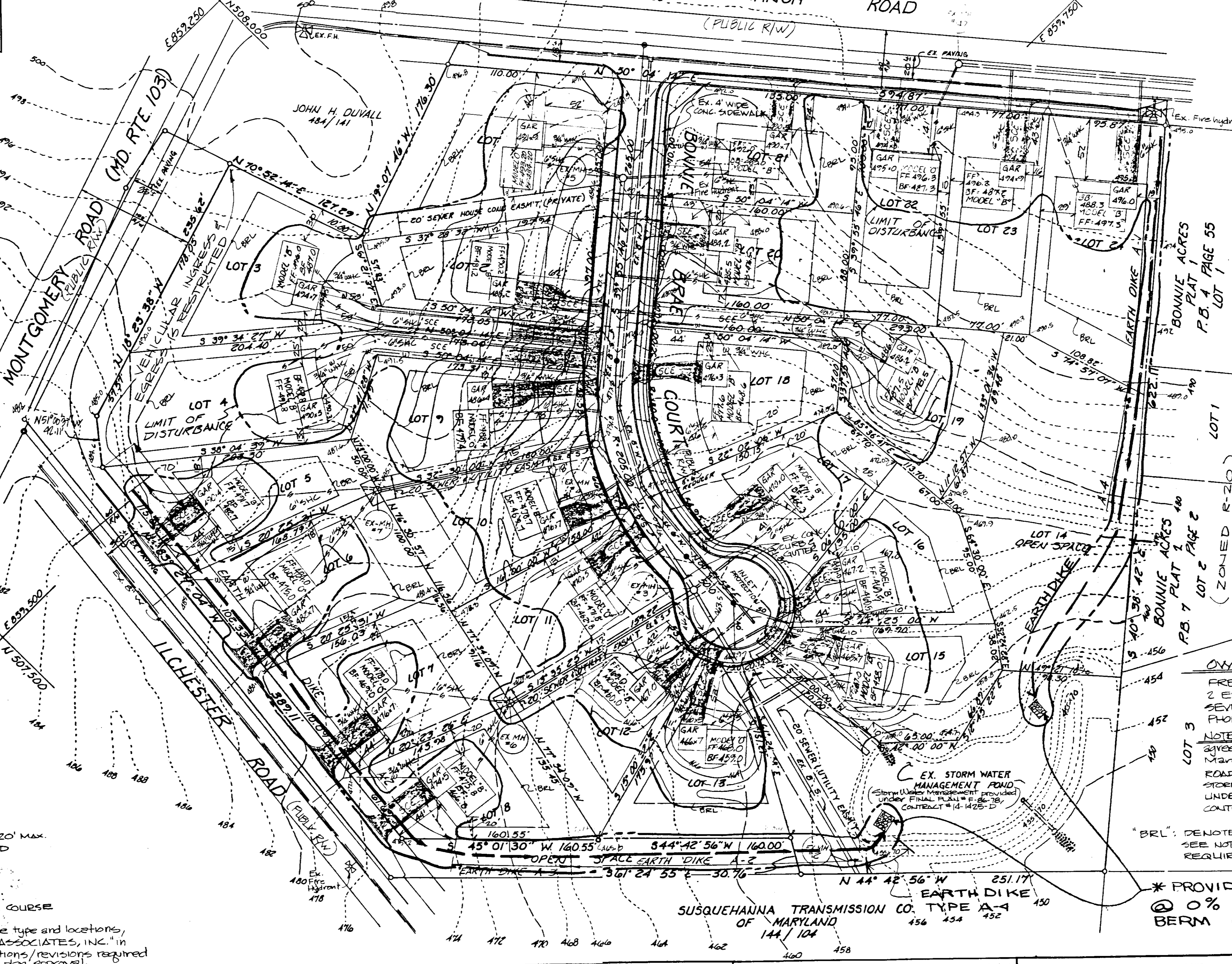


SEWER HOUSE CONNECTION INVERT ELEVATIONS AT PROPERTY LINE			STATION	LOT	ELEV.
M#2 TO M#3			M#4 TO M#5		
1+52 RT	LOT 15(16)	454.36	0+28 LT	LOT 9	462.77
1+62 LT	LOT 13	454.23	0+72 LT	LOTS 3&4	466.17
2+07 RT	LOT 12	455.30	1+12 RT	LOT 19	469.58
2+22 LT	LOT 16	454.87	1+15 LT	LOT 2	469.40
M#3 RT	LOT 17	455.80	1+40 RT	LOT 20	471.03
M#3 TO M#4			M#4 TO M#5		
M#3 RT	LOT 17	455.80	M#4 LT	LOT 6	471.40
M#3 LT	LOT 11	459.51	M#4 RT	LOT 5	471.40
M#3 LT	LOT 10	459.27	M#3 TO M#6		
M#6 TO M#7			EX M#129 TO EX M#142		
M#6 RT	LOT 7	459.30	M#6 RT	LOT 7	459.30
M#6 LT	LOT 8	459.30	M#6 LT	LOT 8	459.30
M#7 TO M#8			EX M#149 FT		
M#8 TO M#9			0+44 RT		
M#9 TO M#10			1+51 RT		
M#10 TO M#11			LOT 22(12)		
M#11 TO M#12			LOT 23		
M#12 TO M#13			LOT 24		

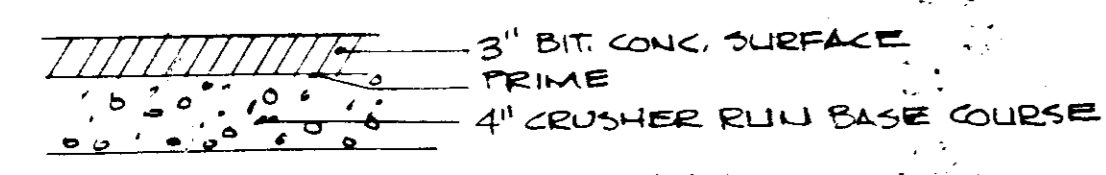


ADDRESS CHART

LOT NO	STREET ADDRESS	LOT AREA (S.F.)
24	5143 BONNIE BRANCH ROAD	20,000 #
23	5147 " "	14,091 #
22	5151 " "	14,091 #
21	5155 " "	14,888 #
20	5105 BONNIE BRAE COURT	14,080 #
19	5109 " "	17,806 #
18	5113 " "	14,889 #
17	5117 " "	14,140 #
16	5121 " "	14,072 #
15	5125 " "	14,006 #
14	OPEN SPACE	82,886 #
13	5132 " "	14,097 #
12	5128 " "	14,408 #
11	5124 " "	14,012 #
10	5120 " "	14,974 #
9	5116 " "	14,095 #
8	5298 ILCHESTER ROAD	14,001 #
7	5242 " "	14,000 #
6	5246 " "	14,122 #
5	5250 " "	14,158 #
4	5172 BONNIE BRAE COURT	22,174 #
3	5108 " "	23,461 #
2	5104 " "	14,001 #
1	5100 " "	20,251 #

HOUSE MODEL
 MODEL 'B' - BONNIE
 MODEL 'O' - OAKWOOD

PARKING NOTE:
 THE DEVELOPER SHALL PROVIDE 2 (TWO) OFF-STREET PARKING SPACES, 10'x20' MIN, ON EACH LOT. DRIVEWAY WIDTH SHALL BE 10' MIN, 20' MAX. PARKING AREA AND DRIVEWAY SHALL BE PAVED WITH THE FOLLOWING PAVING SECTION:



NOTE: Existing and proposed topography, boundary and lot lines, house type and locations, and existing and proposed utility information provided by "ALLIED DESIGN ASSOCIATES, INC." in August, 1986. MESSICK & TRIBETT are responsible only for corrections/revisions required by Howard County Planning & Zoning Office for site development plan approval.

- GENERAL NOTES:
- SUBJECT PROPERTY IS LOCATED ON TAX MAP 31, PARCEL 202
 - PLAT REFERENCE: # 6712 (RESIDENTIAL - SINGLE)
 - PRESENT ZONING: R-20 (LOTS < 20,000 S.F., 40' (LOTS > 20,000 S.F.))
 - MINIMUM SETBACKS: FRONT: 50' (FROM PUBLIC R/W) SIDE: 30' (FROM PUBLIC R/W) REAR: 30'
 - TYPICAL HOUSE DIMENSIONS, SCHEMATIC PROFILE, DETAILS, SEDIMENT CONTROL NOTES AND SPECIFICATIONS CAN BE FOUND ON SHEET 2 OF 2.
 - SITE ANALYSIS: A. TOTAL NUMBER OF LOTS: 23 B. TOTAL AREA OF LOTS: 8,395 40' (LOTS > 20,000 S.F.)
 - STREET TREES WILL BE PROVIDED UNDER F-26-78 BY THE DEVELOPER, FRED PRITT, INC.
 - STORM WATER MANAGEMENT IS PROVIDED.
 - THE CONTRACTOR OR DEVELOPER SHALL CONTACT THE CONSTRUCTION INSPECTION DIVISION 24 HOURS IN ADVANCE OF COMMENCEMENT OF WORK AT 792-2630
 - TOTAL AREA OF SITE TO BE DISTURBED: 5.7 AC TOTAL AREA TO BE REVEGETATED: 4.5 AC TOTAL IMPERVIOUS AREA: 1.2 AC
 - THE CONTRACTOR OR DEVELOPER SHALL CONTACT THE CONSTRUCTION INSPECTION (SURVEY DIVISION) 24 HRS IN ADVANCE OF COMMENCEMENT OF WORK (792-2630) CONSTRUCTION SEQUENCE

- Obtain grading permit. Inspect existing storm water management pond (S.W.M.P.) and make any necessary repairs prior to beginning any work shown hereon.
- Construct stone construction entrance for lots.
- Install earth dike around perimeter of site as shown.
- Clear and grub house sites, excavate for footings and begin house construction.
- Remove sediment from S.W.M.P. when the clean out elevation has been reached.
- The contractor shall inspect and provide necessary maintenance on the sediment and erosion control structures shown hereon and after each rainfall and on a daily basis.
- Remove sediment from roadways and dress stone construction entrance as required.
- Fine grade lots and stabilize, install driveways and sidewalks.
- After permission has been given by sediment control inspector, remove earth dikes and stabilize remaining disturbed areas, with permanent seeding mixture and straw mulch.

OWNER/DEVELOPER
 FRED PRITT, INC.
 2 EVERGREEN RD.
 SEVERNA PARK, MD 21446
 PHONE 301-647-5933

NOTE: Public water & sewer agreement 14-1425-D, effective March 24, 1986
 ROAD, WATER, SEWER, & STORM DRAINAGE CONSTRUCTED UNDER APPROVED PLANS FOR CONTRACT # 14-1425-D

* PROVIDE 8'x12" RIP RAP PAD @ 0% SLOPE AT END OF EARTH BERM (SEE DETAIL)

ENGINEER'S CERTIFICATE
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DEVELOPER'S CERTIFICATE
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

Signature: *Fred Pritt* Date: *8/1/86*
 Signature: *Susan R. Deachman* Date: *8/1/86*

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

U.S. SOIL CONSERVATION SERVICE DATE: *7/26/86*

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: *Stephen R. ...* DATE: *7/26/86*
 HOWARD SOIL CONSERVATION DISTRICT

APPROVED: OFFICE OF PLANNING AND ZONING

Domest ... DATE: *10-9-86*
 PLANNING DIRECTOR

John ... DATE: *10-9-86*
 CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWERAGE SYSTEMS

John ... DATE: *10-7-86*
 HEALTH OFFICER

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER & SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.

John ... DATE: *10-7-86*
 DIRECTOR, PUBLIC WORKS

AND

MESSICK & TRIBETT
 LAND DEVELOPMENT CONSULTANTS
 111 CHINGUAFIN ROUND RD., SUITE 104
 ANNAPOLIS, MD, 21401
 PHONE: (301) 268-8454 ATTN: GED TRIBETT

APPROVED: DEPARTMENT OF PUBLIC WORKS FOR PUBLIC WATER & SEWER AND STORM DRAINAGE SYSTEMS AND ROADS.

John ... DATE: *10-7-86*
 DIRECTOR, PUBLIC WORKS

CHIEF, BUREAU OF ENGINEERING

SUBDIVISION	SECTION/AREA	LOT NOS.
BONNIE BRAE	ONE	170 24

PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
6712-B	14815	R-20	31	1	6-211

WATER CODE: 609 SEWER CODE: 1255010

SITE DEVELOPMENT PLAN
 SDP-87-34
 BONNIE BRAE
 SECTION ONE
 LOTS 1 TO 24
 SHEET 1 OF 2

PROPOSED SINGLE FAMILY DETACHED LINES
 TAX MAP 31 PARCEL 202
 S 85-45 P 86-05 F 86-78
 1ST DISTRICT HOWARD CO. MD.
 SCALE: 1" = 50' JUNE, 1986

SDP-87-34

