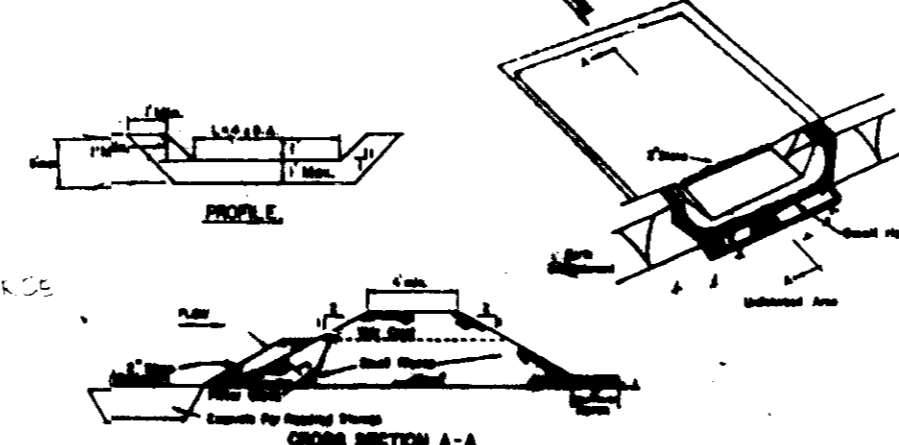
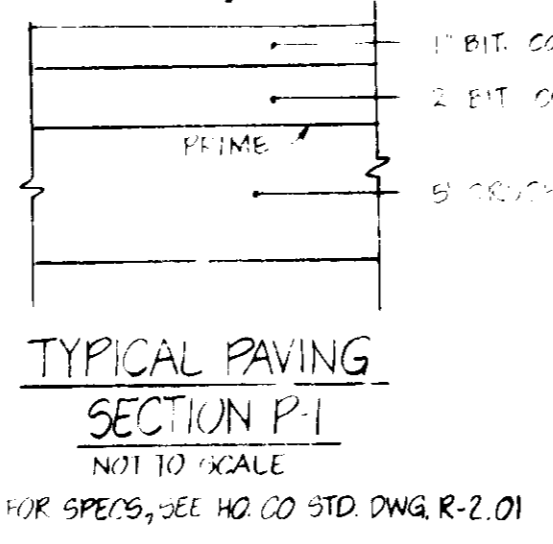
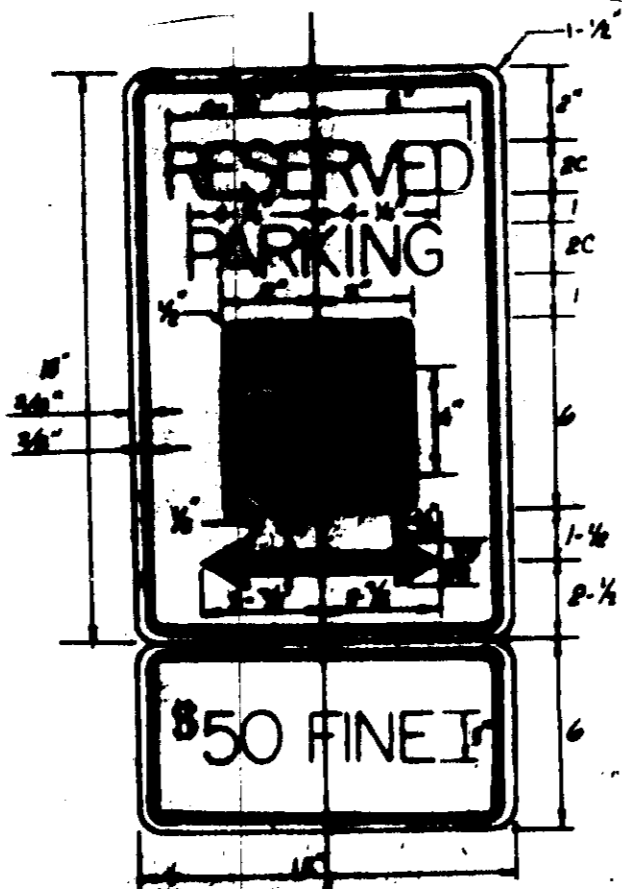
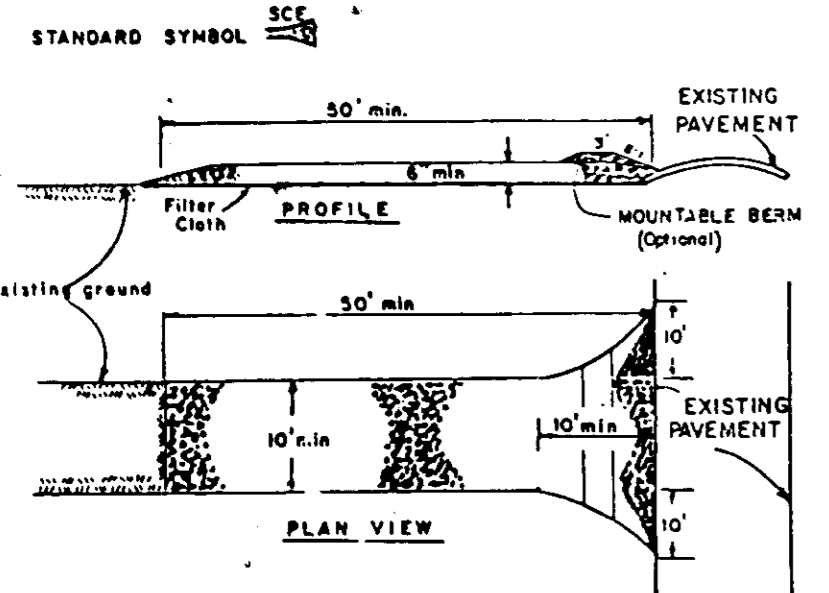


**RECOMMENDED PAVING SPECIFICATIONS**  
 1. BASE TO BE 4" MINIMUM THICKNESS  
 2. 2" MINIMUM THICKNESS FOR ALL OTHER AREAS  
 3. THE FINISH AND SURFACE SHALL BE AS SPECIFIED IN THE SPECIFICATIONS  
 4. THE FINISH SHALL BE AS SPECIFIED IN THE SPECIFICATIONS  
 5. THE FINISH SHALL BE AS SPECIFIED IN THE SPECIFICATIONS  
 6. THE FINISH SHALL BE AS SPECIFIED IN THE SPECIFICATIONS



- TYPICAL PAVING SECTION P.1**  
 NOT TO SCALE  
 FOR SPECS, SEE HO. CO. STD. DWG. R-2.01
1. The fill material for the subgrade shall be free of stones and other hard objects... (text continues)
  2. The stone used in the filter shall be small riprap... (text continues)
  3. The structure shall be constructed of concrete... (text continues)
  4. The structure shall be constructed of concrete... (text continues)
  5. The structure shall be constructed of concrete... (text continues)
  6. The structure shall be constructed of concrete... (text continues)
  7. The structure shall be constructed of concrete... (text continues)

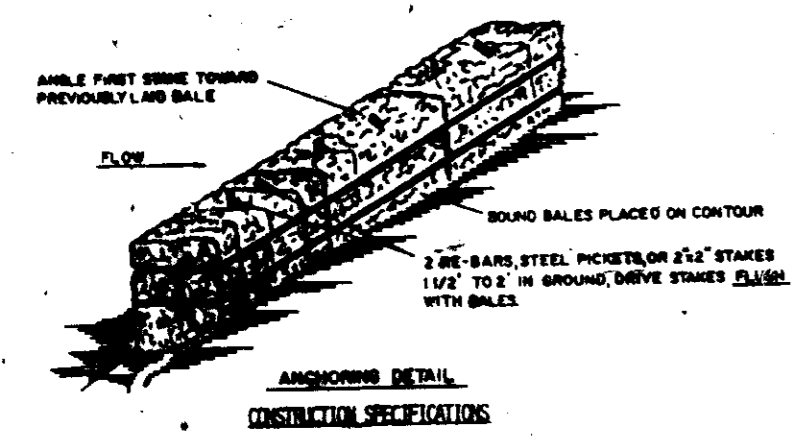
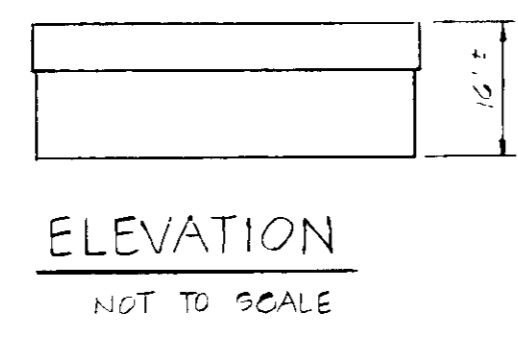


- CONSTRUCTION SPECIFICATIONS**
1. Stone Size - Use 2" stone, or recycled concrete equivalent.
  2. Length - As required, but not less than 30 feet (except in a single real-estate lot where a 20 foot minimum length would apply).
  3. Thickness - Not less than 18 inches.
  4. Width - Two (2) foot minimum, but not less than the full width at points where ingress or egress occurs.
  5. Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a single family residence.
  6. Surface Material - All surface water, flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 1/2" slats shall be provided.
  7. Maintenance - The entrance shall be maintained in a condition which will prevent tracking or sliding of sediment onto public right-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or removal of any material used as a condition of way must be removed immediately.
  8. Washing - Washes shall be cleaned to remove sediment prior to entrance onto public right-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
  9. Periodic inspection and needed maintenance shall be provided after each rain.

**STABILIZED CONSTRUCTION ENTRANCE**

**CONSTRUCTION SEQUENCE**

1. OBTAIN ALL REQUIRED PERMITS
2. NOTIFY THE HOWARD COUNTY BUREAU OF LICENSE, INSPECTIONS AND PERMITS AND THE CONSTRUCTION INSPECTION/SURVEYS DIVISION AT 702 7172 AT LEAST 24 HOURS PRIOR TO BEGINNING WORK
3. INSTALL TEMPORARY SEDIMENT CONTROL MEASURES - S.O.E., S.B.D. AND SED. TRAP NO. 1
4. ROUGH GRADE SITE, REMOVE EX. PAVING AS SHOWN, APPLY TEMPORARY STABILIZATION
5. CONSTRUCT BUILDINGS, MAINTAIN SEDIMENT CONTROL MEASURES - 3 MONTHS
6. PAVE AREAS AS SHOWN - 3 DAYS
7. FINE GRADE SITE, APPLY PERMANENT STABILIZATION TO ALL DISTURBED AREAS AND ANY AREA WHERE THERE IS DARK GROUND - 1 WK
8. REMOVE TEMPORARY SEDIMENT CONTROL MEASURES WITH APPROVAL OF THE HOWARD COUNTY BUREAU OF LICENSE, INSPECTIONS AND PERMITS



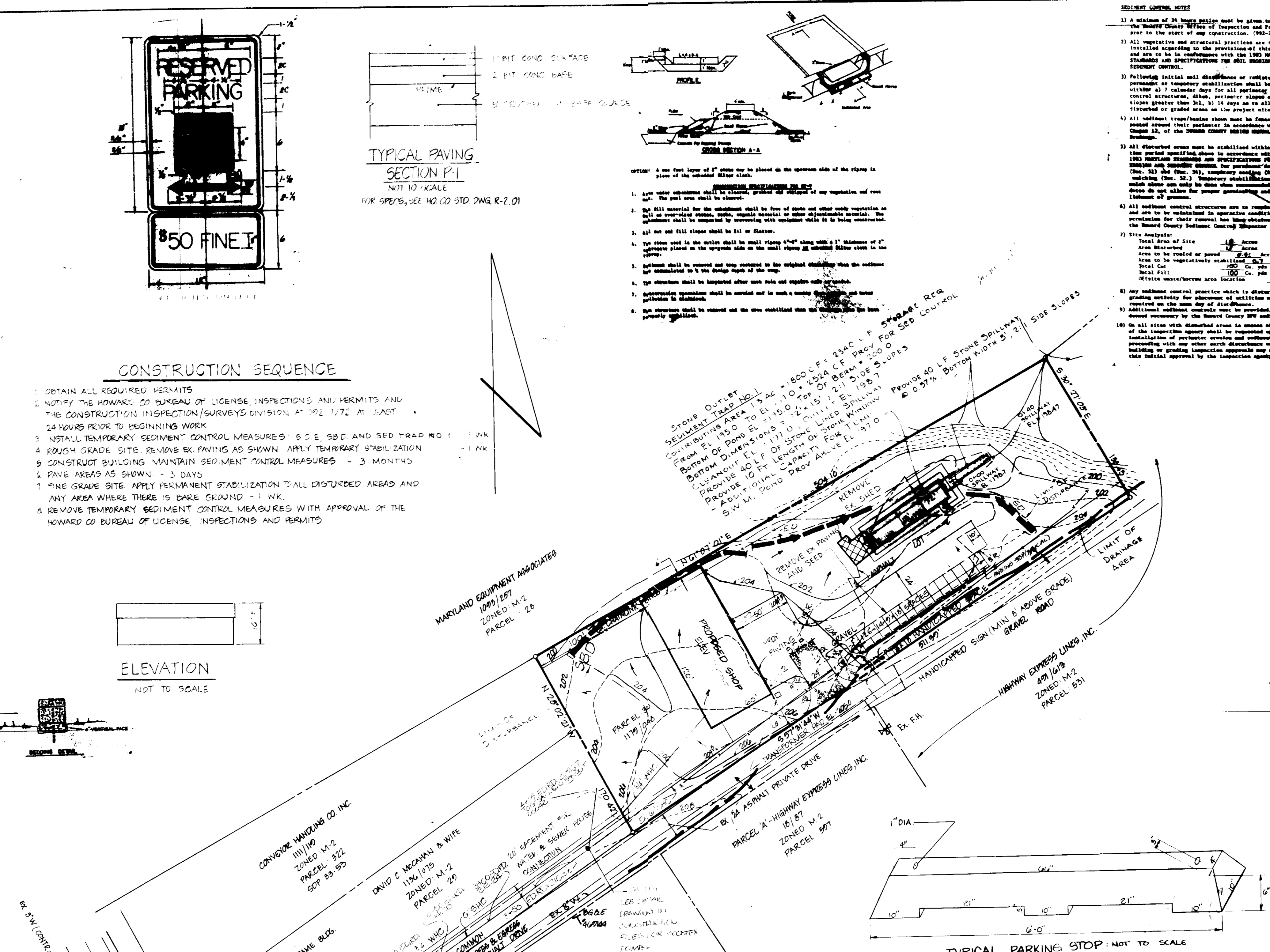
- CONSTRUCTION SPECIFICATIONS**
1. Bales shall be placed at the top of a slope or on the contour and in a row with ends tightly joined to the adjacent bales.
  2. Each bale shall be embedded in the soil a minimum of 6" inches, and placed so the bales are horizontal.
  3. Bales shall be securely anchored in place by either two stakes or rebar driven through the bale. The first stake in each bale shall be driven through the vertically laid bale at an angle to force the bales together. Stakes shall be driven flush with the bale.
  4. Inspection shall be provided and repair replacement shall be made promptly as needed.
  5. Bales shall be removed when they have served their usefulness so as not to block off water from flow or drainage.

**STRAW BALE DIKE**

NOT TO SCALE  
 FOR SPECS, SEE SCS MANUAL, PG. 13.01

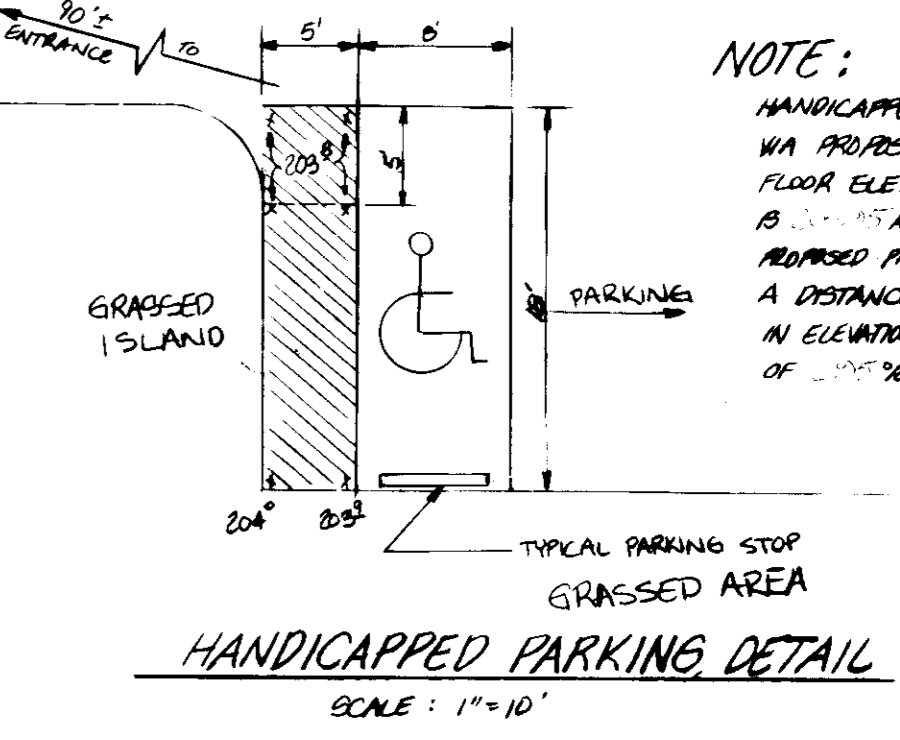
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT.	
COUNTY HEALTH OFFICER:	DATE
APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING.	
PLANNING DIRECTOR:	DATE
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION	DATE
APPROVED: FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS AND PUBLIC ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.	
DIRECTOR:	DATE
CHIEF, BUREAU OF ENGINEERING	DATE
REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS.	
U.S. SOIL CONSERVATION SERVICE	DATE
THIS DEVELOPMENT IS APPROVED SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.	
SOIL CONSERVATION DISTRICT	DATE

6-16-86  
 [Signature]



**SITE ANALYSIS:**

1. TAX MAP 43, PARCEL 30
2. DEED REFERENCE: 1179/046
3. EX. ZONING: M-2
4. SITE USE: REPAIR SHOP
5. TOTAL AREA OF SITE: 1.0 AC. OF 78,400 S.F.
6. BLDG. COVERAGE: 7200 SQ. FT. OR 9.2%
7. OPEN SPACE PROVIDED: 1.82 AC. OR 19.7%
8. ALL SEDIMENT CONTROL TO BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOL. IV
9. CONTRACTOR TO NOTIFY MISS UTILITY AT 1-599-0000, 48 HOURS PRIOR TO BEGINNING WORK
10. CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO BEGINNING WORK
11. PARKING REGULATIONS:  
 REQUIRED: 1 SPACES PER 100 SQ. FT.  
 PROPOSED: FLOOR AREA = 7200 SQ. FT. 7200/100 = 72 SPACES  
 PROVIDED: 115 SPACES INCLUDING 1 HANDICAPPED SPACE  
 12. LAND SCAPED ISLANDS  
 REQ'D = 5%  
 AREA OF PARKING LOT = 6,550 S.F.  
 REQ'D ISLAND AREA = 378 S.F.  
 ISLAND AREA PROVIDED = 360 S.F. @ 5.5%



**LANDSCAPING SCHEDULE**

QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	SYMBOL
1	PYRUS SERRULATA KWANZAN	KWANZAN CHERRY	6'-8" HGT.	⊙

**ADDRESS CHART**

PAR. NUMBER	STREET ADDRESS
PARCEL 30	7109 MONTEVIDEO ROAD

**OWNER & DEVELOPER**  
 MCCAHAN BODY CO., INC.  
 107 WILBO DRIVE  
 BALTIMORE, MD. 21228

**DEVELOPER'S CERTIFICATE**  
 I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE MD AND SOIL CONSERVATION DISTRICT ON THEIR AUTHORITY AS AGENTS, AS REQUIRED.

Walter Through  
 2-26-86  
 DEVELOPER

**ENGINEER'S CERTIFICATE**  
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON PERSONAL KNOWLEDGE OF THE SITE AND THAT IT MEETS THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

Walter Through  
 2-26-86  
 ENGINEER

**SITE DEVELOPMENT PLAN**

TITLE	SITE DEVELOPMENT PLAN		
PROJECT	MCCAHAN PROPERTY NEW BUILDING		
LOCATION	1ST ELECTION DISTRICT	TAX MAP 43	DEED REFERENCE: 1179/046
DATE	DEC, 1985	SCALE	1" = 50'
DESIGN BY	JJB	DRAWN BY	RMP/JJB
CHECKED BY	RDM	DATE	1-1-86
DRAWING NO.	1 OF 1	JOB NO.	85062

**boender associates**  
 ENGINEERS/SURVEYORS/PLANNERS  
 COURTHOUSE SQUARE  
 ELLICOTT CITY, MARYLAND 21043  
 301-465-7777

SDP-86-178