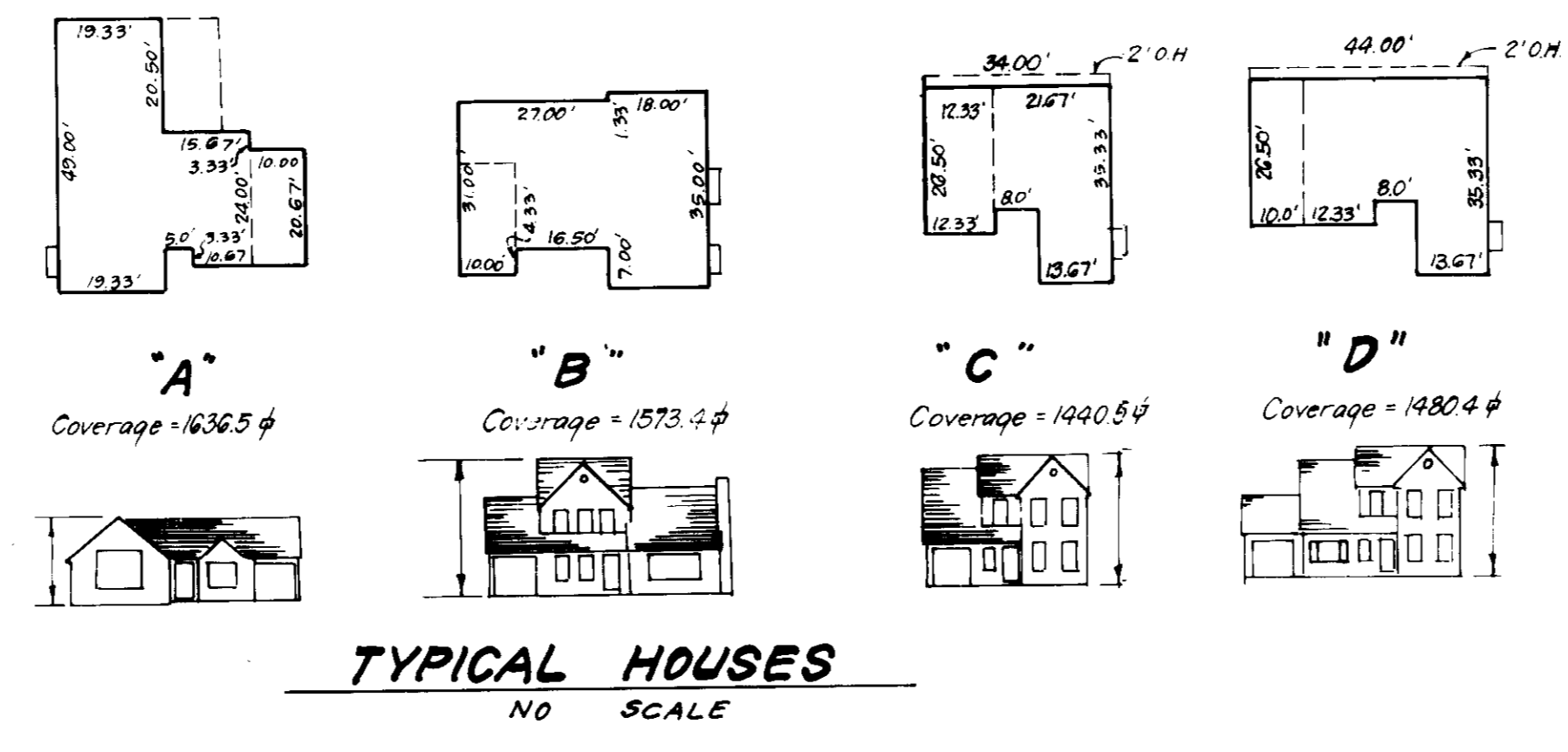
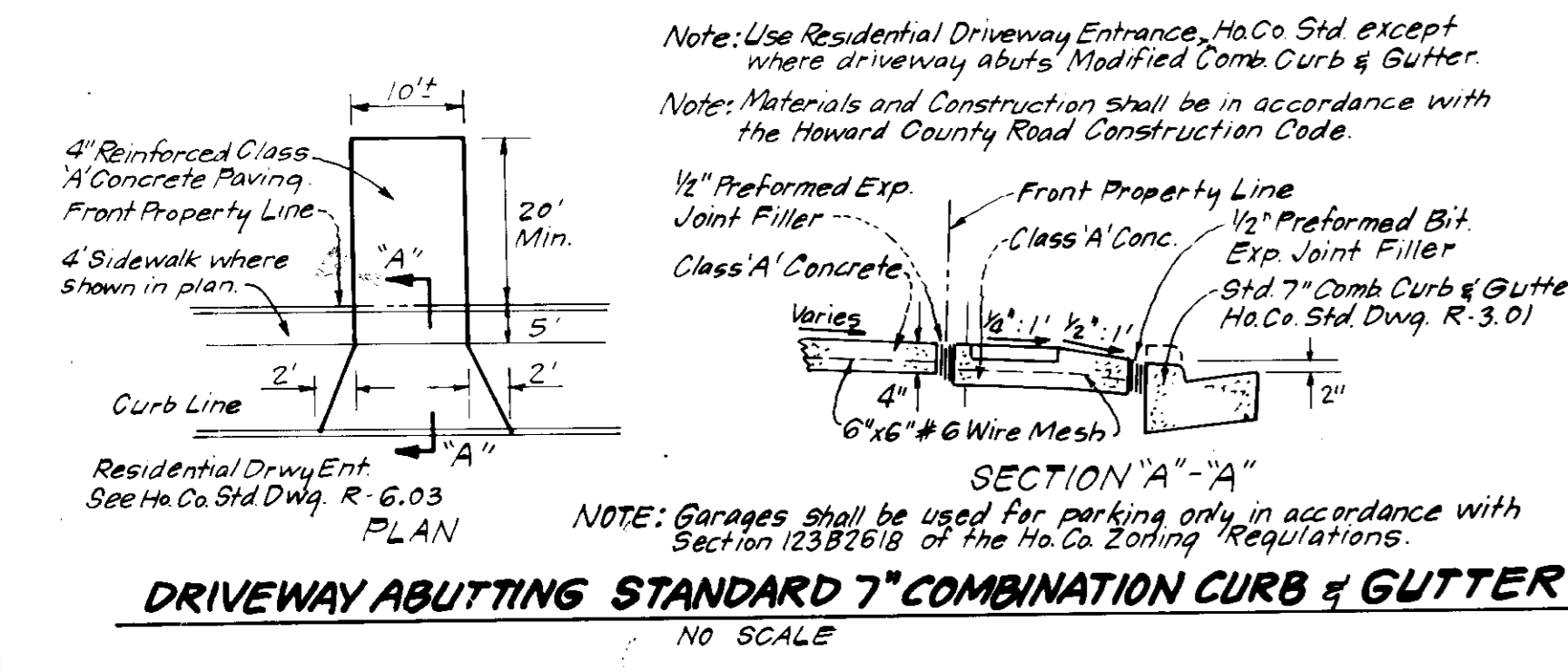


- GENERAL NOTES:**
- The land included is zoned: R-12.
 - All materials and construction to be in accordance with Ho. Co. Road Construction Plans.
 - All coordinates based on the Maryland State Grid System.
 - The area covered is on Tax Map 47.
 - The total area of this plan is 2.92 Acres.
 - Any damage to county owned rights of way shall be corrected at the developer's expense.
 - Number of lots shown: 11
 - The contractor or developer shall contact the Construction/Inspection Survey Division 24 hours in advance of commencement of work at 792-7272.
 - Public Water & Sewer & Storm Drainage shown for Reference only. For more detailed information see Contract No. 24-1372-D.
 - Common Driveways, defined as those serving 2 or more lots, shall be a minimum of 16 feet wide.

- LEGEND:**
- Contour Interval 2 Ft.
 - Existing Contour
 - Proposed Contour
 - Spot Elevation +90.2
 - Direction of Drainage
 - Walk-Out Basement
 - Trees to be Retained

RELOCATED MD ROUTE 32
 Vehicular Access & Egress Is Restricted

SECTION 3
 PLAT 6565 AREA 1
 ZONED RSA-8
 CAPITAL HOMES, INC.



ADDRESS CHART

LOT	STREET	ADDRESS
286	Rosewood Way	8071
287	"	8075
288	"	8078
289	"	8074
290	"	8070
291	Oakwood Way	8049
292	"	8053
293	"	8057
294	"	8058
295	"	8054
296	"	8050

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

APPROVED: DIVISION OF LAND DEVELOPMENT, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS



CLARK · FINEFROCK & SACKETT
 ENGINEERS · PLANNERS · SURVEYORS

11315 LOCKWOOD DRIVE SILVER SPRING, MARYLAND 20904 (301) 583-3400

DESIGNED: BAF
 DRAWN: VLM
 CHECKED: BAF
 DATE: 4-1-86

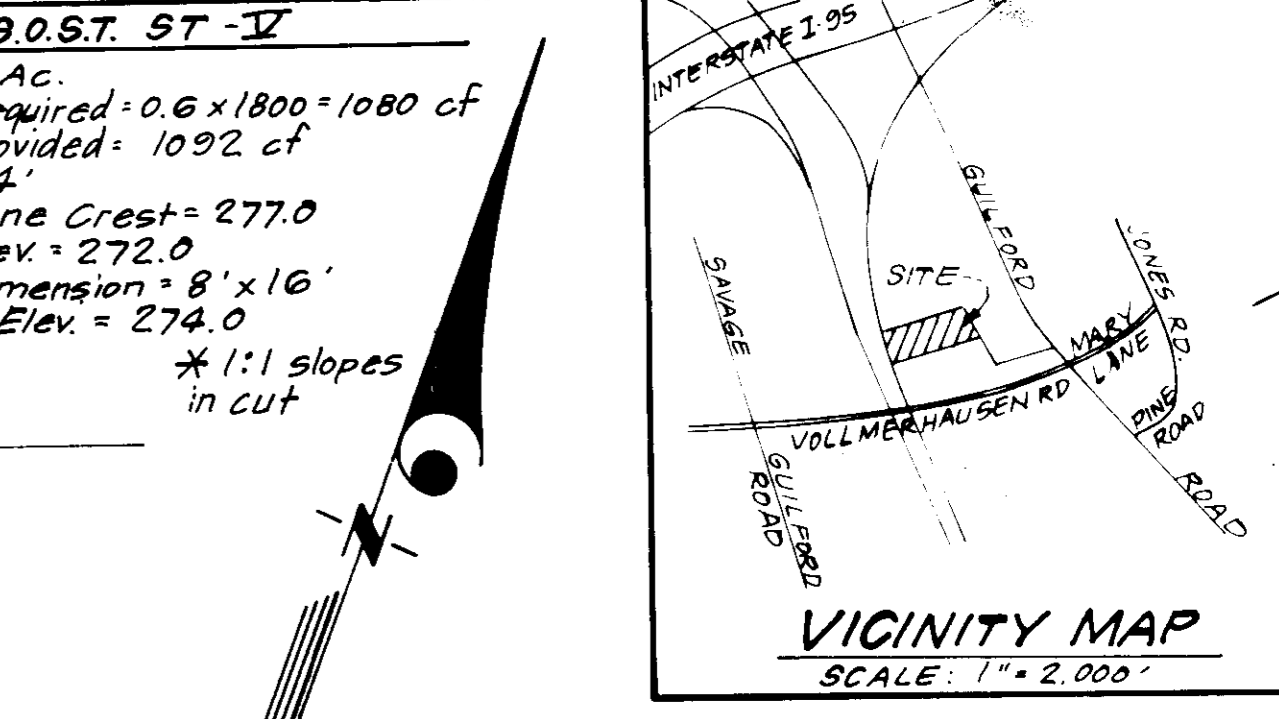
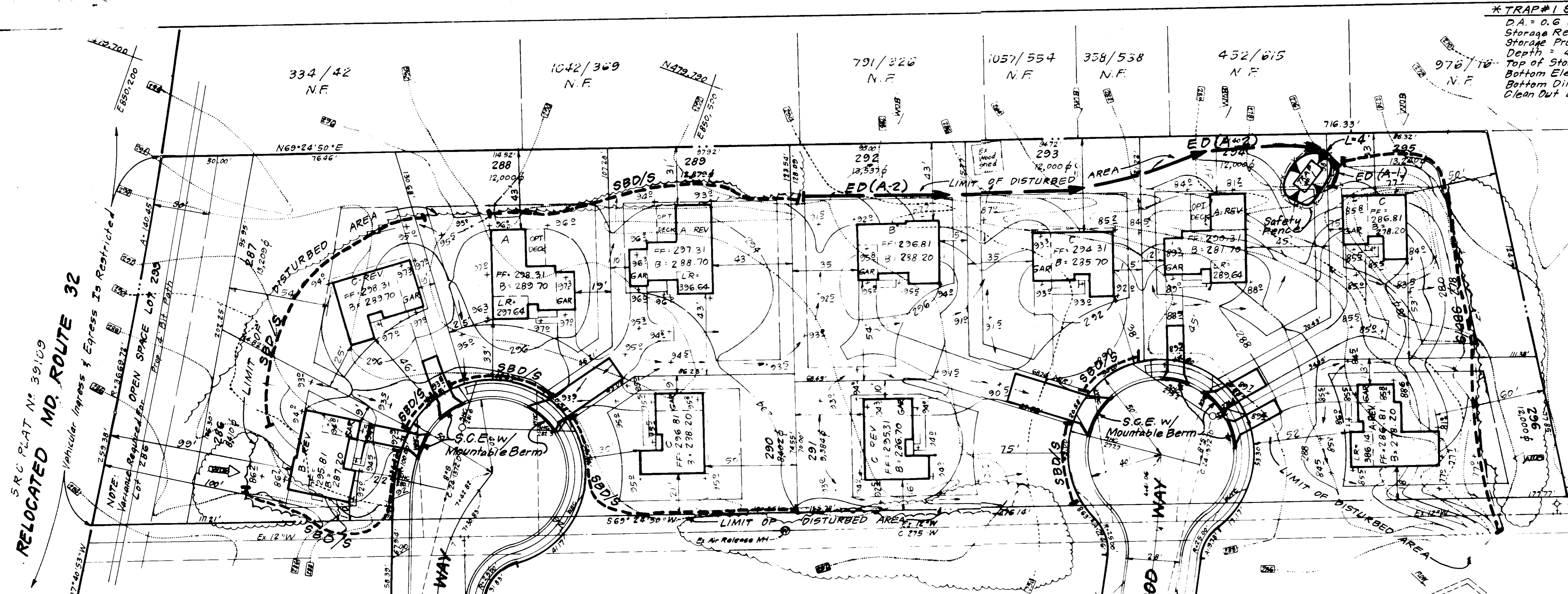
SITE DEVELOPMENT PLAN
 LOTS 286 thru 296
ASPENWOOD
 SECTION 3 AREA 1

6TH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

FOR: CAPITAL HOMES, INC.
 6500 Rock Spring Drive
 Bethesda, Maryland 20034

SCALE: 1" = 30'
 DRAWING: 1 OF 2
 JOB NO.: 85-024
 FILE NO.: 85-024-X

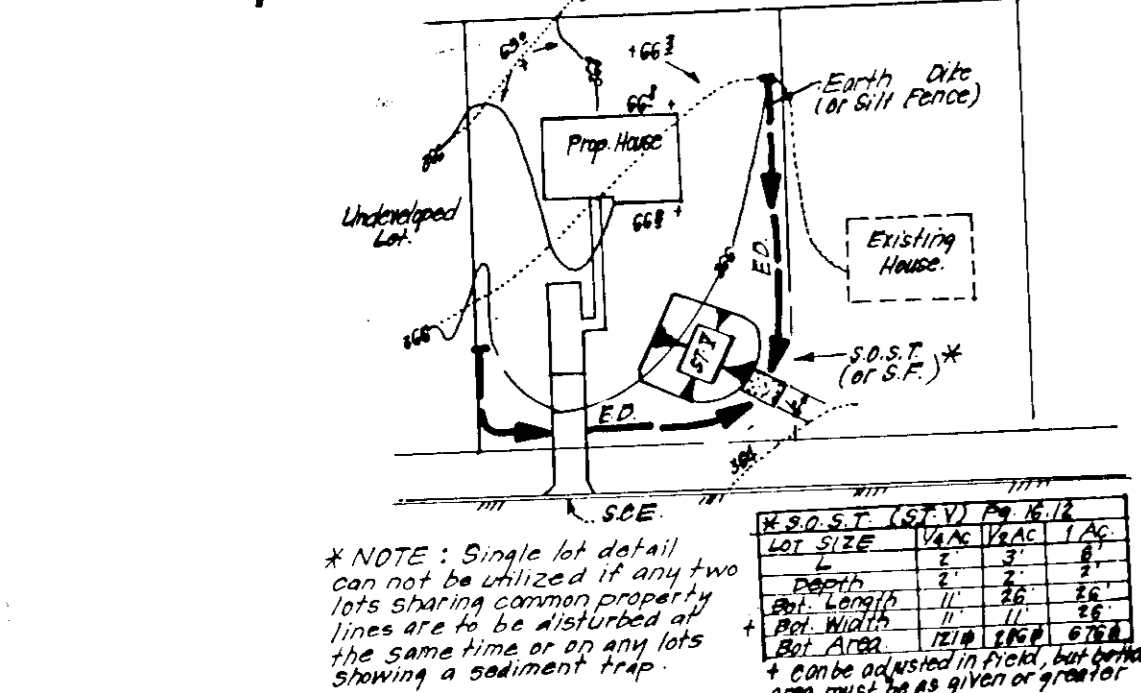
S.D.P. 86-228



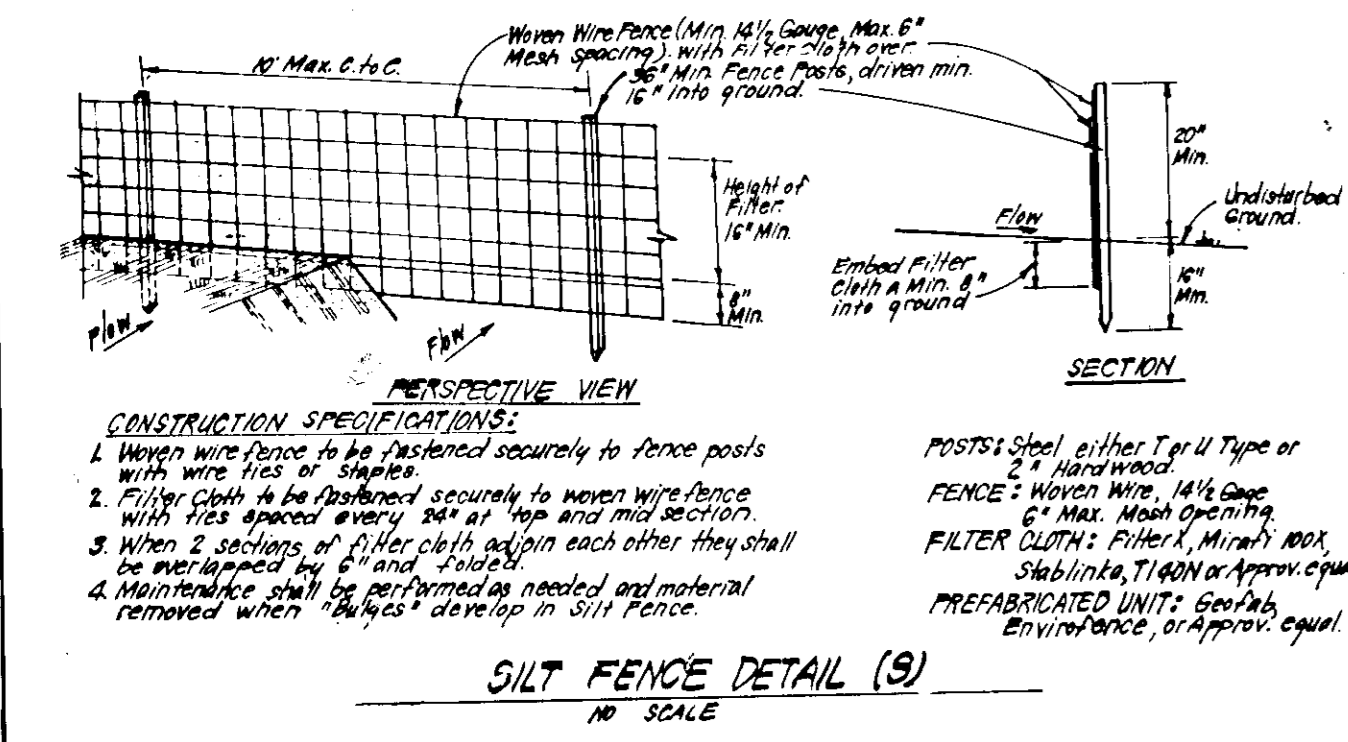
*TRAP #1 9.0 ST. ST-V
 DA = 0.6 Ac.
 Storage Required = 0.6 x 1800 = 1080 cf
 Storage Provided = 1092 cf
 Depth = 4'
 Top of Stone Crest = 277.0
 Bottom Elev. = 272.0
 Bottom Dimension = 8' x 16'
 Clean Out Elev. = 274.0
 1:1 slopes
 in cut

RELOCATED MD. ROUTE 32
 Vehicular Impass & Express To Restricted

NOTE: Vehicular Impass & Express To Restricted Lot To Be Reopened To Public Use



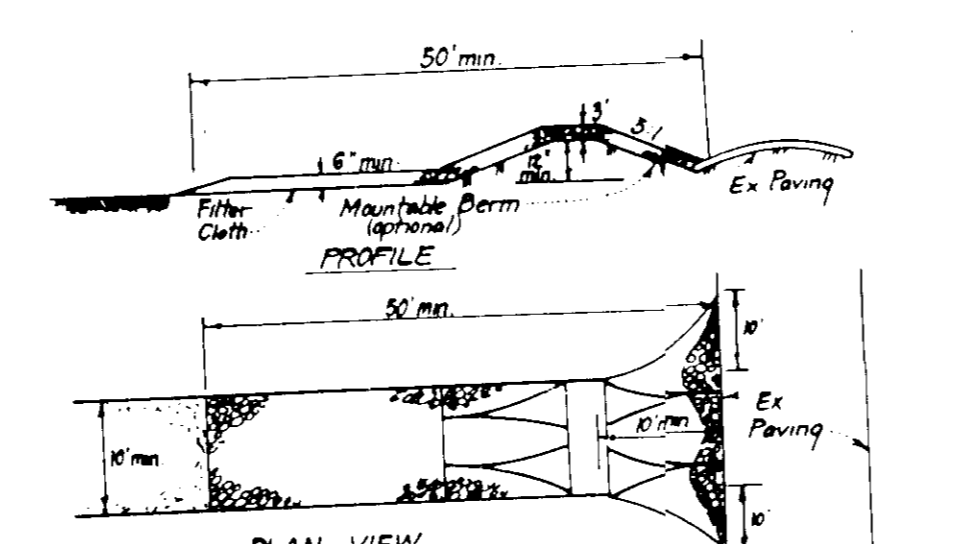
SINGLE LOT SEDIMENT CONTROL PLAN
 NO SCALE



SILT FENCE DETAIL (S)
 NO SCALE

SEDIMENT CONTROL NOTES

- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (99-2337)
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1; b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 51) and (Sec. 52), temporary seedings (Sec. 50) and mulching (Sec. 51). Temporary stabilization with mulch shall be in place until permanent seedings are established and do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:
 Total Area of Site: 2.917 Acres
 Area Disturbed: 2.368 Acres
 Area to be roofed or paved: 0.869 Acres
 Area to be vegetatively stabilized: 1.662 Acres
 Total Fill: Cu. Yds.
 Offsite waste/borrow area location
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the Howard County EPM sediment control inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- If houses are to be constructed on an "As-Built" basis, at random, Single Lot Sediment Control as shown below shall be implemented.
- All pipes to be struck at the end of each day (see detail below). (A)
- The total amount of straw bale dikes/silt fence equals 1045 L.F.



CONSTRUCTION SPECIFICATIONS

- Stone size - Use 2" stone, or reclaimed or recycled concrete equivalent.
- Length - As required, but not less than 50 feet (except on a simple residence lot where a 30 foot minimum length would apply).
- Thickness - Not less than six (6) inches.
- Width - Ten (10) feet minimum, but not less than the full width of points where ingress or egress occurs.
- Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter cloth will not be required on a slope having a residence lot.
- Surface Water - All surface water flowing or directed toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 3" slopes shall be maintained in a condition which will prevent tracking or flowing of sediment into public rights-of-way. This may require periodic top dressing with additional straw bale or straw mulch. All top dressing and/or cleanout of any measure used to trap sediment shall be done immediately.
- Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
- Periodic inspection and needed maintenance shall be provided after each rain.

STABILIZED CONSTRUCTION ENTRANCE (SCE)

DEVELOPER'S/OWNER'S CERTIFICATE

I hereby certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard County Department of Public Works.

Signature: *[Signature]* Date: 4-8-86

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard County Department of Public Works.

Signature: *[Signature]* Date: 4-2-86

LEGEND:

- Contour Interval 2 Ft
- Existing Contour
- Proposed Contour
- Spot Elevation
- Direction of Drainage
- Straw Bale Dike / Silt Fence
- Earth Dike
- Stabilized Construction Entrance

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC WORKS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

APPROVED: DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION, HOWARD COUNTY

DATE: 5-13-86

Reviewed for: *[Signature]* Name: *[Name]* Title: *[Title]*

Signature: *[Signature]* Date: 9-19-86

CONSTRUCTION SEQUENCE:

- Obtain Grading Permit 2 Days
- Install Sediment & Erosion Control Measures 7 Days
- Clean & Rough Grade Site 30 Days
- Construct Houses, Driveways & Walks 180 Days
- Fine grade & stabilize 14 Days
- Upon approval of the Sediment Control Inspector, remove S & E Control and stabilize. 7 Days

CLARK · FINEFROCK & SACKETT
 ENGINEERS · PLANNERS · SURVEYORS
 13131 LOCKWOOD DRIVE · SILVER SPRING, MARYLAND 20904

DESIGNED	JLS	SCALE	1" = 30'
DRAWN <td>VLM <td>DRAWING <td>2 OF 2</td> </td></td>	VLM <td>DRAWING <td>2 OF 2</td> </td>	DRAWING <td>2 OF 2</td>	2 OF 2
CHECKED <td>JLS <td>JOB NO. <td>85-02</td> </td></td>	JLS <td>JOB NO. <td>85-02</td> </td>	JOB NO. <td>85-02</td>	85-02
DATE <td>4-1-86 <td>FILE NO. <td>85-024</td> </td></td>	4-1-86 <td>FILE NO. <td>85-024</td> </td>	FILE NO. <td>85-024</td>	85-024

SEDIMENT AND EROSION CONTROL PLAN
 LOTS 286 THRU 296
ASPENWOOD
 SECTION 3 AREA 1
 6TH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 FOR: CAPITAL HOMES, INC.
 6500 Rock Spring Drive
 Bethesda, Maryland 20814
SDP-86-228