

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

John J. ... 11/19/86
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.
Thomas H. ... 12-31-86
PLANNING DIRECTOR DATE

Sonia F. ... 12-31-86
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

... 12/23/86
DIRECTOR DATE

... 12-22-86
CHIEF, BUREAU OF ENGINEERING DATE

APPROVED
DIVISION OF LAND DEVELOPMENT &
ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE 11-13-86
MS/STZ

KCI Technologies, Inc
14502 Greenview Drive
Suite 100
Laurel, MD 20708
410-792-8086



KCI Revision Block

Date	By	Revision
11/18/05	CW	Add 10' high conc. wall

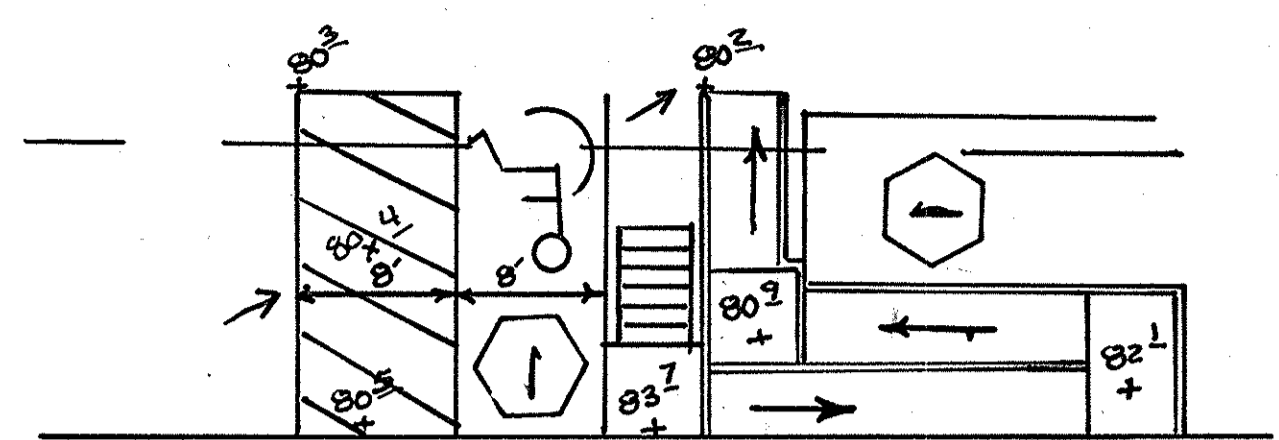
DATE	REVISION
3/2/10	ADD HANDICAP RAMP, RAISE PARKING FEE AND NOTES
10/17/05	REVISE PARKING, CREATE PARKING ANALYSIS CHART
11/7/05	REVISE ROOF, REMOVE PORTION OF BLDG AND SHOW WHC
10/18/05	PARKING TABULATIONS REVISED

REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS.
... 12-16-86
U.S. SOIL CONSERVATION SERVICE DATE

THIS DEVELOPMENT IS APPROVED SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
... 12-16-86
SOIL CONSERVATION DISTRICT DATE

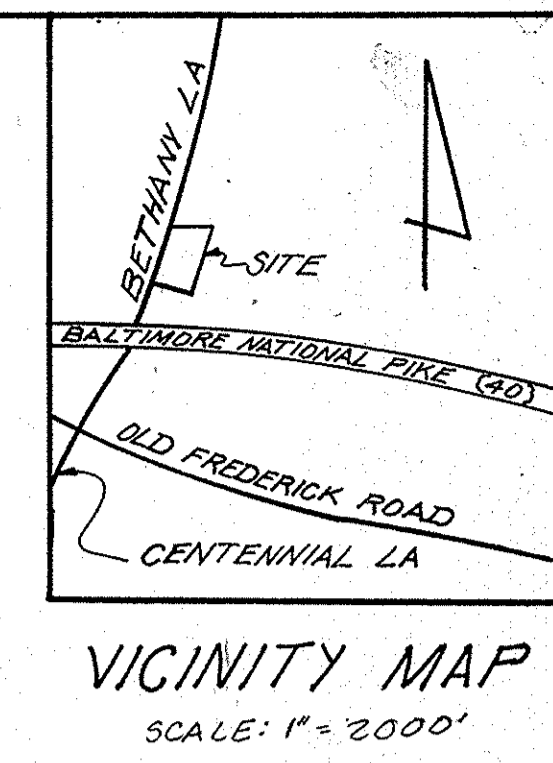
FOR REVISIONS BY BENCHMARK ENGINEERING, INC. DATED NOVEMBER 7, 2008 AND OCTOBER 19, 2015 MARCH 4, 2016 ONLY
... 11-17-08
PROFESSIONAL ENGINEER

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 21443 Expiration Date: 12-21-14



PARKING REQUIREMENTS

OPERATION	PRIMARY USE	FACTOR	SECONDARY USE	FACTOR	TOTAL SPACES REQUIRED
BAKIE AUTO CARE	1000SF	3/04Y	N/A	N/A	30
WILD BIRD SEED STORE	3000SF	5/100SF	N/A	N/A	15
ELLIOTT CITY MOTORSPORTS	11500SF SHOW-ROOM	2/1000SF	6000SF SERVICE AREA	2/1000SF	35
FORGED HOT TUB STORE	1550 SF RETAIL	5/1000SF	3800 STORAGE	2/1000SF	16
TOTAL					96

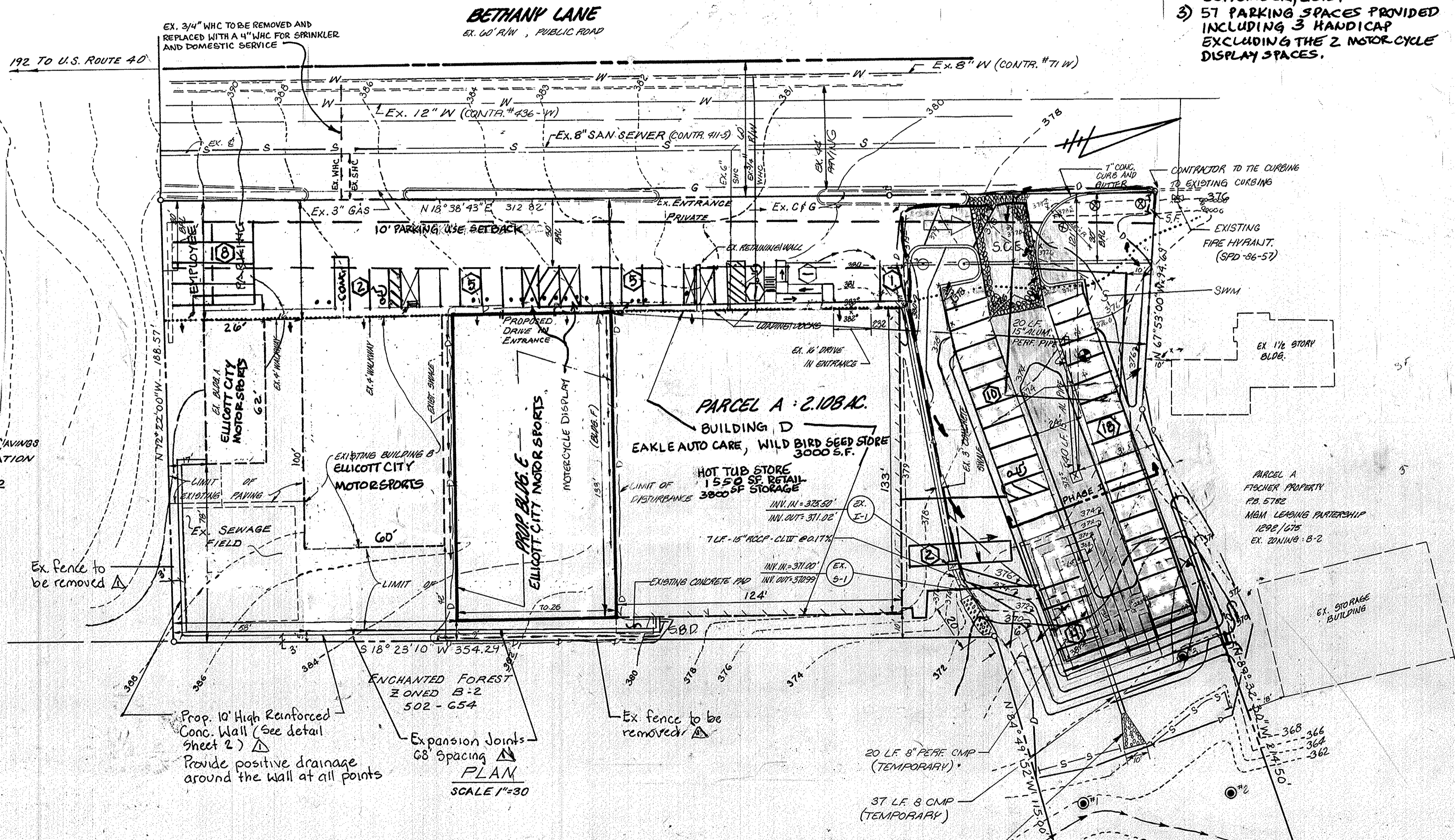


- 1) 96 PARKING SPACES REQUIRED PER HOWARD COUNTY CRITERIA.
- 2) 50 PARKING SPACES ARE REQUIRED PER THE ADEQUACY OF PARKING ANALYSIS PREPARED BY MARS GROUP, INC., DATED SEPTEMBER, 2015.
- 3) 57 PARKING SPACES PROVIDED INCLUDING 3 HANDICAP EXCLUDING THE 2 MOTOR-CYCLE DISPLAY SPACES.

- SITE ANALYSIS**
1. Area of parcel: 2.108 Ac. or 91,824 S.F.
 2. Ex zoning: B-2
 3. Floor space tabulations:
Ex Building A: 442 S.F. Storage
1170 S.F. Retail
Ex Building B: 4520 S.F. STORAGE
5,328 S.F. SHOW ROOM
775 S.F. OFFICE
Ex Building C: 16492 S.F. Storage
Prop. Building E: 9172 S.F. Storage
Floor Space Totals: 23425 S.F. Storage
(All first floor) 2010 S.F. Retail
(All first floor) 2010 S.F. Retail
 4. Maximum number of employees:
Ex Building A (Hardware Store): 6 Retail
Storage
Ex Building B (Lawn Mower Store): 5 Retail
10 Storage
(Paint Store): 3 Retail
6 Storage
Ex Building C (Beer Storage): 40 Storage
Prop. Building E (Beer Storage): 26 Storage
Total maximum employees: 14 Retail
84 Storage
 5. Parking Requirements:
32676 S.F. Storage @ 1 per 700 S.F. = 46.7 spaces
2,010 S.F. Retail @ 1 per 200 S.F. = 10.1 spaces
Total required spaces: 56.8
6. Parking provided:
57 spaces (including 3 handicapped)
 7. Open space to remain on site:
0.494 Ac. or 23.4 %
 8. Building Coverage:
Existing Buildings to Remain = 24824 S.F.
Prop. Additional Building E = 9343 S.F.
Total Building Coverage: 34167 S.F. OR 37.0 %
 9. PARKING AREA: 1/428 S.F. LANDSCAPED ISLANDS: 1664 S.F. OR 5.82 %

- GENERAL NOTES**
1. Tax Map 24, Parcels: 15 & 16
 2. Deed Reference: 1004/315
 3. Ex. Zoning: B-2
 4. Area of Site: 2.108 Ac.
 5. Public water and sewerage are to be utilized. Water and sewer connections to existing building C to be used for proposed building E.
 6. Bethany Lane is an existing public road.
 7. All construction to be in accordance with No. Co. Design Manual, Vol. IV.
 8. Contractor to verify the location of all underground utilities prior to beginning work.
 9. Topo shown hereon is based on a site plan prepared by Jack S. Feick and Assoc. dated 2-20-80 (SDP-80-82); except former Fischer Property, which was field run by Bender Associates, Inc. 1985.
 10. The subject property is recorded as Birely Property, Parcel A, as Plat No. 6559.
 11. Designates borings for stormwater management.
 12. THE DEPARTMENT OF PLANNING AND ZONING HAS APPROVED THIS BETHANY CENTER PARKING DEMAND ANALYSIS STUDY DATED SEPTEMBER 20, 2015 PREPARED BY MARS GROUP, INC. THAT DETERMINES THE PARKING SPACE DEMAND FOR GARAGE-LEVEL USE AND THE PARKING SPACES AVAILABLE FOR THE FOUR (4) TENANT USERS INDICATED IN THE PREVIOUS STUDY AS REFERENCED ABOVE BEYOND THE APPROVED PARKING. DEMAND STUDY. THE MAXIMUM PARKING SPACE DEMAND FOR THE WEEKEND OPERATION FOR THIS PROPERTY IS DETERMINED TO BE 50 OVERALL SPACES INCLUDING THE PROPOSED SWIMMING POOL AND HOT TUB STORE AND THE PARKING SPACE DEMAND FOR THE PROPERTY IS 54 SPACES. A TOTAL OF 62 OVERALL SPACES ARE PROVIDED FOR THE BETHANY CENTER WHICH INCLUDE 10 UNRESTRICTED CUSTOMER USE SPACES, 57 HANDICAP SPACES, 2 SPACES FOR ACCESSIBLE 2 SPACES FOR THE SERVICE CLEARANCE, 2 SPACES FOR ACCESSIBLE SERVICE SPACES, 2 SPACES FOR SERVICE CLEARANCE, 2 SPACES FOR SERVICE CLEARANCE, 2 SPACES FOR SERVICE CLEARANCE, 2 SPACES FOR SERVICE CLEARANCE.

OWNER / DEVELOPER
WILLIAM C. BIRELY
9902 WINDFLOWER DRIVE
ELICOTT CITY, MD 21043

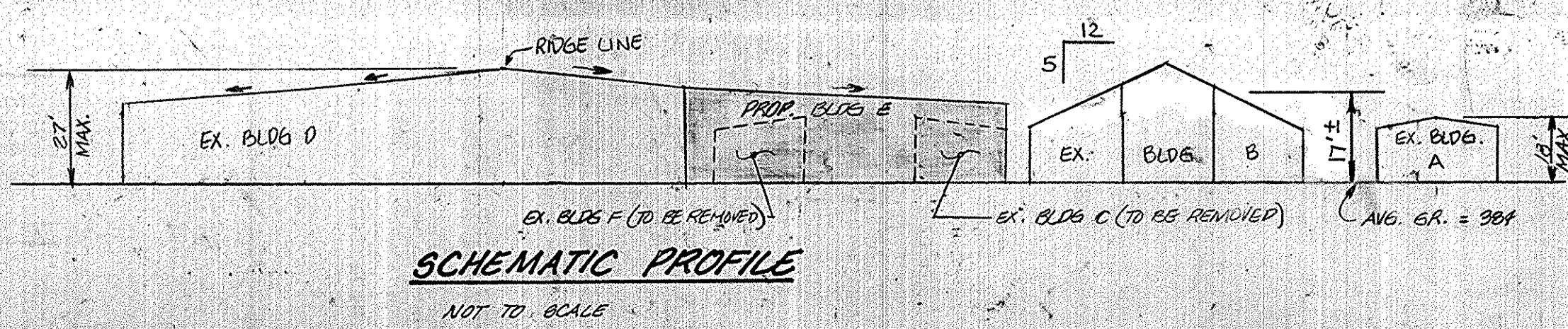


DRAINAGE AREA MAP NOTES

..... DENOTES EXISTING D.A.

--- DENOTES PROPOSED D.A.

ALL EXISTING AND PROPOSED STRUCTURES DRAIN TOWARDS THE REAR.



DEVELOPER'S CERTIFICATE
I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS DEEMED NECESSARY.
William C. Birely
DEVELOPER DATE 11-3-86

ENGINEER'S CERTIFICATE
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
Walter Nowak
ENGINEER DATE 11-3-86



AN ADDITION TO APPROVED SDP 80-82 F86-08 NFB6-45

SITE DEVELOPMENT PLAN

PROJECT: PARCEL A BIRELY PROPERTY BUILDING ADDITION
PLAT NO. 6559

LOCATION: TAX MAP 24, PARCELS 15 & 16
2ND ELECTION DISTRICT HOWARD CO. MD.

SCALE: 1"=30'
DESIGNED BY: JTA
DRAWN BY: JTA
CHECKED BY: JTA
DATE: MAY 1986

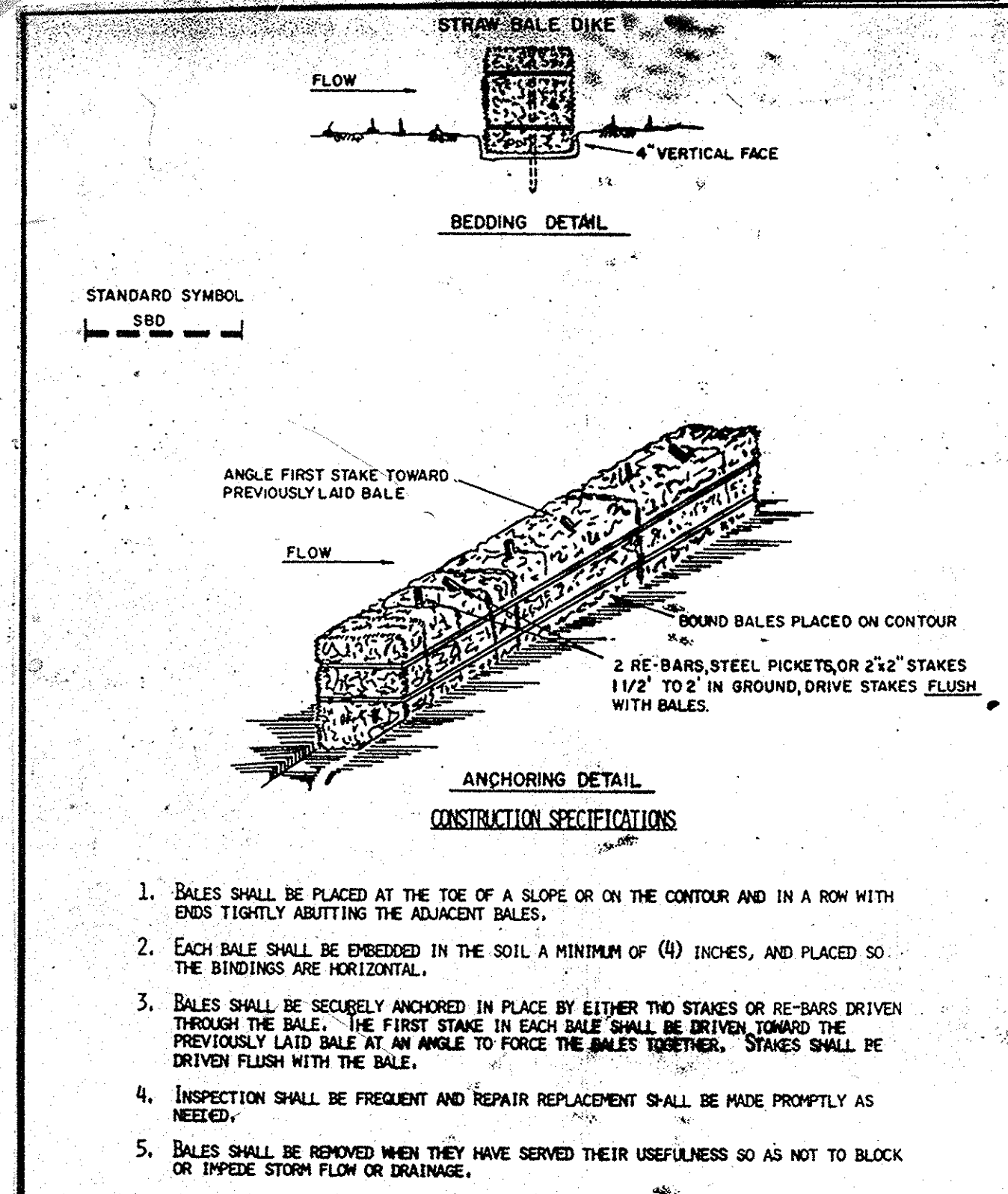
FIELD BOOK: - PAGE NO: - JOB NO: 80021 DRAWING NO: 101 E

ADDRESS CHART

LOT NUMBER	STREET ADDRESS
PARCEL A	3215 BETHANY LANE

boender associates inc.
consulting engineers
land surveyors
land planners
COURTHOUSE SQUARE
3565 ELLICOTT MILLS DRIVE
ELICOTT CITY, MD 21043
13011 465-7177

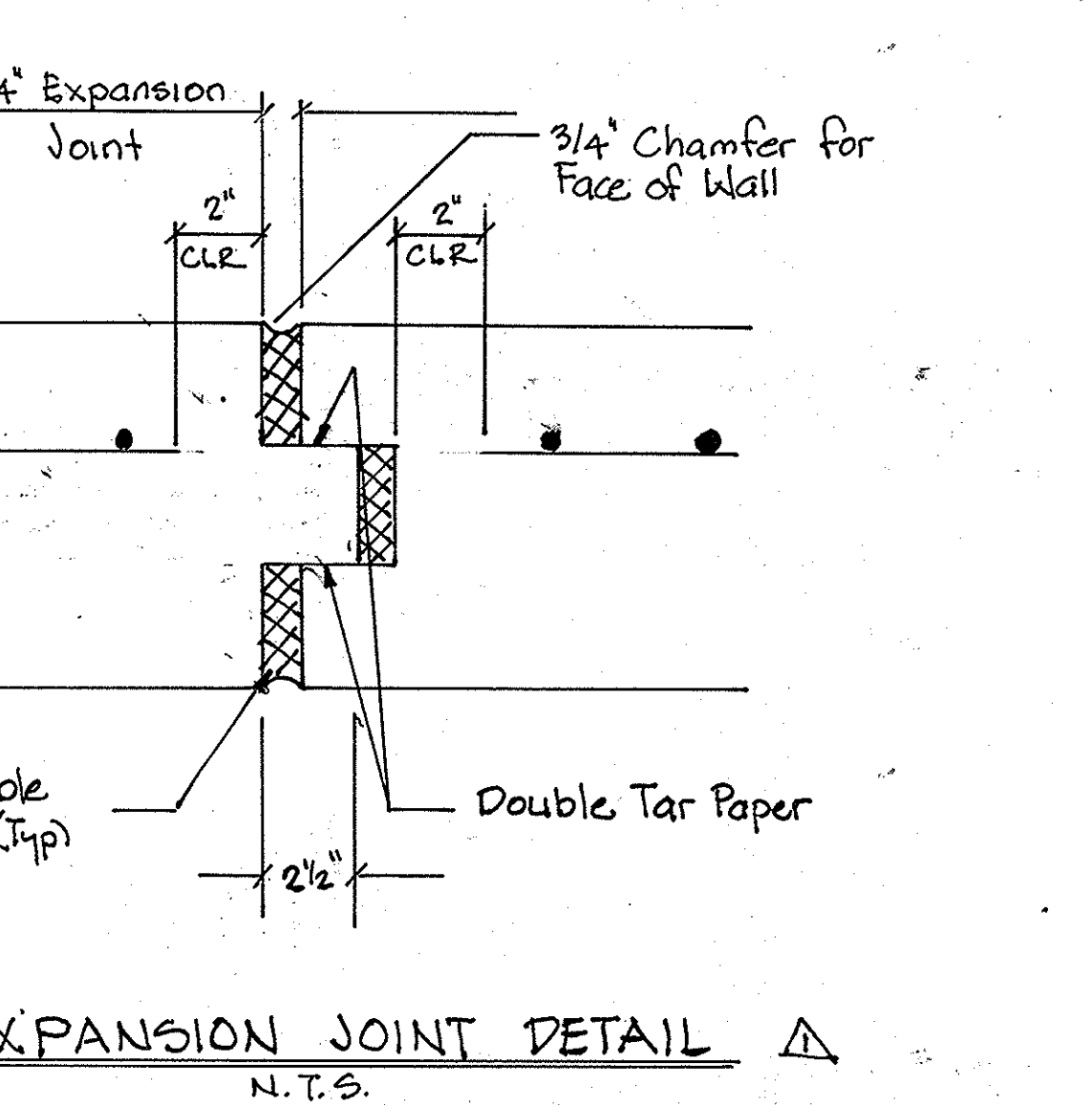
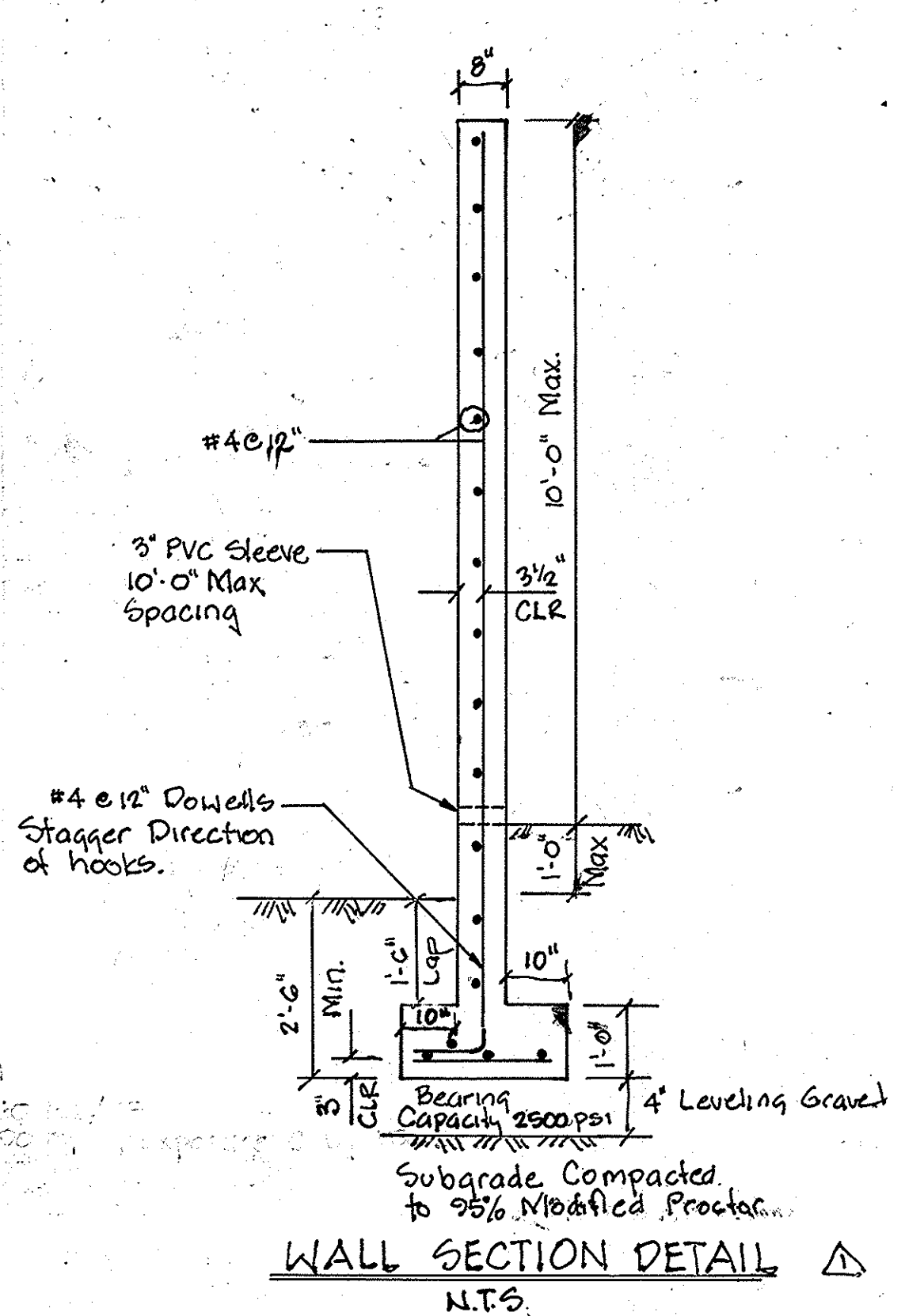
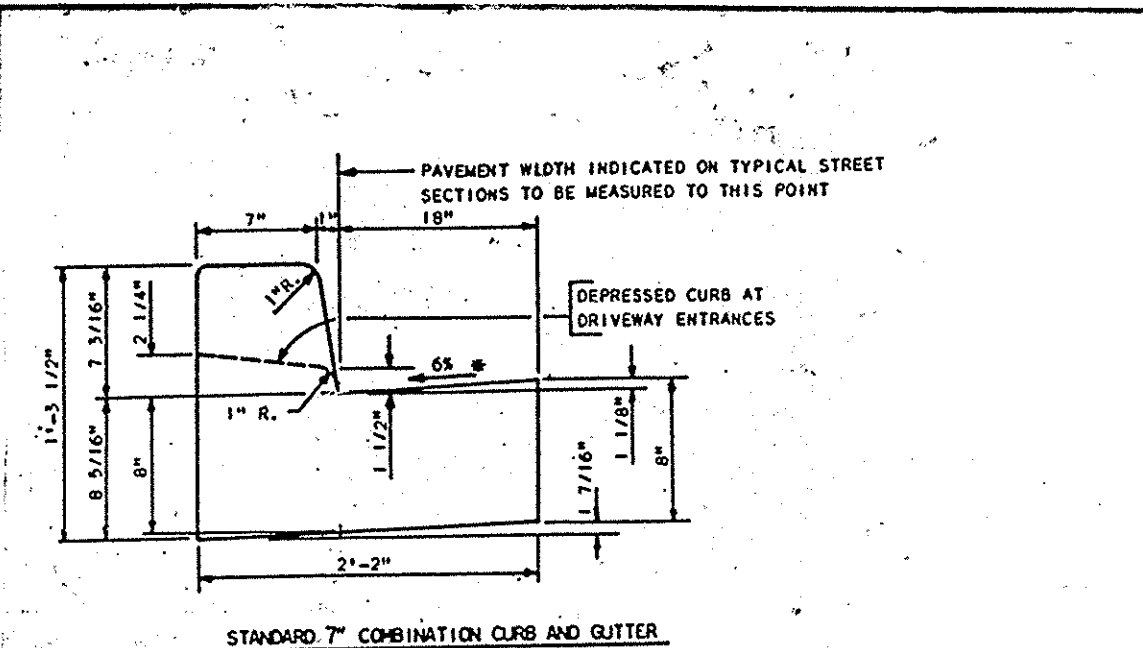
SDP-86-250



U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE COLLEGE PARK, MARYLAND	STRAW BALE DIKE	STANDARD DRAWING SBD-1
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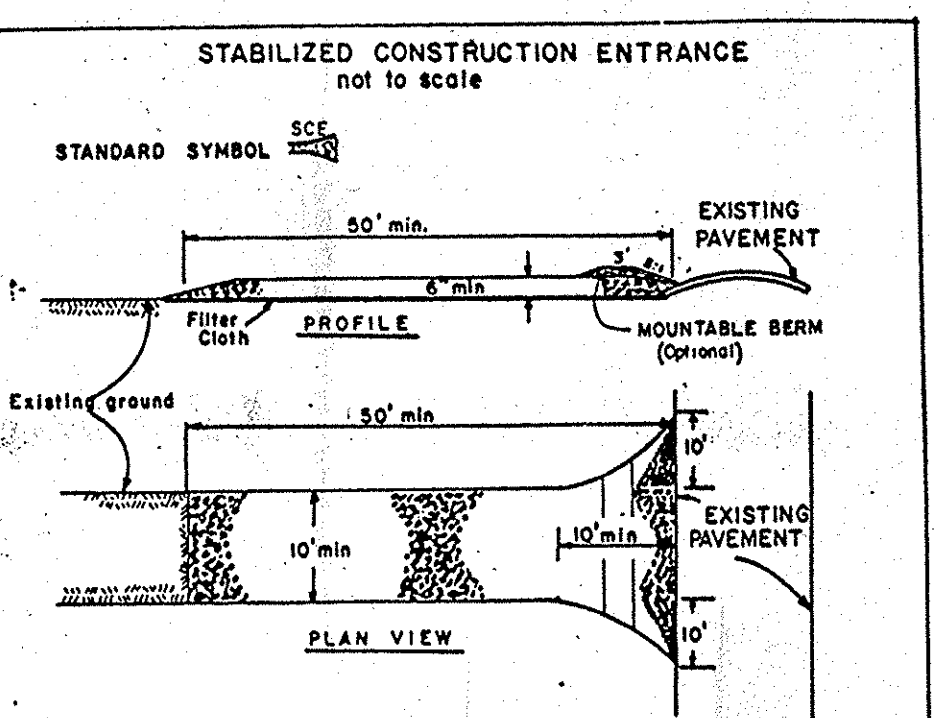
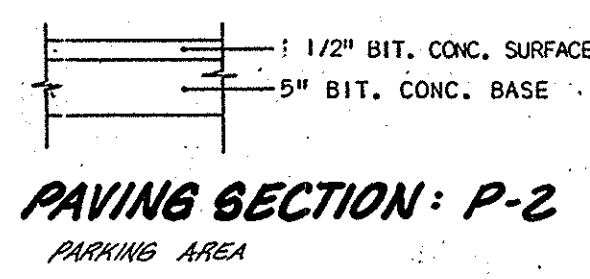
CONSTRUCTION SEQUENCE

- Obtain grading and building permits.
- Notify the Howard County Bureau of Licenses, Inspections and Permits and the Construction Inspection/Service Division at least 24 hours prior to beginning grading operations.
- Clear and grub as necessary to install temporary sediment control devices. 1 day
- Begin Phase I.
- Install sediment trap, temporary storm drain system, silt fence, straw bale dike, and SCE. 1 week
- Construct 3-1 and permanent storm drain (Block 1-1). 3 days
- Construct stormwater management area. 2 weeks
- Rough grade site. 1 week
- Install curb and gutter within Phase I. 1 week
- Pave parking area within Phase I. 1 week
- Apply temporary stabilization to all remaining disturbed areas. 2 days
- Remove block from 3-1. 1 day
- With approval of Howard County Bureau of Licenses, Inspections & Permits, remove sediment trap by:
 - Pump any standing water onto stabilized outfall.
 - Remove and deposit sediment at a site with approved sediment control.
 - Remove temporary storm drain system.
 - Rough grade area.
- Begin Phase II. 2 days
- Bring remaining areas to subgrade. 3 days
- Pave remaining parking area. 3 days
- Final grade remainder of site. 2 days
- Apply permanent stabilization to any disturbed areas remaining. 1 month
- Construct building. 1 month
- With approval of Howard County Bureau of Licenses, Inspections and Permits, remove remaining sediment control measures. 3 days
- Apply permanent stabilization to any remaining disturbed areas. 1 day
- Clean 3-1 and replace filter cloth over opening if necessary. 1 day



- Design Loading
 - Dead Load 150 lbs per cubic foot
 - Wind Load 30 mph, Exposure C by IBC 2000.
- General
 - Shop drawings for all structural elements shown on the Contract Documents must be submitted by the General Contractor and reviewed by the Engineer. If the Contractor or Owner fails to obtain the Engineer's Review of the shop drawings, the Engineer will not be responsible for the structural certification and design of its part of the project. Shop drawings are reviewed by the Engineer as a convenience to the General Contractor and are not a contract document.
 - The General Contractor shall review all shop drawings before submission to the Engineer and make all corrections as he deems necessary and shall approve and initial each drawing.
 - At the time of shop drawing submission, the General Contractor shall inform the Engineer in writing of any deviations or omissions from the Contract Documents.
 - The Contractor shall check and verify all dimensions before proceeding with construction. All discrepancies shall be brought to the attention of the Engineer.
 - Consult the Engineer's Drawings for verifications of location and dimensions of openings, sleeves, trenches, and other Project Requirements.

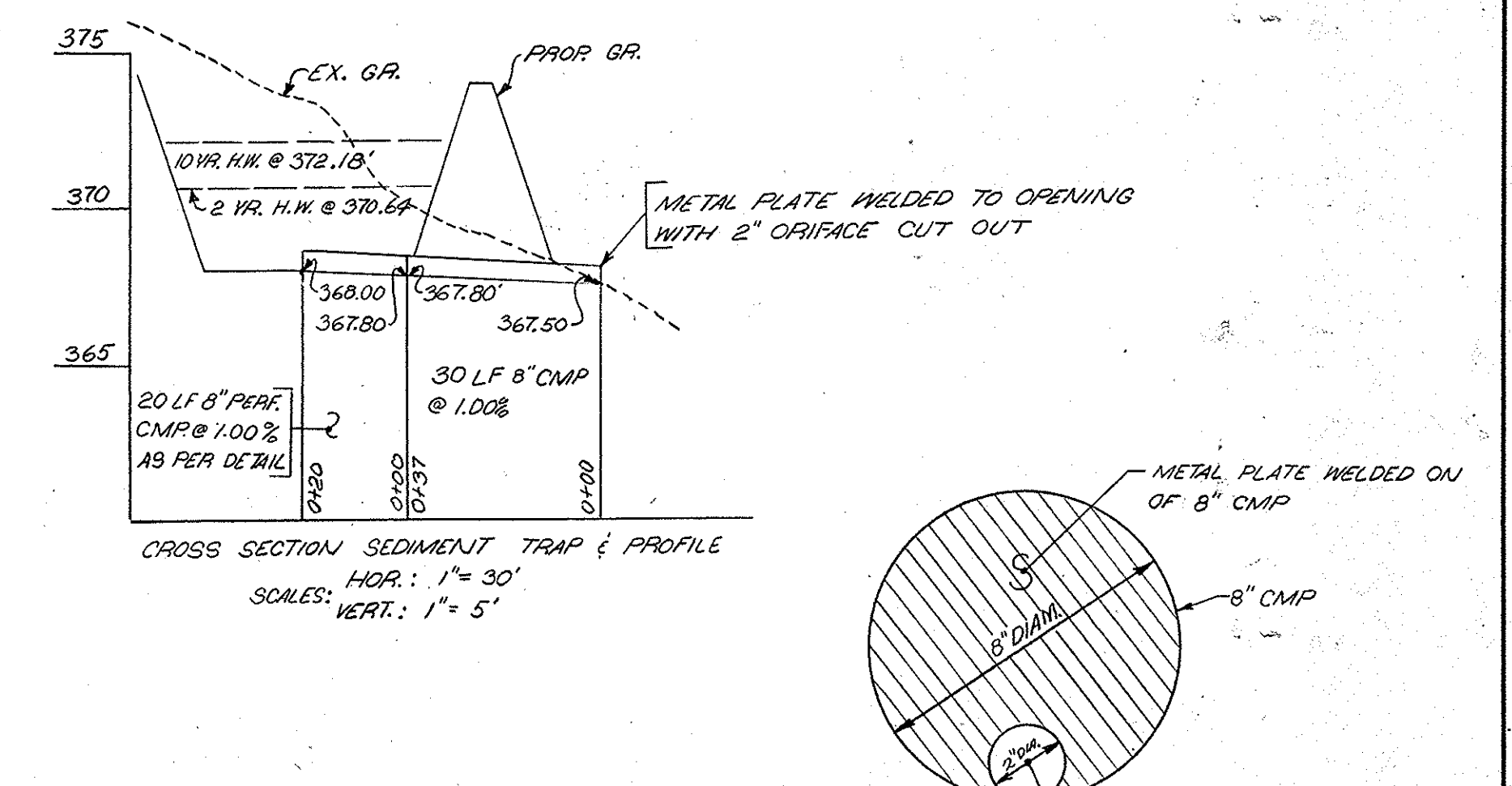
- Foundations
 - Excavation and Backfill
 - Excavated area shall remain free of water until backfill is properly placed and compacted to finished grade.
 - All backfill shall be compacted to a dry density of at least 95% of maximum dry density as determined by AASHTO T-180.
 - Excavated material may be used for backfill.
 - If rock is encountered, this design is void and Engineer must be contacted.
 - Foundations
 - All foundations have been designed for an assumed net allowable soil bearing pressure of 2500 P.S.I. Contractor shall notify Engineer prior to pouring all piers if the bearing capacity has not been achieved.
- Cast-in-Place Concrete
 - All concrete work shall conform to all provisions of the latest edition of the SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301) and to the BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318).
 - Additionally, the concrete shall conform to all provisions of the latest edition of the following publications:
 - ACI 305R: Recommended Practice for Hot Weather Concreting.
 - ACI 306R: Recommended Practice for Cold Weather Concreting.
 - ACI 314R: Recommended Practice for Concrete Formwork.
 - All concrete unless noted otherwise shall be stone aggregate concrete having a minimum compressive strength of 3500 p.s.i. e 28 days. All concrete exposed to weather shall have an air entrainment of 0.12% ± 1/2%. No admixtures containing chlorides shall be permitted. Maximum aggregate size for concrete shall be 1". The maximum water-cement ratio shall be 0.50.
 - All concrete mix designs and admixtures shall be approved by the Engineer prior to initiation of first placement.
 - All reinforcement bars shall conform to ASTM 1-G15, Grade 60.



- CONSTRUCTION SPECIFICATIONS**
- Stone Size - Use 2" stone, or reclaimed or recycled concrete equivalent.
 - Length - As required, but not less than 30 feet (except on a single residential lot where a 20 foot minimum length would apply).
 - Thickness - Not less than six (6) inches.
 - Width - Ten (10) foot minimum, but not less than the full width at points where ingress or egress occurs.
 - Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a single family residence lot.
 - Surface Water - All surface water flowing or diverted toward construction entrance shall be piped across the entrance. If piping is impractical, a mountable berm with 3:1 slopes will be permitted.
 - Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanup of any measures used to trap sediment. All sediment spilled, dropped, or tracked onto public rights-of-way must be removed immediately.
 - Washing - Trucks shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
 - Periodic inspection and needed maintenance shall be provided after each rain.

- Concrete exposed to public view shall meet the requirements for architectural concrete (ACI 301)
- Utilities
 - The Contractor is responsible for locating all underground utilities prior to any excavation, digging or drilling.
 - The Contractor is responsible for any damage to the underground utilities and shall repair any damage to the owner's satisfaction at the Contractor's expense.

<p>PERMANENT SEEDING NOTES</p> <p>Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.</p> <p>Seeding Preparation: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding.</p> <p>Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:</p> <ol style="list-style-type: none"> Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Narrow or disc into upper three inches of soil. At time of seeding, apply 500 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq ft). Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Narrow or disc into upper three inches of soil. <p>Seeding: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (0.5 lbs/1000 sq ft) of seeding legume. During the period of October 16 thru February 28, protect site by Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) has sod. Option (3) seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.</p> <p>Mulching: Apply 1 1/2 to 2 tons per acre (10 to 20 lbs/1000 sq ft) of untreated small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 210 gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 2 feet or higher, use 348 gal per acre (0.8 gal/1000 sq ft) for anchoring.</p> <p>Maintenance: Inspect all seeded areas and make needed repairs, replacements and reseedings.</p>	<p>SEEDING CONTROL NOTES</p> <ol style="list-style-type: none"> A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (992-2437) All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within a 7 calendar days for all permanent sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, 3) 14 days as to all other disturbed or graded areas on the project site. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage. All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 13) and (Sec. 56), temporary seedings (Sec. 50) and mulching (Sec. 35). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector. Site Analysis: <table border="1"> <tr><td>Total Area of Site</td><td>6.000 Acres</td></tr> <tr><td>Area Disturbed</td><td>2.855 Acres</td></tr> <tr><td>Area to be roofed or paved</td><td>0.000 Acres</td></tr> <tr><td>Area to be vegetatively stabilized</td><td>3.145 Acres</td></tr> <tr><td>Total Sediment</td><td>166 Cu. Yds</td></tr> <tr><td>Total Fertilizer</td><td>166 Cu. Yds</td></tr> </table> Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance. Additional sediment control structures, if deemed necessary by the Howard County DPM sediment control inspector, of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made. 	Total Area of Site	6.000 Acres	Area Disturbed	2.855 Acres	Area to be roofed or paved	0.000 Acres	Area to be vegetatively stabilized	3.145 Acres	Total Sediment	166 Cu. Yds	Total Fertilizer	166 Cu. Yds
Total Area of Site	6.000 Acres												
Area Disturbed	2.855 Acres												
Area to be roofed or paved	0.000 Acres												
Area to be vegetatively stabilized	3.145 Acres												
Total Sediment	166 Cu. Yds												
Total Fertilizer	166 Cu. Yds												



APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

James B. Birely 1429/86
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.

Thomas L. Harris 12-31-86
PLANNING DIRECTOR DATE

Kevin F. Quinn 12-21-86
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, AND STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

James M. Quinn 12-23-86
DIRECTOR DATE

William C. Birely 12-22-86
CHIEF, BUREAU OF ENGINEERING DATE

APPROVED
DIVISION OF LAND DEVELOPMENT &
ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE 11-13-86
W.C. Birely

KCI Technologies, Inc
14502 Greenview Dr.
Suite 100
Laurel, MD 20703
410-792-8086

KCI REVISION BLOCK

Date	By	Revision
11/18/86	ch	Add 10' High Wall details and notes.

REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS.

William C. Birely 12-16-86
U.S. SOIL CONSERVATION SERVICE DATE

THIS DEVELOPMENT IS APPROVED SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

William C. Birely 12-16-86
SOIL CONSERVATION DISTRICT DATE

DEVELOPER'S CERTIFICATE

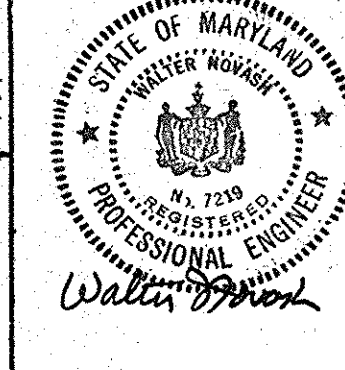
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William C. Birely 11-3-86
DEVELOPER DATE

ENGINEER'S CERTIFICATE

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William C. Birely 11-3-86
ENGINEER DATE



AN ADDITION TO APPROVED SDP 80-82 F 86-08 VP 86-45

TITLE: SITE DEVELOPMENT PLAN
PROJECT: PARCEL "A" BUILDING ADDITION
BIRELY PROPERTY PLAT NO. 6557
LOCATION: TA MAR. 84, PARCELS 15 & 16
2ND ELECTION DISTRICT HOWARD CO., MD.

boender associates inc.
consulting engineers
land surveyors
land planners

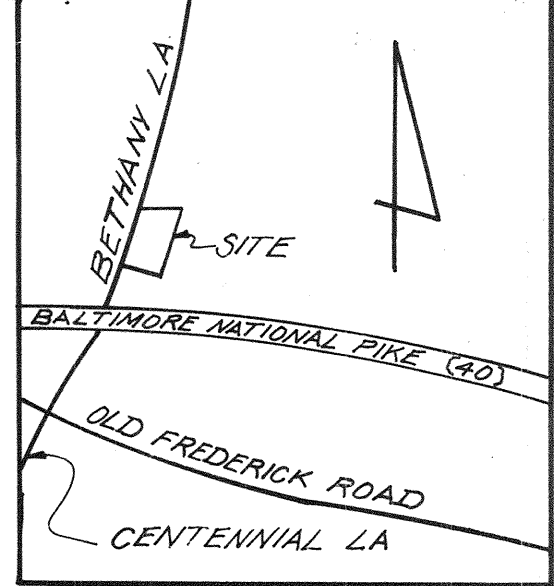
COURTHOUSE SQUARE
3565 ELLICOTT MILLS DRIVE
ELLICOTT CITY, MD 21043
13011 465-7777

SCALE: 1" = 30'
DESIGNED BY: JTN
DRAWN BY: JTN
CHECKED BY: WU DR
DATE: MAY, 1986

FIELD BOOK: PAGE NO.:
JOB NO.: 85021
DRAWING NO.: 2 OF 2

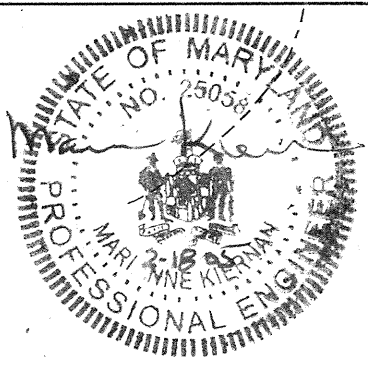
SDP-86-250

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.
 COUNTY HEALTH OFFICER: *[Signature]* DATE: 12/14/86
 APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.
 PLANNING DIRECTOR: *[Signature]* DATE: 12-31-86
 ACTIVE: *[Signature]* DATE: 12-31-86
 CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION
 APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.
 DIRECTOR: *[Signature]* DATE: 12/23/86
 CHIEF, BUREAU OF ENGINEERING: *[Signature]* DATE: 12-22-86



APPROVED
 DIVISION OF LAND DEVELOPMENT &
 ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE: 11-13-86
[Signature]

KCI Technologies, Inc
 14502 Greenview Drive
 Suite 100
 Laurel, MD 20708
 410-792-8086



KCI Revision Block

Date	By	Revision
11/18/86	CW	Add 10' high conc. Wall

DATE	REVISION	BY
11/18/86	ADD 10' HIGH CONC. WALL	CW

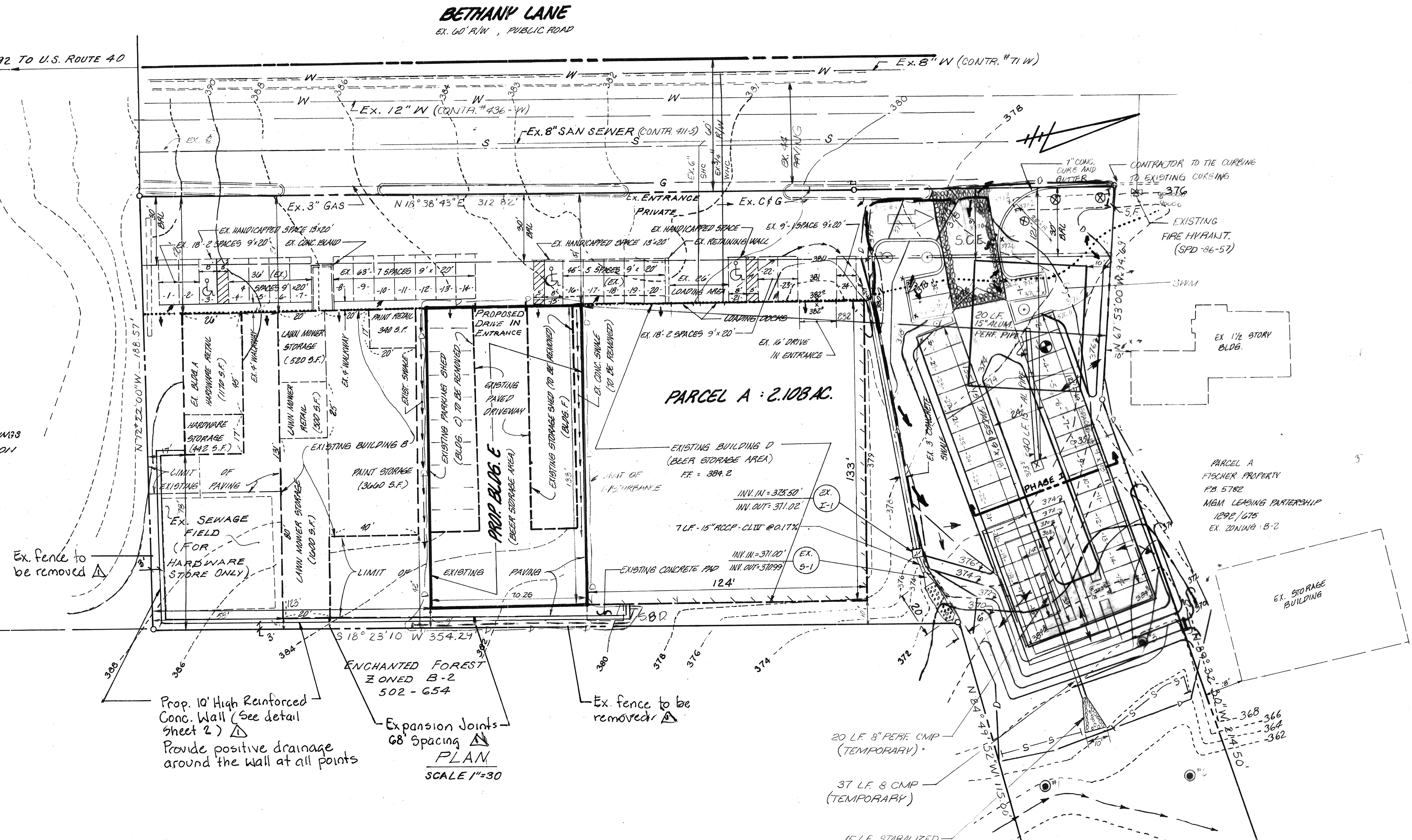
REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS.
 DATE: 12-16-86

U.S. SOIL CONSERVATION SERVICE DATE: 11-16-86

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SOIL CONSERVATION DISTRICT DATE: 11-16-86

BRADFORD FEDERAL SAVINGS AND LOAN ASSOCIATION
 892 - 038,
 ZONED B-2



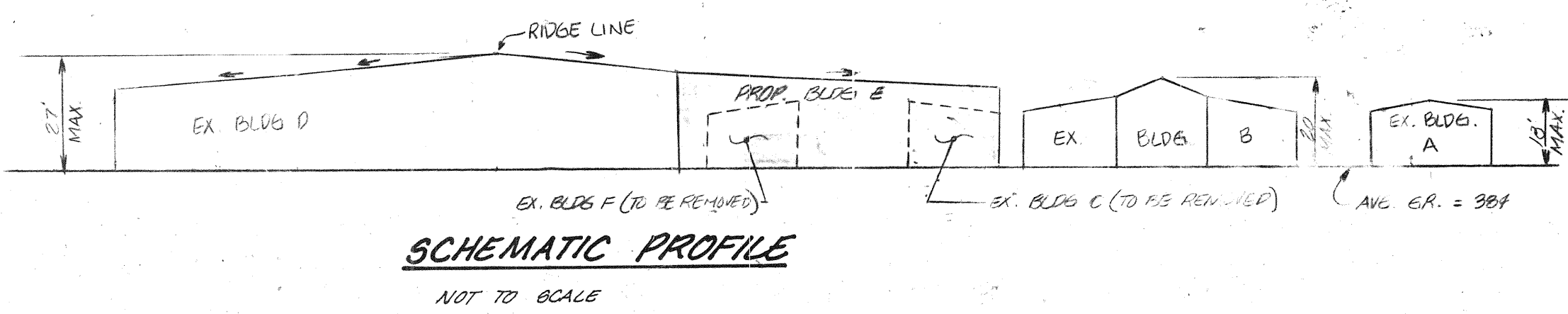
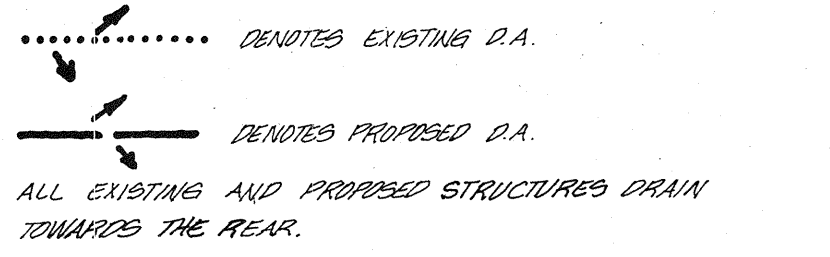
SITE ANALYSIS

- Area of parcel: 2.108 Ac. or 91,824 S.F.
- Ex zoning: B-2
- Floor space tabulations:
 Ex Building A: 442 S.F. Storage, 1170 S.F. Retail
 Ex Building B: 5880 S.F. Storage, 840 S.F. Retail
 Ex Building D: 16492 S.F. Storage
 Prop. Building E: 9177 S.F. Storage
 Floor Space Totals: 29435 S.F. Storage, 2010 S.F. Retail (All first floor)
- Maximum number of employees:
 Ex Building A (Hardware Store): 6 Retail, 2 Storage
 Ex Building B (Lawn Mower Store): 5 Retail, 10 Storage
 (Paint Store): 3 Retail, 6 Storage
 Ex Building D (Beer Storage): 40 Storage
 Prop. Building E (Beer Storage): 26 Storage
 Total maximum employees: 14 Retail, 84 Storage
- Parking requirements:
 32457.25 S.F. Storage @ 1 per 700 S.F. = 46353 spaces
 2,010 S.F. Retail @ 1 per 200 S.F. = 10110 spaces
 Total required spaces: 56
 59 spaces (including 3 handicapped)
- Open space to remain on site:
 0.494 Ac. or 23.4 %
- Building Coverage:
 Existing Buildings to Remain = 24824 S.F.
 Prop. Additional Building E = 29435 S.F.
 Total Building Coverage: 54259 S.F. or 37.0 %
- PARKING AREA: 11912 S.F. LANDSCAPED ISLANDS: 664 S.F. OR 5.82 %

GENERAL NOTES

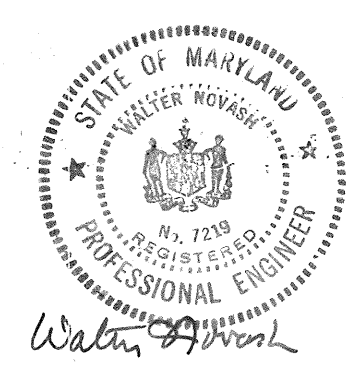
- Tax Map 24, Parcels: 15 & 16
- Deed Reference: 1004/315
- Ex. Zoning: B-2
- Area of Site: 2.108 Ac.
- Public water and sewerage are to be utilized. Water and sewer connections to existing building C to be used for proposed building E.
- Bethany Lane is an existing public road.
- All construction to be in accordance with No. Co. Design Manual, Vol. IV.
- Contractor to verify the location of all underground utilities prior to beginning work.
- Topo shown hereon is based on a site plan prepared by Jack S. Feick and Assoc. dated 2-20-80 (SDP-80-82); except former Fischer Property, which was field run by Boender Associates, Nov. 1985.
- The subject property is recorded as Birely Property, Parcel A, as Plat No. 6559.
- designates borings for stormwater management.

DRAINAGE AREA MAP NOTES



DEVELOPER'S CERTIFICATE
 I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.
 DEVELOPER: *William C. Birely* DATE: 11-3-86

ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 ENGINEER: *Walter Novak* DATE: 11-3-86



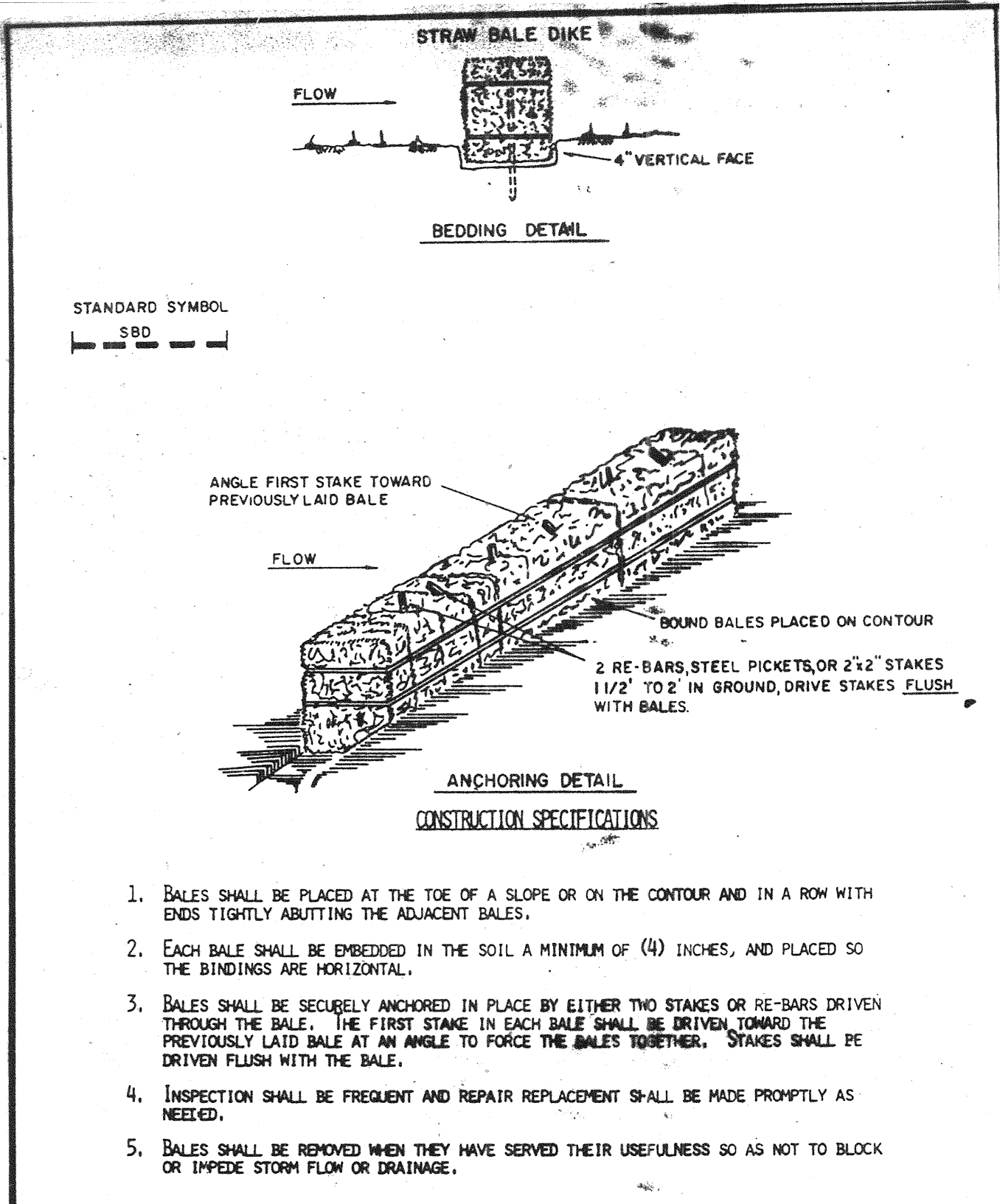
SUBDIVISION NAME: BIRELY PROPERTY		SECT./AREA: 24	PARCEL #: A	TITLE: SITE DEVELOPMENT PLAN
PLAT #: 6559	BLOCK #: 2	ZONED: B-2	TAX MAP: 24	PROJECT: PARCEL A BIRELY PROPERTY BUILDING ADDITION
WATER CODE: F-14	SEWER CODE: 59,90000	LOT NUMBER: PARCEL A	STREET ADDRESS: 3075 BETHANY LANE	LOCATION: TAX MAP 24, PARCELS 15 & 16
ADDRESS CHART		SCALE: 1" = 30'	DESIGNED BY: JTN	DRAWN BY: JTN
		FIELD BOOK: 10F 2	CHECKED BY: WJC	DATE: MAY 1986
			JOB NO.: 88021	DRAWING NO.: 10F 2

OWNER / DEVELOPER

WILLIAM C. BIRELY
 9902 WINDFLOWER DRIVE
 ELLICOTT CITY, MD 21043

boender associate inc.
 consulting engineers
 land surveyors
 land planners
 COURTHOUSE SQUARE
 3565 ELLICOTT MILLS DRIVE
 ELLICOTT CITY, MD. 21043
 (301) 485-7777

SDP-86-250



U.S. DEPARTMENT OF AGRICULTURE
SOIL CONSERVATION SERVICE
COLLEGE PARK, MARYLAND

STRAW BALE DIKE

STANDARD DRAWING
SBD-1

11.02

CONSTRUCTION SEQUENCE

- Obtain grading and building permits. 1 day
- Notify the Howard County Bureau of Licenses, Inspections and Permits and the Construction Inspection/Permits Division at least 24 hours prior to beginning grading operations. 1 day
- Clear and grub as necessary to install temporary sediment control devices. 1 day
- Begin Phase I. 1 week
- Install sediment trap, temporary storm drain system, silt fence, straw bale dike, and SSC. 1 week
- Construct I-1 and permanent storm drain (Block I-1). 3 days
- Construct stormwater management area. 2 weeks
- Finish grade site. 1 week
- Install curb and gutter within Phase I. 1 week
- Have parking area within Phase I. 1 week
- Apply temporary stabilization to all remaining disturbed areas. 2 days
- Remove block from I-1. 1 day
- With approval of Howard County Bureau of Licenses, Inspections and Permits, remove sediment trap by:
 - Pump any standing water onto stabilized outfall
 - Remove and deposit sediment at a site with approved sediment control
 - Remove temporary storm drain system
 - Finish grade area.
 2 weeks
- Begin Phase II. 3 days
- Bring remaining areas to subgrade. 3 days
- Have remaining parking area. 3 days
- Finish grade remainder of site. 2 days
- Apply permanent stabilization to any disturbed areas remaining. 2 days
- Construct buildings. 1 month
- With approval of Howard County Bureau of Licenses, Inspections and Permits, remove remaining sediment control measures. 3 days
- Apply permanent stabilization to any remaining disturbed areas. 1 day
- Clean I-1 and replace filter cloth over opening if necessary. 1 day

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.
 Joyner Bedwin 1/29/86
 COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.
 Thomas L. Harris 12/31/86
 PLANNING DIRECTOR DATE

APPROVED: CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION
 Kevin F. Quinn 12/21/86
 CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.
 Thomas M. Lewis 12/23/86
 DIRECTOR DATE

APPROVED: CHIEF, BUREAU OF ENGINEERING
 William B. Ridd 12-22-86
 CHIEF, BUREAU OF ENGINEERING DATE

APPROVED
 DIVISION OF LAND DEVELOPMENT &
 ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE 11-13-86
 ms/STJ

KCI Technologies, Inc
 14502 Greenview Dr.
 Suite 100
 Laurel, MD 20708
 410-792-8086

KCI REVISION BLOCK

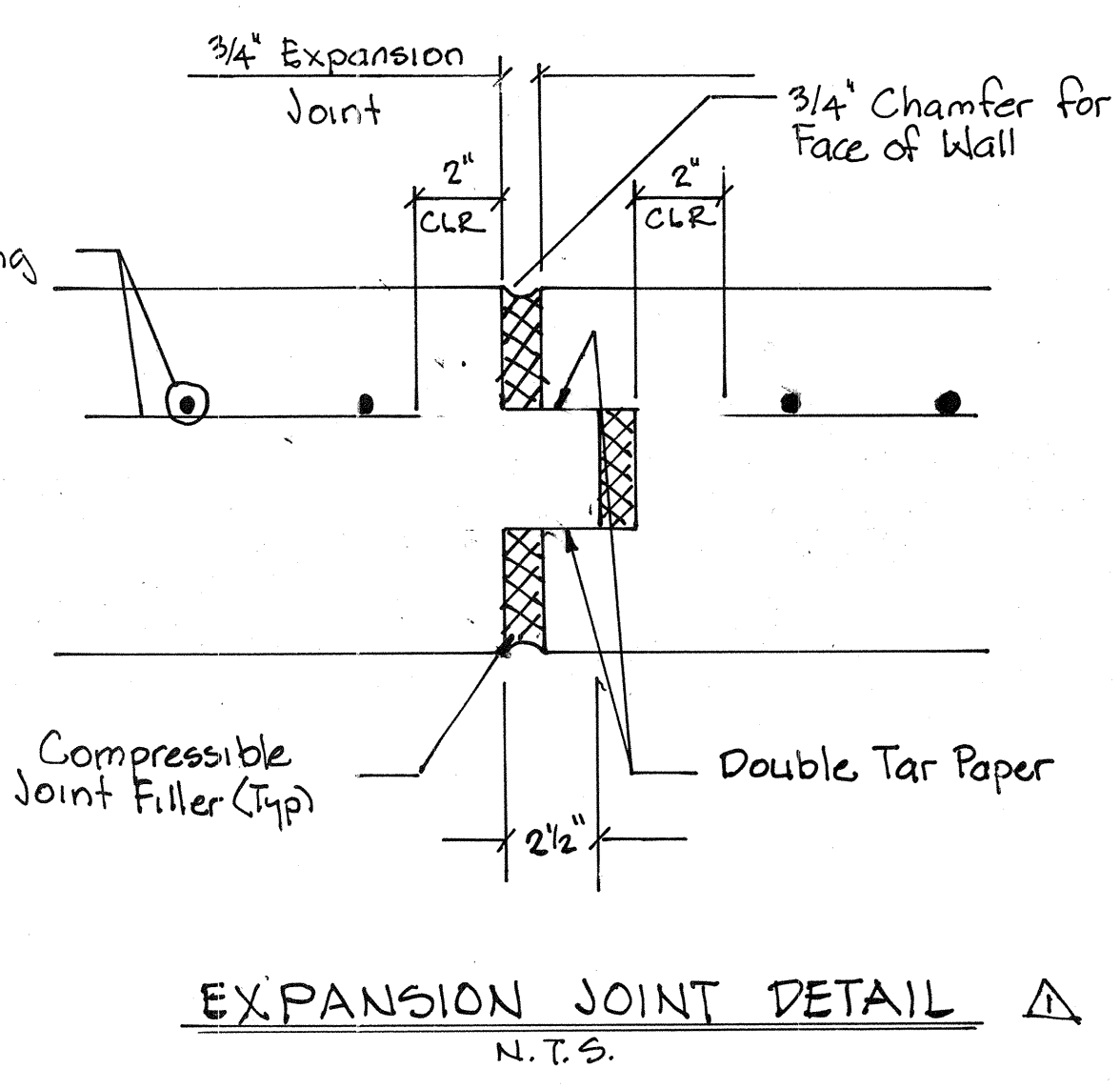
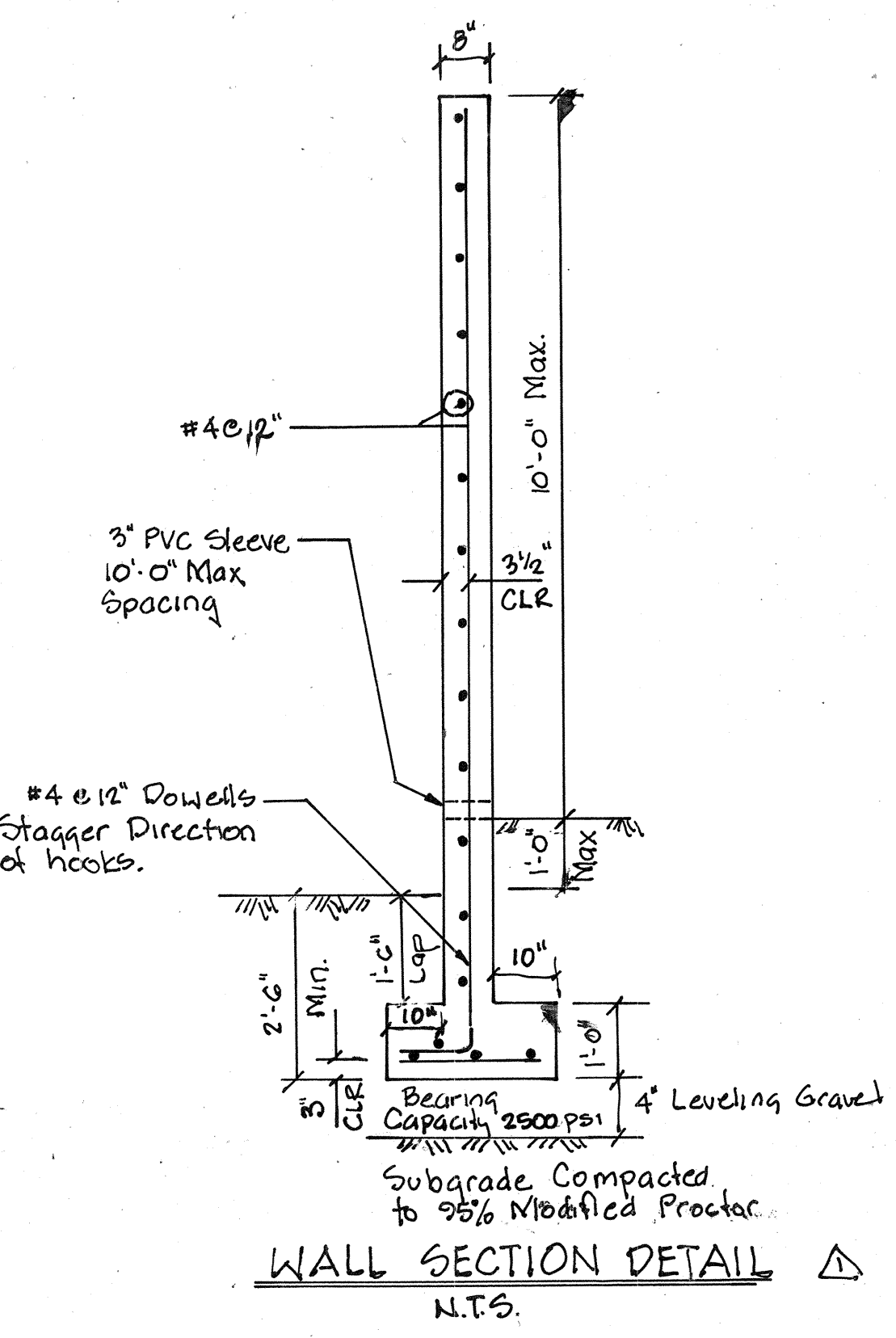
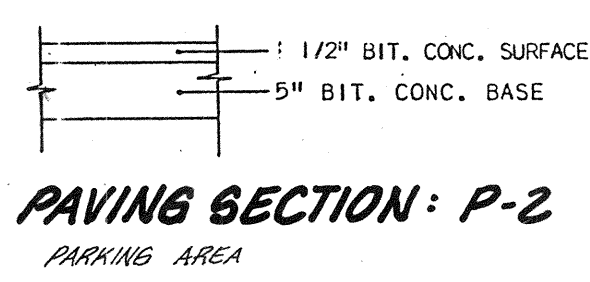
Date	By	Revision
11/8/05	CM	Δ Add 10' High Wall details and notes.

REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS.
 U.S. SOIL CONSERVATION SERVICE DATE 12-16-86

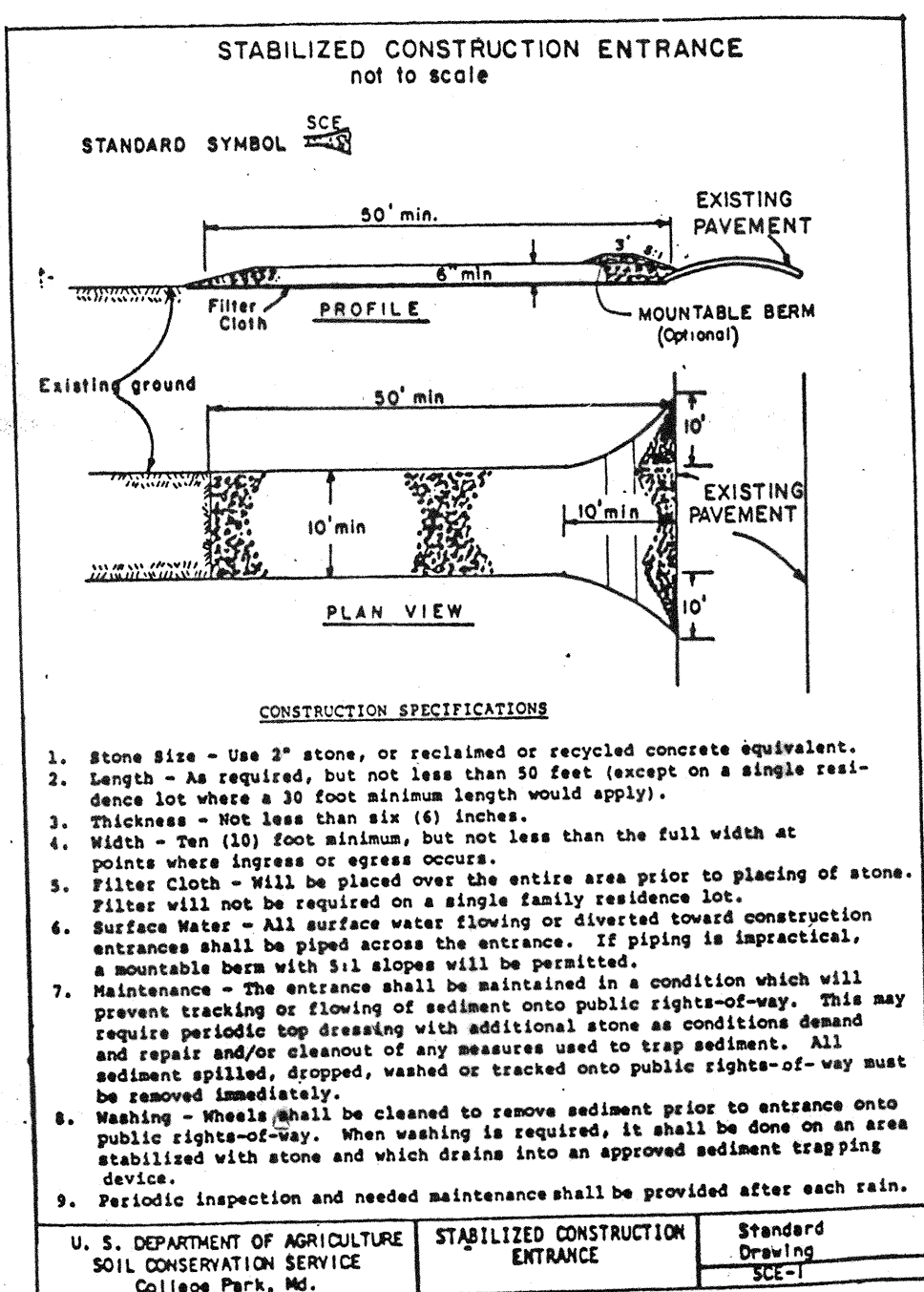
THIS DEVELOPMENT IS APPROVED SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 SOIL CONSERVATION DISTRICT DATE 12-16-86

DEVELOPER'S CERTIFICATE
 I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT OR THE U.S. ENVIRONMENTAL AGENCY IF DEEMED NECESSARY.
 DEVELOPER: William C. Birely DATE 11-3-86

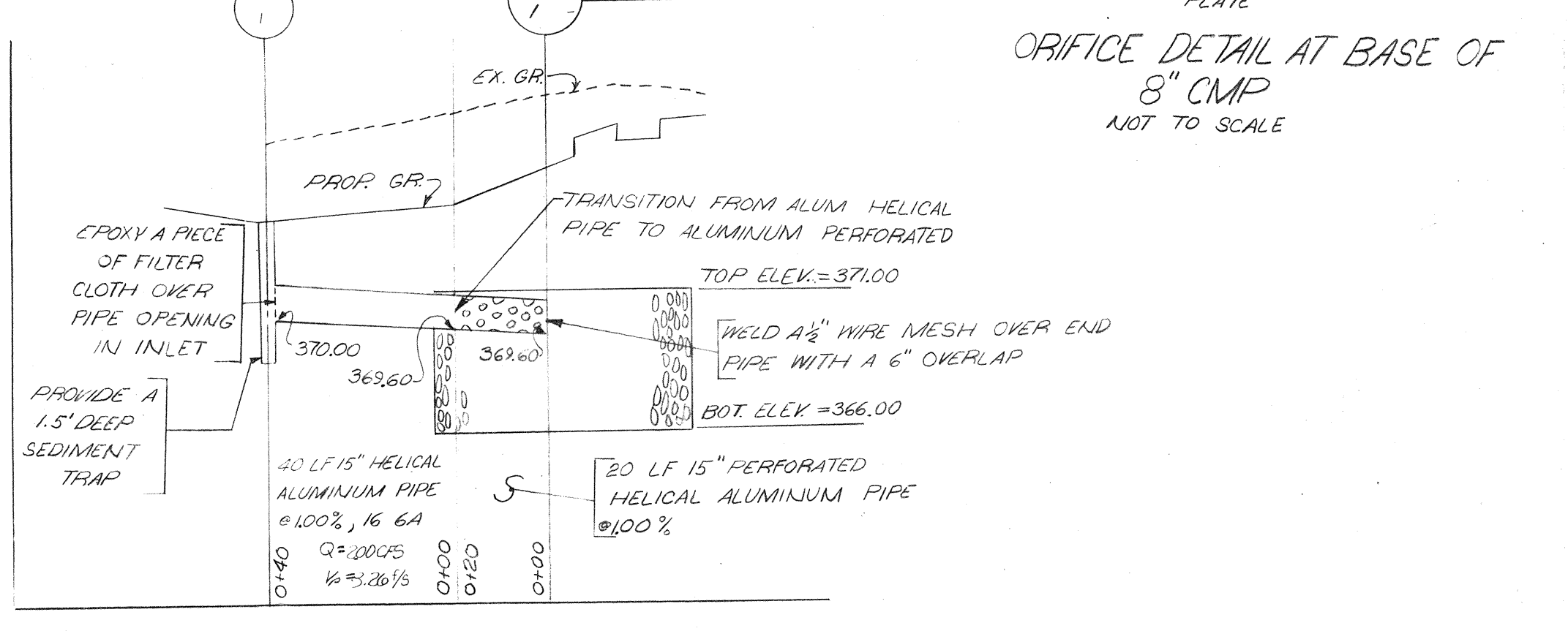
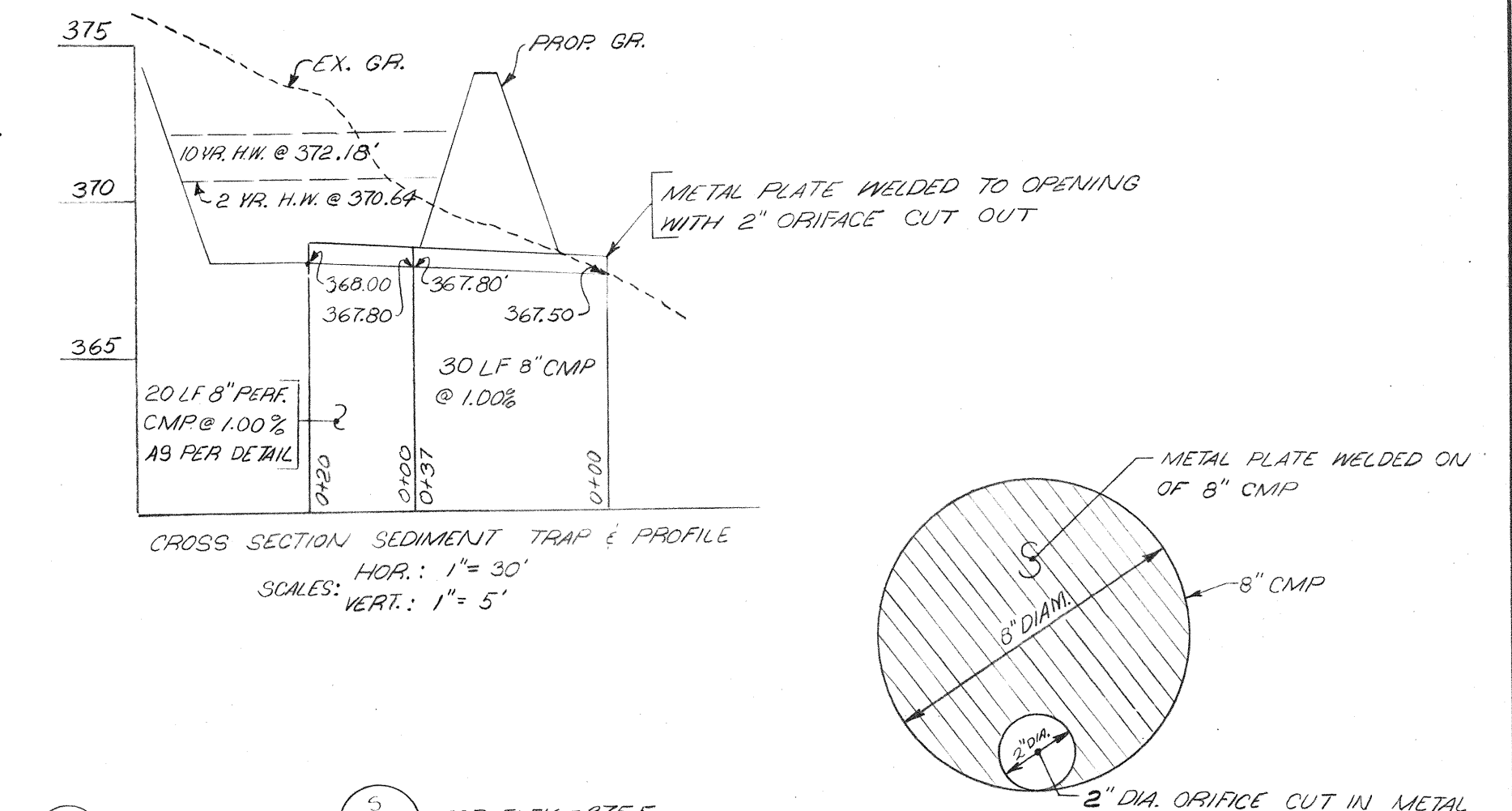
ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND FEASIBLE PLAN BASED ON PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 ENGINEER: Walter Dronach DATE 11-3-86



- Design Loading
 - Dead Load 150 lbs per cubic foot
 - Wind Load 90 mph, Exposure C by 18C 2000.
- General
 - Shop drawings for all structural elements shown on the Contract Documents must be submitted by the General Contractor and reviewed by the Engineer. If the Contractor or Owner fails to obtain the Engineers Review of the shop drawings, the Engineer will not be responsible for the structural certification and design of its part of the project. Shop drawings are reviewed by the Engineer as a convenience to the General Contractor and are not a contract document.
 - The General Contractor shall review all shop drawings before submission to the Engineer and make all corrections as he deems necessary and shall approve and initial each drawing.
 - At the time of shop drawing submission, the General Contractor shall inform the Engineer in writing of any deviations or omissions from the Contract Documents.
 - The Contractor shall check and verify all dimensions before proceeding with construction. All discrepancies shall be brought to the attention of the Engineer.
 - Consult the Engineers Drawings for verifications of location and dimensions of openings, sleeves, trenches, and other Project Requirements
- Foundations
 - Excavation and Backfill
 - Excavated area shall remain free of water until backfill is properly placed and compacted to finished grade
 - All backfill shall be compacted to a dry density of at least 95% of maximum dry density as determined by AASHTO T-180.
 - Excavated material may be used for backfill.
 - If rock is encountered, this design is void and Engineer must be contacted.
 - Foundations
 - All foundations have been designed for an assumed net allowable soil bearing pressure of 2500 P.S.I. Contractor shall notify Engineer prior to pouring all piers if the bearing capacity has not been achieved.
- Cast-in-Place Concrete
 - All concrete work shall conform to all provisions of the latest edition of the SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301) and to the BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318)
 - Additionally, the concrete shall conform to all provisions of the latest edition of the following Publications:
 - ACI 305R: Recommended Practice for Hot Weather Concreting.
 - ACI 306R: Recommended Practice for Cold Weather Concreting.
 - ACI 314R: Recommended Practice for Concrete Formwork.
 - All concrete unless noted otherwise shall be stone aggregate concrete having a minimum compressive strength of 3500 P.S.I. at 28 days. All concrete exposed to weather shall have an air entrainment of 6.1% ± 1/2%. No admixtures containing chlorides shall be permitted. Maximum aggregate size for concrete shall be 1". The maximum water-cement ratio shall be 0.50.
 - All concrete mix designs and admixtures shall be approved by the Engineer prior to initiation of first placement.
 - All reinforcement bars shall conform to ASTM A-615, Grade 60.



- Concrete exposed to public view shall meet the requirements for architectural concrete (ACI 301)
- Utilities
 - The Contractor is responsible for locating all underground utilities prior to any excavation, digging or drilling.
 - The Contractor is responsible for any damage to the underground utilities and shall repair any damage to the owner's satisfaction at the Contractor's expense.



PERMANENT SEEDING NOTE

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Soil Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding.

Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:

- Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 600 lbs per acre 10-10-10 fertilizer (16 lbs/1000 sq ft) before seeding. Narrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq ft).
- Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Narrow or disc into upper three inches of soil.

Seeding: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 50 lbs per acre (14 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (5 lbs/1000 sq ft) of weeping lovegrass. During the period of seeding, apply 2 tons per acre by Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching: Apply 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of untreated small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas, on slopes 8 feet or higher, use 268 gallons per acre (8 gal/1000 sq ft) for anchoring.

Maintenance: Inspect all seeded areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTE

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

Soil Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding.

Soil Amendments: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft).

Seeding: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 1/2 bushel per acre of annual ryegrass (3.2 lbs/1000 sq ft). For the period May 1 thru August 15, seed with 3 lbs per acre of weeping lovegrass (4.0 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching: Apply 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of untreated small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas, on slopes 8 feet or higher, use 268 gallons per acre (8 gal/1000 sq ft) for anchoring.

Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

SEDIMENT CONTROL NOTES

- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (992-2437)
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance or redisturbance, placement of temporary stabilization shall be completed within 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, by 14 days as to all other disturbed or graded areas on the project site.
- All sediment trapping devices must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 51) and (Sec. 54), temporary seedings (Sec. 50) and mulching (Sec. 52). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:

Total Area of Site	0.000 Acres
Area Disturbed	0.000 Acres
Area to be seeded or paved	0.000 Acres
Area to be vegetatively stabilized	0.000 Acres
Total Cut	0.000 Cu. Yds
Total Fill	0.000 Cu. Yds
Office waste/borrow area location	
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment controls must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment control, but before proceeding with any other earth disturbance or grading. Other buildings or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.

OWNER-DEVELOPER
 WILLIAM C. BIRELY
 9902 WINFLOWER DRIVE
 ELLICOTT CITY, MARYLAND 21043

AN ADDITION TO APPROVED SDP 80-82 F 86-08 VP 86-45

boender associates inc.
 consulting engineers
 land surveyors
 land planners

COURTHOUSE SQUARE
 3565 ELLICOTT MILLS DRIVE
 ELLICOTT CITY, MD. 21043
 1301 465-7777

