

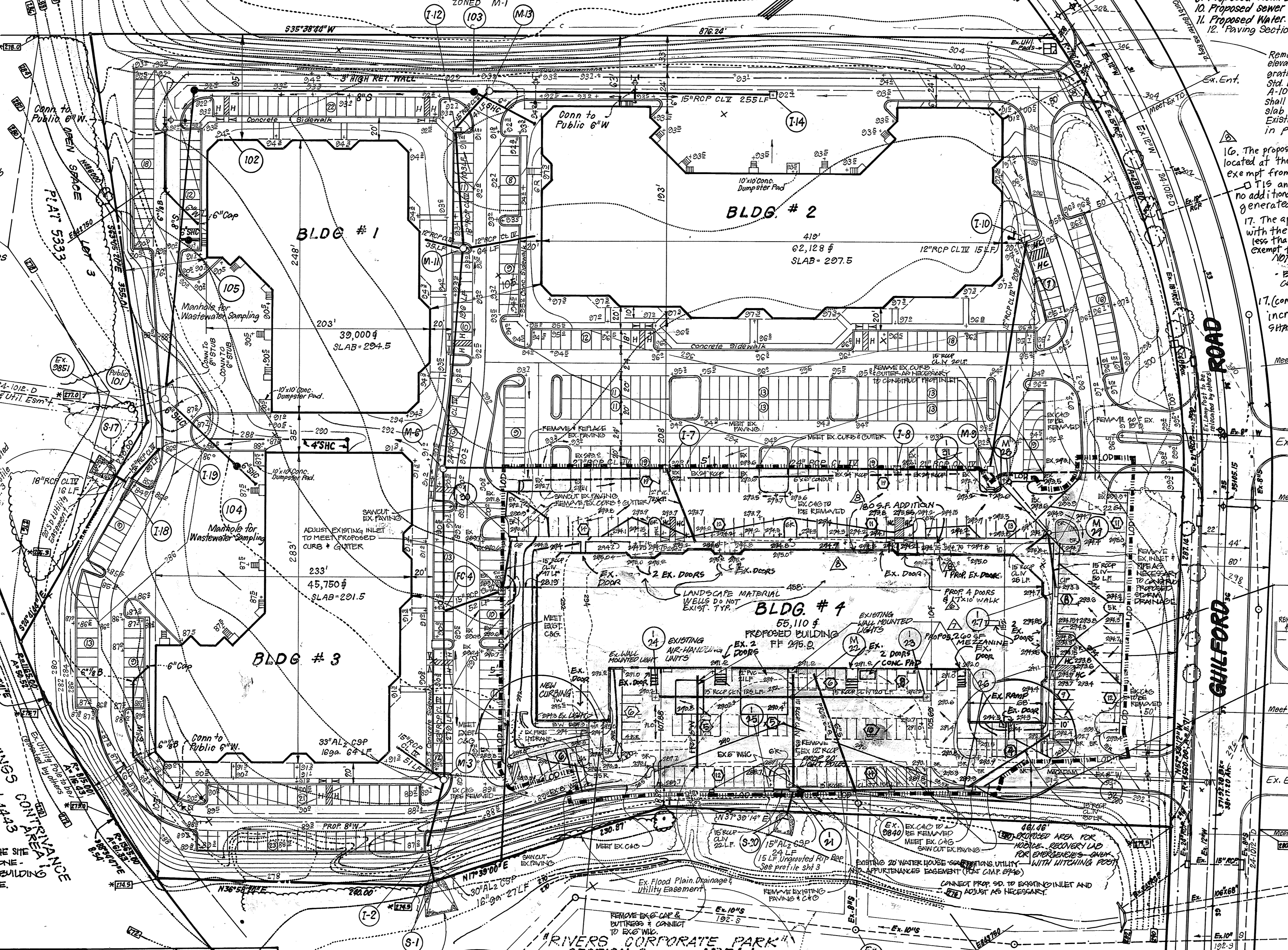
CURB & GUTTER LEGEND:

- Rev. 6" C16
- Std. 6" C16
- Rev. 7" C16
- Std. 7" C16

Notes: Transition from 7" to 6" curb height shall be made in the 20' of curb immediately adjacent to the public R/W. Transitions from standard to reverse gutter pans shall be made gradually and in a manner which provides positive drainage.

GENERAL NOTE: THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY LENHART TRAFFIC CONSULTING, DATED JANUARY 17, 2023, AND WAS APPROVED ON MARCH 13, 2023. DATED OF REPORT: JAN. 17, 2023. DATE OF TRAFFIC COUNTS: WEEKDAY - NOV. 10, 2022 TO DEC. 10, 2022. SCHOOLS X IN SESSION FOR THE WEEKDAY COUNTS CONDUCTED ON NOVEMBER 10, 2022. THE DEC. 18 COUNTS ARE SUNDAY COUNTS TAKEN TO DOCUMENT PEAK UTILIZATION OF THE CHURCH. REPORT SUBMITTED FOR PLAN # : SDP - 86-190. INTERSECTIONS: 1.) GUILFORD ROAD & MURRAY HILL RD. 2.) GUILFORD & GERWIG LANE. 3.) GUILFORD ROAD & SITE ACCESS POINTS INTERSECTION JURISDICTION: ALL STUDY INTERSECTIONS ARE WITHIN THE COUNTY JURISDICTION. INTERSECTION LEVEL OF SERVICE: ALL STUDY INTERSECTIONS ARE WITHIN THE COUNTY LEVEL OF SERVICE. ALL STUDY INTERSECTIONS WERE SHOWN TO OPERATE AT LEVEL OF SERVICE (LOS) A DURING EA. OF THE THREE PEAK HOURS ANALYZED (AM, PM, SUNDAY). MITIGATION: NO MITIGATION IS REQUIRED.

BALTIMORE GAS & ELECTRIC COMPANY
145/8 144/499 144/11 145/362 144/193



- LEGEND:**
1. Contour Interval
 2. Existing Contour
 3. Proposed Contour
 4. Spot Elevation
 5. Direction of Drainage
 6. Existing Trees to be Saved
 7. Handicap Ramp
 8. Handicap Parking Space
 9. Proposed Storm Drain
 10. Proposed Sewer
 11. Proposed Water
 12. Paving Section P-3

- GENERAL NOTES:**
1. All materials and construction to be in accordance with Howard County Road Construction Code and Specifications.
 2. This plan is covered by Final Development Plan Phase 187-A-3.
 3. Any damage to county owned rights-of-way to be corrected at the Developer's expense.
 4. Installation of traffic control devices shall be in accordance with the latest edition of the "Manual of Uniform Traffic Control".
 5. Topography was compiled from actual field survey.
 6. The area shown is located on Tax Map No. 42.
 7. All driveways to be privately owned and maintained.
 8. All coordinates are based on Howard County Geodetic Control Survey traverse which is based on the Md. State Plane Coordinate System.
 9. Class "C" Trench Bedding shall be used under all storm drains unless shown otherwise.
 10. Information concerning underground utilities was obtained from available records, but the contractor must dig test pits, by hand, at all utility crossings, well in advance of construction.
 11. The contractor or developer shall contact the Construction Inspection Survey Division 24 hrs in advance of work, 992-2417/702722.
 12. All roof drains to be connected to storm drain stubs shown on plan.
 13. The private school shall not exceed a maximum student enrollment of 250.
 14. The developer agrees to work with the Dept. of Licenses and Inspections to resolve any problems caused by roof-water discharge.
 15. Handicap parking details shall be in accordance with the "Md. Building Code for the Handicap" Sect. 5.01-7.05 and det.sht. 2.
 16. Storm Water Management provided in central facility in Old Fire Pond Site in EGU.

SITE ANALYSIS:

1. Zoning: New Town Employment Center, Industrial (F.D.P. Phase 187A3)
2. Area: 16,112 Acres (702144 #)
3. Net Leasable Area: 202,428 (All Buildings on lot)
4. Number of Parking Spaces Required: 276 (18)
5. Number of Parking Spaces Provided: 267
6. Handicap Spaces Required: 12 (2%)
7. Handicap Spaces Provided: 25
8. Use: Office / Research Development & Religious Facility
9. Building Coverage: 25.8% (201,986 #)
10. Paved Area (Parking & Driveways): 21.4% (150,251 #)
11. Green Area (Including Entry Cts & Sidewalks): 49.8% (399,077 #)
12. All Parking and Drives are Private: Guilford Road is Public and Existing.
13. RESEARCH & DEVELOPMENT OFFICE AREA: 140,878 SF (*) PER SDP RELIGIOUS FACILITY BUILDING AREA: 55,550 SF 86-190C & FDP TOTAL BUILDING AREA 282,428 SF (BUILDINGS 1-4) 187-A3
14. PARKING REQUIREMENTS: RESEARCH & DEVELOPMENT OFFICE (10%) 102,815 SF 15% 2000 SF = 52 SF OFFICE SPACE (20%) 14,063 SF 25% 1000 SF = 89 SF RELIGIOUS FACILITY (25%) 13,421 SF 30% 1000 SF = 128 SF TOTAL SPACES REQ. = 270 TOTAL SPACES PROVIDED = 267 ** MEETS REQUIRED AMERICAN DISABILITIES ACT STANDARD OF A MINIMUM AMOUNT OF HANDICAP SPACES PER 2% OF TOTAL SPACES BETWEEN 50 TO 100. FOR RELIGIOUS FACILITY SPACES REQ. FOR RELIGIOUS FACIL. = 6 H.C. SPACES PROVIDED = 6 SF

3-18-19 5 PARKING RETABULATION AT BLDG #4

11-20-17 4 REVISED BLDG #4 TO RELIGIOUS FACILITY

2-5-24 3 ADD ADDITIONAL 45 PARKING SPACES AND 3 LIGHT POLES

10/11/00 2 ADD RAMP WALLS W/ PARKING MOD. BLDG #2

0009/08 2 REVISED BLDG #4 SURFACING AND PARKING

3-30-23 3 PARKING RETABULATION & CONC. WALK AT BLDG #4

Parcel C-2 Parking Required:

Religious Facility

Assembly Area: 55,550 SF

13,421 SF

10 SF/1000 SF = 135 SPACES

PARKING PROVIDED = 204

HANDICAP SPACES PROVIDED = 6 SF

ADDRESS CHART

BLDG No	STREET ADDRESS	PARCEL
1	9104 Guilford Road	C-1
2	9100 " "	C-1
3	9108 " "	C-1
4	9112 " "	C-2

SUBDIVISION NAME: COLUMBIA - RIVERS CORPORATE PARK SECT. / AREA PARCEL #

PLAT # 19342 BLOC BOME TAX MAP ELEC. DIST. CENSUS TR.

19342 92 ST. ARCHITECT 6TH 6062

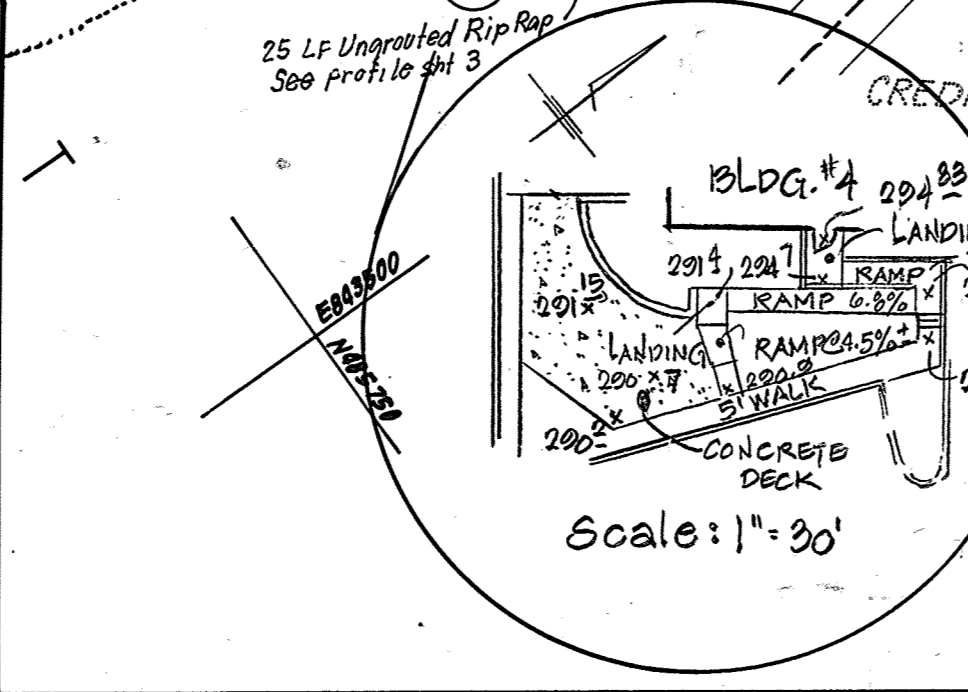
WATER CODE E-14 SEWER CODE 520 0000

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
10-9-86

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING
10-10-86

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
10-11-86

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE: 8-6-86



RIVERS CORPORATE PARK SECTION 2 AREA 1 PLAT 5334

CREDITED OPEN SPACE LOT 5 ZONED INT.

Reviewed for... Howard S.C.D. and meets Technical Requirements
James M. [Signature]
U.S. Soil Conservation Service
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
Approved 10/2/86

DEVELOPER'S/BUILDER'S CERTIFICATE

I hereby certify that all development and construction will be done according to the plan of development and plan for erosion and sediment control and that all persons employed in the construction of the project will have a Certificate of Attendance at a Dept. of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.

Michael A. [Signature] 6-5-86
Signature of Developer/Builder Date

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Erosion and Sediment Control is in accordance with the plan based on a field survey of the site conditions and that the same is in accordance with the requirements of the Howard Soil Conservation District.

B. Nelson Clark 6-5-86
Date

11315 LOCKWOOD DRIVE SILVER SPRING, MARYLAND 20904 (301) 593-3400

CLARK & FINEFRICK & SACKETT
ENGINEERS • PLANNERS • SURVEYORS

SITE DEVELOPMENT PLAN
PARCEL C-1 & C-2

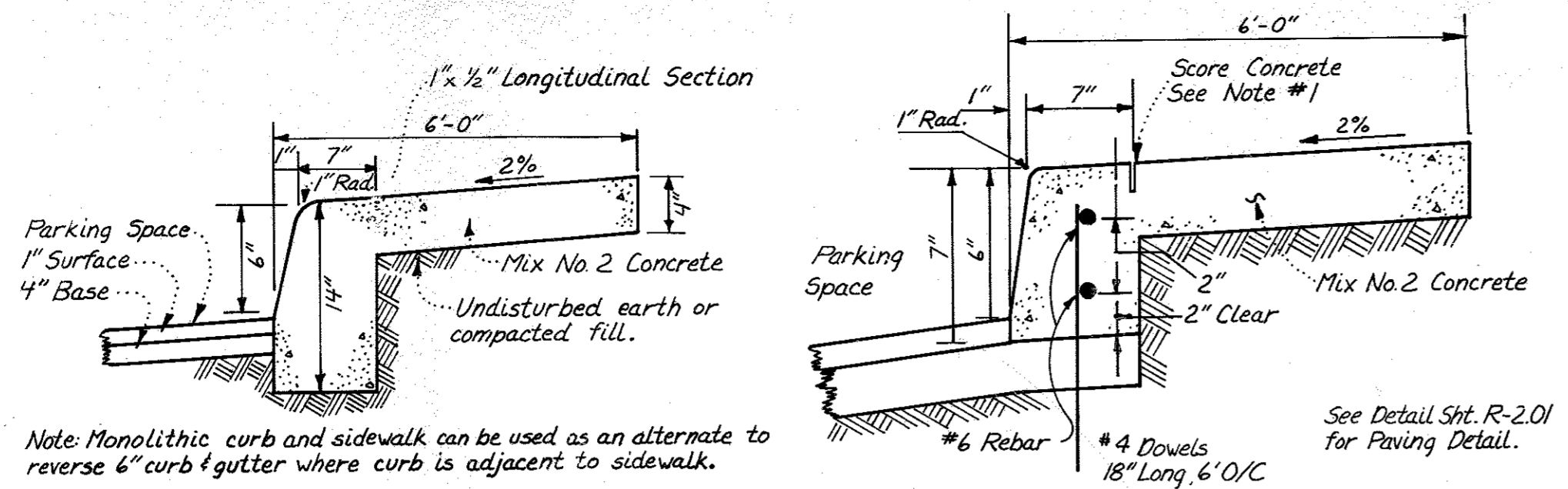
COLUMBIA RIVERS CORPORATE PARK SECTION 2 AREA 1 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

FOR: RIVERS PARK ASSOCIATES LTD. PARTNERSHIP
9200 Bossi Court Suite 300
Landover, Maryland 20785

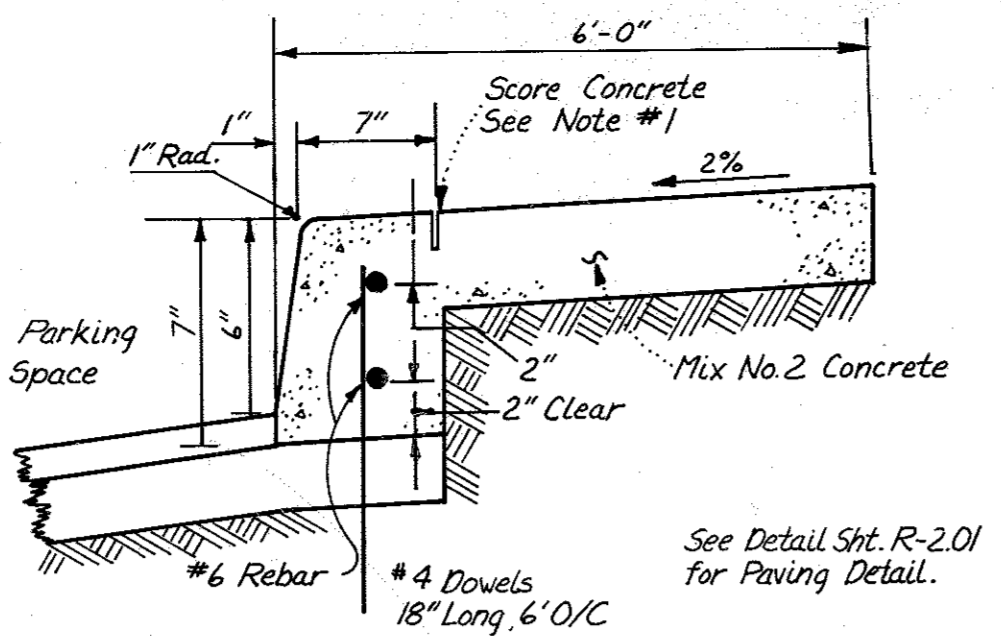
DESIGNED: WHT
DRAWN: JTR
CHECKED: WHT
DATE: JUNE 1986

SCALE: 1"=50'
DRAWING: 10F 6
JOB NO.: 85-111
FILE NO.: 85-111 X

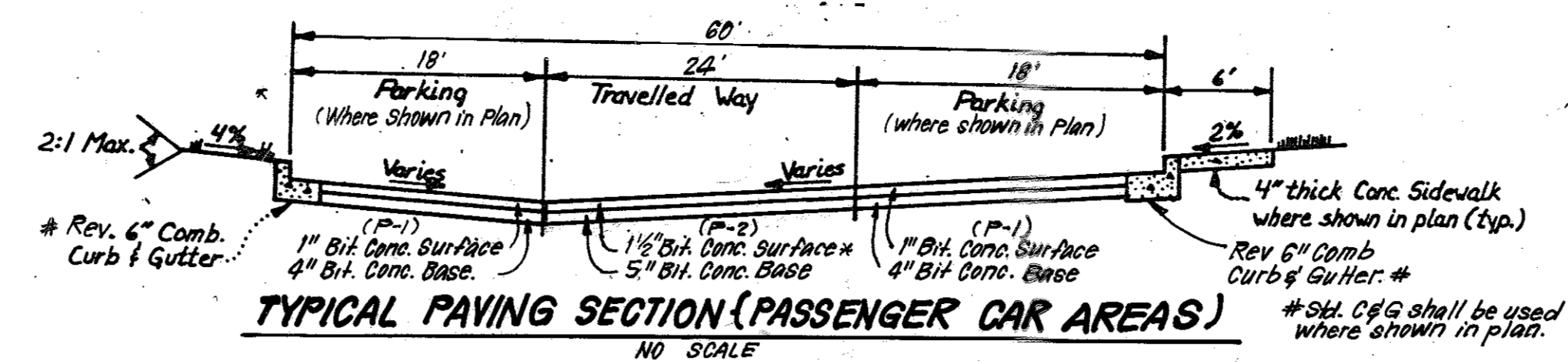
Notes:
 1. Longitudinal Joint between sidewalk & curb shall be continuous and to a depth of 1/4 the thickness of the sidewalk or 1" Latitudinal Joints shall run from back edge of sidewalk continuous to the bottom face of curb to a depth of 1/4 the sidewalk thickness or 1" and spaced 5' apart.
 2. Provide 1/4" expansion joints at 15' intervals. In latitudinal joints to full cross-section.



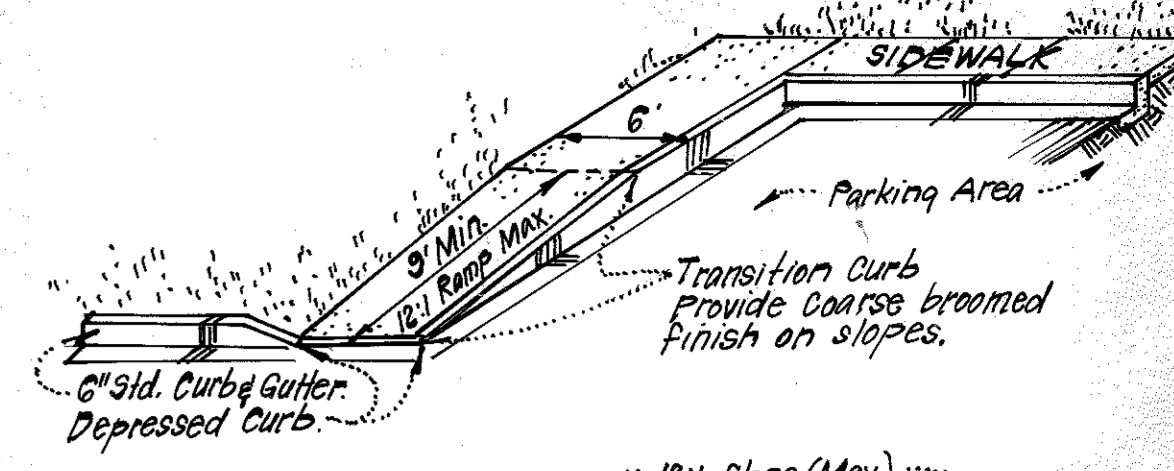
MONOLITHIC CURB & SIDEWALK - PRIVATE PARKING AREA
NO SCALE



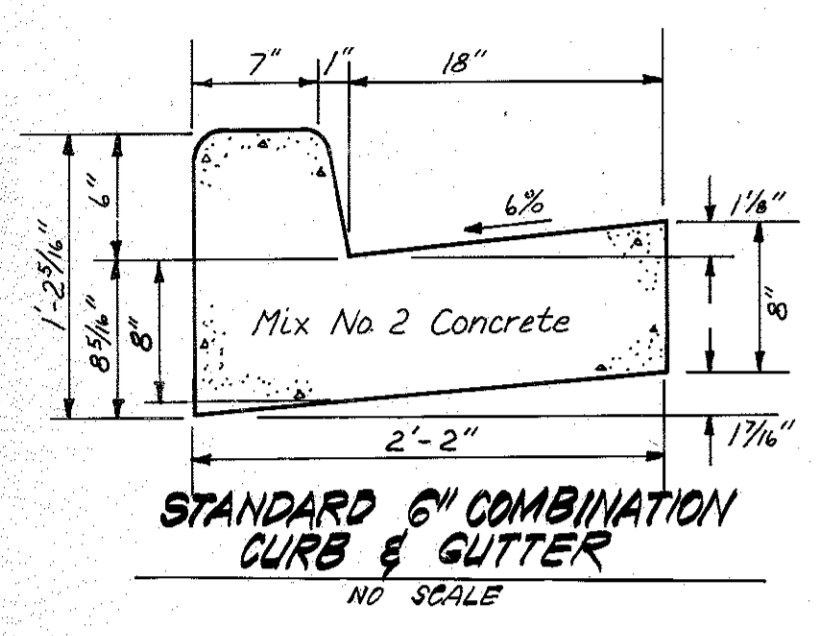
ALTERNATE SECTION
NO SCALE



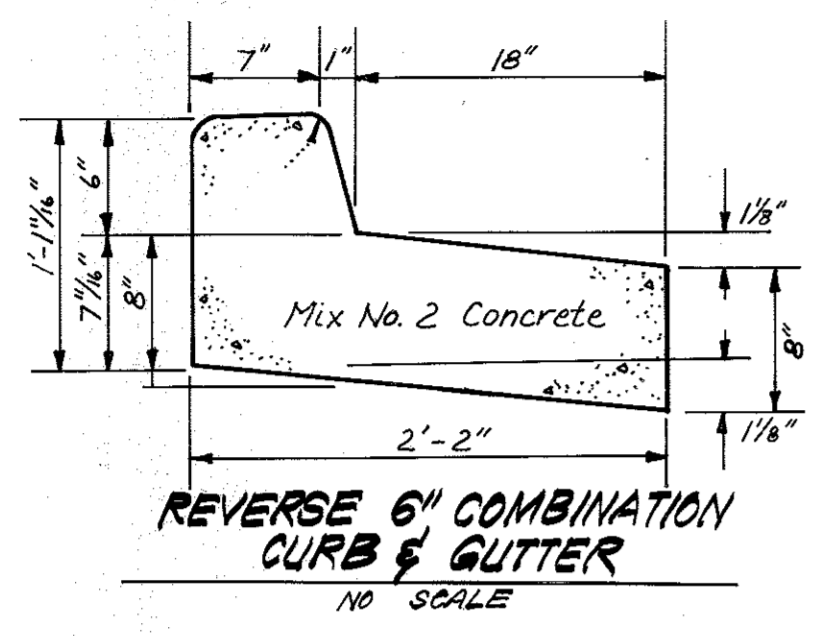
TYPICAL PAVING SECTION (PASSENGER CAR AREAS)
NO SCALE



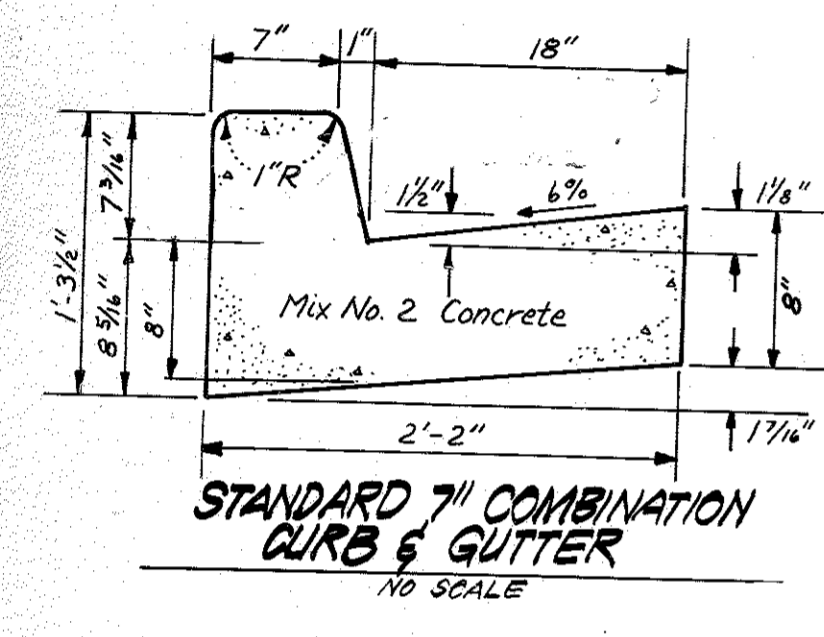
HANDICAP RAMP DETAILS
NO SCALE



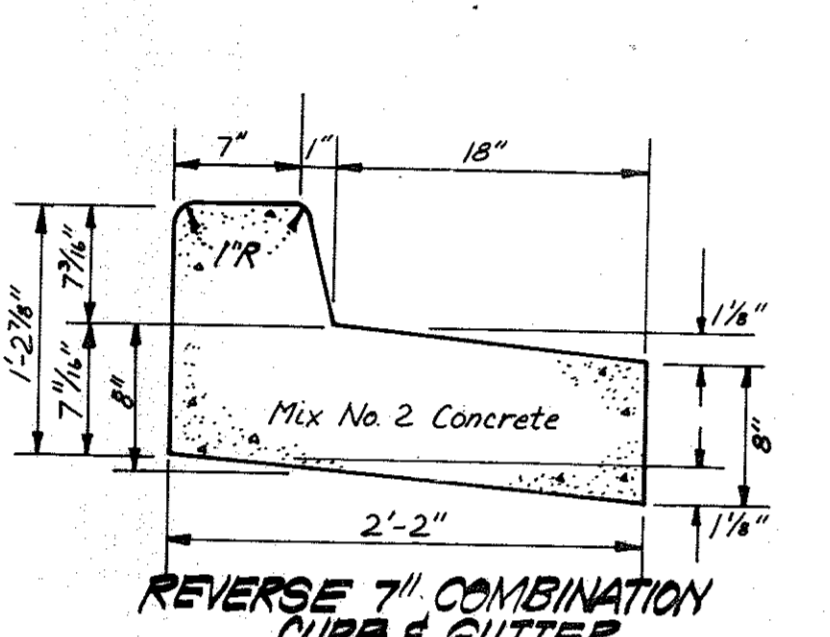
STANDARD 6" COMBINATION CURB & GUTTER
NO SCALE



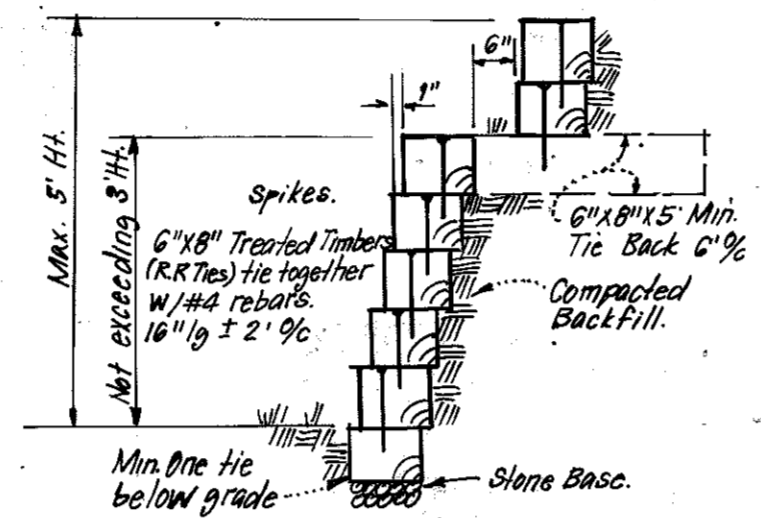
REVERSE 6" COMBINATION CURB & GUTTER
NO SCALE



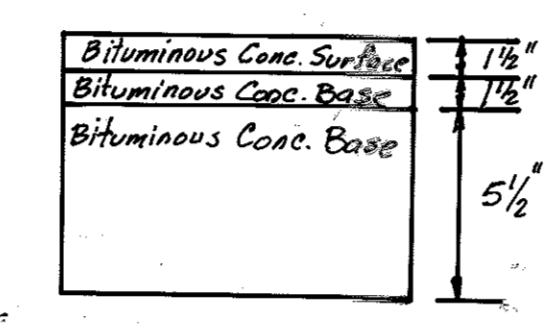
STANDARD 7" COMBINATION CURB & GUTTER
NO SCALE



REVERSE 7" COMBINATION CURB & GUTTER
NO SCALE



RETAINING WALL DETAIL
NO SCALE



TRAVELLED WAY - TRUCK ROUTE & LOADING DOCK AREAS (SECTION P-3)
NO SCALE

Bituminous Conc. Surface	1 1/4"
Bituminous Conc. Base	4 1/4"
Prime	4"
6" Crusher Run Base Course	4"
or	4"
4" Dense Graded Stabilized Aggregate Base Course	4"

ALTERNATE PAVING SECTION TRAVELLED WAY - TRUCK ROUTE & LOADING DOCK AREAS (SECTION P-3)
NO SCALE

Bituminous Conc. Surface	1"
Bituminous Conc. Base	2"
Prime	5"
5" Crusher Run Base Course	5"
or	5"
4" Dense Graded Stabilized Aggregate Base Course	4"

ALTERNATE PAVING SECTION FOR PARKING AREAS (SECTION P-1)
NO SCALE

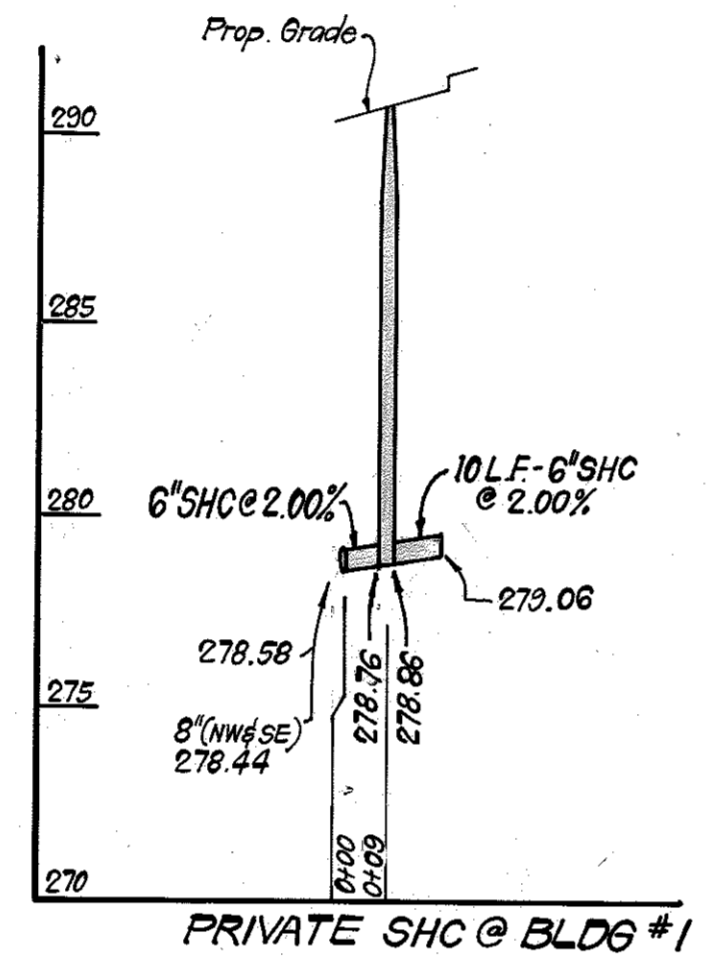
Bituminous Conc. Surface	1 1/4"
Bituminous Conc. Base	2 1/2"
Prime	8"
8" Crusher Run Base Course	8"
(Placed in 2 Courses)	8"
or	8"
4" Dense Graded Stabilized Aggregate Base Course	6"

ALTERNATE PAVING SECTION TRAVELLED WAY - PASSENGER CAR AREAS (SECTION P-2)
NO SCALE

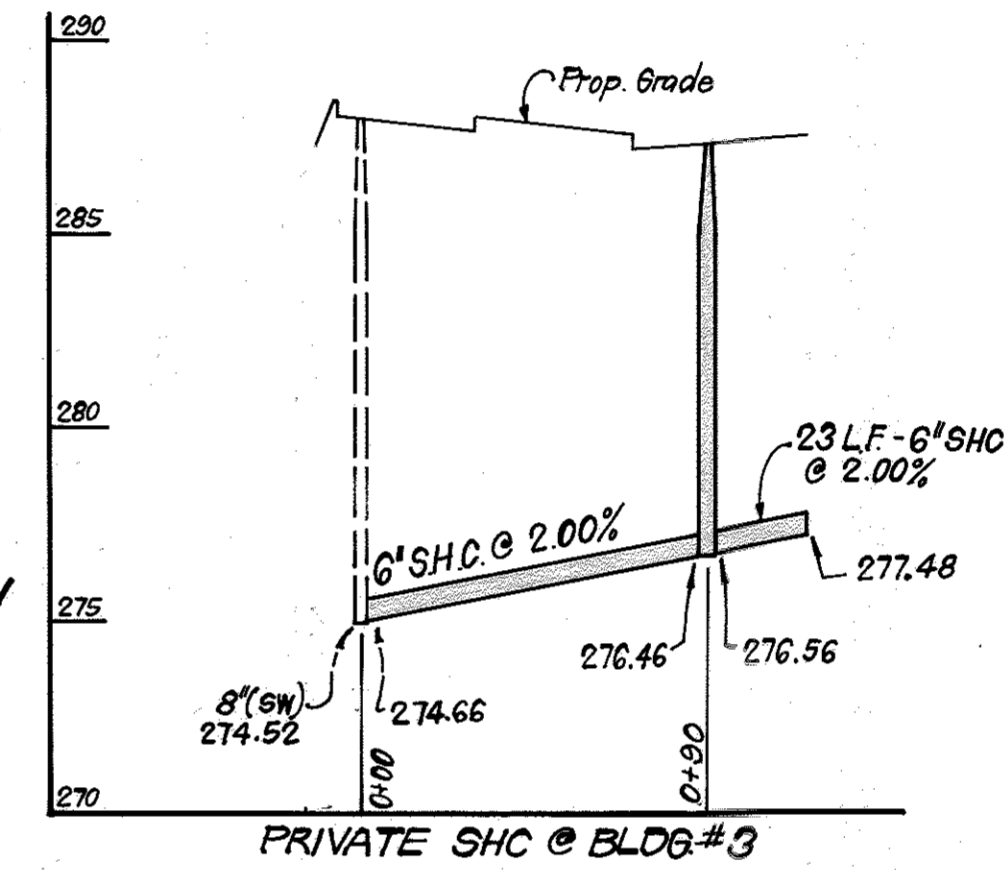


NOTE:
 1. Sign shall meet design standards of Federal Hwy. Administration.
 2. One required per parking space placed as shown.

HANDICAP PARKING SIGN DETAIL
NO SCALE



PRIVATE SHC @ BLDG #1



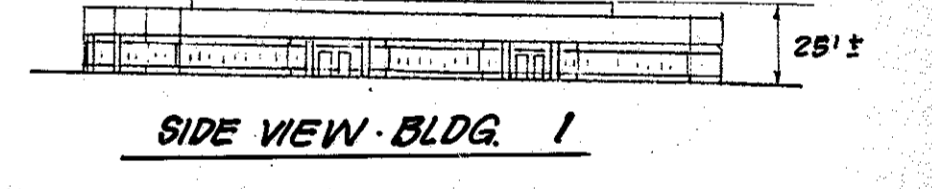
PRIVATE SHC @ BLDG #3



SIDE VIEW - BLDG. 4



SIDE VIEW - BLDG. 2



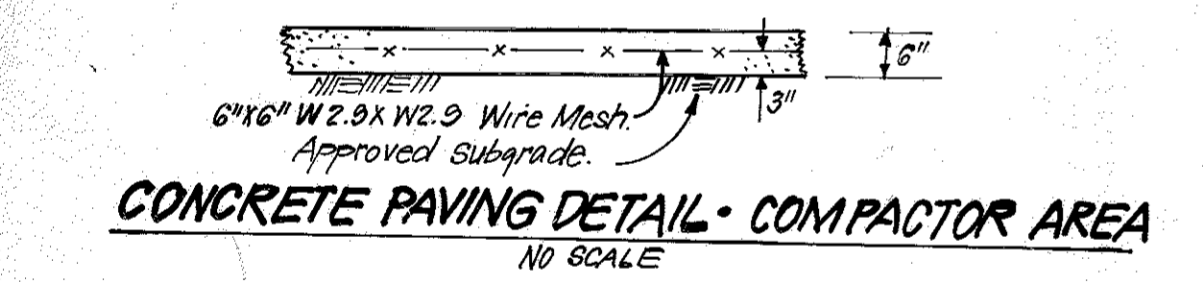
SIDE VIEW - BLDG. 1



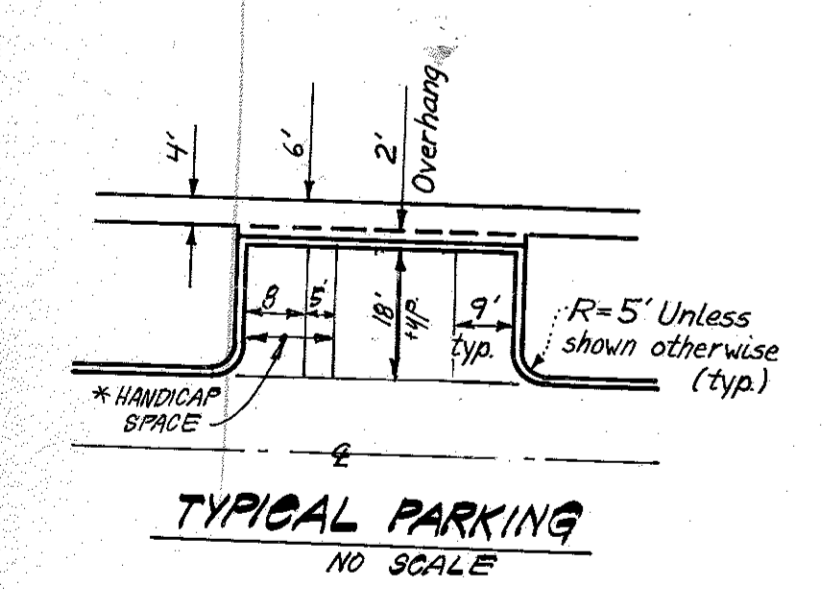
SIDE VIEW - BLDG. 3

BUILDING ELEVATIONS
NO SCALE

Notes:
 1. Materials and Construction to be in accordance with H.C. Specs. & specs.
 2. See plan view for limits of conc. paving.

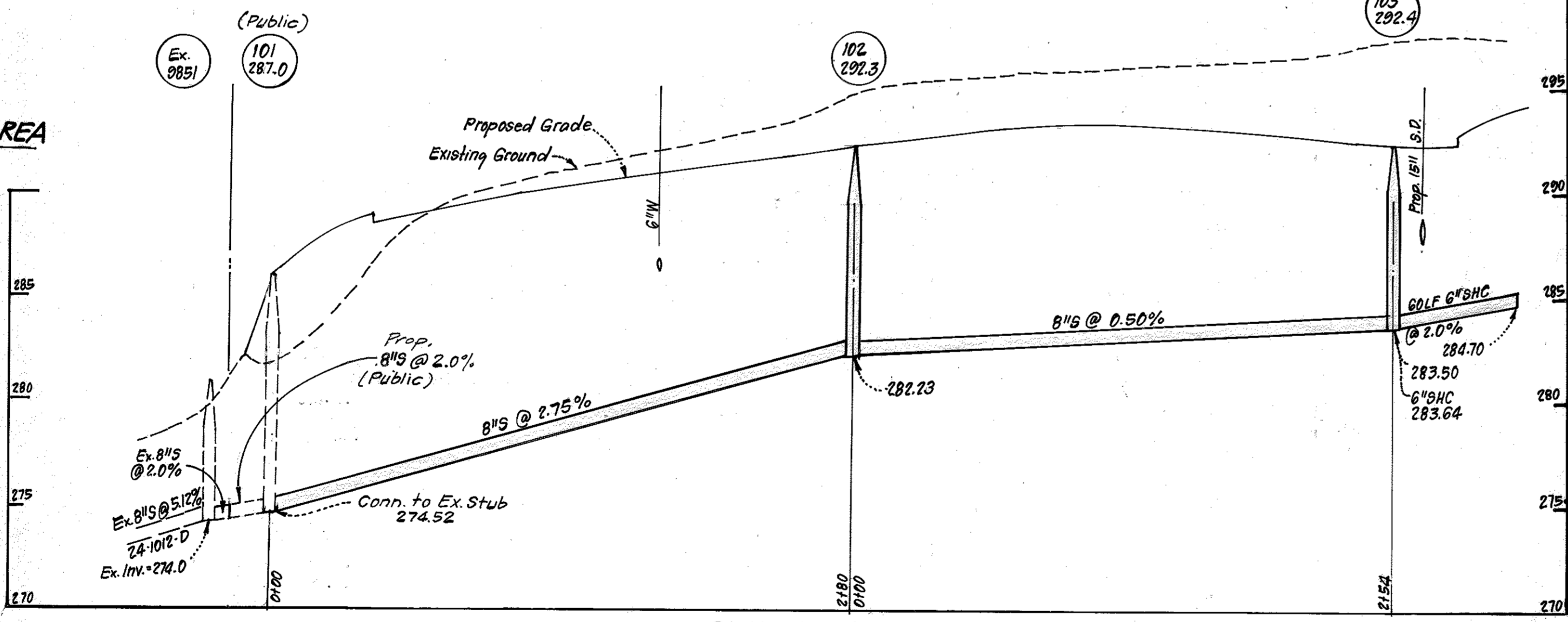


CONCRETE PAVING DETAIL - COMPACTOR AREA
NO SCALE

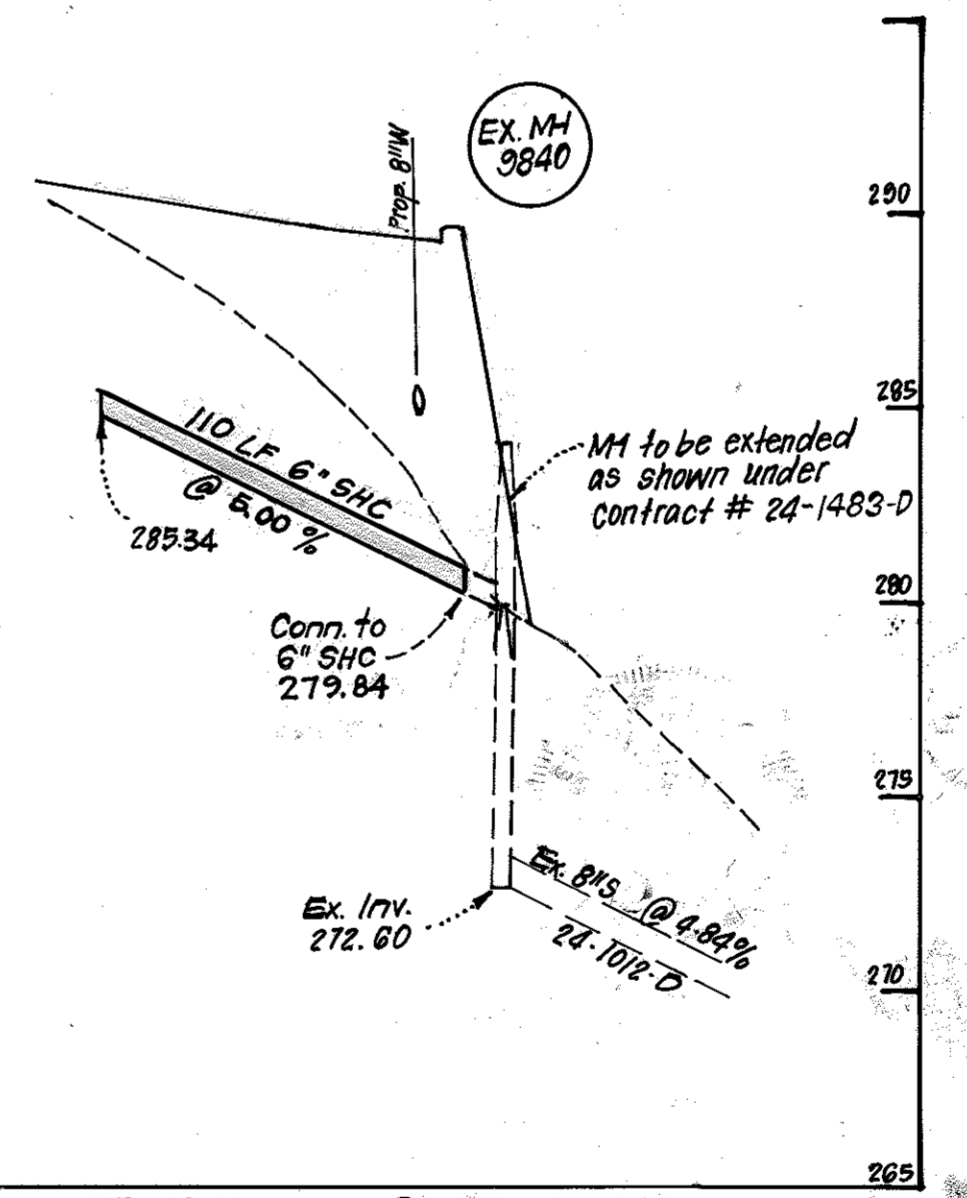


TYPICAL PARKING
NO SCALE

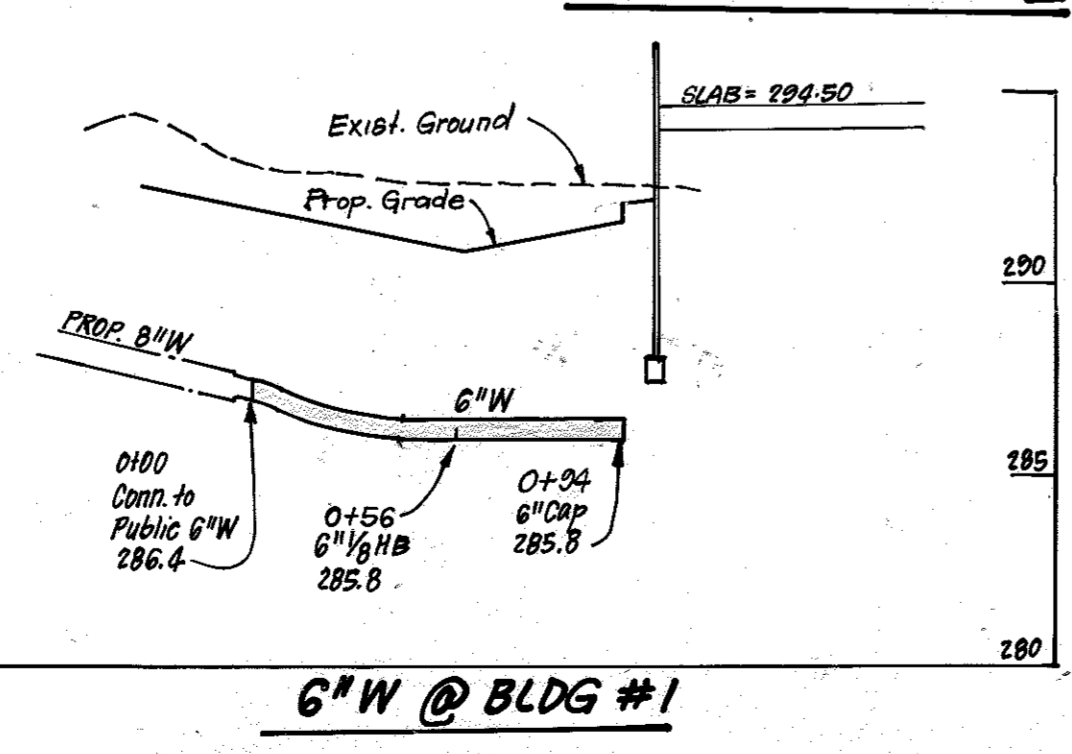
* Two 8' Handicap Spaces may share One 5' Aisle



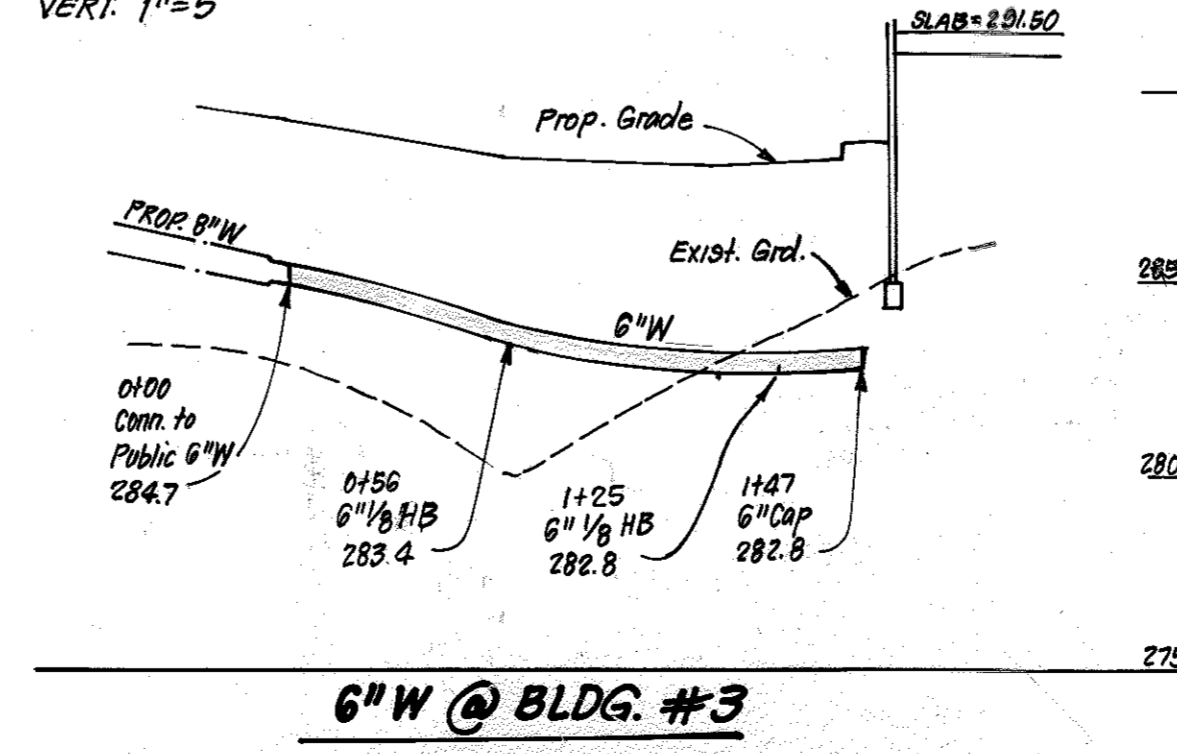
SEWER PROFILE
SCALE: HORIZ. 1"=50' VERT. 1"=5'



PRIVATE SHC @ BLDG #4

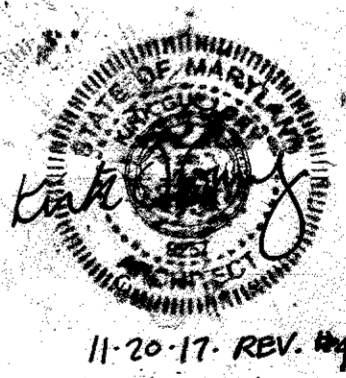
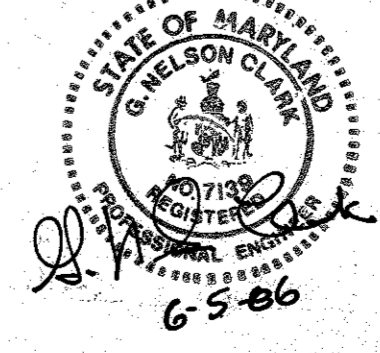
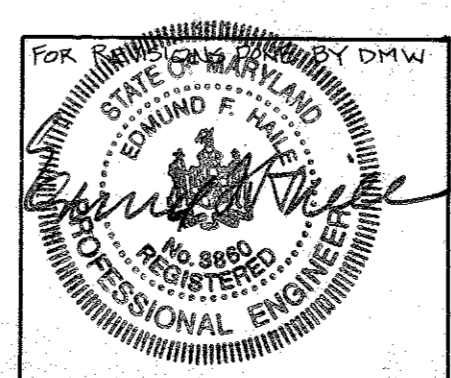


6" W @ BLDG #1



6" W @ BLDG #3

Date	No.	Revision Description	BY	CHKD
11-20-17	4	REVISED BLDG. #4 TO RELIGIOUS FACILITY		
08-05-98	2	REVISED SHC @ BLDG #4 PROFILE + ADDED BUILDING ELEV #4		



WATER AND SEWER NOTES
 1. All sewer mains shall be P.V.C., GSPX, VCPX or ACP Class 2400 except where indicated.
 2. All construction methods and materials for on-site private water and sewer systems shall follow the current edition of the Howard County Plumbing Code, supplemented by the Howard County Std. Details and Specs. where necessary.
 3. All Water Mains to be D.I.P.
 4. All Water Mains shall have a Min. of 3'-5" of cover.
 5. Block all Water Main Fittings with Concrete.
 6. Sewer House Connections shall be built to within 5' of buildings, at a slope of 2%, unless shown otherwise on plan or profile.



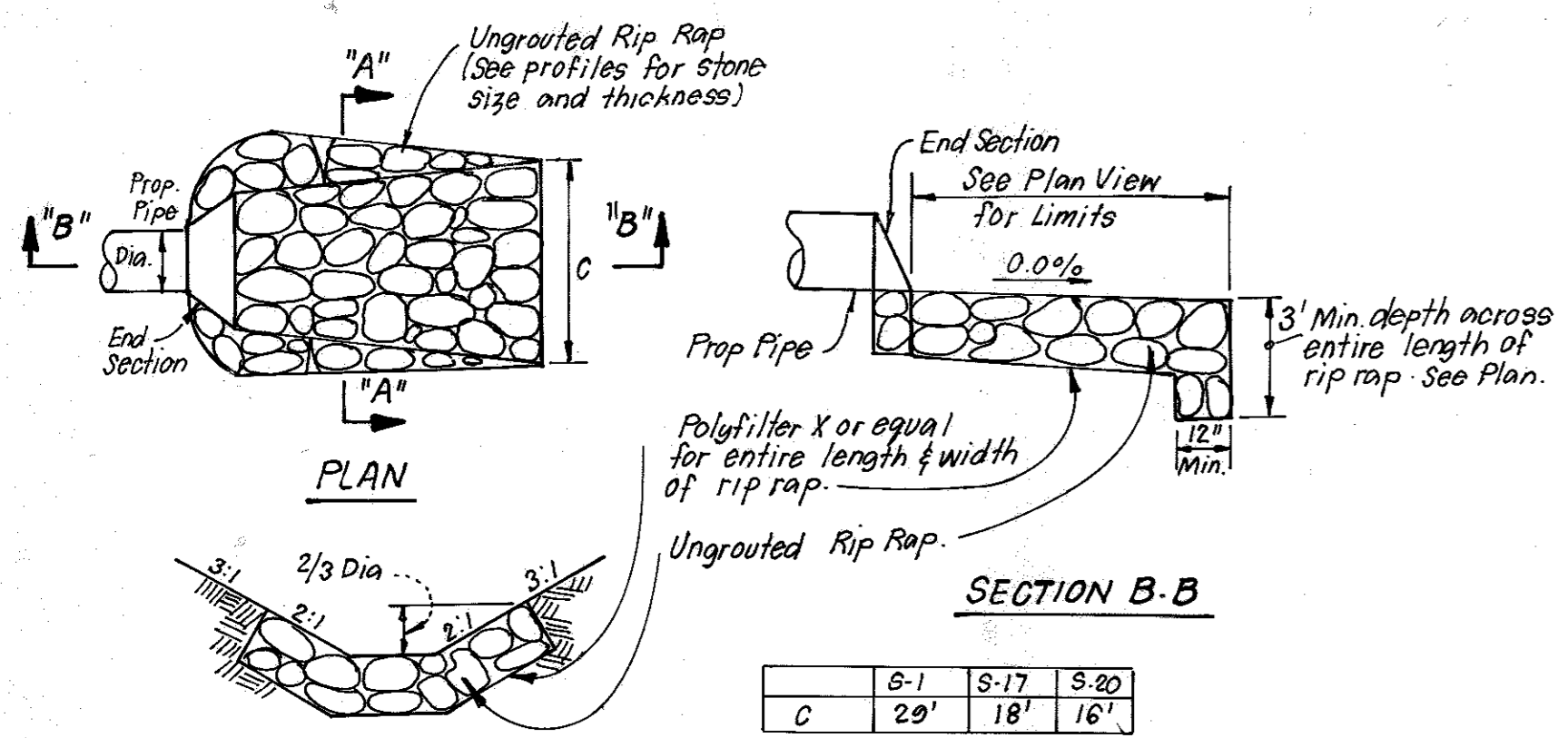
CLARK • FINEFROCK & SACKETT
 ENGINEERS • PLANNERS • SURVEYORS
 11315 LOCKWOOD DRIVE • SILVER SPRING, MARYLAND 20904 • (301) 593-3400

DESIGNED	CKG	SCALE
DRAWN	KIW	As Shown
CHECKED	CKG	DRAWING
DATE	JUNE 1986	2 OF 6
		JOB NO.
		85-111
		FILE NO.
		85-111-X

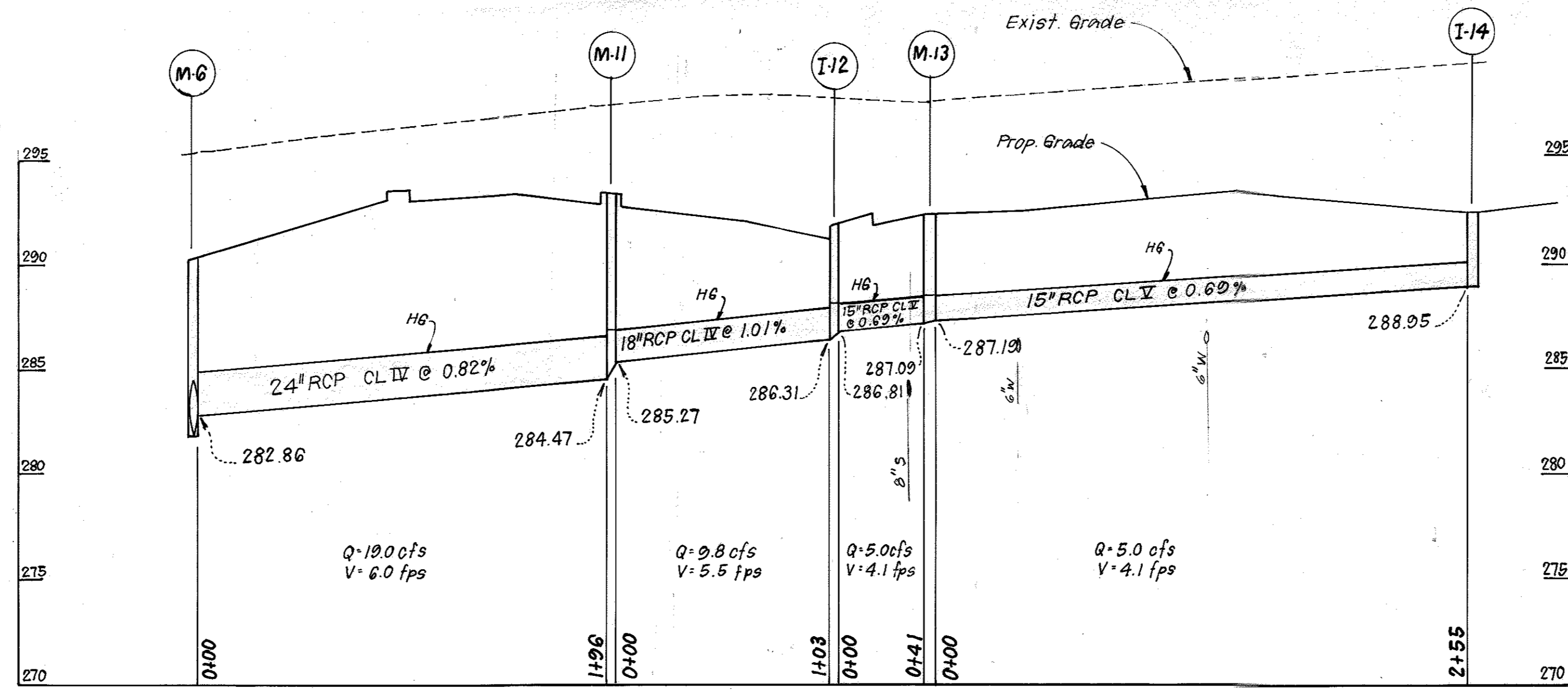
SITE DEVELOPMENT PLAN PAVING AND SEWER DETAILS
 PARCEL C-1 AND C-2
COLUMBIA
 RIVERS CORPORATE PARK SECTION 2 ARE 1 & 2
 6TH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 FOR: RIVERS PARK ASSOCIATES, LTD. PARTNERSHIP
 2220 BROADWAY, # 300
 Landover, Md. 20785

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER: *[Signature]* DATE: 10-9-86
 APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING
 PLANNING DIRECTOR: *[Signature]* DATE: 10-10-86
 CHIEF DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION: *[Signature]* DATE: 10-20-86
 APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR: *[Signature]* DATE: 10-6-86
 CHIEF BUREAU OF ENGINEERING: *[Signature]* DATE: 10-20-86

APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE: 8-6-86
[Signature]

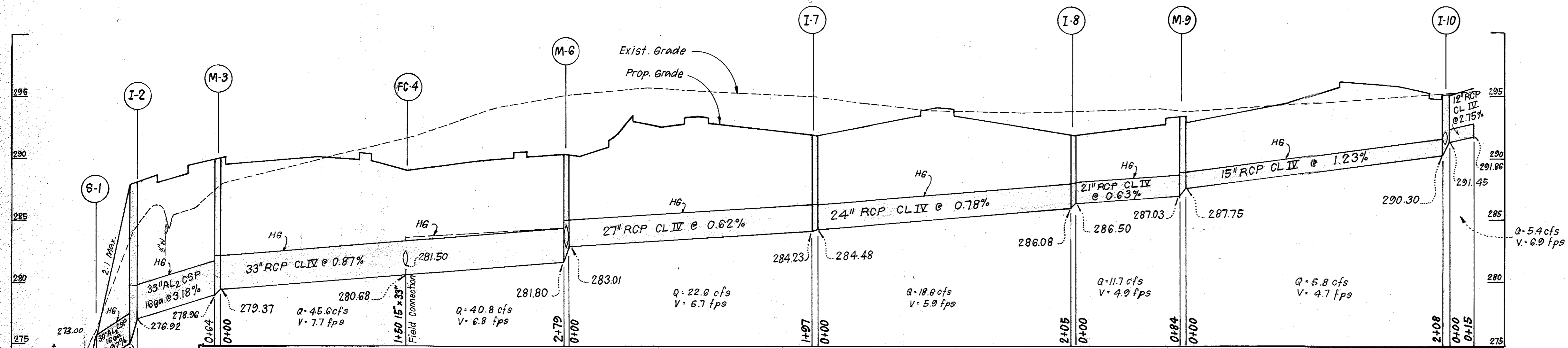


SECTION A-A
UNGRouted RIPRAP PAVING DETAILS
NO SCALE



No.	TYPE	INV. IN	INV. OUT	TOP ELEVATION		REMARKS	LOCATION
				UPPER	LOWER		
S-1	Metal End Section	272.21	273.17	288.05	287.70	Ho. Co. Std. SD. 5.61 Dia = 30"	See Plan
I-2	A-5 Inlet	272.92	274.20	288.05	287.70	SD. 4.01 W-3'-6"	" "
M-3	Manhole	283.37	278.90	290.10	290.10	" " " 6-5.02 5'-0" Rd.	" "
FC-4	Field Connection	281.50	280.88			" " " SD. 2.01 15" x 33"	" "
M-6	Manhole	283.28	281.80	290.40	290.40	" " " 6-5.02 5'-0" Rd.	" "
I-7	S-inlet w/Ret. Gate	284.48	284.23	292.00	292.00	" " " SD. 4.22 3'-3" Sq.	" "
I-8	S-inlet w/Ret. Gate	286.50	286.08	292.00	292.00	" " " SD. 4.22 2'-7" Sq.	" "
M-9	Shallow Manhole	287.75	287.03	293.70	293.70	" " " 6-5.05 48" Sq.	" "
I-10	A-5 Inlet	291.45	290.30	295.30	295.20	" " " SD. 4.01 W-2'-6"	" "
M-11	Manhole	285.27	284.47	293.20	293.20	" " " 6-5.02 48" Rd.	" "
I-12	A-5 Inlet	286.81	286.31	291.80	291.70	" " " SD. 4.01 W-2'-6"	" "
M-13	Shallow Manhole	287.10	287.00	292.60	292.60	" " " 6-5.05 48" Sq.	" "
I-14	S-inlet w/Ret. Gate	288.05	288.05	292.40	292.40	" " " SD. 4.22 2'-7" Sq.	" "
I-16	S-inlet w/Ret. Gate	284.00	284.00	288.90	288.90	" " " SD. 4.22 2'-7" Sq.	" "
S-17	Concrete End Section	279.68	279.60			" " " SD. 5.52 Dia = 18"	" "
I-18	A-10 Inlet	281.00	280.02	285.00	285.00	" " " SD. 4.02 W-2'-6"	" "
I-19	A-10 Inlet w/Def		281.55	286.63	286.40	" " " SD. 4.02 W-2'-6"	" "
S-20	Metal End Section	276.60	276.40	289.00	289.00	" " " SD. 5.61 Dia = 15"	" "
I-21	A-5 Inlet	282.50	278.50	289.00	289.00	" " " SD. 4.01 W-2'-6"	" "

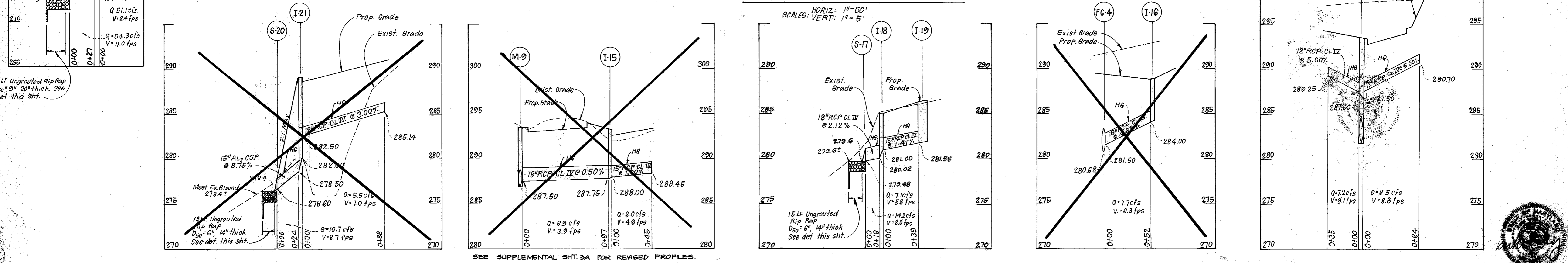
Δ All inlets and manholes to have fully developed inverts
See Ho. Co. Std SD 4.83 for inlet deflectors.



SIZE	TYPE	LENGTH
12"	RCP CL IV	114 LF
15"	AL ₂ CSP 16ga.	24 LF
15"	RCP Class IV	436 LF
18"	RCP Class IV	255 LF
18"	RCP Class IV	216 LF
21"	RCP Class IV	84 LF
24"	RCP Class IV	401 LF
27"	RCP Class IV	197 LF
30"	AL ₂ CSP 16ga.	24 LF
33"	RCP Class IV	279 LF
33"	AL ₂ CSP 16ga.	64 LF

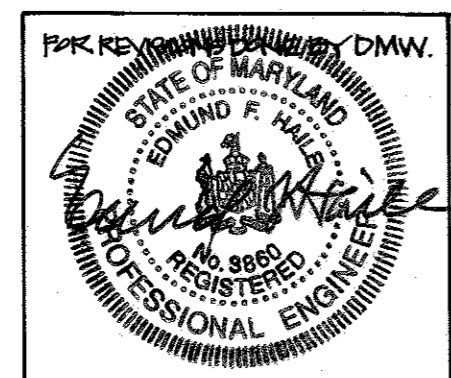
* 2 1/2" x 1/2" Corrugations.

STORM DRAIN PROFILES



APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER: *[Signature]* 10-9-86
 APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
 PLANNING DIRECTOR: *[Signature]* 10-10-86
 CHIEF DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION: *[Signature]* 10-10-86
 APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR: *[Signature]* 10-8-86
 CHIEF BUREAU OF ENGINEERING: *[Signature]* 10-8-86

APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE: 8-6-86



Reviewed for... HOWARD S.C.D.
 Name
 and meets Technical Requirements
[Signature]
 Signature
 U.S. Soil Conservation Service

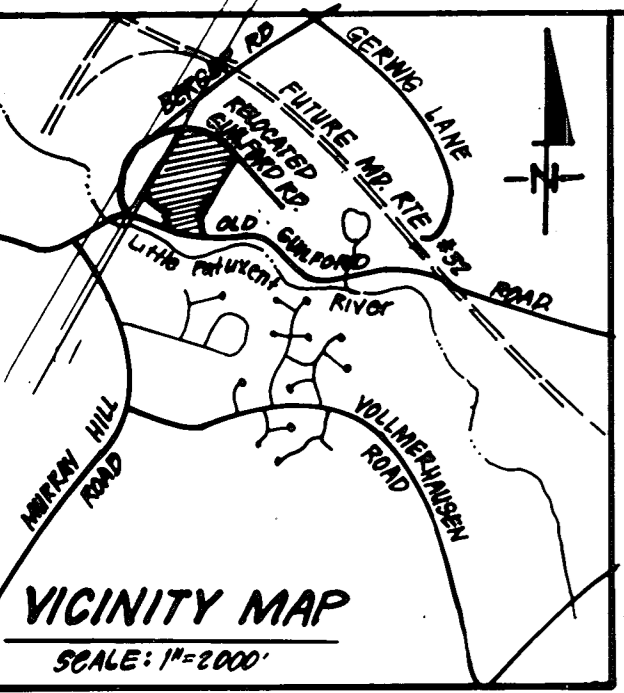
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT.
[Signature] 10/2/86
 Approved Date

DEVELOPER'S/BUILDER'S CERTIFICATE
 "I/We certify that all development and construction will be done according to this plan of development and plan for erosion and sediment control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Dept. of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."
[Signature] 6/5/86
 Signature of Developer/Builder Date

ENGINEER'S CERTIFICATE
 I hereby certify that this plan, Erosion and Sediment Control, is a true and correct and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
[Signature] 6-5-86

CLARK • FINEFROCK & SACKETT
 ENGINEERS • PLANNERS • SURVEYORS
 11315 LOCKWOOD DRIVE • SILVER SPRING, MARYLAND 20904 • (301) 593-3400

DESIGNED DAB	SITE DEVELOPMENT PLAN STORM DRAINAGE PROFILES PARCEL C-1 AND C-2 COLUMBIA RIVERS CORPORATE PARK SECTION 2 AREA 1 COLLECTION DISTRICT HOWARD COUNTY, MARYLAND FOR: RIVERS PARK ASSOCIATES LTD. PARTNERSHIP 9200 Bash Court #300 Landover, Md. 20785	SCALE As Shown
DRAWN JTR		DRAWING 3 OF 6
CHECKED DAB		JOB NO. 85 111
DATE JUNE 1986		FILE NO. 85-111-X
		SDP-86-190



A= .94^{ac} L 307. P
 C= .43 70%. G
 SEE F 82-92 FOR DRAINAGE AREA
 NORTH OF GUILFORD ROAD

LEGEND:

1. Contour Interval 2' F
2. Existing Contour 10'
3. Proposed Contour 10'
4. Spot Elevation
5. Direction of Drainage
6. Exist Trees to be saved
7. Handicap Ramp
8. Handicap Parking Space
9. Proposed Storm Drain
10. Proposed Sewer
11. Proposed Water
12. Paving Section P-3
13. Straw Bale Dike or Silt Fence
14. Earth Dike
15. Stabilized Construction Entrance
16. LIMIT OF DISTURBANCE
17. SUPER SILT FENCE
18. INLET PROTECTION

- SEDIMENT CONTROL NOTES**
- 1) A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (992-2437)
 - 2) All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
 - 3) Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
 - 4) All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. I, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
 - 5) All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 51) sod (Sec. 54), temporary seedings (Sec. 50) and mulching (Sec. 52). Temporary stabilization with mulch alone can only be done when recommended seedings do not allow for proper germination and establishment of grasses.
 - 6) All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector
 - 7) Site Analysis:

Total Area of Site	16.119 Acres
Area Disturbed	16.0 Acres
Area to be roofed or paved	11.5 Acres
Area to be vegetatively stabilized	4.6 Acres
Total Cut	41,500 Cu. yds
Total Fill	41,500 Cu. yds
Offsite waste/borrow area location	N/A
 - 8) Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
 - 9) Additional sediment control must be provided, if deemed necessary by the Howard County DW sediment control inspector.
 - 10) On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
 - 11) If houses are to be constructed on an "As-Sold" basis, at Random, Single Lot Sediment Control as shown below shall be implemented. N/A
 - 12) All pipes except those used to convey dirty water to sediment basins, shall be blocked at the end of each day.
 - 13) The total amount of straw bale dikes/silt fence equals 1040 L.F.

S.O.S.T. # 2
 D.A. = 2.3 ACRES
 Storage Required = 23(1800)-4140cf
 Storage Provided = 4240cf
 Crest Elev. = 281.0
 Bottom Elev. = 276.0
 Bottom Dimensions: 75'x11' (triangular)
 Clean Out Elev. = 278.0
 Depth = 4'

SBD/S PHASE II
 SECTION 5 OF KING'S CONTRIB. AREA
 ZONED M-1, N.T.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
 HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER: *[Signature]* DATE: 11-9-86

APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING
 PLANNING DIRECTOR: *[Signature]* DATE: 10-10-86
 CHIEF DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
 HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DIRECTOR: *[Signature]* DATE: 6-6-86
 CHIEF BUREAU OF ENGINEERING

APPROVED PLANNING BOARD OF HOWARD COUNTY
 DATE: 8-6-86
[Signature]

Note: Cleanout and Repair Ex SOST #1 in accordance with current stds & specs Provide 4' depth and 22' x 42" bottom.

Earth Dikes to be repaired to meet current stds & specs.

"RIVERS CORPORATE PARK" SECTION 2 AREA 1
 OPEN SPACE LOT 5
 ZONED INT

Reviewed for... **HOWARD** S.E.D.
 Name: *[Signature]*
 and meets Technical Requirements
[Signature]
 U.S. Soil Conservation Service

"THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT."

[Signature] 10/2/86
 Approved Date

DEVELOPER'S/BUILDER'S CERTIFICATE

I hereby certify that all development and construction will be done according to this plan of development and plan for erosion and sediment control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Dept. of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or its authorized agents, as are deemed necessary.

[Signature] 6/5/86
 Michael L. [Name] Developer/Builder

ENGINEERS' CERTIFICATE

I hereby certify that this plan for Erosion and Sediment Control is a true and correct copy of the plan based on the field data and the site conditions as shown on the site plan and in accordance with the requirements of the Howard Soil Conservation District.

[Signature] 6-5-86
 G. Nelson Clark

CLARK • FINEFROCK & SACKETT
 ENGINEERS • PLANNERS • SURVEYORS
 11315 LOCKWOOD DRIVE SILVER SPRING, MARYLAND 20904 (301) 583-3400

EROSION & SEDIMENT CONTROL AND DRAINAGE AREA MAP
COLUMBIA
 RIVERS CORPORATE PARK SECTION 2 AREA 1
 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

FOR: RIVERS PARK ASSOCIATES LTD. PARTNERSHIP
 8200 Basil Court Suite 300 Landover, Maryland 20785

DESIGNED: WHT
 DRAWN: JTR
 CHECKED: WHT
 DATE: JUNE 1986

SCALE: 1"=50'
 DRAWING: 4 OF 6
 JOB NO.: 85-111
 FILE NO.: 85-111-SE

DATE	NO.	REVISION DESCRIPTION BY DWG. NO.
5-23-84	1	BUILDING # 4 S.F. ADDITION
1-8-24	7	BUILDING # 4 S.F. ADDITION
3-30-23	6	UPDATE PARKING PLAN & CONC. PAD AT BLDG # 4
11-20-17	4	REVISED BLDG # 4 TO RELIGIOUS FACILITY
08-09-18	2	REVISED BLDG # 4 & SURROUNDING PARKING

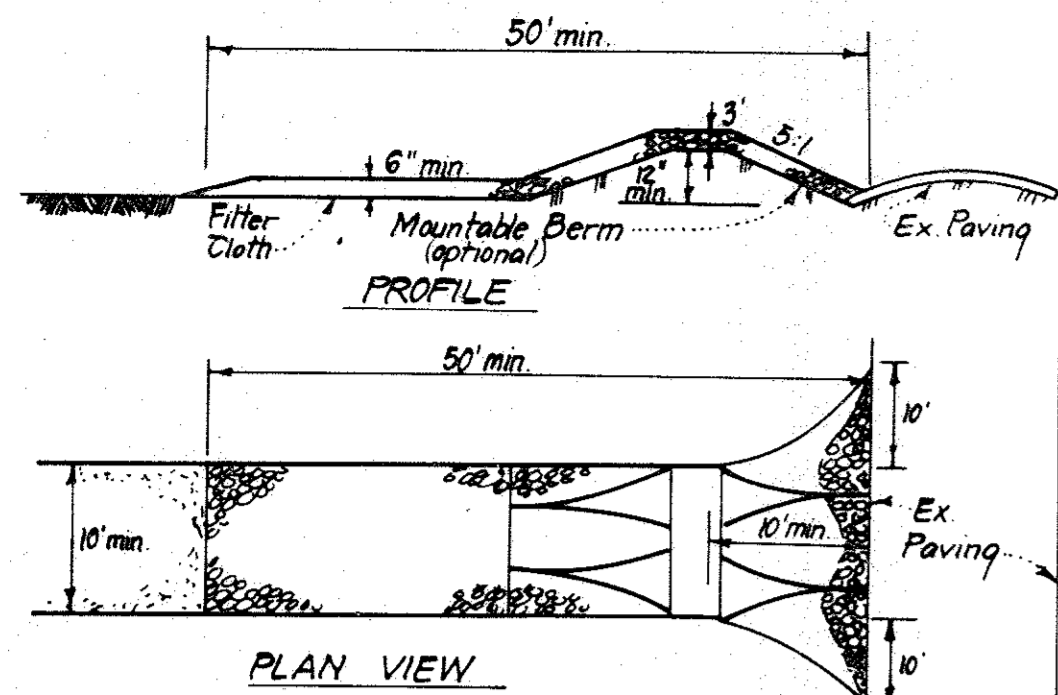
1-8-24 #7
 3-30-23 REV. #6

PER REVISIONS BY DWG. NO.

STATE OF MARYLAND
 BOARD OF PROFESSIONAL ENGINEERS
 PROFESSIONAL ENGINEER
 G. Nelson Clark
 11-20-17 REVISION #4

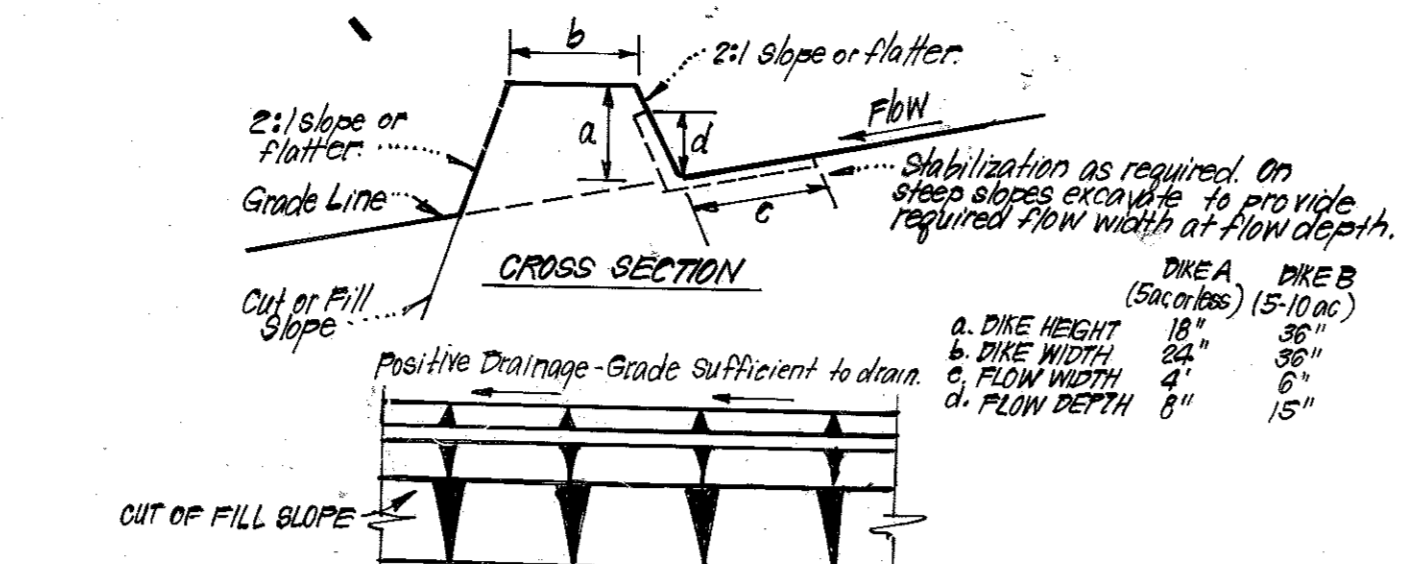
SUBDIVISION NAME: COLUMBIA - RIVERS CORPORATE PARK
 PLAT # 192A42
 WATER CODE E-14

BLDG. NO. 42
 TAX MAP 2/1
 SEWER CODE 52000000



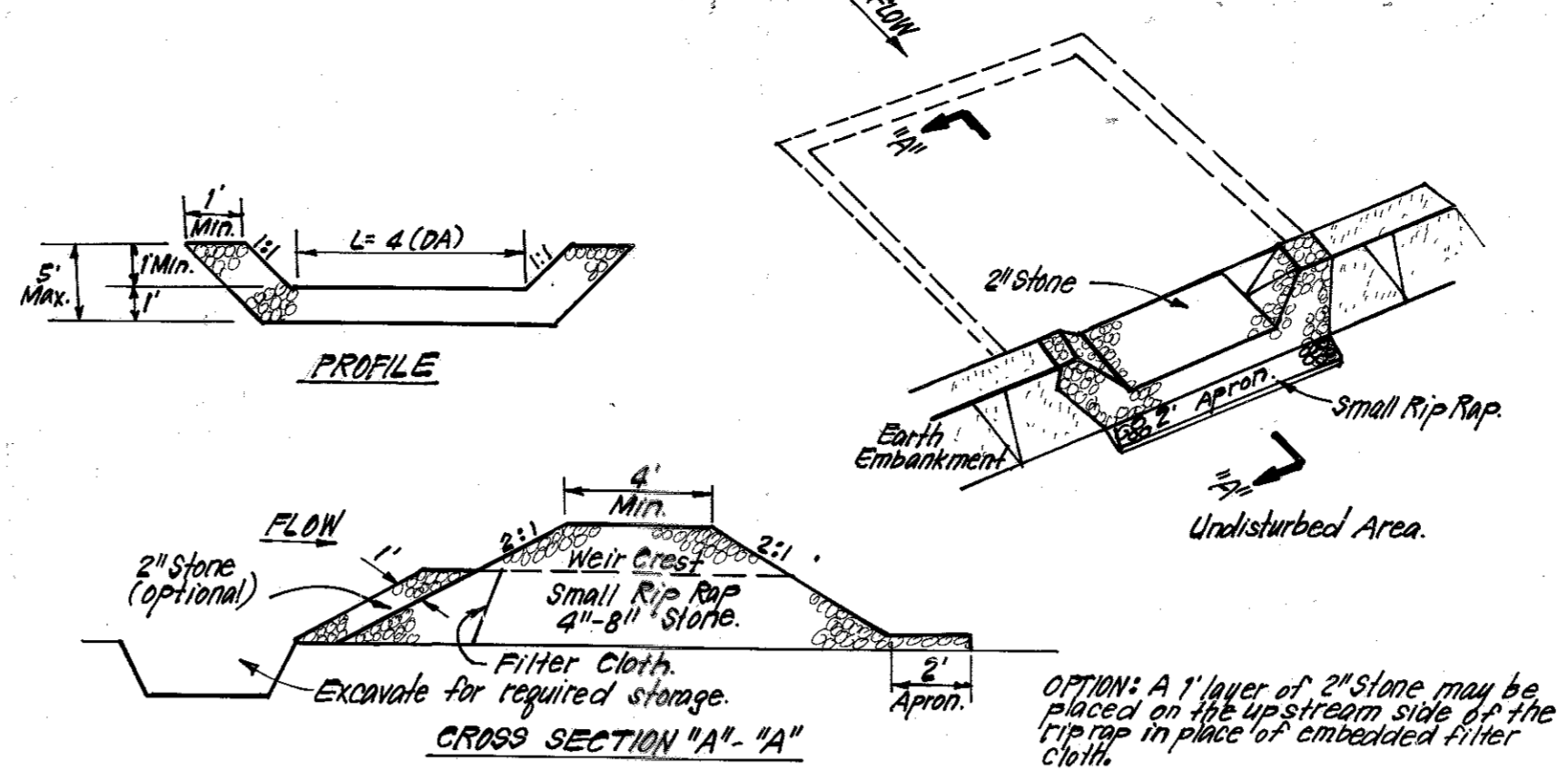
- CONSTRUCTION SPECIFICATIONS:**
- Stone size - Use 2" stone, or reclaimed or recycled concrete equivalent.
 - Length - As required, but not less than 50 feet (except on a single residence lot where a 30' foot minimum length would apply).
 - Thickness - Not less than six (6) inches.
 - Width - Ten (10) foot minimum, but not less than the full width at points where ingress or egress occurs.
 - Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a single family residence lot.
 - Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted.
 - Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing, with additional stone as conditions demand and repair and/or clearance of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
 - Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
 - Periodic inspection and needed maintenance shall be provided after each rain.

STABILIZED CONSTRUCTION ENTRANCE (SCE)
NO SCALE



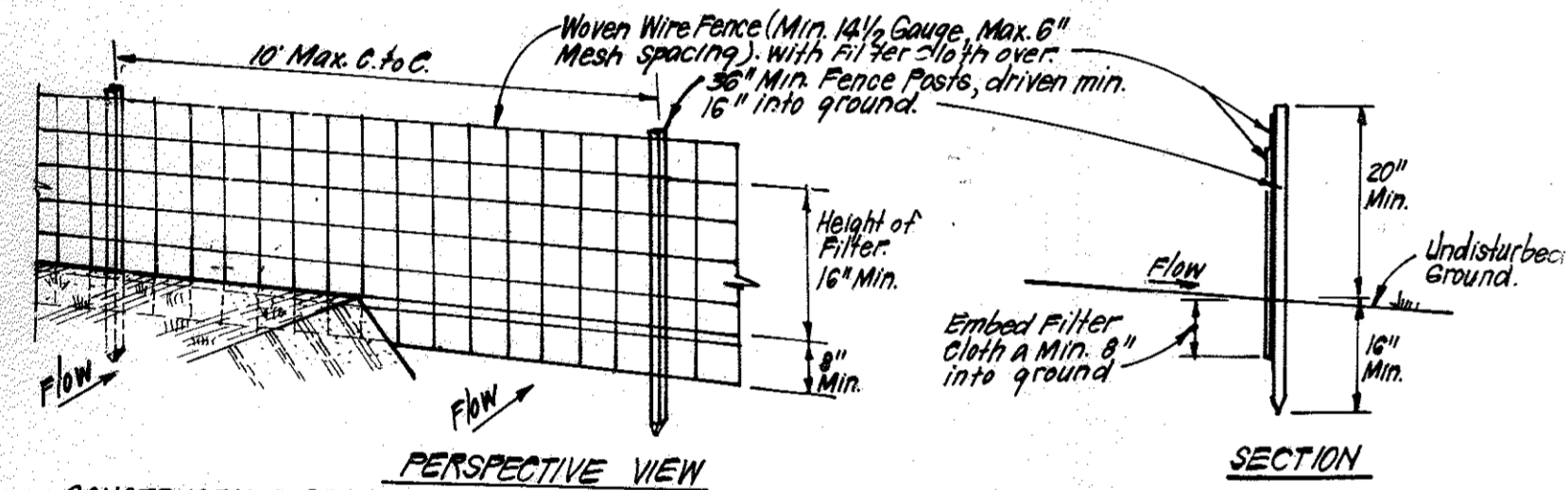
- CONSTRUCTION SPECIFICATIONS:**
- All dikes shall be compacted by earth-moving equipment.
 - All dikes shall have positive drainage to an outlet.
 - Top width may be wider and side slopes may be flatter if desired, to facilitate crossing by construction traffic.
 - Field location should be adjusted as needed to utilize a stabilized safe outlet.
 - Earth dikes shall have an outlet that functions with a minimum of erosion. Runoff shall be conveyed to a sediment trapping device such as a sediment trap or sediment basin where either the dike channel or the drainage area above the dike are not adequately stabilized.
 - Stabilization shall be: (A) in accordance with standard specifications for seed and straw mulch or straw mulch if not in seeding season, (B) flow channel as per chart below.
- | TYPICAL TREATMENT | CHANNEL GRADE | DIKE A | DIKE B |
|-------------------|---------------|---------------------------|--|
| 1 | 0.5 - 3.0% | Seed & Straw Mulch | Seed or Straw Mulch |
| 2 | 3.1 - 5.0% | Seed & Straw Mulch | Seed w/white or Excelsior's Seed, 2" Stone |
| 3 | 5.1 - 8.0% | Seed w/white or 2" Stone | Lined Rip Rap 4"-8" Stone |
| 4 | 8.1 - 20.0% | Lined Rip Rap 4"-8" Stone | Lined Rip Rap 4"-8" Stone |
- A. Stone to be 2" Stone, or recycled concrete equivalent, in a layer at least 3" thick and be pressed into soil with construction equipment.
B. Rip Rap to be 4"-8" (layer at least 8" thick, pressed into soil).
C. Approved equivalents can be substituted for any of the above materials.
7. Periodic inspection and Required Maintenance must be provided after each rain.

EARTH DIKE DETAIL (E.D.)
NO SCALE



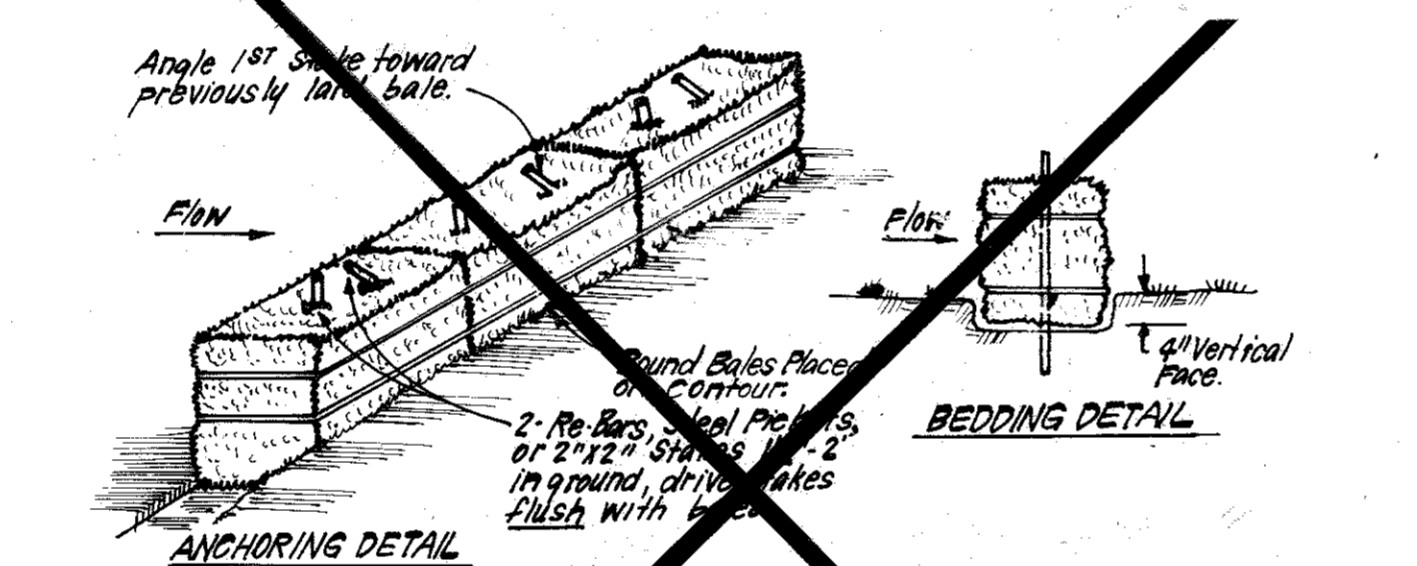
- CONSTRUCTION SPECIFICATIONS:**
- Area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat. The top area shall be compacted.
 - The fill material for the embankment shall be free of roots and other woody vegetation as well as oversized stones, rocks, organic material or other objectionable material. The embankment shall be compacted by traversing with equipment while it is being constructed.
 - All cut and fill slopes shall be 2:1 or flatter.
 - The stone used in the outlet shall be small rip rap 4"-8" along with 1" thickness of 2" aggregate placed on the up-grade side on the small rip rap or embedded filter cloth in the rip rap.
 - Sediment shall be removed and trap restored to its original dimensions when the sediment has accumulated to 1/2 the design depth of the trap.
 - The structure shall be inspected after each rain and repairs made as needed.
 - Construction operations shall be carried out in such a manner that erosion and water pollution is minimized.
 - The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.

STONE OUTLET SEDIMENT TRAP (S.O.ST.) STV
NO SCALE



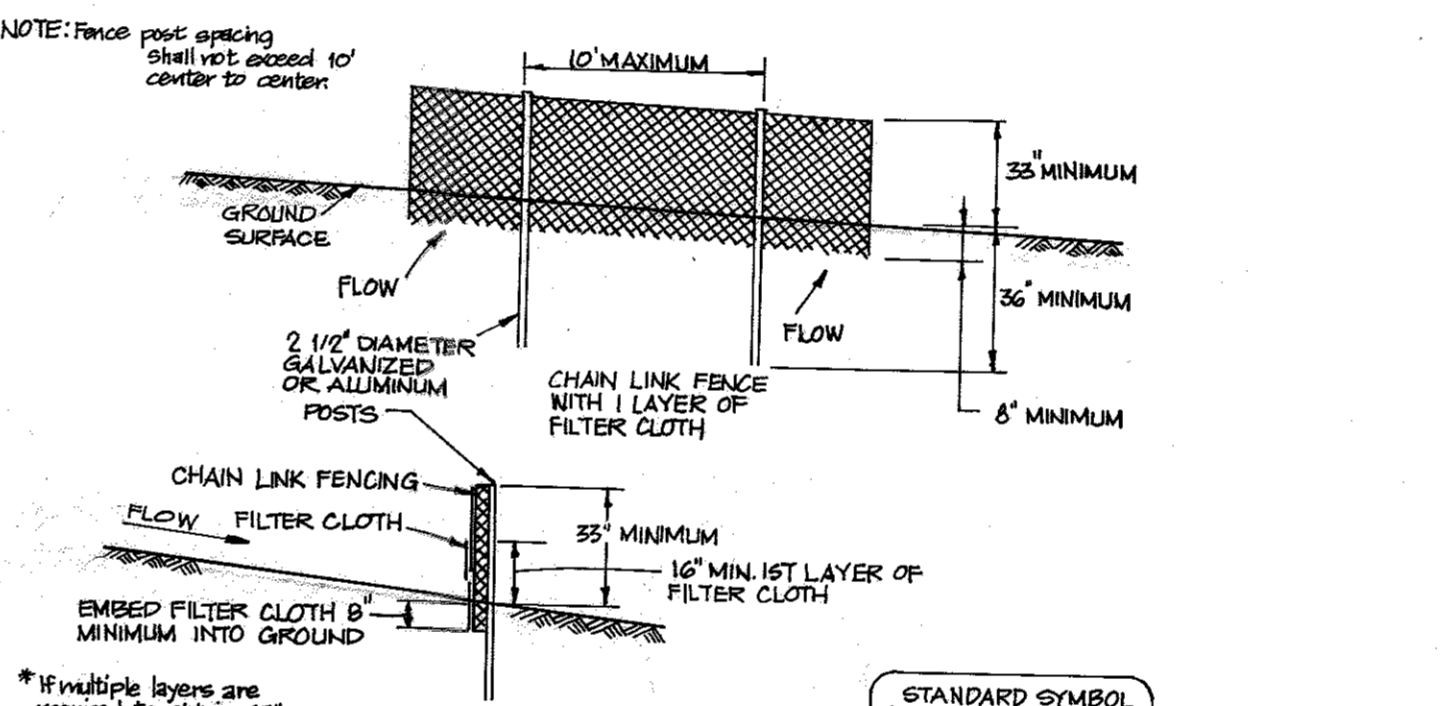
- CONSTRUCTION SPECIFICATIONS:**
- Woven wire fence to be fastened securely to fence posts with wire ties or staples.
 - Filter cloth to be fastened securely to woven wire fence with ties spaced every 24" at top and mid section.
 - When 2 sections of filter cloth adjoin each other they shall be overlapped by 6" and folded.
 - Maintenance shall be performed as needed and material removed when "bulges" develop in silt fence.
- POSTS: Steel, either T or U Type or 2" Hardwood.
FENCE: Woven Wire, 1/2" Gauge, 6" Max. Mesh Opening.
FILTER CLOTH: Filter, Miran, Rock Stabilizer, T140N or approved.
PREFABRICATED UNIT: Geotabs, Envirofence, or approved equal.

SILT FENCE DETAIL (S)
NO SCALE



- CONSTRUCTION SPECIFICATIONS:**
- Bales shall be placed at the top of slope or on the contour and in a row with ends tightly abutting the adjacent bales.
 - Each bale shall be embedded in the soil a min. of 4" and pushed so the bindings are horizontal.
 - Bales shall be securely anchored in place by either 2 stakes or 1 rebar driven thru the bale. The 1st stake in each bale shall be driven toward the previously laid bale at an angle to force the bales together. Stakes shall be driven flush with the bale.
 - Inspection shall be frequent and repair replacement shall be made promptly as needed.
 - Bales shall be removed when they have served their usefulness so as not to block or impede storm flow or drainage.

STRAW BALE DIKE DETAIL (SBD)
NO SCALE



- CONSTRUCTION SPECIFICATIONS:**
- Fencing shall be 42 inches in height and constructed in accordance with the latest Maryland State Highway (SHA) Details for Chain Link Fencing. The specification for a fence shall be used, substituting 42" fabric and 6' length posts.
 - The posts do not need to be set in concrete.
 - Chain link fence shall be fastened securely to the fence posts with wire ties or staples. The lower tension wire, brace and truss rods, drive anchors and post caps are not required except on the ends of the fence. The chain link fencing shall be six (6) gauge or heavier.
 - Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
 - Filter cloth shall be embedded a minimum of 6" into the ground.
 - When two sections of filter cloth adjoin each other, they shall be overlapped by 6" and folded.
 - Maintenance shall be performed as needed and silt buildup removed when "bulges" develop in the silt fence, or when silt reaches 50% of fence height.

BEDDING DETAIL
NO SCALE

SEQUENCE OF CONSTRUCTION

1) Obtain Grading Permit	7 days
2) Install Erosion and Sediment Control Measures	7 days
3) Fine grade and remove existing paving, curbs & gutters, etc.	21 days
4) Construct storm drain system and install inlet protection. BLOCK THE ENDS OF UNFINISHED STORM DRAINAGE @ THE END OF WORKING DAY.	7 days
5) Construct building	120 days
6) Fine grade and construct paving and curbs & gutters	21 days
7) Stabilize all disturbed area in accordance with the 1984 Maryland Standards and Specifications for Soil Erosion and Sediment Control.	14 days
8) Upon approval from the Erosion and Sediment Control Inspector remove erosion and sediment control devices AND SCHEDULE.	7 days

U.S. DEPARTMENT OF AGRICULTURE
SOIL CONSERVATION SERVICE
SUPER SILT FENCE

MARYLAND DEPARTMENT OF ENVIRONMENT
WATER MANAGEMENT ADMINISTRATION
NOT TO SCALE



DATE	NO.	REVISION DESCRIPTION BY: DMW/INC.
11-20-17	4	REVISED BLDG #4 TO RELIGIOUS FACILITY
08-05-98	2	REVISED SEQUENCE OF CONSTRUCTION 4 APPROVED SUPER SILT FENCE DETAIL

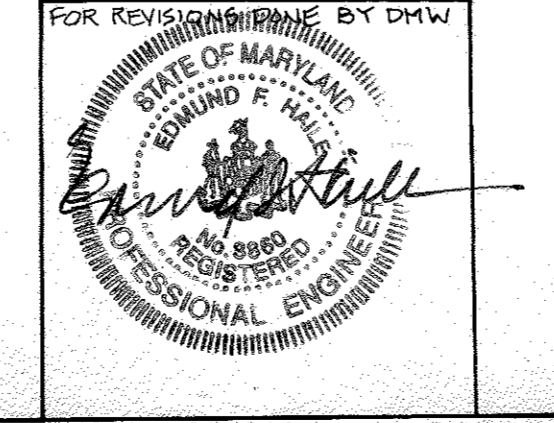
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS,
HOWARD COUNTY HEALTH DEPARTMENT
[Signature] 10-9-86
APPROVED: HOWARD COUNTY OFFICE OF PLANNING & ZONING
[Signature] 10-10-86
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE,
STORM DRAINAGE SYSTEMS AND PUBLIC ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
[Signature] 10-8-86

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE: 8-6-86
[Signature]

Reviewed for... Howard... S.C.D.
Name: *[Signature]*
and meets Technical Requirements
[Signature]
Signature: *[Signature]*
U.S. Soil Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED
FOR SOIL EROSION AND SEDIMENT
CONTROL BY THE HOWARD COUNTY
CONSERVATION DISTRICT.

[Signature] 10/2/86
Approved Date



DEVELOPER'S/BUILDER'S CERTIFICATE
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[Signature] 6/5/86
Signature of Developer/Builder Date

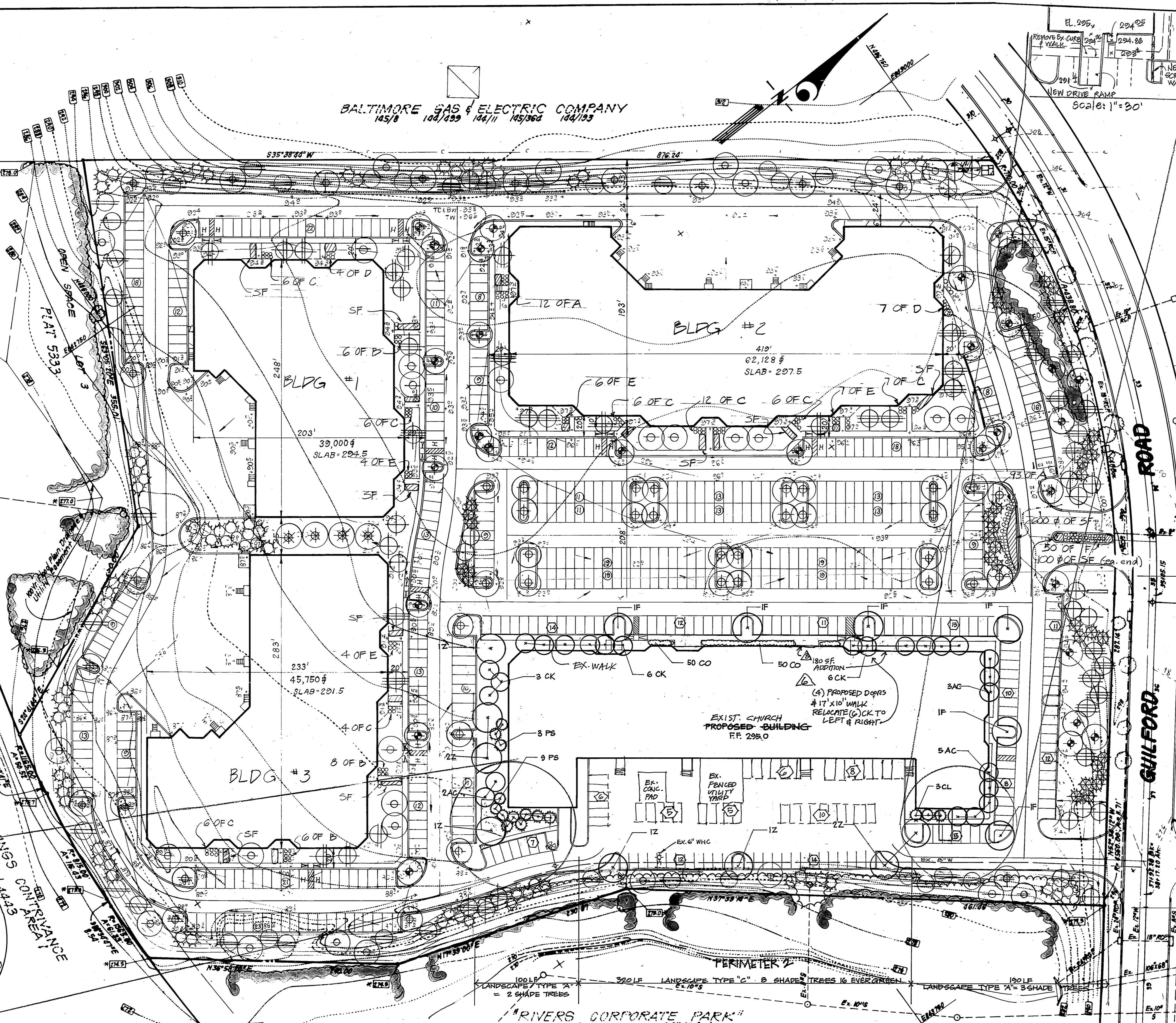
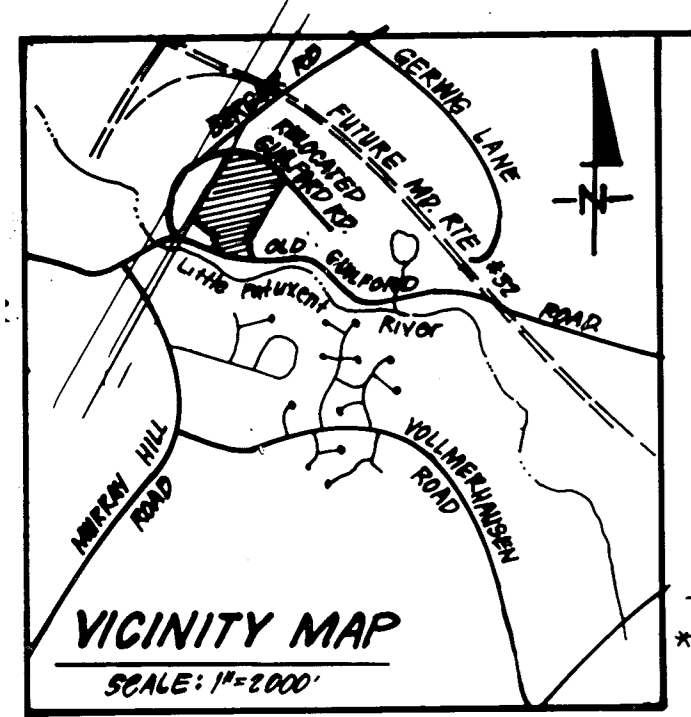
ENGINEER'S CERTIFICATE
I hereby certify that this plan for Erosion and Sediment Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
[Signature] 6-5-86
G. Nelson Clark Date

CLARK · FINEFROCK & SACKETT
ENGINEERS · PLANNERS · SURVEYORS
11315 LOCKWOOD DRIVE SILVER SPRING, MARYLAND 20904 (301) 593-3400

DESIGNED	CKG	SCALE	As Shown
DRAWN	KIW	DRAWING	506G
CHECKED	CKG	JOB NO.	85 III
DATE	JUNE 1986	FILE NO.	85-111-3E

COLUMBIA
RIVERS CORPORATE PARK
SECTION 2 AREA 1
6TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
FOR: RIVERS PARK ASSOCIATES LTD. PARTNERSHIP
2920 Basil Court, # 300
Landover, Md. 20785

SDP-86-190



PLANT SCHEDULE

KEY	PLANT NAME	SIZE	QUANT	REMARKS
⊕	ACEP RUBRUM 'RED SUNSET'	2 1/2 - 3' CAL	32	B & B HEAVY HEADS
⊕	RED SUNSET MAPLE	12-14' HT.		
⊕	ZELKOVA SERPATA		44	
⊕	JAPANESE ZELKOVA			
⊕	FRAXINUS P. LANCEOLATA		20	
⊕	SEEDLESS GREEN ASH			
⊕	QUERCUS PALUSTRIS		37	
⊕	PIN. OAK			
⊕	GLEDITSIA T. INTERMIS		4	
⊕	SHADEMASTER HONEYLOCUST			
⊕	PRUNUS SEPP. 'KWANZA'	2-2 1/2' CAL	23	
⊕	KWANZA CHEPPY	5-10' HT.		
⊕	PRUNUS CEP. 'THUNDERCLOUD'		40	
⊕	PURPLELEAF FLOW. PLUM			
⊕	AMELANCHIER CANADENSIS	CLUMP	17	B & B 3-5 STEM CLUMP
⊕	SHADBLW SERVICEDERBY			
⊕	MALUS SNOWCLOUD	2-2 1/2' CAL	37	B & B HEAVY HEADS
⊕	SNOWCLOUD CRABAPPLE	8-10' HT.		
⊕	PINUS THUNBERGII	6-8' HT.	35	B & B HEAVY
⊕	JAPANESE BLACK PINE			
⊕	PINUS STROBILIS		77	
⊕	EASTERN WHITE PINE			
A	JUNIPERUS GOLD COAST	18-24"	105	PLANT 3' O.C.
A	GOLD COAST JUNIPER			
B	Berberis JULIANAE		36	
B	WINTERGREEN BARBERIS			
C	TAXUS CUSPIDATA 'PENSIFORMIS'		79	
C	DENSE JAPANESE YEW			
D	AZALEA DELAWARE VALLEY WHITE		15	
D	DEL. VALLET WHITE AZALEA			
E	ILEX GREEN LUSTRE		21	
E	SPREADING JAPANESE HOLLY			
E	JUNIPERUS CONFERTA 'BLUE PACIFIC'		50	
E	BLUE PACIFIC JUNIPER			
	SEASONAL FLOWERS' BED			MASS PLANTING FOR COLOR

PLANT LIST

SYM.	QUAN.	NAME	SIZE	REMARKS
AC	10	AMELANCHIER CANADENSIS SERVICEDERBY	5-10' HT.	B & B MULTITRUNK
CK	15	CORNUS KALUA KOUA DREYNARD	8-10' HT.	B & B
CO	114	COTONNEASTER SAUCHI REPENS DWR. WILLOWLEAF COTONNEASTER	18-24' SPD. CAN. 4' OC.	
CL	3	CUPRESSOCYPRUS LETYLANDII LETYLAND CUPRESS	6-8' HT.	B & B
FF	6	FRAXINUS PENNSYLV. 'SUMMIT' SUMMIT OAK ASH	2-1/2' CAL. 12-14' HT.	B & B FULLHEAD
PS	12	PINUS STROBILIS EASTERN WHITE PINE	6-8' HT.	B & B UNSHARED
Z	8	ZELKOVA SERRULATA 'OR VAE' GREEN VASE ZELKOVA	2-1/2' CAL. 12-14' HT.	B & B FULLHEAD

LANDSCAPE REQUIREMENTS PER HANOVER COUNTY MANUAL

PERIMETER 1: 8 SHADE TREES, 16 EVERGREENS, 80 SHRUBS.
 PERIMETER 2: 13 SHADE TREES, 16 EVERGREENS, 80 SHRUBS.
 PARKING LOT: 7 SHADE TREES, 16 EVERGREENS, 80 SHRUBS.

TOTALS: 30 SHADE TREES, 16 EVERGREENS, 80 SHRUBS.

NOTE 8: CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH COLUMBIA H.P.D. PLANTING SPECIFICATIONS. SUBSTITUTIONS MAY BE PERMITTED WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT, (593-3400).
 6-25-86 REVISIONS AS PER CLIENT'S COMMENTS.
 6-25-86 REVISIONS AS PER SITE PLAN.
 5-12-86 REVISIONS AS PER SITE PLAN.
 4-8-86 REVISIONS AS PER CLIENT'S COMMENTS.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT. DATE: 11-9-86. OFFICE OF PLANNING & ZONING. DATE: 10-10-86. PLANNING DIRECTOR. DATE: 10-10-86. CHIEF DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION. DATE: 10-10-86.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS. DATE: 10-10-86. CHIEF BUREAU OF ENGINEERING. DATE: 10-10-86.

CLARK • FINEPROCK & SACKETT ENGINEERS • PLANNERS • SURVEYORS. 11315 LOCKWOOD DRIVE SILVER SPRING, MARYLAND 20904. (301) 581-3400.

DESIGNED: MBH. DRAWN: MBH. CHECKED: WHT. DATE: JUNE 1986.

LANDSCAPE PLANTING PLAN. PARCEL C-1 AND C-2. COLUMBIA RIVERS CORPORATE PARK SECTION 2 AREA 1 G3 ELECTION DISTRICT HOWARD COUNTY, MARYLAND. FOP & RIVERS PARK ASSOCIATES LTD. PARTNERSHIP 9200 BASIL COURT #300 LANDOVER, MD. 20785. SDP-86-190.

SCALE: 1"=50'. DRAWING: 6 OF 6. JOB NO: 85-111. FILE NO: LS-111.

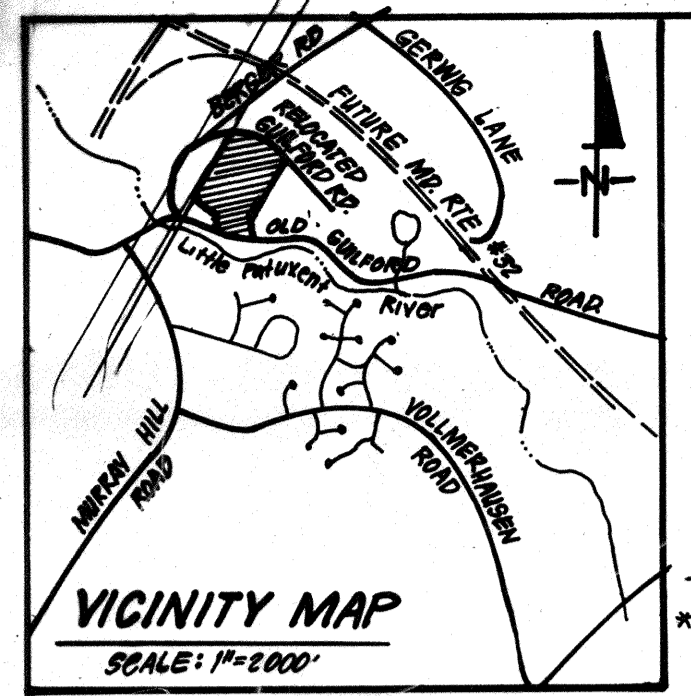
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT. DATE: 11-9-86. OFFICE OF PLANNING & ZONING. DATE: 10-10-86. PLANNING DIRECTOR. DATE: 10-10-86. CHIEF DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION. DATE: 10-10-86.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS. DATE: 10-10-86. CHIEF BUREAU OF ENGINEERING. DATE: 10-10-86.

BUILDER'S CERTIFICATE: WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 10124 OF THE HANOVER CO. CODE, AND THE HANOVER CO. LANDSCAPE MANUAL. WE FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING. DATE: 10-9-88.

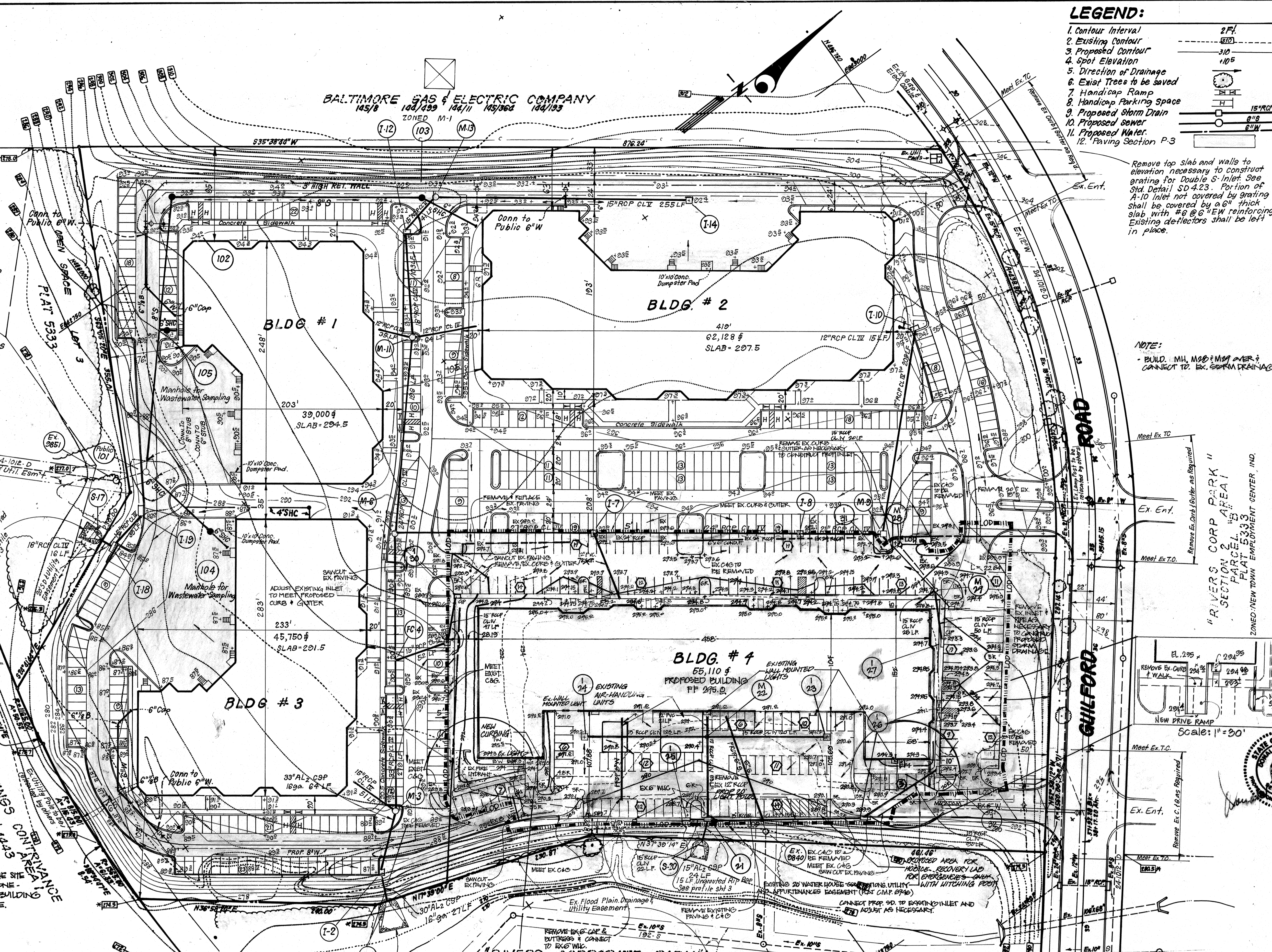
FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF \$ 12,000.00.

REVISIONS: 5-23-24 A BUILDING #4 ADDITIONAL S.F. 3-30-23 G UPDATE PARKING PLAN & ADD CONC. PAD AT BLDG #4 11-20-17 4 REVISED BLDG #4 TO RELIGIOUS FACILITY 10/11/00 2 ADD RAMP, WALLS & PARKING MED. 08-05-90 1 REVISED BLDG #4 & SURROUNDING PARKING



CURB & GUTTER LEGEND:
 Rev. 6" C18
 Std. 6" C18
 Rev. 7" C18
 Std. 7" C18

Notes: Transition from 7" to 6" curb height shall be made in the 20' of curb immediately adjacent to the public R/W. Transitions from standard to reverse gutter pans shall be made gradually and in a manner which provides positive drainage.



LEGEND:

1. Contour Interval 2'F.
2. Existing Contour 10'
3. Proposed Contour 10'
4. Spot Elevation
5. Direction of Drainage
6. Exist Trees to be saved
7. Handicap Ramp
8. Handicap Parking Space
9. Proposed Storm Drain
10. Proposed sewer
11. Proposed Water
12. Paving Section P-3

Remove top slab and walls to elevation necessary to construct grating for Double S-Inlet. See Std Detail SD 4.23. Portion of A-10 Inlet not covered by grating shall be covered by 6" thick slab with #2 @ 6" EW reinforcing. Existing deflectors shall be left in place.

NOTE:
 - BUILD. M4, M28 & M29 OVER & CONNECT TO EX. STORM DRAINAGE.

GENERAL NOTES:

1. All materials and construction to be in accordance with Howard County Road Construction Code and specifications.
2. This plan is covered by Final Development Plan Phase 187-A-1
3. Any damage to county owned rights-of-way to be corrected at the Developer's expense.
4. Installation of traffic control devices shall be in accordance with the latest edition of the "Manual of Uniform Traffic Control."
5. Topography was compiled from actual field survey.
6. The area shown is located on Tax Map No 42.
7. All driveways to be privately owned and maintained.
8. All coordinates are based on Howard County Geodetic Control Survey traverse which is based on the Md. State Plane Coordinate System.
9. Class "C" Trench Bedding shall be used under all storm drains unless shown otherwise.
10. Information concerning underground utilities was obtained from available records, but the contractor must dig test pits, by hand, at all utility crossings, well in advance of construction.
11. The contractor or developer shall contact the Construction Inspection Survey Division 24 hrs in advance of work, 992-2417/7027272.
12. All roof drains to be connected to storm drain stubs shown on plan.
13. The developer agrees to work with the Dept. of Licenses and Inspections to resolve any problems caused by roof water discharge.
14. Handicap parking details shall be in accordance with the "Md. Building Code for the Handicapped," Sect. 5.01-7.05 and det. sch. 2.
15. Storm Water Management provided in central facility in Old Fire Pond Site in EGU.

SITE ANALYSIS:

1. Zoning: New Town Employment Center, Industrial (F.D.P. Phase 187A-1)
2. Area: 16,110 Acres (702144 #)
3. Net Leasable Area: 201,988 (All Buildings one floor)
4. Number of Parking Spaces Required: 192
5. Number of Parking Spaces Provided: 505
6. Handicap Spaces Required: 22 (4%)
7. Handicap Spaces Provided: 25
8. Use: Office / Research Development
9. Building Coverage: 28.8% (201,988 #)
10. Paved Area (Parking Driveways): 24.4% (160,257 #)
11. Green Area (Including Entry Cts & Sidewalks): 49.8% (319,877 #)
12. All Parking and Drives are Private; Guilford Road is Public and Existing.
13. Research & Development Space: 70% = 141,392 #
 Office Space: 30% = 60,745 #
14. Maximum number of Employees: 142
 * 2 per 1000 # office use 121
 * 1 per 2000 # Research & Devel Employees: 71
 Total: 192
15. MEETS REQUIRED AMERICAN DISABILITIES ACT STANDARD OF A MINIMUM AMOUNT OF HANDICAP SPACES PER 2% OF TOTAL SPACES BETWEEN 50 TO 1000.

DATE	NO	REVISION DESCRIPTION BY DWG. ING.
02-15-84	3	ADD ADDITIONAL 25 PARKING SPACES AND 3 LIGHT POLES
10/11/80	1	ADD RAMP WALL w/ PARKING MOD. BLDG #2
08/07/80	2	REVISED BLDG #4 & SURROUNDING PARKING

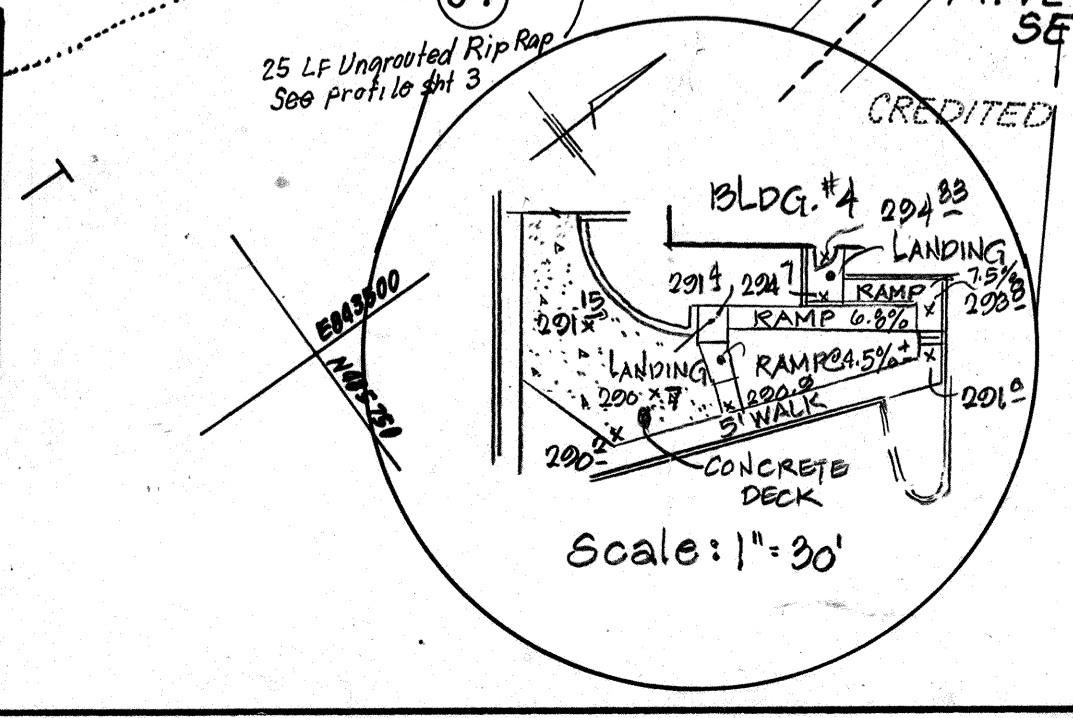
ADDRESS CHART

BLDG. No	STREET ADDRESS
1	9104 Guilford Road
2	9100 " "
3	9108 " "
4	9112 " "

SUBDIVISION NAME: COLUMBIA - RIVERS CORPORATE PARK
BLDG. DIST.: 2/1
PARCEL #: PARCEL "C"
PLAT #: 9333
BLDG. DIST.: 42
GEN. TR.: 6002
WATER CODE: E-14
SEWER CODE: 520 0000

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 10-9-86
APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING
 10-10-86
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE, STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 10-8-86
 DATE: 10-2-86

APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE: 8-6-86



Reviewed for... Howard... S.C.D.
 and meets Technical Requirements
 Signature: James M. [unclear]
 U.S. Soil Conservation Service
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT
 Approved: [unclear] Date: 10/2/86

DEVELOPER'S/BUILDER'S CERTIFICATE
 "We certify that all development and construction will be done according to this plan of development and plan for erosion and sediment control and that all persons personnel involved in the construction project will have a Certificate of Attendance at a Dept. of Natural Resources Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."
 Signature of Developer/Builder: Michael L. [unclear] Date: 6-5-86

ENGINEER'S CERTIFICATE
 I hereby certify that this plan for Erosion and Sediment Control is a true, correct, practical and workable plan based on a proper investigation of the site conditions and in accordance with the requirements of the Howard Soil Conservation District.
 Signature: B. Nelson Clark Date: 6-5-86

CLARK • FINEFROCK & SACKETT
 ENGINEERS • PLANNERS • SURVEYORS
 11315 LOCKWOOD DRIVE SILVER SPRING, MARYLAND 20904 (301) 583-3400

SITE DEVELOPMENT PLAN
PARCEL C
COLUMBIA
 RIVERS CORPORATE PARK
 SECTION 2 AREA 1
 6TH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 FOR: RIVERS PARK ASSOCIATES LTD. PARTNERSHIP
 9200 Bossi Court Suite 300
 Landover, Maryland 20785
 SDP-86-190c

SCALE: 1"=50'
DRAWING: 10F 6
JOB NO.: 85-111
FILE NO.: 85-111-X
DATE: JUNE 1986