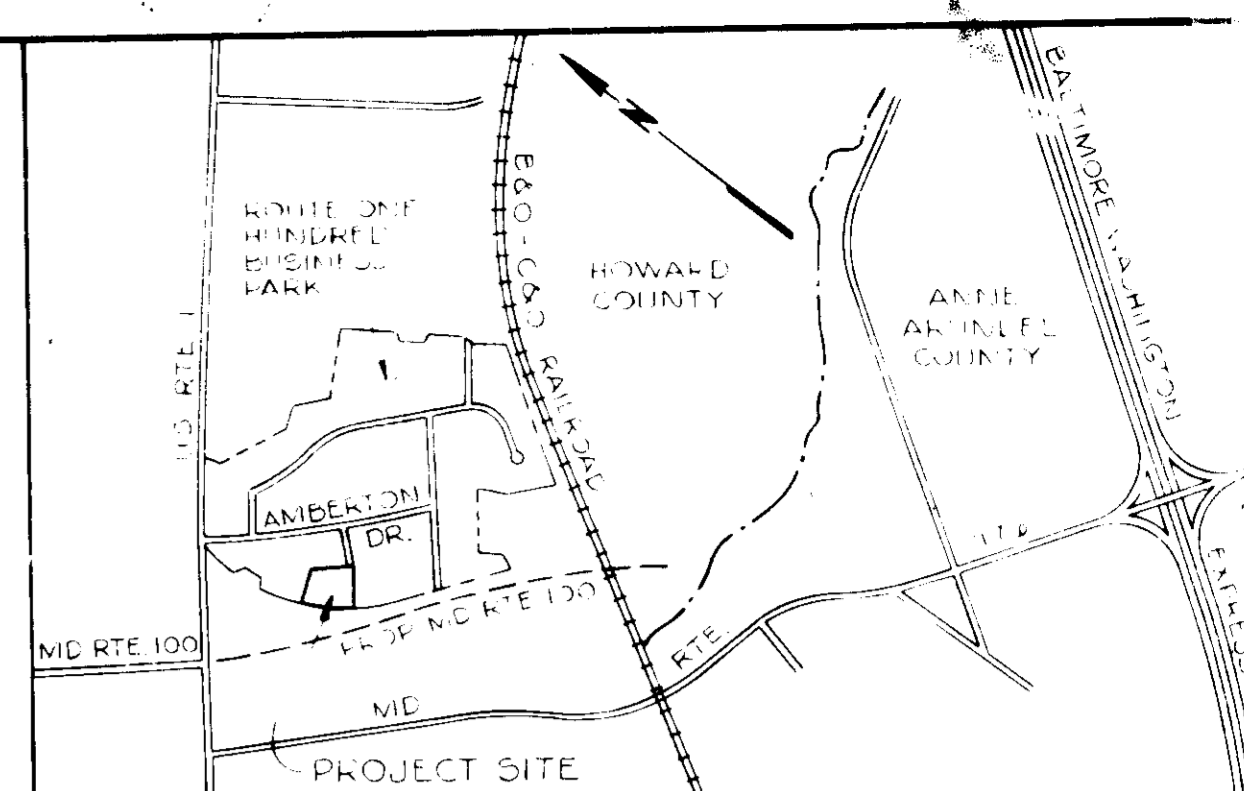


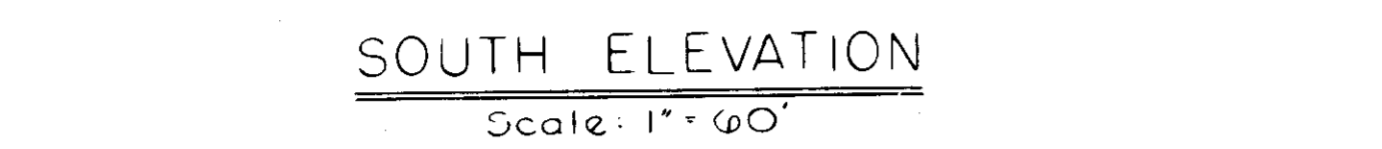
USE	PERCENT OF TOTAL AREA	AREA SQ. FT.	EMPLOYEES	REQ'D NO. OF PARKING SPA.
OFFICE	15%	10,741	50	7 per 10 employees * 35 PS
WAREHOUSE	74%	52,990	42	1 per 2 employees * 31 PS
MANUFACT	11%	7,877	—	7,877 500 * 16 PS

- SITE ANALYSIS**
1. Area: 1.54 Acres, 23,817 / 5,580 Area
  2. Zoning: M-2
  3. Total Open Space: 71,608 Sq. Ft.
  4. Open Space: 72.01% of Total Site
  5. Green Area: 2,520 Acres, 59.41% of Open Space
  6. Employees: 112
  7. Parking Spaces Required: 82 (See Parking Summary)
  8. Parking Spaces Provided: 77 Standard  
5 Handicapped
  9. Total Parking Spaces Provided: 82
  10. Parking Lot Area: 20,034 Sq. Ft.
  11. Landscaped Island Area: 1,134 Sq. Ft.  
5.66% of Parking Lot Area

APPROVED  
DIVISION OF LAND DEVELOPMENT & ZONING  
HOWARD COUNTY, MARYLAND  
DATE 12-31-85  
*M. J. Walkley*

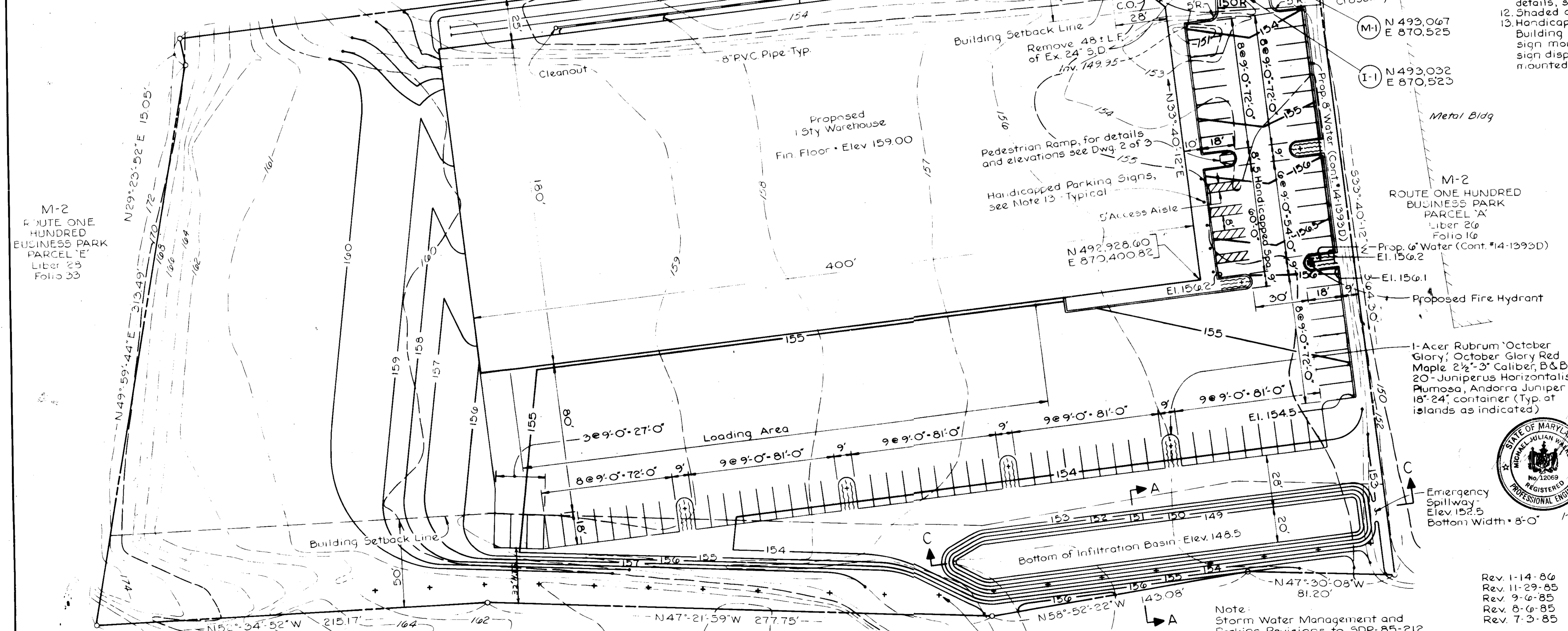


VICINITY MAP  
Scale: 1"=2000'



NO.	DESCRIPTION
20	Acer Rubrum, October Glory, October Glory Red Maple 2 1/2" - 3" Caliber, B&B
140	Juniperus Horizontalis Plumosa, Andorra Juniper, 18" - 24", Container

M-2  
ROUTE ONE HUNDRED  
BUSINESS PARK  
PARCEL D-1  
Liber 26  
Folio 50



- NOTES:**
1. Materials and construction shall be in accordance with the Howard County Road Construction Code.
  2. The Contractor shall verify all existing utilities to his own satisfaction before starting construction.
  3. The Contractor shall notify the C&P Telephone Company and the Gas & Electric Company five days prior to starting work shown on these plans by calling "Miss Utility", call collect 1-559-0100.
  4. The Contractor shall maintain a minimum of 25' cover over all proposed water lines.
  5. The Contractor shall maintain a minimum of 10' clearance at all water, sewer and storm drain crossings.
  6. The Contractor or Developer shall contact the Construction Inspection/Survey Division 24 hours in advance of commencement of work at 991-2417 or 992-2415.
  7. All reinforced concrete pipe shall be Class IV.
  8. Manhole shall be precast in accordance with Howard County Standard G-511.
  9. Inlet shall be Type 'S' in accordance with Howard County Standard SD-422.
  10. Vehicular ingress/egress along adjoining Maryland Route 100 shall be restricted.
  11. For pavement, curb, utility profiles and miscellaneous details, see Dwg. No. 2 of 3.
  12. Shaded area denotes pavement.
  13. Handicapped parking sign shall conform to Maryland Building Code for the handicapped, bottom edge of sign mounted 7'-0" min. above grade. An additional sign displaying amount of fine shall also be mounted no lower than 7'-0" above grade.

PARCEL NUMBER	ADDRESS
D-2	6600 AMBERTON DRIVE

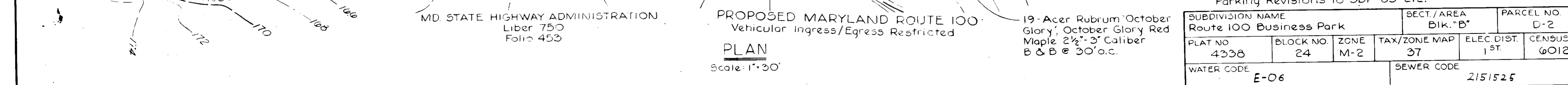
APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS AND ROADS  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS  
*Q. J. M. Berger* / J. G. F. N. 2-26-86  
DIRECTOR DATE

*W. C. ...* 2-25-86  
CHIEF BUREAU OF ENGINEERING DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT  
*James ...* 2-27-86  
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING  
*James ...* 2-28-86  
PLANNING DIRECTOR DATE

*Michael J. Walkley* 2-28-86  
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE



PROPOSED MARYLAND ROUTE 100  
Vehicular Ingress/Egress Restricted  
**PLAN**  
Scale: 1"=30'

SUBDIVISION NAME		SECT./AREA	PARCEL NO.
Route 100 Business Park		Bik. "B"	D-2
PLAT NO.	BLOCK NO.	TAX/ZONE MAP	ELEC. DIST.
4338	24	M-2	37
WATER CODE	SEWER CODE	CENSUS TR.	
E-06	2151525	0012	

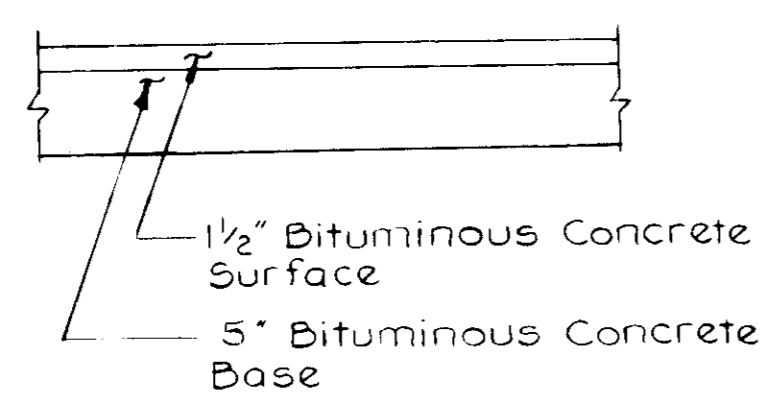
OWNER  
AMBERTON OBRECHT LIMITED PARTNERSHIP  
111 WATER STREET  
BALTIMORE, MARYLAND 21202  
PHONE: 937-1054

PROJECT  
ROUTE ONE HUNDRED BUSINESS PARK  
BLOCK B PARCEL D-2  
HOWARD COUNTY MARYLAND

**SITE PLAN**

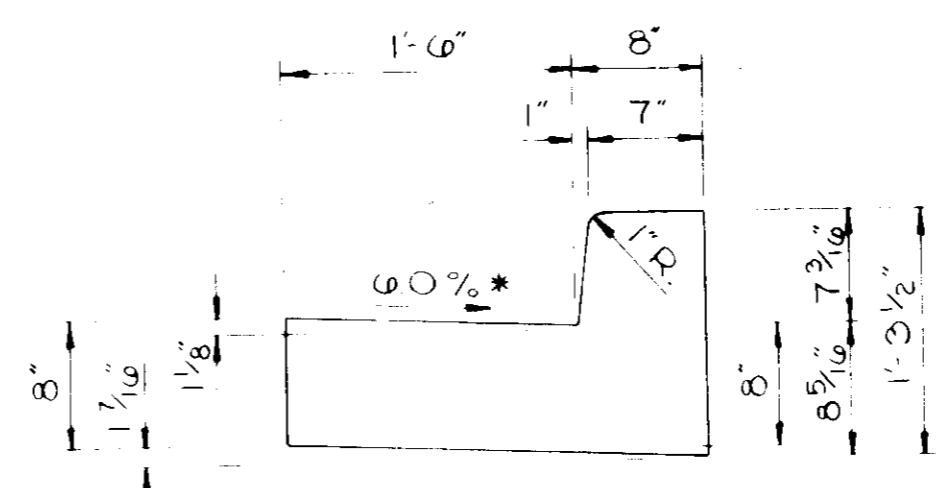
MICHAEL J. WALKLEY, P.E.  
2 E WHEELING STREET  
SUITE 400  
BALTIMORE, MARYLAND 21230  
PHONE: 837-0170

Scale: As Noted Date: 5-15-85 Dwg. No. 1 of 3

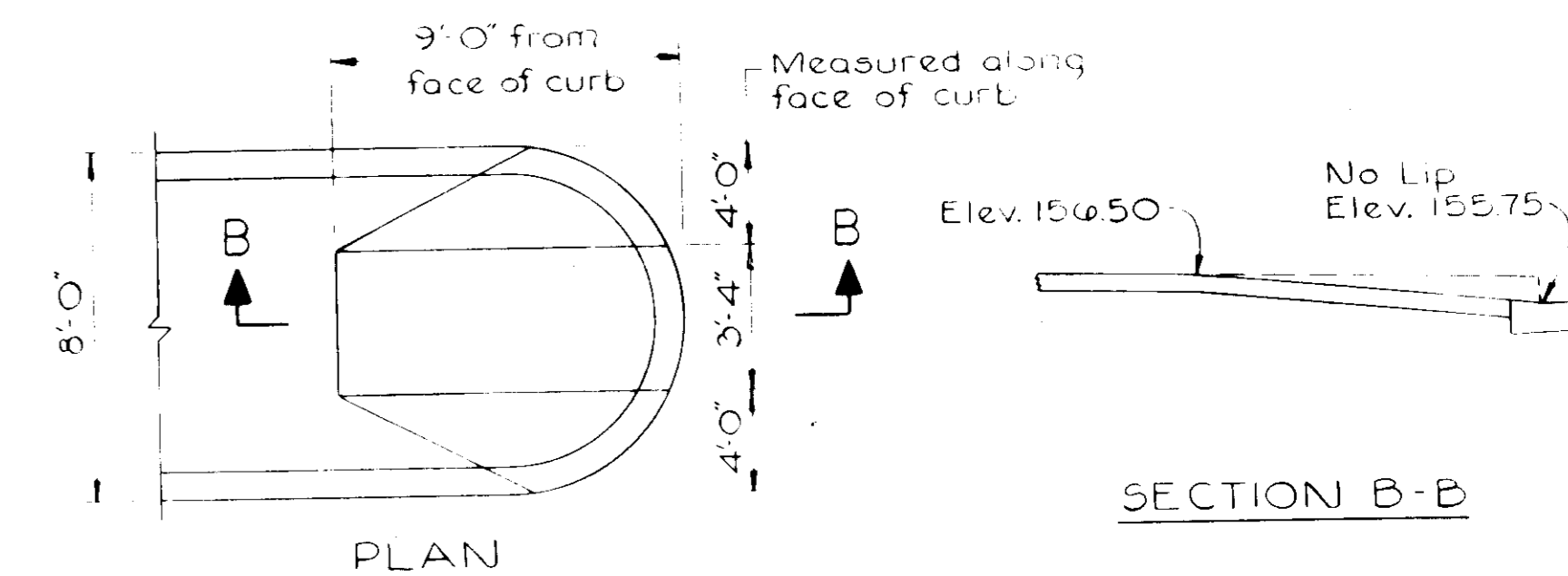


**PAVEMENT SECTION**  
Not to Scale

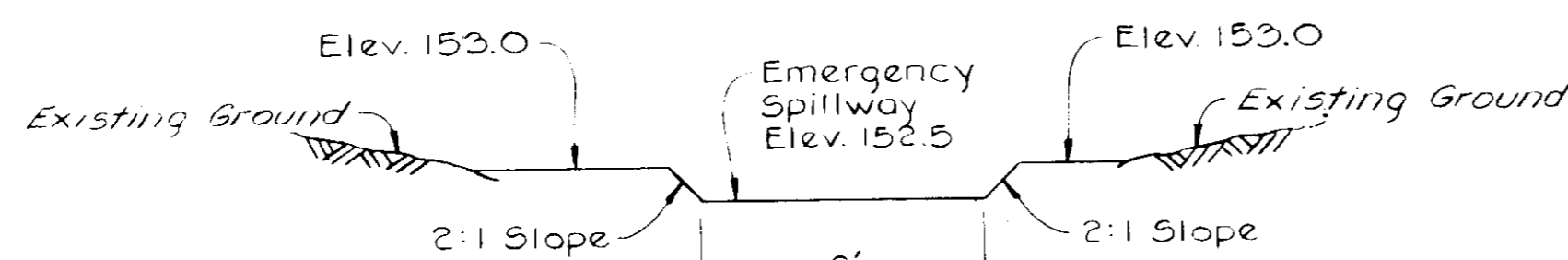
\* Slope at the same rate and in the same direction as the pavement on the high side of super-elevated sections.



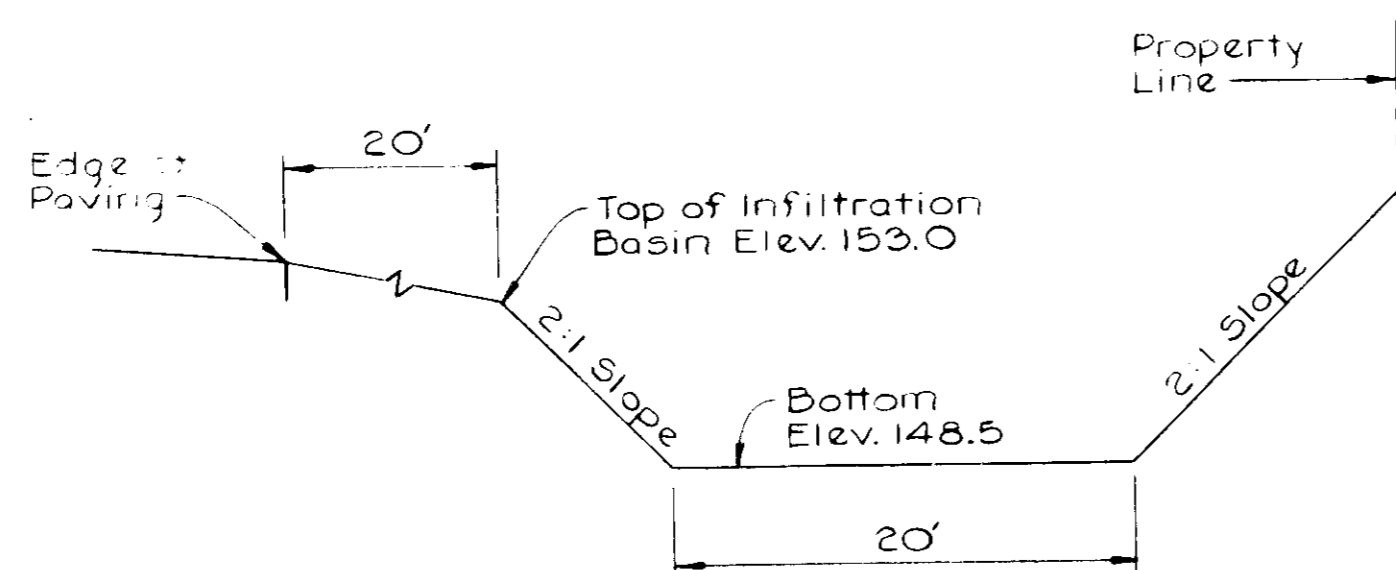
**COMBINATION CURB & GUTTER**  
Scale: 1" = 1'-0"



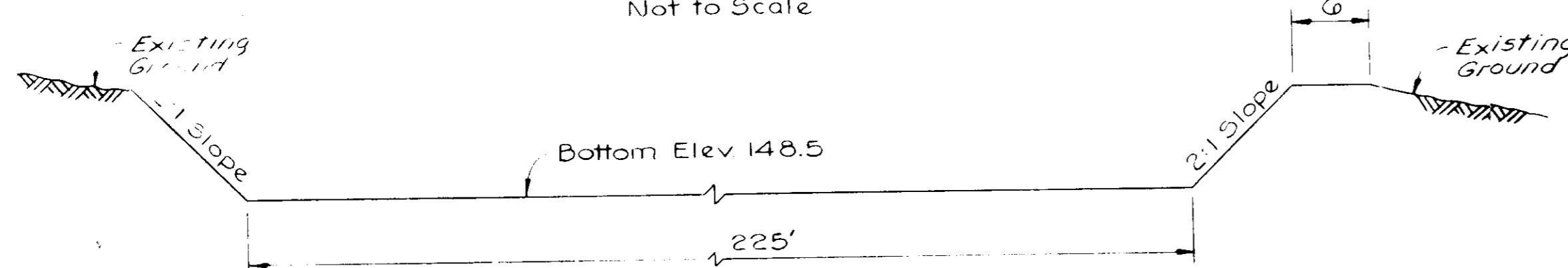
**PEDESTRIAN RAMP**  
Scale: 1/4" = 1'-0"



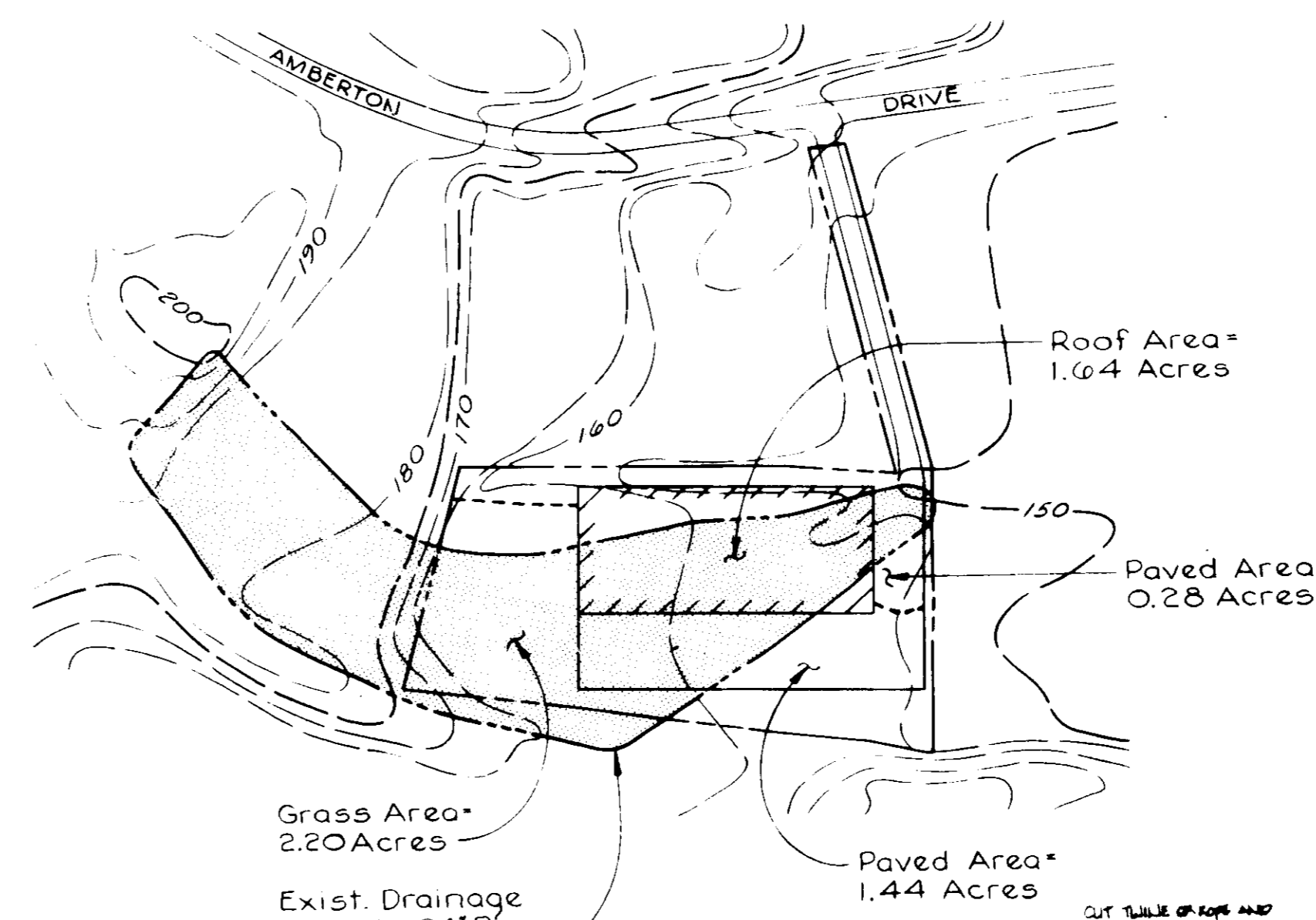
**SECTION - EMERGENCY SPILLWAY**  
Not to Scale



**SECTION A-A**  
Not to Scale

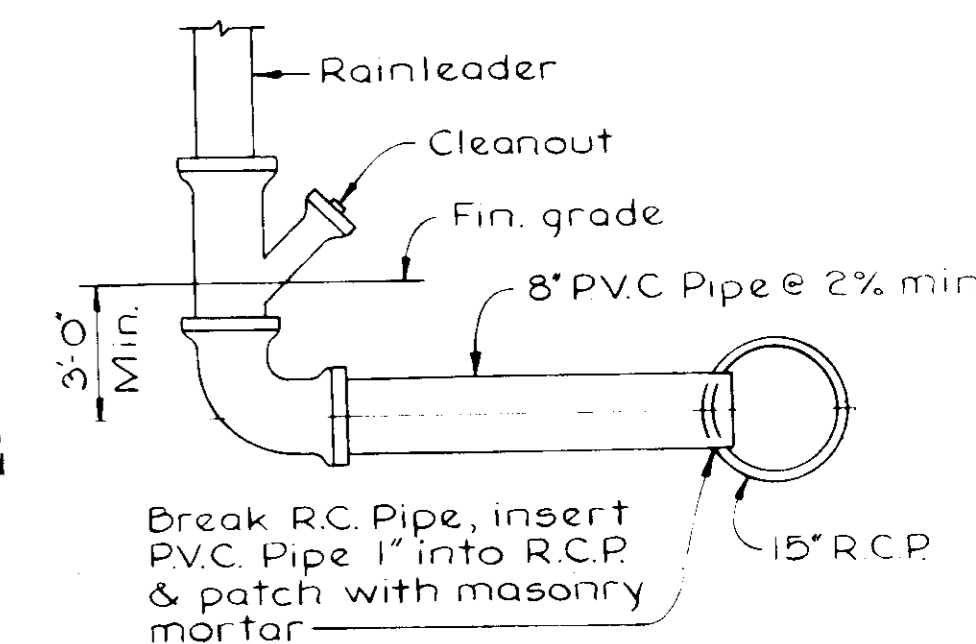


**SECTION C-C**  
Not to Scale



**DRAINAGE AREA MAP**  
Scale: 1" = 200'

APPROVED  
DIVISION OF LAND DEVELOPMENT &  
ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE 12-31-85



**TYPICAL RAINLEADER DETAIL**  
Not to Scale

Note:  
Storm Water Management and  
Parking Revisions to SDP-85-212.

APPROVED: FOR PUBLIC WATER, PUBLIC  
SEWERAGE AND STORM DRAINAGE  
SYSTEMS AND ROADS  
HOWARD COUNTY DEPARTMENT OF  
PUBLIC WORKS

*R. M. B...* 2-26-86  
DIRECTOR DATE

*...* 2-25-86  
CHIEF BUREAU OF ENGINEERING DATE

APPROVED: FOR PUBLIC WATER AND  
PUBLIC SEWERAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT

*...* 2-27-86  
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF  
PLANNING AND ZONING

*...* 2-28-86  
PLANNING DIRECTOR DATE

*...* 2-28-86  
CHIEF, DIVISION OF LAND  
DEVELOPMENT AND  
ZONING ADMINISTRATION DATE

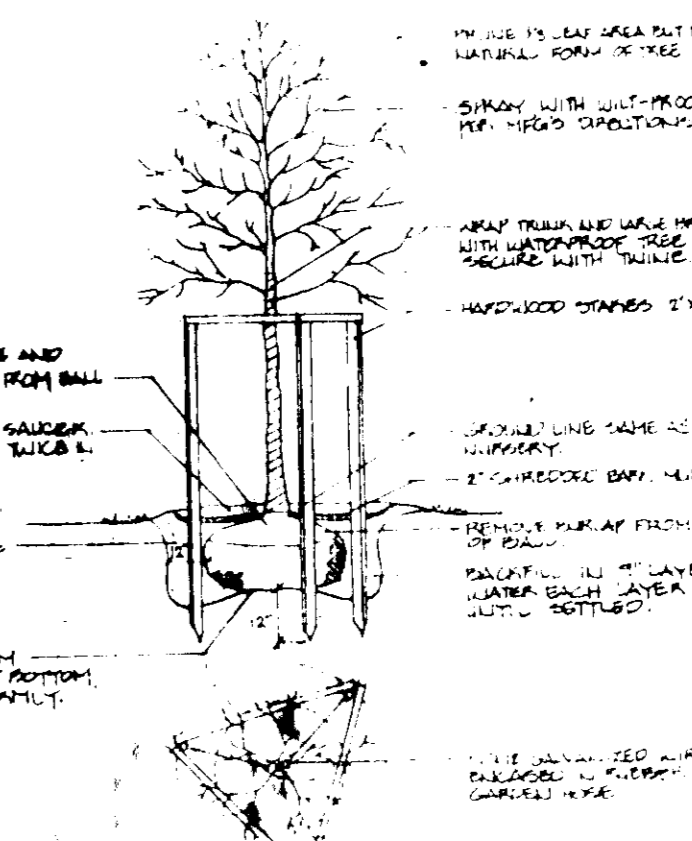
OWNER  
AMBERTON OBRECHT LIMITED PARTNERSHIP  
111 WATER STREET  
BALTIMORE, MARYLAND 21202  
PHONE: 837-1054

PROJECT:  
ROUTE ONE HUNDRED BUSINESS PARK  
BLOCK B PARCEL D-2  
HOWARD COUNTY MARYLAND

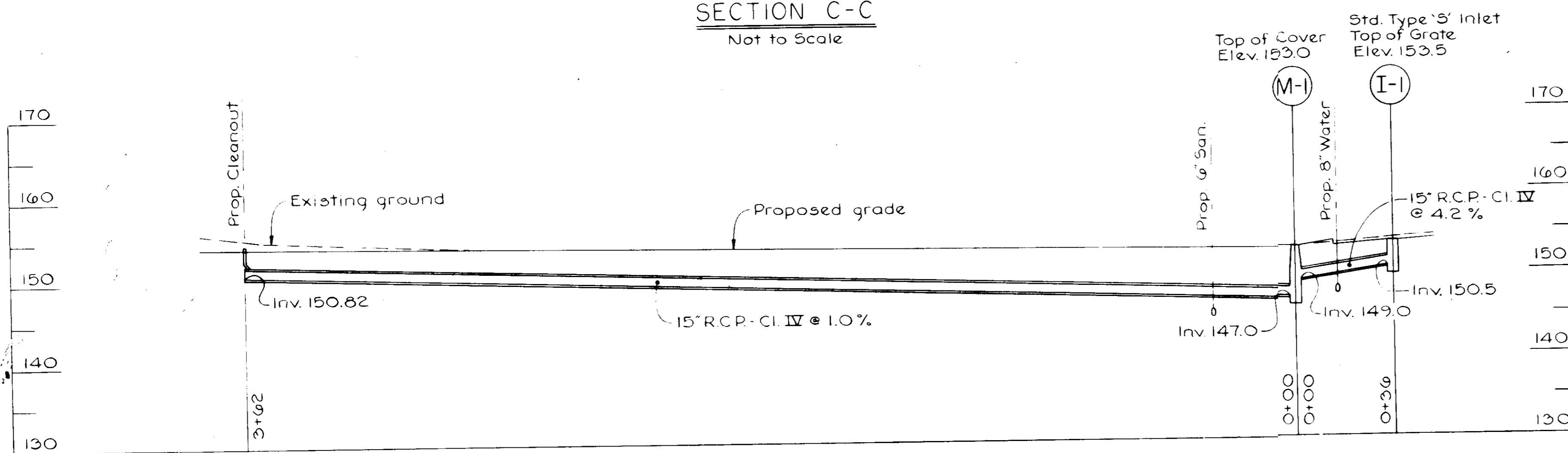
ELEC. DIST. 1ST  
SITE PLAN DETAILS

MICHAEL J. WALKLEY, P.E.  
2 E. WHEELING STREET  
SUITE 400  
BALTIMORE, MARYLAND 21230  
PHONE: 837-0170

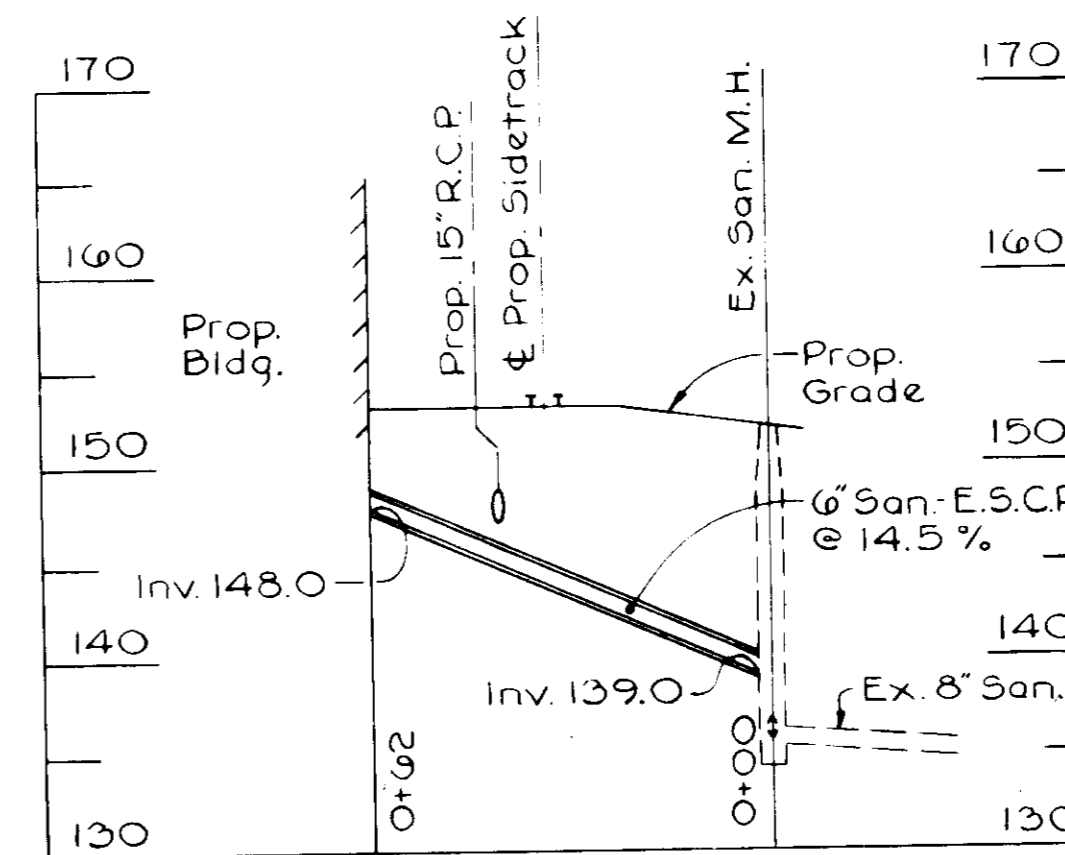
Scale: As Noted Date: 5-15-85 Dwg. No. 2 of 3



**TREE PLANTING**  
Not to Scale

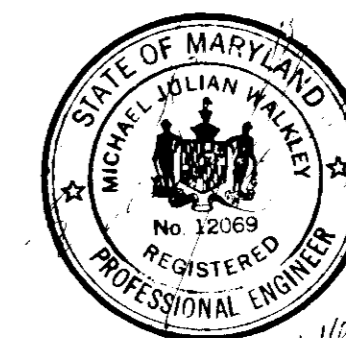


**STORM DRAIN PROFILE**  
Scale: Horiz. 1" = 30'  
Vert. 1" = 10'



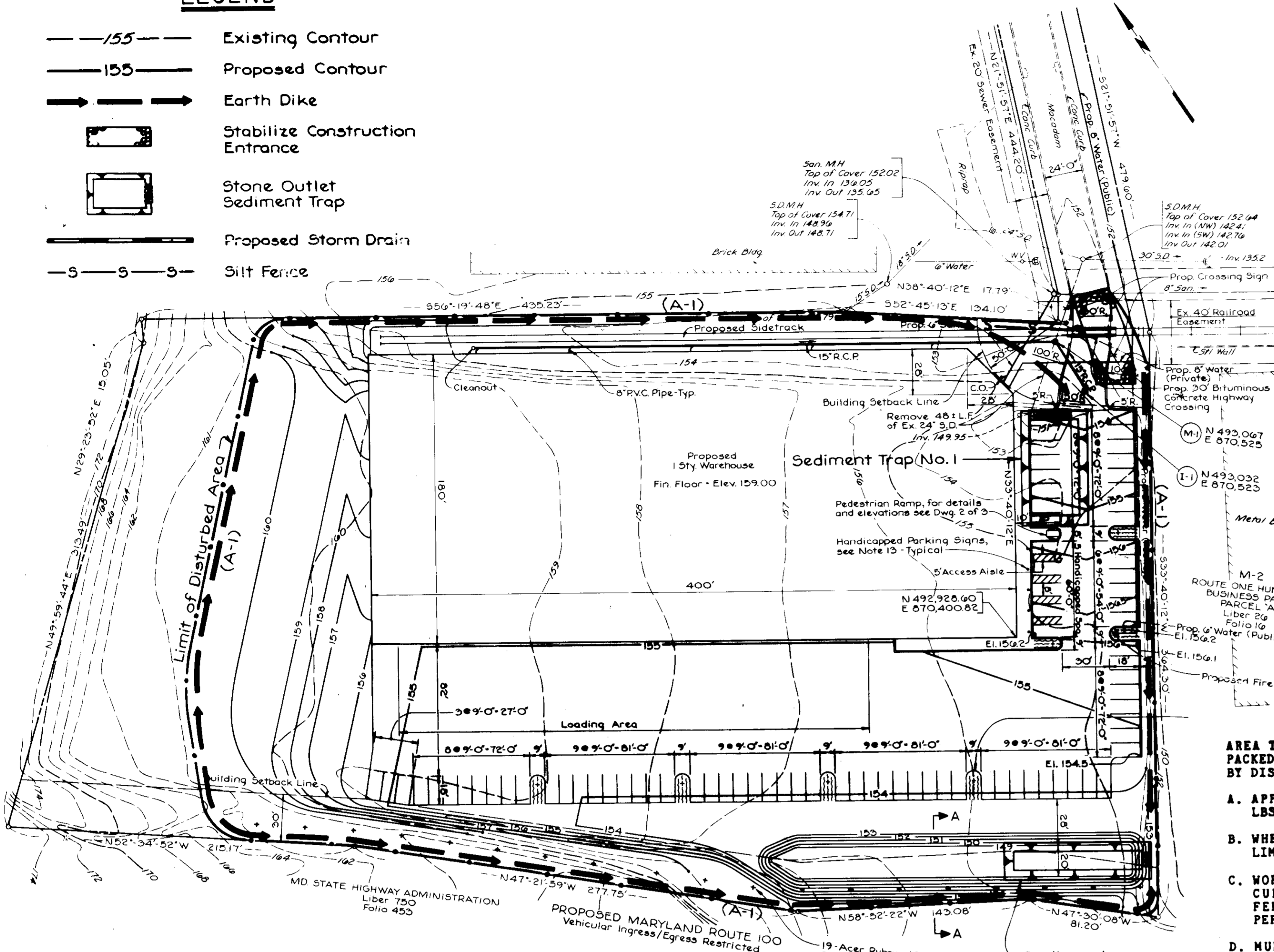
**SANITARY PROFILE**  
Scale: Horiz. 1" = 30'  
Vert. 1" = 10'

Permitted Sect. Rev. 7-2-86  
Rev. 1-14-86  
Rev. 11-29-85  
Rev. 7-3-85

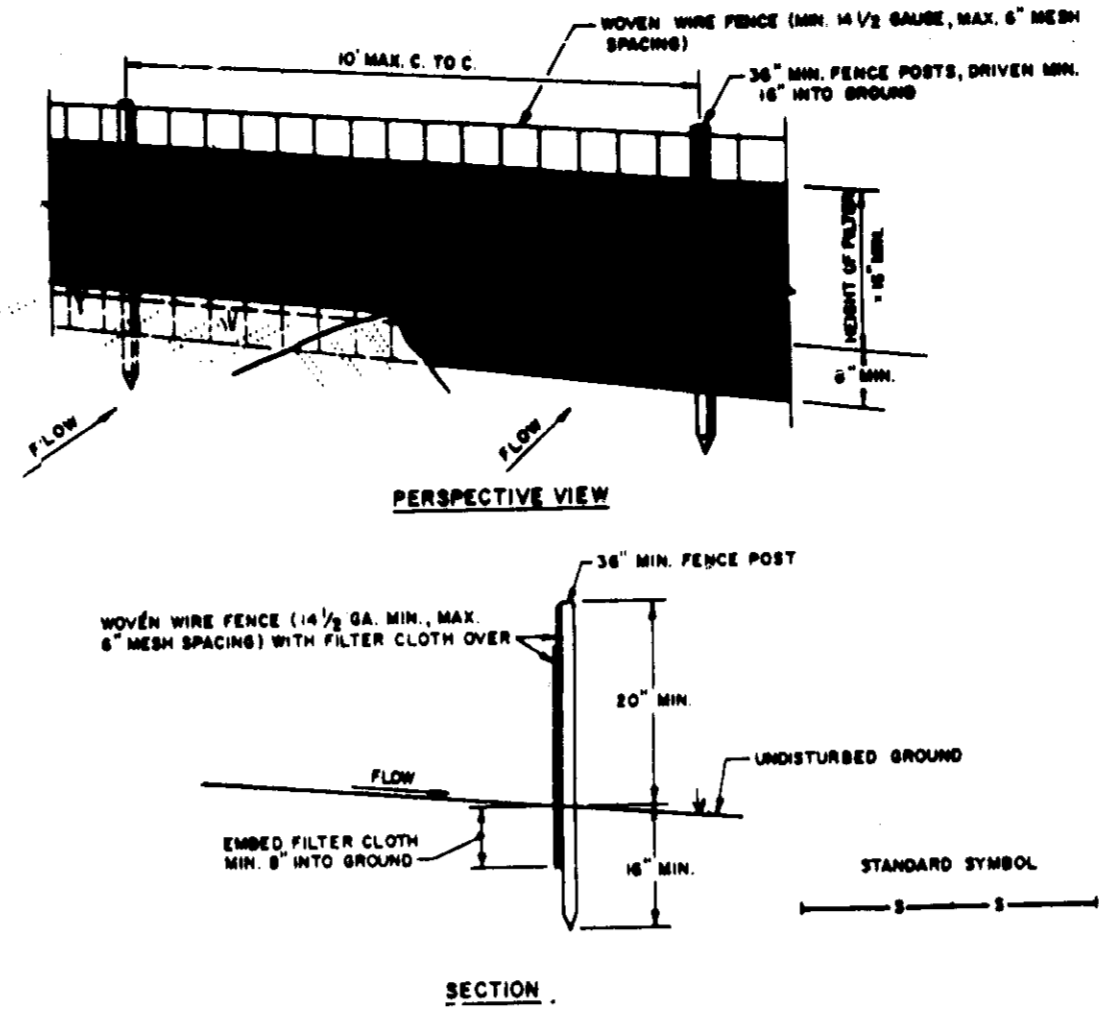


**LEGEND**

- 155 — Existing Contour
- 155 — Proposed Contour
- Earth Dike
- ▭ Stabilize Construction Entrance
- ▭ Stone Outlet Sediment Trap
- Proposed Storm Drain
- S — Silt Fence



**PLAN**  
Scale: 1" = 50'



**CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 2' AT TOP AND MID SECTION.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN 'MUDS' DEVELOP IN THE SILT FENCE.

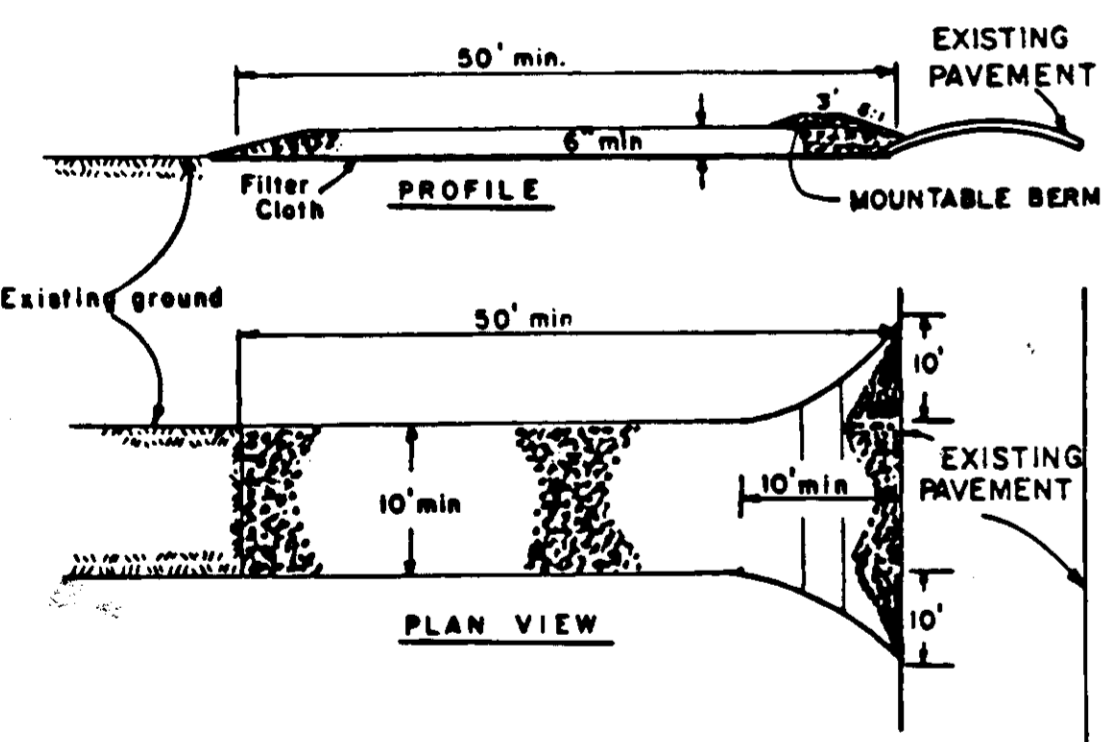
**SILT FENCE**  
Not to Scale

**TEMPORARY SEEDING**

- AREA TO BE SEEDED SHALL BE RECENTLY LOOSENED. IF THE GROUND IS PACKED, CRUSTED OR HARD, THE TOP LAYER OF SOIL SHALL BE LOOSENED BY DISKING OR RAKING OR OTHER ACCEPTABLE MEANS.
- A. APPLY 10-20-10 FERTILIZER OR EQUIVALENT AT THE RATE OF 600 LBS. PER ACRE OR 15 LBS. PER 1000 SQ. FT.
  - B. WHERE SOIL IS KNOWN TO BE HIGHLY ACID, APPLY DOLOMITIC LIMESTONE AT THE RATE OF 1 TON PER ACRE.
  - C. WORK BOTH INTO SOIL AND SEED WITH CYCLONE SEEDER, DRILL, MULTIPACKER SEEDER OR HYDROSEEDER (SLURRY WILL INCLUDE FERTILIZER) AT THE RATE OF 40 LBS. PER ACRE OF ITALIAN OR PERENNIAL REGRASS.
  - D. MULCH WITH UNWEATHERED SMALL GRAIN STRAW AT THE RATE OF 1 1/2 TONS, PER ACRE AND ANCHOR WITH A CUTBACK ASPHALT OR EMULSIFIED ASPHALT AT THE RATE OF 5 GAL. PER 1000 SQ. FT.

**PERMANENT SEEDING**

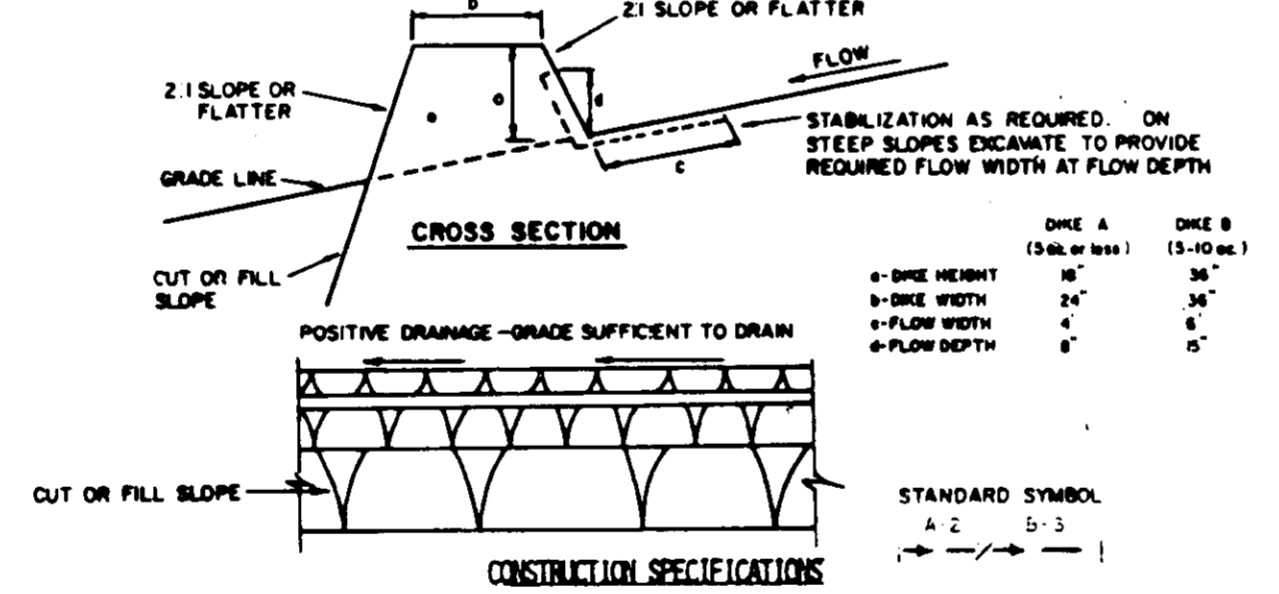
- FINAL STABILIZATION WILL TAKE PLACE AS SOON AS POSSIBLE AS WEATHER CONDITIONS PERMIT, AS FOLLOWS:
- A. APPLY DOLOMITIC LIMESTONE AT THE RATE OF 2 TONS PER ACRE (ONE TON PER ACRE IF APPLICATION OF TON PER ACRE WAS MADE TEMPORARY SEEDING).
  - B. APPLY 0-20-20 FERTILIZER AT THE RATE OF 600 LBS. PER ACRE. HARROW OR DISK AND 0-20-20 FERTILIZER INTO THE SOIL TO A MINIMUM DEPTH OF 3". LAWNS OR HIGH MAINTENANCE AREAS WILL BE DRAGGED AND LEVELED WITH A YORK RAKE. AT THE TIME OF SEEDING APPLY 400 POUNDS OF 38-0-0 UREAFORM FERTILIZER AND 500 LBS. OF 10-20-20 OR EQUIVALENT FERTILIZER PER ACRE.
  - C. SEED WITH A MIXTURE OF CERTIFIED 'MERION' KENTUCKY BLUEGRASS @ 40 LBS PER ACRE; COMMON KENTUCKY BLUEGRASS @ 40 LBS PER ACRE; RED FESCUE, PERNANLAW OR JAMESTOWN @ 20 LBS, PER ACRE.
  - D. MULCH WITH UNWEATHERED SMALL GRAIN STRAW AT THE RATE OF 1 1/2 TONS PER ACRE AND ANCHOR WITH A CUTBACK ASPHALT OR EMULSIFIED ASPHALT AT THE RATE OF 5 GAL. PER 1000 SQ. FT.
  - E. SEED ALL SLOPES WITH A MIXTURE OF CERTIFIED KENTUCKY 31 TALL FESCUE @ 50 LBS. PER ACRE AND INOCULATED CROWN VETCH @ 15 LBS. PER ACRE.



**CONSTRUCTION SPECIFICATIONS**

1. Stone Size - Use 2" stone, or reclaimed or recycled concrete equivalent.
2. Length - As required, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would apply).
3. Thickness - Not less than six (6) inches.
4. Width - Ten (10) foot minimum, but not less than the full width at points where ingress or egress occurs.
5. Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a single family residence lot.
6. Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable beam with 5:1 slopes will be permitted.
7. Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanup of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
8. Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
9. Periodic inspection and needed maintenance shall be provided after each rain.

**STABILIZED CONSTRUCTION ENTRANCE**  
Not to Scale

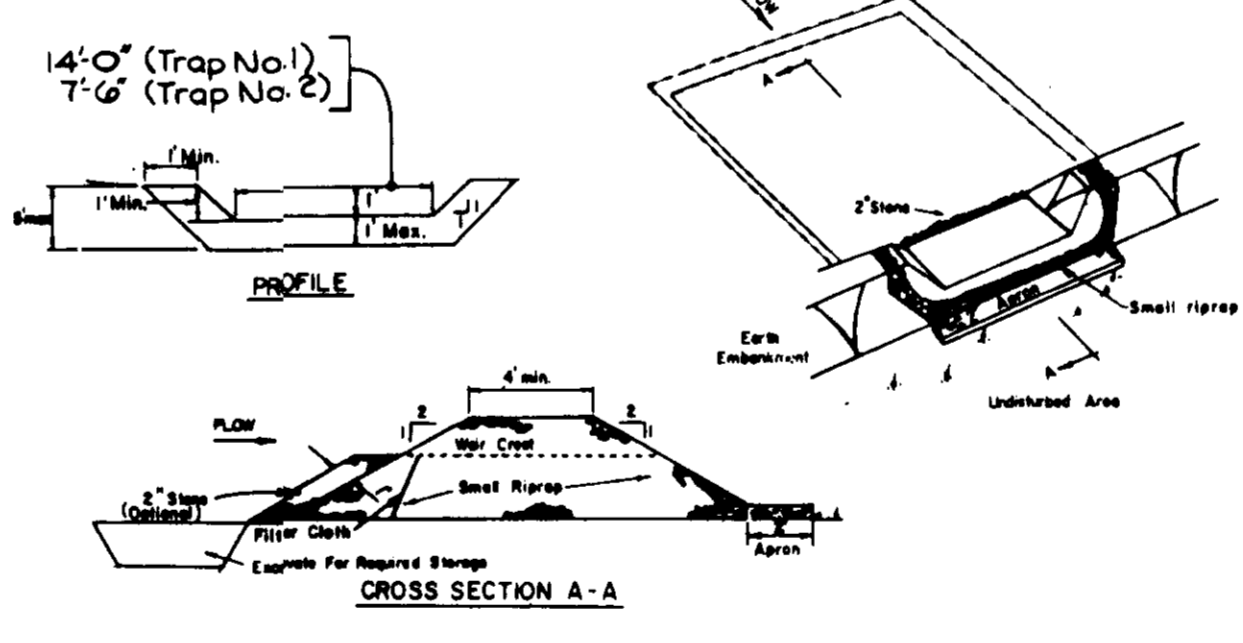


**CONSTRUCTION SPECIFICATIONS**

1. ALL DIKES SHALL BE COMPACTED BY EARTH-MOVING EQUIPMENT.
2. ALL DIKES SHALL HAVE POSITIVE DRAINAGE TO AN OUTLET.
3. TOP WIDTH MAY BE WIDER AND SIDE SLOPES MAY BE FLATTER IF DESIRED TO FACILITATE CROSSING BY CONSTRUCTION TRAFFIC.
4. FIELD LOCATION SHOULD BE ADJUSTED AS NEEDED TO UTILIZE A STABILIZED SAFE OUTLET.
5. EARTH DIKES SHALL HAVE AN OUTLET THAT FUNCTIONS WITH A MINIMUM OF EROSION. FLOW SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE SUCH AS A SEDIMENT TRAP OR SEDIMENT BASIN WHERE EITHER THE DIKE CHANNEL OR THE DRAINAGE AREA ABOVE THE DIKE ARE NOT ADEQUATELY STABILIZED.
6. STABILIZATION SHALL BE: (A) IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEED AND STRAW MULCH OR STRAW MULCH IF NOT IN SEEDING SEASON, (B) FLOW CHANNEL AS PER THE CHART BELOW.

TYPE OF TREATMENT	FLOW CHANNEL STABILIZATION	
	DIKE A	DIKE B
1	5-3.0% SEED AND STRAW MULCH	SEED AND STRAW MULCH
2	3.1-5.0% SEED AND STRAW MULCH	SEED USING JUTE, OF EXCELSTOR; SOO; 2" STONE
3	5.1-8.0% SEED WITH JUTE, OF SOO; 2" STONE	LINED RIP-RAP 4-8"
4	8.1-20% LINED RIP-RAP 4-8"	ENGINEERING DESIGN

**EARTH DIKE**  
Not to Scale



**CONSTRUCTION SPECIFICATIONS FOR ST-Y**

1. Area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat. The pool area shall be cleared.
2. The fill material for the embankment shall be free of roots and other woody vegetation as well as oversized stones, rocks, organic material or other objectionable material. The embankment shall be compacted by traversing with equipment while it is being constructed.
3. All cut and fill slopes shall be 2:1 or flatter.
4. The stone used in the outlet shall be small riprap 4"-8" along with a 1" thickness of 2" aggregate placed on the up-grade side on the small riprap on embedded filter cloth in the riprap.
5. Sediment shall be removed and trap restored to its original dimensions when the sediment has accumulated to 1/2 the design depth of the trap.
6. The structure shall be inspected after each rain and repairs made as needed.
7. Construction operations shall be carried out in such a manner that erosion and water pollution is minimized.
8. The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.

**STONE OUTLET SEDIMENT TRAP**  
Not to Scale

**SEDIMENT CONTROL NOTES**

- 1) A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (992-2437)
- 2) All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- 3) Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
- 4) All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL; Storm Drainage.
- 5) All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding (Sec. 51) and (Sec. 54), temporary seeding (Sec. 50) and mulching (Sec. 52.) Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- 6) All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector
- 7) Site Analysis:
  - Total Area of Site: 5.99 Acres
  - Area Disturbed: 5.20 Acres
  - Area to be roofed or paved: 2.57 Acres
  - Area to be vegetatively stabilized: 2.52 Acres
  - Total Cut: Cu. yds
  - Offsite waste/borrow area Location: \_\_\_\_\_
- 8) Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.

**SEQUENCE OF OPERATION**

DATE	DESCRIPTION
SEPT. 15, 1985	OBTAIN GRADING PERMIT
SEPT. 15, 1985	INSTALL SEDIMENT CONTROL DEVICES
OCT. 1, 1985	INSTALL STORM DRAINS AS NOTED
OCT. 15, 1985	MAINTAIN EXISTING 24" S.D. AS OUTLET OF TRAP
OCT. 15, 1985	CLEAR AND ROUGH GRADE SITE AND SEED AS PER TEMPORARY SEEDING NOTES
NOV. 7, 1985	CONSTRUCT BUILDING AND UTILITIES
MAY 15, 1986	FINE GRADE AND I.E. ROADWAY REMOVE PORTION OF EXISTING 24" S.D.
JUNE 7, 1986	PERMANENT SEED AS PER NOTES FOR ALL REMAINING AREAS
JUNE 14, 1986	REMOVE SEDIMENT TRAP #2 AND BUILD S.W.M. INFILTRATION BASIN UPON APPROVAL BY THE SOIL CONSERVATION DISTRICT, ALL SEDIMENT CONTROL DEVICES SHALL BE REMOVED
JULY 1, 1986	

**Sediment Trap No. 1**

Drainage Area = 3.4 Acres  
Crest Elevation = 152.0  
Bottom of Trap Elevation = 148.5  
Top of Berm Elevation = 153.5  
Outlet Elevation = 150.0 at exist. pipe invert  
Bottom Dimensions = 60'x30'  
Side Slopes = 2:1

**Sediment Trap No. 2**

Drainage Area = 1.8 Acres  
Crest Elevation = 153.0  
Bottom of Trap Elevation = 148.5  
Top of Berm Elevation = 153.5  
Outlet Elevation = 152.0  
Length of Outlet = 8 ft.  
Bottom Dimensions = 80'x12'  
Side Slopes = 2:1

REVIEWED FOR HOWARD S.C.D.  
Name  
AND MEETS TECHNICAL REQUIREMENTS.

Robert M. Helm 1-24-86  
U.S. SOIL CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

Stephen K. Hulsh 1/24/86  
HOWARD S.C.D. DATE

APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS AND ROADS  
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

Robert M. Beisinger 2-26-86  
DIRECTOR DATE

William S. P. Ryan 2-25-86  
CHIEF, BUREAU OF PUBLIC ENGINEERING DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT

James J. Hill 2-27-86  
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY OFFICE OF PLANNING AND ZONING

Thomas J. Amadio 2-28-86  
PLANNING DIRECTOR DATE

John W. Woodhouse 2-28-86  
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE

OWNER:  
AMBERTON OBRECHT LIMITED PARTNERSHIP  
111 WATER STREET  
BALTIMORE, MARYLAND 21202  
PHONE: 837-1054

PROJECT:  
ROUTE ONE HUNDRED BUSINESS PARK  
BLOCK B PARCEL D-2  
HOWARD COUNTY MARYLAND

ELEC. DIST. 13<sup>th</sup>  
EROSION AND SEDIMENT CONTROL PLAN

MICHAEL J. WALKLEY, P.E.  
2 E. WHEELING STREET  
SUITE 400  
BALTIMORE, MARYLAND 21230  
PHONE: 837-0170

Scale: As Noted Date: 5-15-85 Dwg No: 5 of 3  
SDP-86-128

APPROVED  
DIVISION OF LAND DEVELOPMENT & ZONING ADMINISTRATION  
HOWARD COUNTY, MARYLAND  
DATE 12-31-85



Storm Water Management and Parking Revisions to SDP-85-212.

- Rev. 1-14-86
- Rev. 11-29-85
- Rev. 9-6-85
- Rev. 8-6-85
- Rev. 7-3-85