

NO.	SHEET INDEX	DESCRIPTION
1	TITLE SHEET	
2	SITE DEVELOPMENT PLAN	
3	DETAILS AND PROFILES	
4	DRAINAGE AREA MAP AND SEDIMENT CONTROL PLAN	
5	STORM WATER MANAGEMENT / SEDIMENT CONTROL NOTES AND DETAILS	
6	PLANTING PLAN	

SITE DEVELOPMENT PLAN

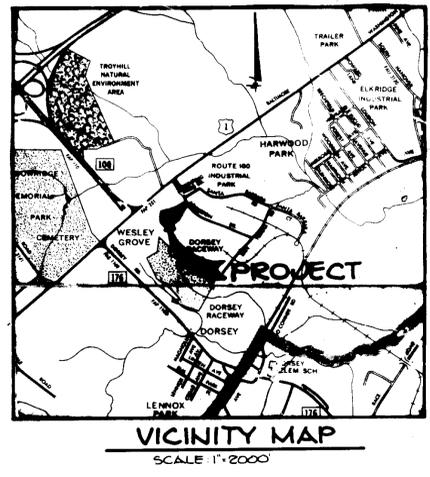
FEATHERMAN BUILDING

ROUTE ONE HUNDRED INDUSTRIAL PARK

BLOCK B PARCEL E

1 ST ELECTION DISTRICT

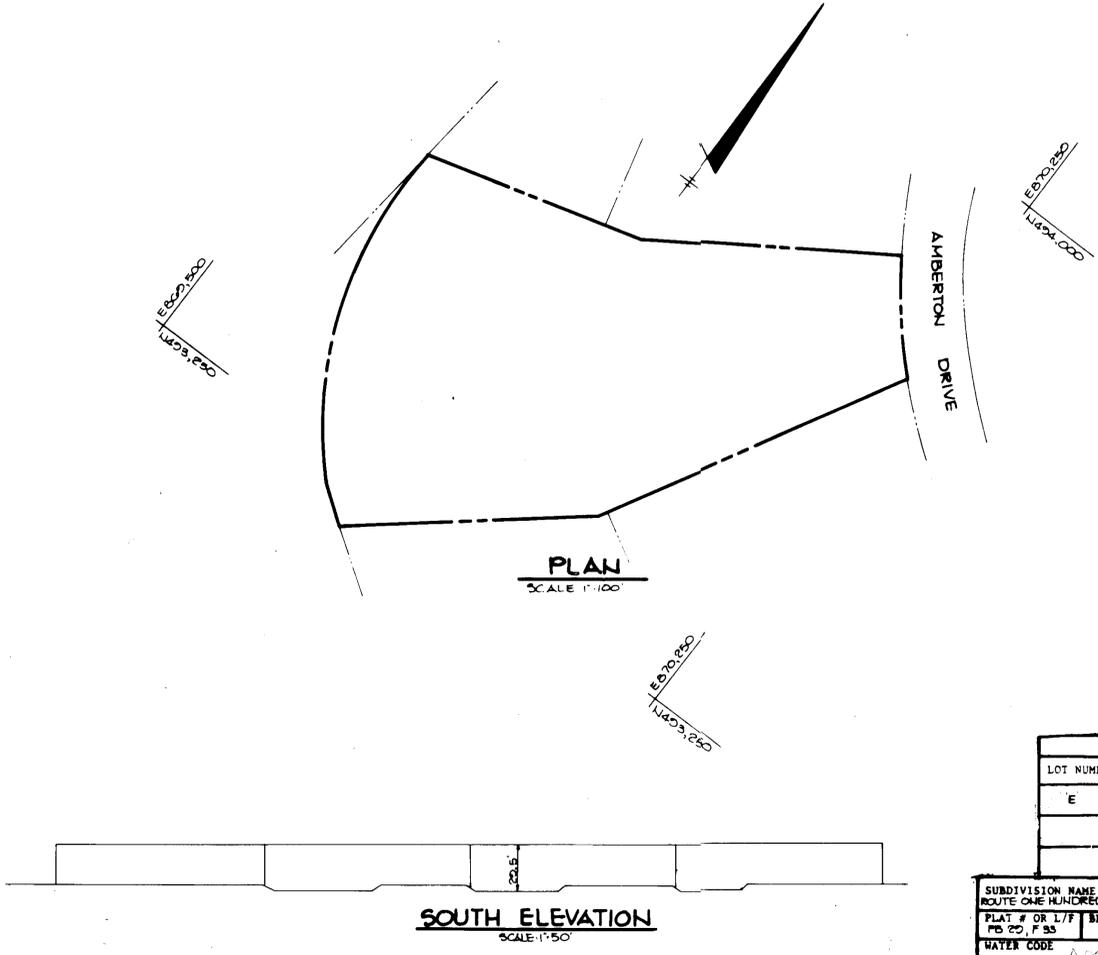
HOWARD COUNTY, MARYLAND



1. ALL WORK SHALL BE CONFORMED TO THE REQUIREMENTS OF 4" COVER SLAB FINISHING.
2. ALL WORK SHALL BE CONFORMED TO THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, (i.e., STANDARD SPECIFICATIONS) AND DETAILS FOR CONSTRUCTION.
3. APPROXIMATE LOCATIONS OF EXISTING UTILITIES ARE SHOWN FROM BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATIONS SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
4. THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS TO VERIFY THEIR LOCATION AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF LOCATION OF UTILITIES IS OTHER THAN SHOWN.
5. CONTRACTOR TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS:
- | | |
|---|----------------|
| DESS UTILITY | 1-800-257-7777 |
| C & P TELEPHONE COMPANY | 725-9974 |
| HOWARD COUNTY BUREAU OF UTILITIES | 992-2344 |
| ARBY CABLE LOCATION DIVISION | 393-3553 |
| BALTIMORE GAS & ELECTRIC COMPANY | 685-0123 |
| STATE HIGHWAY ADMINISTRATION | 531-5533 |
| HOWARD COUNTY COMPLETION/INSPECTION SURVEY DIVISION (24 HOURS NOTICE PRIOR TO COMMENCEMENT OF WORK) | 792-7272 |
6. ALL UTILITY SHALL BE CONFORMED TO HOWARD COUNTY STANDARDS.
7. ALL FINISH ELEVATIONS SHOWN ARE FINISH ELEVATIONS.
8. ALL EXISTING CURBS SHOWN SHALL BE ALL SHOWN WITHIN 2'-0" OF EXTERIOR WALLS.
9. ALL EXISTING CURBS TO BE REPAIRED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
10. ALL CURBS SHALL BE SET TO THE CORRECT ELEVATION AS SHOWN ON THESE DRAWINGS.
11. ALL CURBS SHALL BE SET TO THE CORRECT ELEVATION AS SHOWN ON THESE DRAWINGS.
12. ALL CURBS SHALL BE SET TO THE CORRECT ELEVATION AS SHOWN ON THESE DRAWINGS.
13. ALL CURBS SHALL BE SET TO THE CORRECT ELEVATION AS SHOWN ON THESE DRAWINGS.
14. THE DEVELOPER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR THE SEDIMENT AND EROSION CONTROL PRACTICES, STORM WATER MANAGEMENT PRACTICES AND THE DISCHARGE OF STORM WATER ONTO OR ACROSS ADJACENT OR DOWNSTREAM PROPERTIES INCLUDED IN THIS PLAN. HE IS ALSO RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR GRADING AND/OR WORK ON ADJACENT PROPERTIES INCLUDED IN THIS PLAN.

SITE TABULATION

TOTAL AREA OF PROPERTY	5.0 Ac.
AREA OF SUBMISSION	5.0 Ac.
EXISTING ZONING	M-2
PROPOSED USE:	Warehouse/Office
BUILDING AREA (ONE STORY)	84,512 SF
AREA OF PARKING	37,833 SF
AREA OF PARKING ISLANDS REQUIRED (5%)	1,892 SF
AREA OF PARKING ISLANDS PROPOSED (1.1%)	2,430 SF
OPEN SPACE REQUIRED (20%)	1 Ac.
OPEN SPACE PROPOSED (30%)	1.5 Ac.
PARKING	
10% OF BUILDING = OFFICE	8,450 SF
OFFICE EMPLOYEES = 42	
7 SPACES PER 10 EMPLOYEES	30 Spaces Required
90% OF BUILDING = WAREHOUSE	76,062 SF
WAREHOUSE EMPLOYEES = 106	
1 SPACE PER 2 EMPLOYEES	53 Spaces Required
TOTAL REQUIRED PARKING =	98 Spaces
TOTAL PARKING PROVIDED (INCLUDING:	
5 HANDICAPPED SPACES =	106 Spaces



ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
E	6610 AMBERTON DRIVE

SUBDIVISION NAME	ROUTE ONE HUNDRED BUSINESS PARK	SECT./AREA	BLOCK - D	PARCEL #	E
PLAT # OR L/F	24	ZONE	M-2	TAX/ZONE MAP	37
PD #	20, F 33	ELEC. DIST.	1ST	CENSUS TR	6048
WATER CODE	A04	SEWER CODE	215112		

APPROVED
DIVISION OF LAND DEVELOPMENT &
ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE 6-24-86
MS/PTD

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,
HOWARD COUNTY HEALTH DEPARTMENT.

James J. ... 9-4-86
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.

John M. ... 9-5-86
PLANNING DIRECTOR DATE

Lois F. ... 9-5-86
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

John E. ... 8-28-86
DIRECTOR DATE

... 8-28-86
CHIEF, BUREAU OF ENGINEERING DATE

DATE	NO.	REVISION

OWNER / DEVELOPER
AMBERTON ASSOCIATES LIMITED PARTNERSHIP
2145 GUILFORD ROAD
SUITE 110
COLUMBIA, MARYLAND 21046
% LARRY GILDEA
ROUSE AND ASSOCIATES

PROJECT: **FEATHERMAN BUILDING**
(OFFICE / WAREHOUSE)

AREA: ROUTE ONE HUNDRED BUSINESS PARK
BLOCK 'B' PARCEL 'E' PB 20, F 33 TAX MAP NO 37
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE: **TITLE SHEET**

THE RIEMER GROUP, INC.
The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm
3106 Health Park Drive, Ellicott City, Maryland 21043 (301) 461-2800

... 8-21-86
DATE

DESIGNED BY: JKB
DRAWN BY: DAK
PROJECT NO: 28300
DATE: 4-14-86
SCALE: AS SHOWN
DRAWING NO: 1 OF 6

103.500N
870.250E

B. BINDER ET AL
LIBER 4 FOLIO 148
ZONED M-2

MT ZION CEMETERY
LIBER 75 FOLIO 348
ZONED M-2

ROUTE 100 BUSINESS PARK
BLOCK 'B' PARCEL 'F'
20/34
SDP-85-214
ZONED M-2

104.000N
870.250E

F.F. 184.0
PROPOSED OFFICE/WAREHOUSE

AMBERTON
(PUBLIC ROAD)
DRIVE

GENERATED PWD 1-19-17	
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.	
<i>Jasper J. Jones</i> COUNTY HEALTH OFFICER	9-4-86 DATE
APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.	
<i>John W. Muschman</i> PLANNING DIRECTOR	9-5-86 DATE
<i>ACTIVE Loui F. Deane</i> CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION	9-5-86 DATE
APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.	
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS	
<i>George E. Newmyer</i> DIRECTOR	8-24-86 DATE
<i>William S. Rainey</i> CHIEF, BUREAU OF ENGINEERING	8-22-86 DATE
1/19/17	
DATE	NO. REVISION

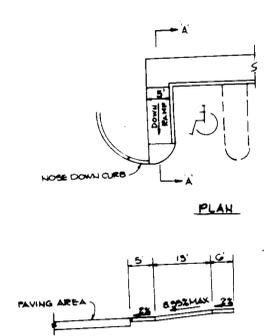
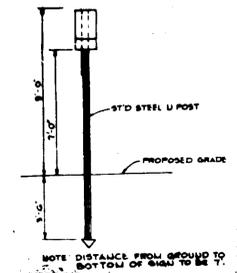
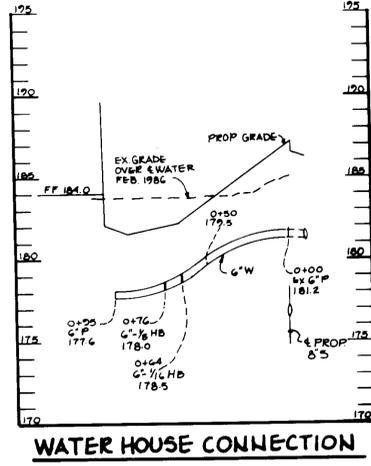
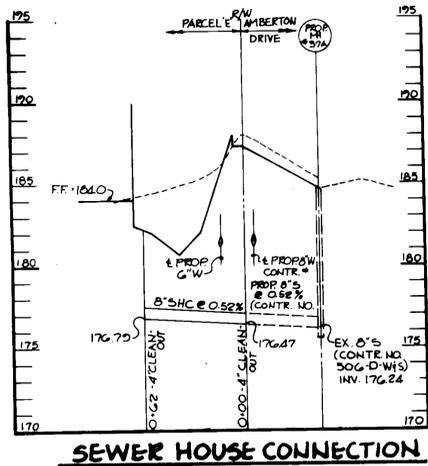
OWNER/DEVELOPER	AMBERTON ASSOCIATES LIMITED PARTNERSHIP 2145 GUILFORD ROAD SUITE 110 COLUMBIA, MARYLAND 21046 % LARRY GILDEA ROUSE AND ASSOCIATES
PROJECT:	FEATHERMAN BUILDING (OFFICE / WAREHOUSE)
AREA	ROUTE ONE HUNDRED BUSINESS PARK BLOCK 'B' PARCEL 'E' PB 20, F 33 TAX MAP NO 97 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
TITLE:	SITE DEVELOPMENT PLAN

THE RIEMER GROUP, INC.	
The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm 9106 Health Park Drive, Ellicott City, Maryland 21043 (301) 461-2660	
<i>8-21-86</i> DATE	DESIGNED BY: D.A.M.
	DRAWN BY:
	PROJECT NO: 28300
	DATE: 8-14-86
SCALE: 1"=50'	DRAWING NO. 2 OF 6

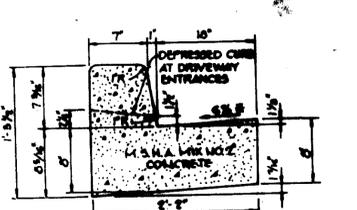
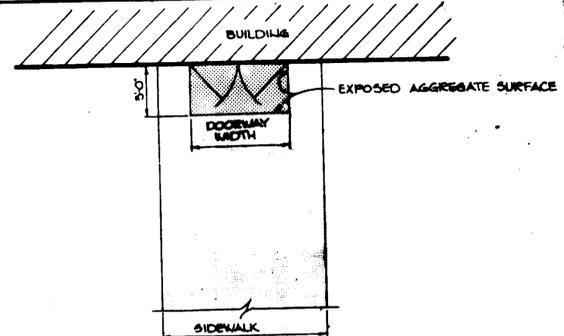
NOTE: ALL CURB RADII ARE TO BE 5' UNLESS OTHERWISE NOTED
ALL BUILDING ENTRANCES ARE TO HAVE TEXTURAL IDENTIFICATION FOR THE BLIND EXCEPT THOSE EXCLUSIVELY FIRE EXITS SEE DETAIL SHEET NO. 3

LEGEND: P-2 PAVING
CONCRETE SIDEWALK

APPROVED
DIVISION OF LAND DEVELOPMENT &
ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE 6-24-86
MJ/F70



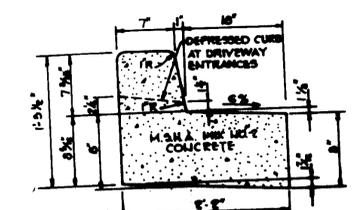
HANDICAP SIGN DETAIL
NO SCALE



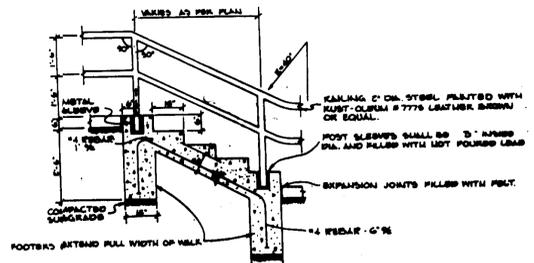
HOWARD COUNTY DESIGN MANUAL VOLUME II - STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (DRAWING R-201)

* GUTTER PAN AT THE MEDIAN EDGE OF INTERMEDIATE SECTIONS SHALL BE SLOPED AT THE SAME RATE AS THE PAVEMENT.

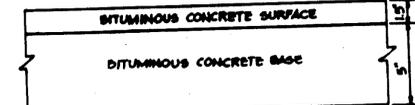
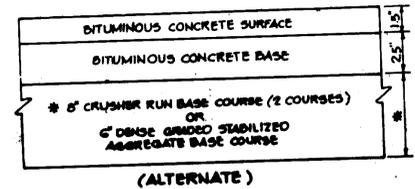
STANDARD 7" COMBINATION CURB AND GUTTER
NO SCALE



REVERSE 7" COMBINATION CURB AND GUTTER
NO SCALE



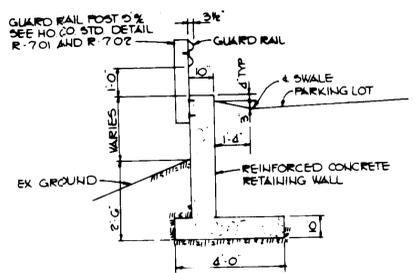
CONCRETE STAIRWAY DETAIL
NO SCALE



HOWARD COUNTY DESIGN MANUAL VOLUME II - STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (DRAWING R-201)

(6" PAVING, P. 2)

PAVING SECTION DETAIL
NO SCALE

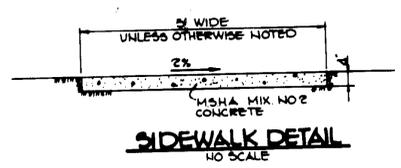


RETAINING WALL W/GUARD RAIL
NO SCALE

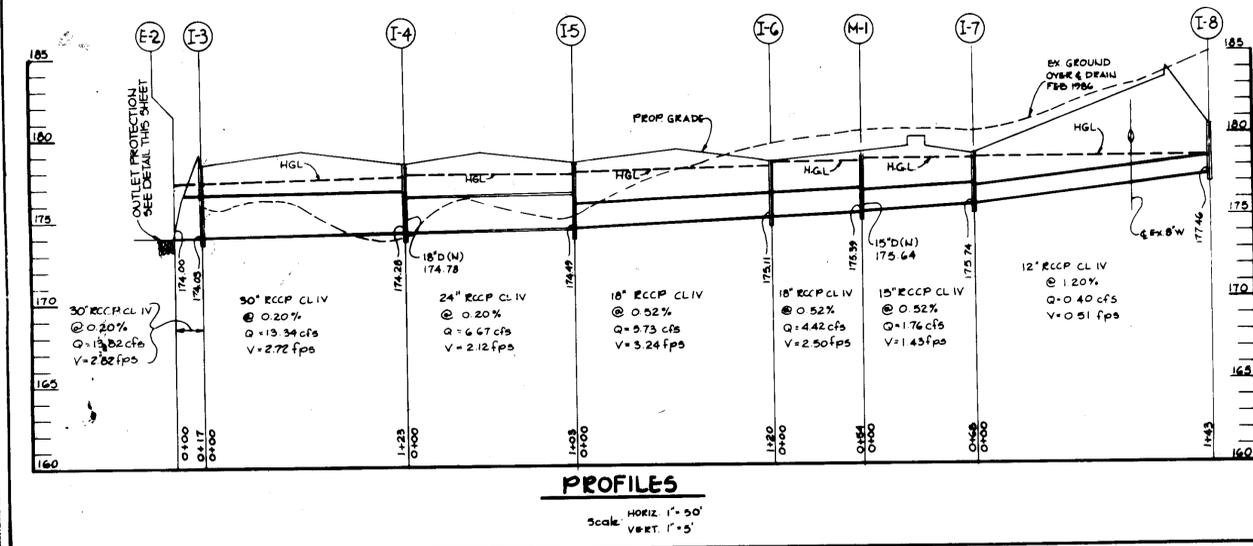
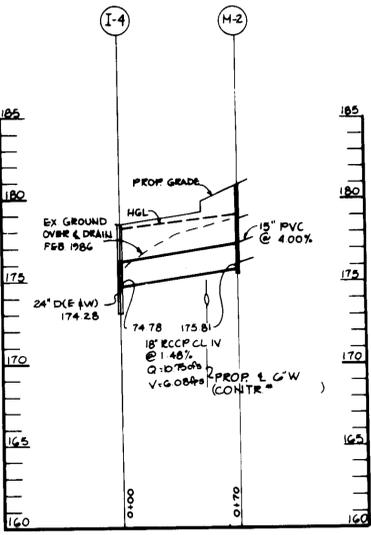
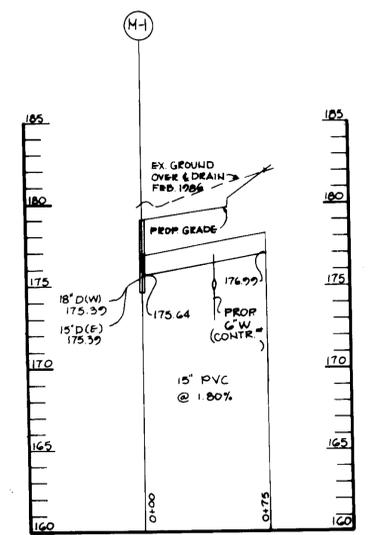
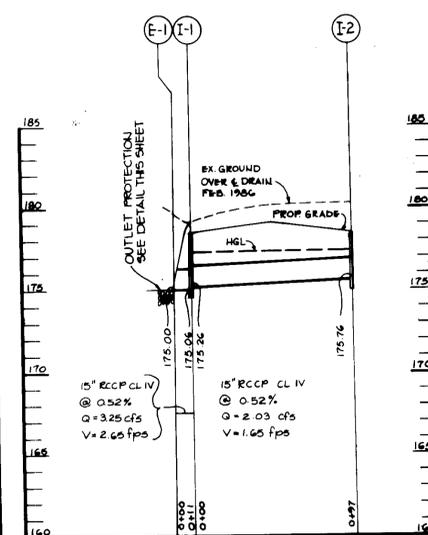


STRUCTURE	MEDIUM STONE DIA.	LENGTH (L)	WIDTH (W)	THICKNESS (T)
E-1	0.5'	10'	10'	1.15'
E-2	0.8'	10.4'	10'	1.15'
E-3	0.6'	6'	6'	1.15'

OUTLET PROTECTION DETAIL
NO SCALE



SIDEWALK DETAIL
NO SCALE



APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE FOR HOWARD COUNTY HEALTH DEPARTMENT.

John P. Lee 9-4-86
CHIEF, PUBLIC WORKS

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING

John P. Lee 9-5-86
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

John F. Neenan 8-24-86
DIRECTOR

John P. Lee 8-24-86
CHIEF, BUREAU OF ENGINEERING

DATE	NO.	REVISION

OWNER/DEVELOPER
AMBERTON ASSOCIATES LIMITED PARTNERSHIP
3145 GUILFORD ROAD
SUITE 110
COLUMBIA, MARYLAND 21046
% LARRY S. BERRY
HOUSE AND ASSOCIATES

PROJECT: **FEATHERMAN BUILDING**
(OFFICE/WAREHOUSE)

AREA: ROUTE ONE HUNDRED BUSINESS PARK
BLOCK 'B' PARCEL '5' P.B. 29.735 TAX MAP NO 37
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE: **PROFILES AND DETAILS**

THE RIEMER GROUP, INC.
The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm
3108 Health Park Drive, Ellicott City, Maryland 21045 (301) 481-0000

APPROVED:
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE: 6-24-86
MA / PTD

DATE	DESIGNED BY
8-21-86	D.A.H.
	DRAWN BY: K.J.B.
	PROJECT NO: 28900
	DATE: 4-14-86
	SCALE: AS SHOWN

Richard E. Murray
ARCHITECT & ENGINEER

SEDIMENT BASIN DATA

DRAINAGE AREA: 5.6 AC.
 VOLUME REQUIRED: 10,080 CUFT
 VOLUME PROVIDED: 25,700 CUFT
 CREST ELEV: 177.20
 CLEANOUT ELEV: 174.00
 BOTTOM ELEV: 173.00
 TOP ELEV: 172.00

STRUCTURE SCHEDULE

STRUCTURE	TYPE	INV. IN	INV. OUT	ELEV. AT GRATE OR RIM	REMARKS
1-1	'S' Comb.	175.26	175.06	*179.0	Ho. Co. Std. SD 4.32
1-2	'S' Comb.	---	175.76	*179.0	Ho. Co. Std. SD 4.32
1-3	'S'	174.03	174.03	178.4	Ho. Co. Std. SD 4.22
1-4	'S'	18" D 174.78	174.28	178.4	Ho. Co. Std. SD 4.22
		24" D 174.28			
1-5	'S'	174.49	174.49	178.4	Ho. Co. Std. SD 4.22
1-6	'S'	175.11	175.11	178.4	Ho. Co. Std. SD 4.22
1-7	'S' Comb.	175.74	175.74	*179.4	Ho. Co. Std. SD 4.22
1-8	Yard Inlet	15" D 175.64	177.46	180.5	Ho. Co. Std. SD 4.14
M-1	Manhole	15" D 175.39	175.39	179.3	Ho. Co. Std. G 5.12
		15" D 175.39			
M-2	Manhole	---	175.81	180.8	Ho. Co. Std. G 5.12
E-1	15" Concrete End Section	---	175.00	---	Ho. Co. Std. SD 5.51
E-2	30" Concrete End Section	---	174.00	---	Ho. Co. Std. SD 5.51

* Elevation at top of curb

SEQUENCE OF CONSTRUCTION

- 1.) Obtain a Grading Permit.
- 2.) Install stabilized construction entrance, silt fence, temporary swale and sediment basin.(5 days)
- 3.) Grade site maintaining positive drainage in temporary swale and install concrete retaining wall.(10 days)
- 4.) Install storm drains and other utilities.(5 days)
- 5.) Stabilize in accordance with temporary seeding notes.(2 days)
- 6.) Remove temporary swale and install curb and gutter.
- 7.) Finish construction and stabilize in accordance with permanent seeding notes.
- 8.) Upon the approval of the sediment control inspector remove silt fence and convert sediment basin to Storm Water Management Facility as follows: (3 days)
 - a) Pump out impounded water
 - b) Remove sediment and place as directed by the sediment control inspector.
 - c) Excavate as necessary to bring storm water management facility to grades shown on the site development plan.
 - d) Remove dewatering device.
 - e) Install orifice plate.
 - f) Install inlet protection and stabilize disturbed areas in accordance with permanent seeding notes.

BY THE DEVELOPER:

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT."

Howard
 DEVELOPER
 4/14/86
 DATE

BY THE ENGINEER:

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

Arthur E. Muegge
 ENGINEER
 ARTHUR E. MUEGGE
 4/14/86
 DATE

REVIEWED FOR:

HOWARD S.C.D.
 NAME: HOWARD
 AND MEETS TECHNICAL REQUIREMENTS
J. Helms
 U.S. SOIL CONSERVATION SERVICE
 8-26-86
 DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Stephen L. Fisher
 HOWARD S.C.D.
 8-26-86
 DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

Joan Powell
 COUNTY HEALTH OFFICER
 9-4-86
 DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.

John Muehlman
 PLANNING DIRECTOR
 9-5-86
 DATE
Louis Fedun
 CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION
 9-5-86
 DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

Steve Nimmey
 DIRECTOR
 8-29-86
 DATE
William B. Ryan
 CHIEF, BUREAU OF ENGINEERING
 8-29-86
 DATE

DATE NO. REVISION

OWNER/DEVELOPER
 AMBERTON ASSOCIATES LIMITED PARTNERSHIP
 2145 GUILFORD ROAD
 SUITE 110
 COLUMBIA, MARYLAND 21046
 % LARRY GILDEA
 ROUSE AND ASSOCIATES

PROJECT FEATHERMAN BUILDING (OFFICE / WAREHOUSE)

AREA ROUTE ONE HUNDRED BUSINESS PARK BLOCK B PARCEL E PB 20, F 33 TAX MAP NO 37 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

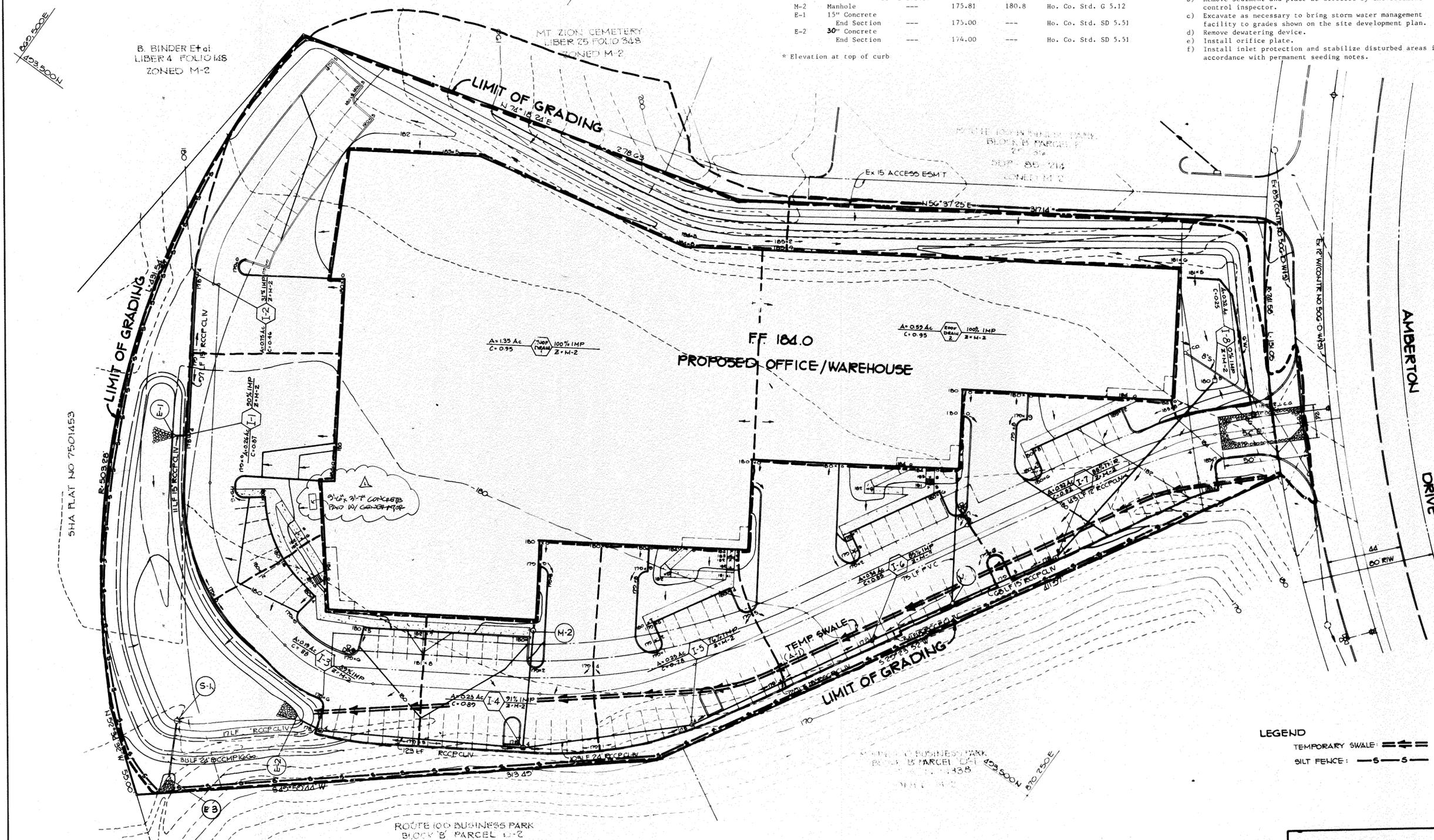
TITLE DRAINAGE AREA MAP AND SEDIMENT CONTROL PLAN

THE RIEMER GROUP, INC.

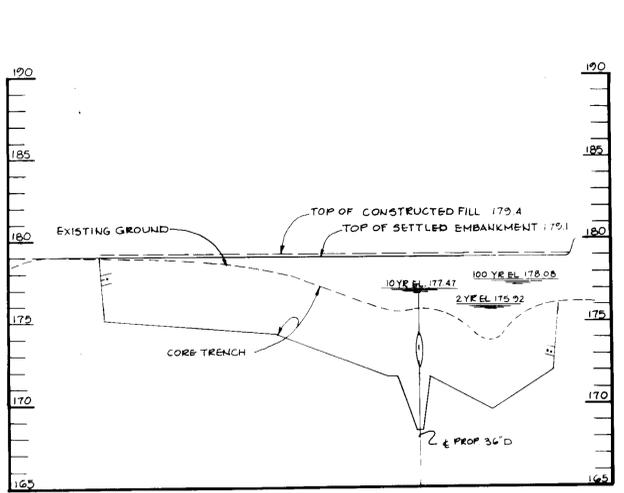
The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm
 3106 Health Park Drive, Ellicott City, Maryland 21043 (301) 461-8880

8-21-86
 DATE
 DESIGNED BY: D.A.M.
 DRAWN BY: K.J.B.
 PROJECT NO: 28300
 DATE: 4-14-86
 SCALE: 1"=50'
 DRAWING NO. 4 OF 6
Arthur E. Muegge
 ARTHUR E. MUEGGE P.E.

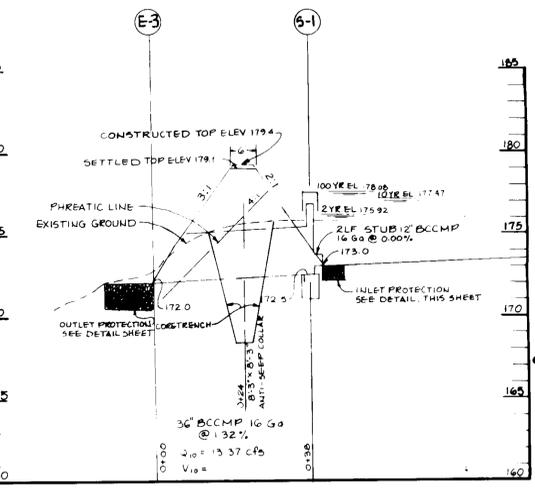
APPROVED
 DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION
 HOWARD COUNTY, MARYLAND
 DATE: 6-24-86
M. J. [Signature]



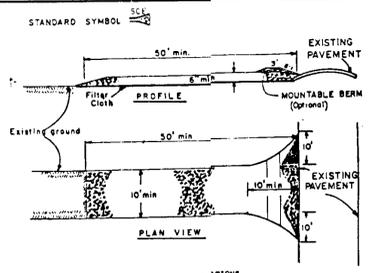
LEGEND
 TEMPORARY SWALE: ==
 SILT FENCE: -S-S-



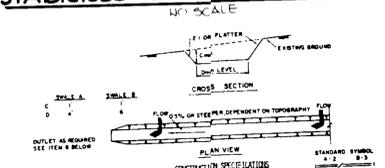
PROFILE THROUGH EMBANKMENT
SCALE HORIZ: 1"=50'
VERT: 1"=5'



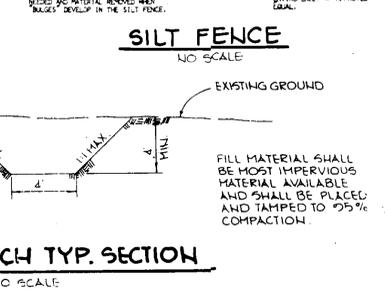
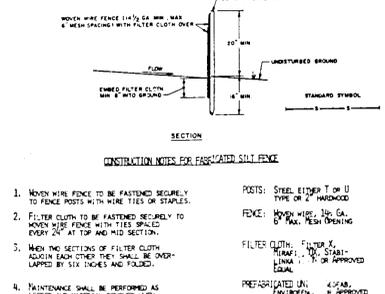
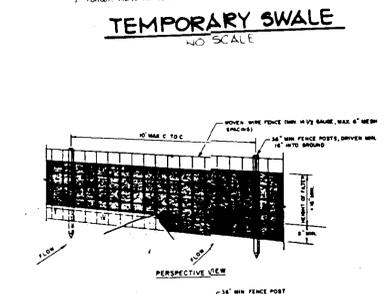
PROFILE THROUGH PRINCIPAL SPILLWAY
SCALE HORIZ: 1"=50'
VERT: 1"=5'



- CONSTRUCTION SPECIFICATIONS**
1. Stone Size - Use 2" stone, or reclaimed or recycled concrete equivalent.
 2. Length - As required, but not less than 50 feet (except on a single reach).
 3. Thickness - Not less than 18 inches.
 4. Width - Ten (10) feet minimum, but not less than the full width at the points where slopes or aprons occur.
 5. Filter Cloth - Will be placed over the entire area prior to placing of stone.
 6. Surface Water - All surface water flowing or diverted toward construction entrance shall be piped across the entrance.
 7. Maintenance - The entrance shall be maintained in a condition which will require periodic top dressing with additional stone as conditions demand.
 8. Washing - Wheels shall be cleaned to remove sediment prior to entrance onto a public right-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trap/pit device.
 9. Periodic inspection and needed maintenance shall be provided after each rain.



- CONSTRUCTION SPECIFICATIONS**
1. ALL TEMPORARY WALLS SHALL HAVE UNREFLECTED POSITIVE GRADE TO AN OUTLET.
 2. DIVERTED RUNOFF FROM A DISTURBED AREA SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE.
 3. DIVERTED RUNOFF FROM AN UNDISTURBED AREA SHALL OUTLET DIRECTLY INTO AN UNDISTURBED STABILIZED AREA AT NON-EROSIVE VELOCITY.
 4. ALL TREES, BRUSH, STUMP, OBSTRUCTIONS AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED OR STUMPED TO 8\"/>



TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

Seeding Preparation: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding.

Soil Amendments: Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq.ft.) where soil is highly acidic, apply dolomitic limestone at the rate of 1 ton per acre.

Seeding: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 160 lbs. per acre of annual ryegrass (1.2 lbs./1000 sq.ft.). For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (0.5 lbs./1000 sq.ft.). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well-anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq.ft.) of untreated small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 2 1/2 gal. per acre (5 gal./1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 3 1/2 gal. per acre (8 gal./1000 sq.ft.) for anchoring.

Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seeding Preparation: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding.

Soil Amendments: Apply 20-20 fertilizer at the rate of 400 lbs. per acre. For periods March 1 thru April 30 and from August 15 thru November 15, seed with 160 lbs. per acre of annual ryegrass (1.2 lbs./1000 sq.ft.) and 2 lbs. per acre of weeping lovegrass (0.5 lbs./1000 sq.ft.) for the period May 1 thru July 31, and with 40-20-20 mix as specified above and 2 lbs. per acre (0.05 lbs./1000 sq.ft.) of weeping lovegrass. During the period of October 1 thru February 28, protect site by (Option 1) 2 tons per acre of well-anchored straw mulch and seed as soon as possible in the spring; (Option 2) Use sod. (Option 3) Seed with 40-40-20 mix specified above and mulch with 2 tons/acre well-anchored straw.

Seeding: For periods March 1 thru April 30, and August 1 thru October 15, seed with 40 lbs. per acre (1 lb./1000 sq.ft.) of a mixture of certified 'Merion' Kentucky bluegrass, common Kentucky bluegrass & 40 lbs. per acre (1 lb./1000 sq.ft.) of Red Fescue, Pennlawn or Jamestown & 20 lbs. per acre (0.5 lb./1000 sq.ft.) of weeping lovegrass. For the period May 1 thru July 31, seed with 40-20-20 mix as specified above and 2 lbs. per acre (0.05 lbs./1000 sq.ft.) of weeping lovegrass. During the period of October 1 thru February 28, protect site by (Option 1) 2 tons per acre of well-anchored straw mulch and seed as soon as possible in the spring; (Option 2) Use sod. (Option 3) Seed with 40-40-20 mix specified above and mulch with 2 tons/acre well-anchored straw.

Mulching: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq.ft.) of untreated small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 2 1/2 gal. per acre (5 gal./1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 3 1/2 gal. per acre (8 gal./1000 sq.ft.) for anchoring.

Maintenance: Inspect all seeded areas and make needed repairs, replacements and reseedings.

SEDIMENT CONTROL NOTES

1. A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction (92-2437).

2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

3. Following initial soil disturbance or redisturbance, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 1:1; b) 14 calendar days as to all other disturbed or graded areas on the project site.

4. All sediment trapping basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.

5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent mulching (Sec. 11) and (Sec. 54), temporary seeding (Sec. 30) and (Sec. 32), temporary stabilization with mulch alone can germination and establishment of grasses.

6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.

7. Site Analysis:
Total Area of Site: 5.0 acres
Area to be roofed or paved: 3.0 acres
Area to be vegetatively stabilized: 2.0 acres
Total Cut: 1300 Cu. Yds.
Total Fill: 2000 Cu. Yds.
SOIL TYPE: SASANFRAS

8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.

9. Additional sediment controls must be provided, if deemed necessary by the Howard County DPW sediment control inspector.

10. Site grading will begin only after all perimeter sediment control measures have been installed and are in a functioning condition.

11. Sediment will be removed from traps when its depth reaches the clean out elevation shown on the plans.

SITE PREPARATION

1. Areas under the borrow areas, embankment, and structural works shall be cleared, grubbed and the topsoil stripped to remove all trees, vegetation, rocks or other objectionable material. Channel banks and sharp breaks shall be sloped to no steeper than 1:1.

Areas covered by the pond or reservoir will be cleared of all trees, brush, logs, fence, rubbish and other objectionable material unless otherwise designated on the plans. Trees, brush and stumps shall be cut approximately level with the ground surface.

All cleared and graded material shall be disposed of outside the limits of the dam and reservoir as directed by the owner or his representative. When specified, a sufficient quantity of topsoil will be provided in a suitable location for use on the embankment and other designated areas.

CONCRETE

1. Concrete - Normal Portland cement shall conform to the latest ASTM Specification C-150.

2. Water - The water used in concrete shall be clean, free from oil, acid, alkali, salts, organic matter or other objectionable substances.

3. Sand - The sand used in concrete shall be clean, hard, strong and durable, and shall be well graded with 100 percent passing through No. 20 sieve and with 5 percent retained on No. 40 sieve.

4. Course Aggregate - The coarse aggregate shall be clean, hard, strong and durable, and shall be well graded with 100 percent passing through No. 40 sieve and with 5 percent retained on No. 20 sieve.

5. Reinforcing Steel - The reinforcing steel shall be deformed bars of intermediate or wide flange steel or rail steel conforming to ASTM Specification A-615.

REINFORCING STEEL

The concrete shall be mixed in the following proportions, measured by weight. The water-cement ratio shall be 5.4 to 6.0 gallons per cubic yard of concrete. The proportion of materials shall be as follows: 1 part cement, 2 parts sand, 3 parts aggregate. The combination of aggregates may be adjusted to produce a plastic and workable mix that will not produce harshness in placing or honeycombing in the structure.

Finishing

The concrete ingredients shall be mixed in batch mixers until the mixture is homogeneous and of uniform consistency. The mixing of such batch shall continue for not less than one and one-half minutes after all the ingredients, except the full amount of water, are in the mixer. The minimum mixing time is predicted on proper control of the speed of rotation of the mixer and of the introduction of the material, including water, into the mixer. Water shall be added prior to, during the mixing of the concrete. Excessive overmixing requiring the addition of water to preserve the required concrete consistency shall not be permitted. Truck mixing will be allowed provided that the use of this method shall cause no violation of any applicable provisions of the specifications given here.

Placing Temperature

Concrete may not be placed at temperatures below 37° F with the exception of filling or 34° with the temperature rising.

STABILIZATION

1. All borrow areas shall be graded to provide proper drainage and left in a stable condition. All exposed surfaces of the embankment, spillway apron and borrow areas and areas shall be stabilized by seeding, fertilizing and mulching (if required) in accordance with the vegetative treatment specifications shown on or accompanying the drawings.

BY THE DEVELOPER:

Arthur E. Muegge
DEVELOPER

DATE: 7-11-86

BY THE ENGINEER:

"I CERTIFY THAT THIS PLAN FOR SOIL EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

Arthur E. Muegge
ENGINEER
ARTHUR E. MUEGGE

DATE: 7-30-86

REVIEWED FOR: HOWARD S.C.D. NAME: HOWARD S.C.D.

AND MEETS TECHNICAL REQUIREMENTS

J. Helms
U.S. SOIL CONSERVATION SERVICE

DATE: 8-26-86

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Stephen L. Faulstich
HOWARD S.C.D.

DATE: 8-20-86

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.

James R. Boyles
COUNTY HEALTH OFFICER

DATE: 9-4-86

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.

Arthur Muegge
PLANNING DIRECTOR

DATE: 9-5-86

ACTING *Lois F. Damm*
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION

DATE: 9-5-86

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.

HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

Lois F. Damm
DIRECTOR

DATE: 8-29-86

William C. Ray
CHIEF, BUREAU OF ENGINEERING

DATE: 8-29-86

DATE	NO	REVISION

OWNER / DEVELOPER
AMBERTON ASSOCIATES LIMITED PARTNERSHIP
015 GUILFORD ROAD
SUITE 110
COLUMBIA, MARYLAND 21046
LARRY GILBERT
ROUSE AND ASSOCIATES

PROJECT: FEATHERMAN BUILDING (OFFICE / WAREHOUSE)

AREA: ROUTE ONE HUNDRED BUSINESS PARK
BLOCK B PARCELS PB 29, F 33 TAX MAP 140 37
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE: STORM WATER MANAGEMENT AND SEDIMENT CONTROL NOTES & DETAILS

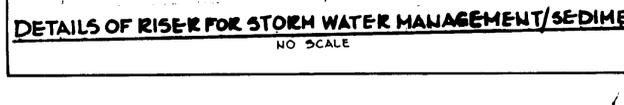
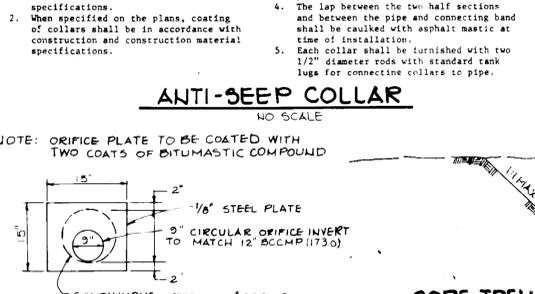
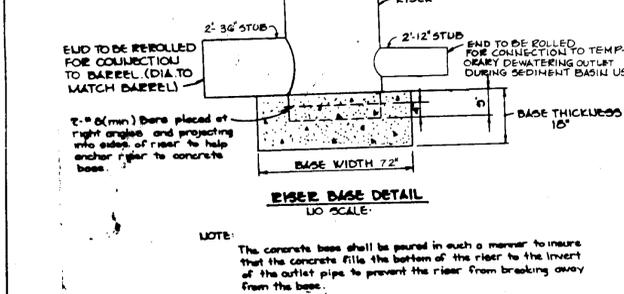
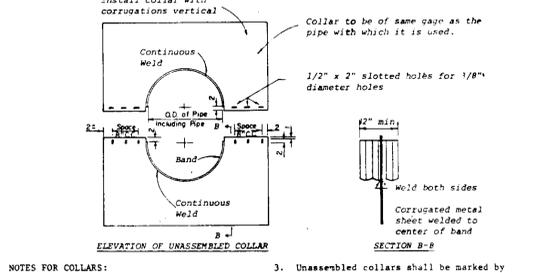
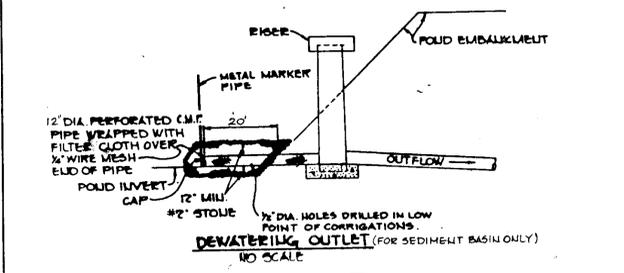
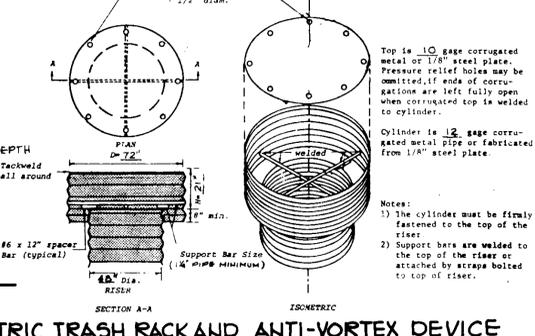
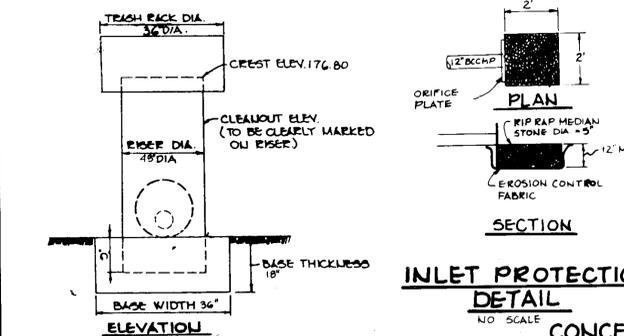
THE RIEMER GROUP, INC.
The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm
3105 Health Park Drive, Ellicott City, Maryland 21043 (301) 461-2880

DATE: 8-21-86

DESIGNED BY: D.A.M.
DRAWN BY: D.A.M.
PROJECT NO: 28300
DATE: 4-14-86
SCALE: AS SHOWN
DRAWING NO: 5 OF 6

Arthur E. Muegge
ARTHUR E. MUEGGE 178707

SDP-86-230 JUNE 3, 1986



NOTE: The concrete base shall be poured in such a manner to ensure that the concrete fills the bottom of the riser to the invert of the outlet pipe to prevent the riser from breaking away from the base.

NOTE: ORIFICE PLATE TO BE COATED WITH TWO COATS OF BITUMASTIC COMPOUND

CONSTRUCTION NOTES FOR PAVED SILT FENCE

1. MEN WITH FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOOD POSTS WITH WIRE STAPLES EVERY 24\"/>

POSTS: STEEL EITHER T OR U TYPE OR 2\"/>

FENCE: 12\"/>

FILTER CLOTH: FILTER CLOTH TO BE APPROVED TYPE, 100\"/>

REINFORCING STEEL: PREPARED IN ACCORDANCE WITH APPROVED PLAN.

REMARKS:

1. The concrete shall be mixed in the following proportions, measured by weight. The water-cement ratio shall be 5.4 to 6.0 gallons per cubic yard of concrete. The proportion of materials shall be as follows: 1 part cement, 2 parts sand, 3 parts aggregate. The combination of aggregates may be adjusted to produce a plastic and workable mix that will not produce harshness in placing or honeycombing in the structure.

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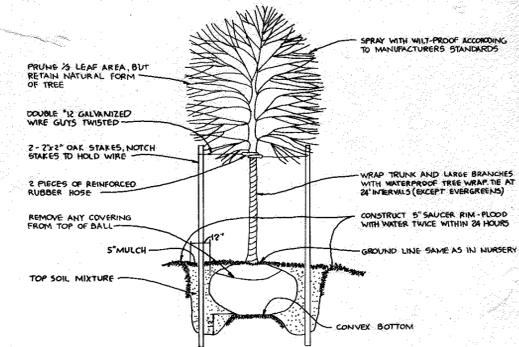
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APPROVED
DIVISION OF LAND DEVELOPMENT AND ZONING
HOWARD COUNTY, MARYLAND
DATE: 6-24-86
M. J. F. D.

PLANT LIST

QTY	COMMON NAME	LATIN NAME	SIZE
21	RADIANT CRAB	MALLS RADIANT	2 1/2'-3' CAL
17	ACER RUBRUM	RED MAPLE	2 1/2'-3' CAL
7	YOSHINO CHERRY	PRUNUS YELDENSIS	1-1 1/2' CAL
15	WHITE PINE	PNUS STREBUS	6-8' HGT



TREE PLANTING DETAIL
NO SCALE

882,500E
403,500E

B. BINDER ET AL
LIBER 4 FOLIO 148
ZONED M-2

MT ZION CEMETERY
LIBER 25 FOLIO 348
ZONED M-2

ROUTE 100 BUSINESS PARK
BLOCK B PARCEL F
SDP 85-214
ZONED M-2

FF 184.0
PROPOSED OFFICE/WAREHOUSE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,
HOWARD COUNTY HEALTH DEPARTMENT.
Joseph Boyles 9-4-86
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.
John M. Schuman 9-5-86
ACTING PLANNING DIRECTOR DATE
Lucia F. Duma 9-5-86
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE

APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS.
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Mark F. Nemej 8-29-86
DIRECTOR DATE
William S. Riley 8-28-86
CHIEF, BUREAU OF ENGINEERING DATE

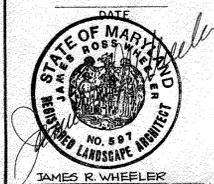
OWNER/DEVELOPER
AMBERTON ASSOCIATES LIMITED PARTNERSHIP
2145 GUILFORD ROAD
SUITE 110
COLUMBIA, MARYLAND 21046
LARRY GILDEA
ROUSE AND ASSOCIATES

PROJECT FEATHERMAN BUILDING
(OFFICE/WAREHOUSE)
AREA ROUTE ONE HUNDRED BUSINESS PARK
BLOCK B PARCEL E, FB 20-F 83 TAX MAP NO 37,
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
TITLE PLANTING PLAN
PREPARED BY GREENSPACE, INC.

THE RIEMER GROUP, INC.
The Riemer Group, Inc. A Land Planning, Design & Civil Engineering Firm
3105 Health Park Drive, Elkocott City, Maryland 21043 (301) 481-2890

APPROVED
DIVISION OF LAND DEVELOPMENT &
ZONING ADMINISTRATION
HOWARD COUNTY, MARYLAND
DATE 6-24-86
MA 1270

DESIGNED BY: D.A.M.
DRAWN BY: R.L.H.
PROJECT NO: 28300
DATE: 4-14-86
SCALE: 1"=30'
DRAWING NO: G OF G



NOTE: EXTERIOR LIGHTING TO BE AIMED
DOWNWARD AND AWAY FROM
PUBLIC ROADWAYS

ROUTE 100 BUSINESS PARK
BLOCK B PARCEL D-2
PLAT NO 4338
ZONED M-2

ROUTE 100 BUSINESS PARK
BLOCK B PARCEL C-1
PLAT NO 4338
ZONED M-2

AMBERTON DRIVE

